

IN RE: PETITION FOR VARIANCE

(8890 McDonough Road)

2nd Election District

4th Council District

Scott Development, LLC

Legal Owner

Sprint

Lessee

Petitioners

*

*

*

*

*

BEFORE THE OFFICE

OF ADMINISTRATIVE

HEARINGS FOR

BALTIMORE COUNTY

CASE NO. 2015-0292-A

*

*

*

*

*

*

*

OPINION AND ORDER

This matter comes before the Office of Administrative Hearings (OAH) for Baltimore County as a Petition for Variance on behalf of Scott Development, LLC, legal owner, and Sprint, lessee ("Petitioners"). The Petitioners are requesting Variance relief from the Baltimore County Zoning Regulations (B.C.Z.R.) §§426.6.A.2 & 209.4.C to permit a proposed equipment cabinet with a setback of 28.25 ft. in lieu of the required 50 ft. A site plan was marked and admitted as Petitioners' Exhibit 1.

Appearing at the public hearing in support of the request was Randall Holmes. Randall G. Hurst, Esq. appeared on behalf of the Petitioners. The Petition was advertised and posted as required by the B.C.Z.R. A substantive Zoning Advisory Committee (ZAC) comment was received from the Bureau of Development Plans Review (DPR) dated June 25, 2015, and a condition will be included in the Order below to address that agency's concern.

The cell tower compound is 3,734 square feet and is located within a 7.85 acre parcel zoned O.T. The County's Tower Review Committee ("TRC") approved the location of the cell tower on April 28, 2015. Counsel noted that to comply with the 200' setback requirement in the B.C.Z.R. (from a residential zone), the tower was shifted on the site such that the equipment cabinet (an 8' high structure enclosed by a board-on-board fence, and screened in accordance with the Landscape

ORDER RECEIVED FOR FILING

Date

9/2/15

By

slr

Manual) was situated 28.25 ft. from the property boundary. The regulation requires a 50 ft. setback, and thus the zoning petition was filed.

To obtain variance relief (as provided for in B.C.Z.R. §307) requires a showing that:

- (1) The property is unique; and
- (2) If variance relief is denied, petitioner will experience a practical difficulty or hardship.

Trinity Assembly of God v. People's Counsel, 407 Md. 53, 80 (2008).

Petitioners have met this test. The property is of irregular dimensions and is triangular in shape. It is therefore unique. Petitioners would experience a practical difficulty if the regulations were strictly interpreted, since they would be unable to construct the cell tower as planned. I find that the variance can be granted in harmony with the spirit and intent of the B.C.Z.R., and in such manner as to grant relief without injury to the public health, safety, and general welfare. This is demonstrated by the lack of County agency and/or community opposition, and the approval of the TRC.

THEREFORE, IT IS ORDERED, this 2nd day of September, 2015, by the Administrative Law Judge for Baltimore County, that the Petition for Variance seeking relief from the Baltimore County Zoning Regulations ("B.C.Z.R.") §§426.6.A.2 & 209.4.C to permit a proposed equipment housing structure with a setback of 28.25 ft. in lieu of the required 50 ft., be and is hereby GRANTED.

The relief granted herein shall be subject to the following:

1. Petitioners may apply for necessary permits and/or licenses upon receipt of this Order. However, Petitioners are hereby made aware that proceeding at this time is at their own risk until 30 days from the date hereof, during which time an appeal can be filed by any party. If for whatever reason this Order is reversed, Petitioners would be required to return the subject property to its original condition.

ORDER RECEIVED FOR FILING

Date

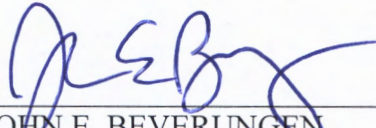
9/2/15

By

SLN

2. Petitioners must obtain from Baltimore County the necessary written approvals to access the site via County-owned property. To initiate the approval process Petitioners shall within 15 days of the date hereof contact Dennis Kennedy, Supervisor of the Bureau of Development Plans Review; 410-887-3751 or dkennedy@baltimorecountymd.gov.
3. Petitioners shall within 15 days of the date hereof submit a redline Title Sheet of the site plan (sheet No. 1 of 7 only) with the correct Council District (i.e., 4th District) identified in the "Site Information" section.

Any appeal of this decision must be made within thirty (30) days of the date of this Order.



JOHN E. BEVERUNGEN
Administrative Law Judge for
Baltimore County

JEB:slm

ORDER RECEIVED FOR FILING

Date 9/2/15

By slm



PETITION FOR ZONING HEARING(S)

To be filed with the Department of Permits, Approvals and Inspections

To the Office of Administrative Law of Baltimore County for the property located at:

Address 8890 McDonough Rd, Owings Mills which is presently zoned O.T.
Deed References: Liber 21553 pg 527 10 Digit Tax Account # 2 2 0 0 0 2 0 5 4 5 3
Property Owner(s) Printed Name(s) Scott Development LLC

(SELECT THE HEARING(S) BY MARKING X AT THE APPROPRIATE SELECTION AND PRINT OR TYPE THE PETITION REQUEST)

The undersigned legal owner(s) of the property situate in Baltimore County and which is described in the description and plan attached hereto and made a part hereof, hereby petition for:

1. a **Special Hearing** under Section 500.7 of the Zoning Regulations of Baltimore County, to determine whether or not the Zoning Commissioner should approve
2. a **Special Exception** under the Zoning Regulations of Baltimore County to use the herein described property for

3. X a **Variance** from Section(s) 426.6.A.2 and 209.4.C. TO PERMIT A PROPOSED EQUIPMENT HOUSING STRUCTURE WITH A SETBACK OF 28.25' IN LIEU OF THE REQUIRED 50'.
of the zoning regulations of Baltimore County, to the zoning law of Baltimore County, for the following reasons:
(Indicate below your hardship or practical difficulty or indicate below "TO BE PRESENTED AT HEARING". If you need additional space, you may add an attachment to this petition)

See attached.

Property is to be posted and advertised as prescribed by the zoning regulations.

I, or we, agree to pay expenses of above petition(s), advertising, posting, etc. and further agree to and are to be bounded by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

Legal Owner(s) Affirmation: I / we do so solemnly declare and affirm, under the penalties of perjury, that I / We are the legal owner(s) of the property which is the subject of this / these Petition(s).

Contract Purchaser/Lessee:

Sprint
Name- Type or Print
Signature [Signature] CLIFF SHAFER
7055 Samuel Morse Dr., Columbia, MD
Mailing Address City State
21046 / 717-512-8701 / CSHAFFER@C
Zip Code Telephone # Email Address
W-C-C-COV

Attorney for Petitioner:

Randall G. Hurst
Name- Type or Print
Signature [Signature]
P.O. Box 5950, Harrisburg, PA
Mailing Address City State
17110 / 717-232-5000 / rghurst@mette.com
Zip Code Telephone # Email Address

Legal Owners (Petitioners):

Scott Development LLC (AGENT FOR:)
Name #1 - Type or Print Name #2 - Type or Print
Signature #1 [Signature] Signature #2 [Signature]
8125 Fenton St., Silver Spring, MD
Mailing Address City State
20901 / 301-219-9118 / JMCC@MCDONOUGH.COM
Zip Code Telephone # Email Address

Representative to be contacted:

Randall G. Hurst
Name - Type or Print
Signature [Signature]
P.O. Box 5950, Harrisburg, PA
Mailing Address City State
17110 / 717-232-5000 / rghurst@mette.com
Zip Code Telephone # Email Address

CASE NUMBER 2015-0292-A Filing Date 6/16/15

ORDER RECEIVED FOR FILING
Do Not Schedule Dates: 9/2/15 Reviewer JP
Date 9/2/15 REV. 10/4/11
By Den

METTE, EVANS & WOODSIDE

A PROFESSIONAL CORPORATION
ATTORNEYS AT LAW

HOWELL C. METTE
ROBERT MOORE
CHARLES B. ZWALLY
PETER J. RESSLER
JAMES A. ULSH
JEFFREY A. ERNICO
MARY ALICE BUSBY
KATHRYN L. SIMPSON

THOMAS F. SMIDA
PAULA J. LEICHT
TIMOTHY A. HOY
THOMAS A. ARCHER*
HENRY W. VAN ECK
MARK D. HIPPE
RONALD L. FINCK
HEATHER Z. KELLY

3401 NORTH FRONT STREET
P.O. BOX 5950
HARRISBURG, PA 17110-0950

IRS NO.
23-1985005

TELEPHONE
(717) 232-5000

FACSIMILE
(717) 236-1816

MARK S. SILVER
BERNADETTE BARATTINI
RANDALL G. HURST**
MELANIE L. VANDERAU
AARON T. DOMOTO
BRIAN J. HINKLE
KEVIN J. HAYES
ERIN L. PENTZ

JAMES W. EVANS
1926 - 2008

* NEW JERSEY BAR
** MARYLAND BAR

TOLL FREE: 1-800-962-5097

[HTTP://WWW.METTE.COM](http://www.mette.com)

June 16, 2015

The Honorable Lawrence M. Stahl, ALJ
Office of Administrative Law of Baltimore County
Baltimore County Office Building
Towson, MD 21204

VIA HAND DELIVERY

**Re: Supplement to Petition for Zoning Hearing Dated June 4, 2015 –
Dimensional Variance from Building Restriction Line for Sprint
Telecommunications Site WA80XC067-8890 McDonough Road, Owings
Mills, Md.**

Dear Judge Stahl:

We are submitting this Supplement to the Petition for Zoning Hearing filed with Baltimore County on June 4, 2015 to include information requested by David Duvall with the Baltimore County Zoning Office during his appointment on June 4 with Cliff Shaffer and Randall Holmes whose company, Wireless Communications Consultants, Inc. ("WCC"), is site acquisition agent for Sprint. Enclosed please find a copy of the original submission letter and signed Petition for Zoning Hearing. All of the information previously provided remains as filed with the exception of the following:

1. The Petition for Zoning Hearing is amended to reflect a new 10 Digit Tax Account Number of 2500007391 assigned to the Sprint telecommunications site;
2. The zoning drawings have been revised to add a note to the Site Plan, Drawing Z-1 listing the sections of the Baltimore County Zoning Regulations under which the Dimensional Variance is being submitted; the revision date of the Plan is June 17, 2015. Twelve (12) sealed sets of the Plan are enclosed;
3. Copy of the Baltimore County Zoning Map (comprised of two sheets) which shows the subject property and the applicable revised tax parcel number and zoning;
4. Copy of Part I and Part II Zoning Checklist completed as applicable;

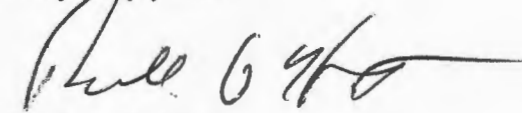
June 16, 2015

Page 2

5. Copy of original signed Petition for Zoning Hearing dated June 4, 2015; and
6. Copies of first first pages of two prior plats of the subject property reflecting previous commercial permits: (1) Second Amended Plat of McDonough Crossing dated September 23, 2010, Plat Book RDA JR 31, Folio 494 and Plat of McDonough Crossing dated June 11, 2013, Plat Book JLE 79, Folio 365.

Please advise if you have any questions. We request that a hearing on the within application be scheduled as conveniently possible.

Very truly yours,

A handwritten signature in black ink, appearing to read "Randall G. Hurst", with a long horizontal flourish extending to the right.

Randall G. Hurst

RGH:njc

Enclosures

cc: Cliff Shaffer (via email)
Randall Holmes (via email)
Paula J. Leicht, Esquire (via email)

METTE, EVANS & WOODSIDE

A PROFESSIONAL CORPORATION
ATTORNEYS AT LAW

HOWELL C. METTE
ROBERT MOORE
CHARLES B. ZWALLY
PETER J. RESSLER
JAMES A. ULSH
JEFFREY A. ERNICO
MARY ALICE BUSBY
KATHRYN L. SIMPSON

THOMAS F. SMIDA
PAULA J. LEICHT
TIMOTHY A. HOY
THOMAS A. ARCHER*
HENRY W. VAN ECK
MARK D. HIPPE
RONALD L. FINCK
HEATHER Z. KELLY

3401 NORTH FRONT STREET
P.O. BOX 5950
HARRISBURG, PA 17110-0950

IRS NO.
23-1985005

TELEPHONE
(717) 232-5000

FACSIMILE
(717) 236-1816

TOLL FREE: 1-800-962-5097

[HTTP://WWW.METTE.COM](http://www.mette.com)

MARK S. SILVER
BERNADETTE BARATTINI
RANDALL G. HURST**
MELANIE L. VANDERAU
AARON T. DOMOTO
BRIAN J. HINKLE
KEVIN J. HAYES
ERIN L. PENTZ

JAMES W. EVANS
1926 - 2008

* NEW JERSEY BAR
** MARYLAND BAR

June 2, 2015

The Honorable Larry Stahl, ALJ
Office of Administrative Law
of Baltimore County
Baltimore County Office Building
Towson, MD 21204

**Re: Petition for Zoning Hearing – Dimensional Variance from Building
Restriction Line for Sprint Tower Site WA80XC067-8890 McDonough Road,
Owings Mills, Md.**

Dear Judge Stahl:

We are submitting this Petition for Zoning Hearing on behalf of Sprint for a dimensional variance from the fifty (50') foot building restriction line on the back property line of the subject property (the "Property") which adjoins undeveloped property zoned O.T. ("Office and Technology"). The Petitioner is Sprint, a telecommunications company. The Property is a triangular shaped parcel located in the OT zoning district and is identified as Tax Account ID #02-2200025453. The property owner is Scott Development, LLC, which company has authorized the filing of this Zoning Application.

This filing includes the following documents:

- Three (3) copies of the signed Petition For Zoning Hearing
- Twelve (12) copies of sealed plan drawings showing the proposed project
- Three (3) copies of a description of the Leased Area, including both the area to be developed and an appurtenant utility easement over the Property. We are also providing with the parcel description a separate copy of a plan drawing showing the Property and the Leased Area in which the project will be installed.
- A check in the amount of \$500 made out to Baltimore County.

June 2, 2015

Page 2

- One (1) completed copy of the Advertising Form

Explanation of the Project

The proposed use for this site is for the installation of a 150 feet high telecommunications tower and associated equipment cabinets and related equipment. Properties adjoining the Property on the north, south and east are all zoned O.T. The property to the west across Painters Mill Road is zoned DR16. Pursuant to Section 209.3.A.16 of the County Zoning regulations, the proposed use is permitted by right in the O.T. zone subject to the specific requirements of Section 426 (Wireless Telecommunications Facilities). The proposed communications tower is less than 200 feet high and so is permitted by right (Section 426.5.D). The proposed installation meets all of the setback distances, including the 200 foot tower setback from a residential property line, with the exception of the Building Restriction Line to the east. This Petition is for a dimensional variance from the Building Restriction Line on the eastern side of the Property.

Setback Requirements At Issue

Section 426.6.A.2 provides that "a structure housing equipment for a tower shall meet the minimum setback requirements from any other owner's property or zone line."

General setback requirements for the O.T. zone are stated in Section 209.4.C: "Building setbacks": all setbacks are 50 feet except certain DR zones (not applicable here) at 150 feet.

Accordingly, a 50 foot setback requirement applies to the tower and equipment cabinets on the Site. The location of the facilities is shown on Sheets Z-3 and Z-4 of the plans submitted with the Request for Hearing. As is evident from the plan drawings, the setback dimensions for the tower shown on Sheet Z-1 with regard to the western and eastern property lines are applicable to the cabinets as well.

The proposed setbacks to the north, south and west are well in excess of 50', and, as noted above, the tower is within the 200' setback applicable to residential properties. However the setback to the East property line is 28' 3", which is 21' 9" less than the required 50' setback.

Section 426.11 provides that the Zoning Commissioner may grant a variance to a height or area requirement, including any setback, for a tower or a structure housing equipment for a tower, in accordance with *Section 307*.

Accordingly, the Applicant is requesting a Variance for the setback distance for the equipment cabinets to the O.T.-zoned property to the East to allow a setback of twenty-eight feet, three inches (28'3") instead of fifty feet (50').

Justification For Variance (per requirements of § 307)

Uniqueness of the Site

June 2, 2015

Page 3

The County Tower Review Committee indicates that it will likely recommend approval of the proposed project, Sprint having demonstrated a need for the service and the unavailability of other sites in this service area to provide it. The placement of the tower at this location is one of necessity to provide wireless telephone service in this area. Accordingly, there is no self-imposed hardship.

As is evident from the plan drawing (Sheet Z-1) the tract of land chosen has little practical commercial or residential use, being narrow and located at the top of a steep bluff (note the topographic lines adjacent to the tower location on Plan Sheets Z-1 and Z-2). The site is unsuitable for most uses allowed in the O.T. Zone. The proposed tower will allow this land, which would otherwise be undevelopable, to be put to a use permitted by right in the O.T. Zone.

Practical Difficulty

The narrowness of the tract is the source of the unique problem for which this Variance is sought. Even though the tower is placed at the widest part of the tract (see Sheets Z-1 and Z-2), meeting both setback requirements (200 feet to the west and 50 feet to the East) is impossible due to the triangular shape of this parcel.

The tower has been sited to ensure that it is well outside of the required setback distance from the Residential property to the West. The tower will be placed 125' 10" from the Site property line (required setback—50') and 203' 2" from the DR16-zoned property (required setback—200'). This placement maximizes the protection of the neighboring residential property. Hence, in order to meet the protective setback for the residential zone to the West, the setback to the O.T. zone to the East (which is presently undeveloped) must be modified as discussed above. It is physically impossible to place the tower farther to the west to meet the setback requirement. Essentially, meeting the setback requirement for the O.T. zone to the East would make the site completely unusable.

Impact of Variance

Granting the variance will not adversely impact public safety or welfare. The proximity of the tower less than fifty feet from the adjacent O.T. zone imposes minimal risk to the public and does not infringe on the ability of the owner of that property to develop it as he desires in the future.

This request is fully in conformance with the provisions of the County Zoning Ordinance. The O.T. regulations state that the purpose of the O.T. zone is to "provid[e] additional opportunities for such development in Baltimore County [so as to] contribute to the county's assessable tax base" § 209.1.D.

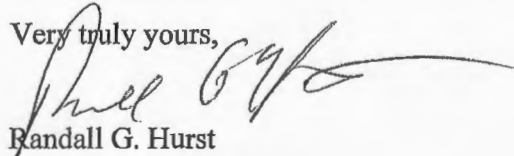
June 2, 2015

Page 4

We also note that the proposed cell tower will enhance an identified deficiency in cellular telephone service in this area, an enhancement of public service necessary for the citizens and workforce of this area of the County.

For the foregoing reasons, Petitioner requests that the Petition for a Zoning Hearing be granted and that the dimensional variance of 28 feet 3 inches be granted

Very truly yours,



Randall G. Hurst

RGH:njc

cc: Cliff Shaffer
Randall Holmes
Paula J. Leicht, Esquire



EXHIBIT A

**DESCRIPTION OF A LEASE AREA FOR A TELECOMMUNICATIONS TOWER
McDONOGH VILLAGE, LLC
LIBER 21553, PAGE 527
BALTIMORE COUNTY, MARYLAND**

Being a lease area for a telecommunications tower in, over, across and through a parcel of land known as Parcel B, Plat B, Owings Mills Corporate Center conveyed to McDONOGH VILLAGE, LLC by deed dated March 4, 2005, and recorded among the Land Records of Baltimore County, Maryland, in Liber 21553, Page 527, and being described as follows:

COMMENCING at the northern most point of said Parcel B, said point also being on the westerly line of an existing 40-ft. Baltimore County Right-of-Way; thence, on a bearing based on the Maryland State Plane Coordinate System, S 50°26'39" E, a distance of 270.52' along with and binding on said westerly right-of-way line to the point of beginning; thence,

1. S 50°26'39" E, a distance of 80.00'; thence,
2. S 39°33'21" W, a distance of 80.00'; thence,
3. N 50°26'39" W, a distance of 80.00'; thence,
4. N 39°33'21" E, a distance of 80.00' to the point of beginning, having an area of 6,400 square feet, or 0.147 acres, more or less.





EXHIBIT A

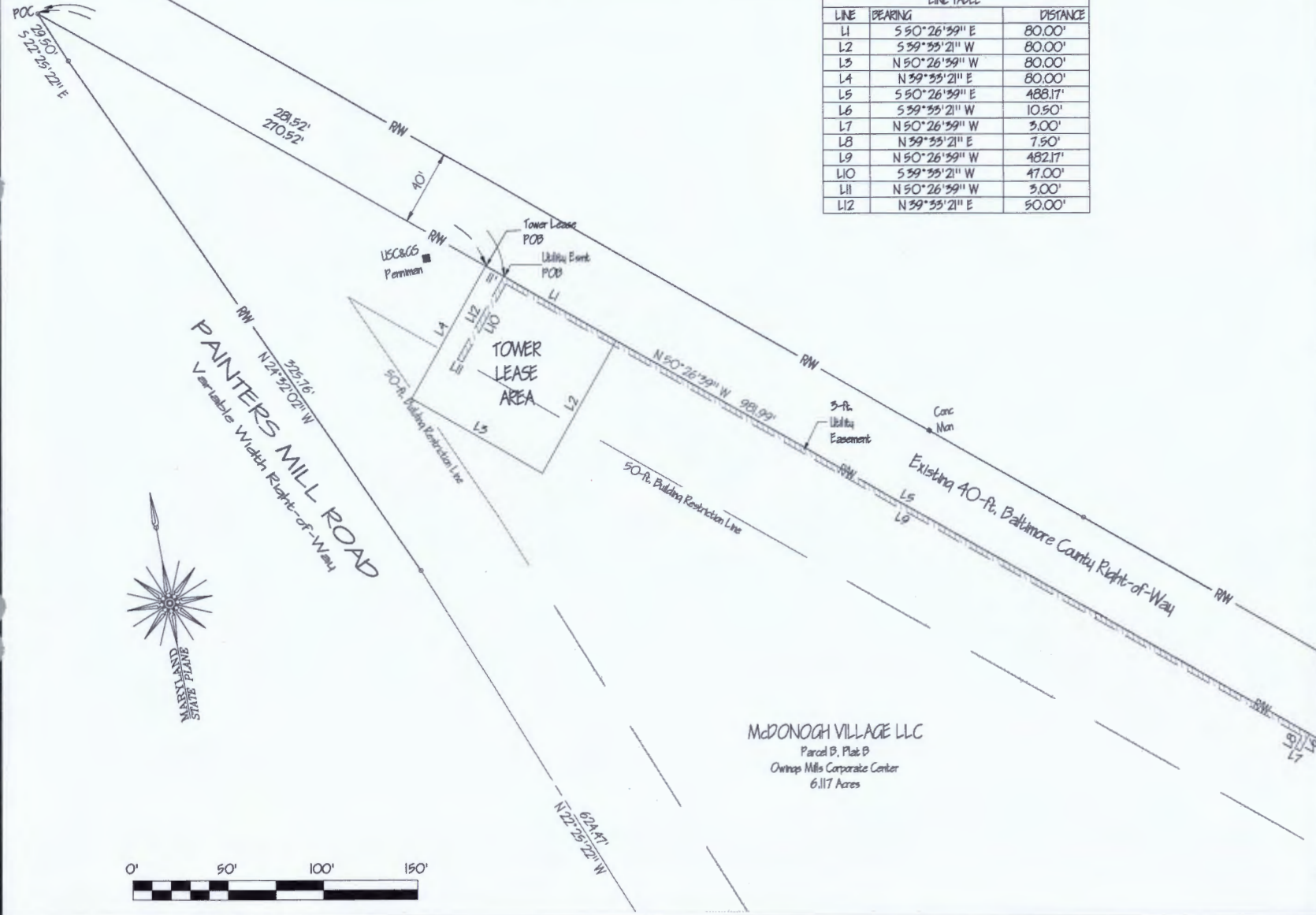
DESCRIPTION OF A 3-FT. UTILITY EASEMENT McDONOGH VILLAGE, LLC LIBER 21553, PAGE 527 BALTIMORE COUNTY, MARYLAND

Being a 3-ft. easement for utilities in, over, across and through a parcel of land known as Parcel B, Plat B, Owings Mills Corporate Center conveyed to McDONOGH VILLAGE, LLC by deed dated March 4, 2005, and recorded among the Land Records of Baltimore County, Maryland, in Liber 21553, Page 527, and being described as follows:

COMMENCING at the northern most point of said Parcel B, said point also being on the westerly line of an existing 40-ft. Baltimore County Right-of-Way; thence, on a bearing based on the Maryland State Plane Coordinate System, S 50°26'39" E, a distance of 281.52' along with and binding on said westerly right-of-way line to the point of beginning; thence, continuing,

1. S 50°26'39" E, a distance of 488.17'; thence,
2. S 39°33'21" W, a distance of 10.50'; thence,
3. N 50°26'39" W, a distance of 3.00'; thence,
4. N 39°33'21" E, a distance of 7.50'; thence,
5. N 50°26'39" W, a distance of 482.17'; thence,
6. S 39°33'21" W, a distance of 47.00'; thence,
7. N 50°26'39" W, a distance of 3.00'; thence,
8. N 39°33'21" E, a distance of 50.00' to the point of beginning, having an area of 1,628.0 square feet, or 0.037 acres, more or less.





Survey Exhibit
RANDALLSTOWN
 WABOXCO67

GEOMATX
 surveying and mapping
 tmcclroy@geomatx.com 443.562.7136 columbia, md, 21045



I certify to the best of my knowledge and belief the above information to be true and correct based upon the information provided.

Thomas L. McElroy
 4/24/12
 Thomas L. McElroy, RPLS Date
 MD# 486 tmcclroy@geomatx.com

SCALE 1" = 50'	SHEET OF 1
DRAWN TLM	DATE 4/24/12
APPROVED TLM	DATE 4/24/12
PROJECT NO. 0007-ADV-Randallstown	

BALTIMORE COUNTY, MARYLAND
OFFICE OF BUDGET AND FINANCE
MISCELLANEOUS CASH RECEIPT

No.

127147

Date:

6/16/2015

Fund	Dept	Unit	Sub Unit	Rev	Sub	Dept	Obj	BS Acct	Amount
				Source/	Rev/				
001	806	0000		6150					500.00

Total: 500.00

Rec
From:

Mette Evans & Woodside

For:

Variance - 8890 McDonough Road
 2015-0292-A (Scott Development, LLC)

DISTRIBUTION

WHITE - CASHIER

PINK - AGENCY

YELLOW - CUSTOMER

GOLD - ACCOUNTING

PLEASE PRESS HARD!!!!

PAID RECEIPT

6/17/2015 6/16/2015 14:45:40

15002 00100 0000 0000

RECEIPT # 029770 6/16/2015 0010

500.00 0000 VERIFICATION

NO. 127147

Recpt Tot 500.00

500.00 CK 5.00 CA

Baltimore County, Maryland

**CASHIER'S
 VALIDATION**

replied to 8/11/15



CERTIFICATE OF POSTING

CASE NO: 2015-0292-A

PETITIONER/DEVELOPER
FELICIA LEIDIGH

DATE OF HEARING/CLOSING:

AUGUST 31, 2015

**BALTIMORE COUNTY DEPARTMENT OF
PERMITS AND DEVELOPMENT MANAGEMENT
COUNTY OFFICE BUILDING, ROOM 111
111 WEST CHESAPEAKE AVENUE**

ATTENTION:

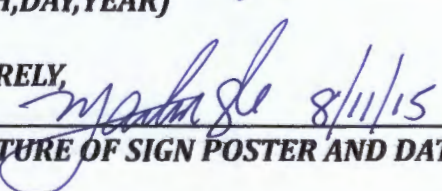
LADIES AND GENTLEMEN:

**THIS LETTER IS TO CERTIFY UNDER THE PENALTIES OF PERJURY THAT THE
NECESSARY SIGN(S) REQUIRED BY LAW WERE POSTED CONSPICUOUSLY ON THE
PROPERTY AT**

8890 McDONOUGH ROAD

THIS SIGN(S) WERE POSTED ON August 11, 2015
(MONTH, DAY, YEAR)

SINCERELY,

 8/11/15
SIGNATURE OF SIGN POSTER AND DATE:

**MARTIN OGLE
(SIGN POSTER)
60 CHELMSFORD COURT
BALTIMORE, MD 21220
(ADDRESS)
PHONE NUMBER: 443-629-3411**

DEPARTMENT OF PERMITS, APPROVALS AND INSPECTIONS

ZONING REVIEW

ADVERTISING REQUIREMENTS AND PROCEDURES FOR ZONING HEARINGS

The Baltimore County Zoning Regulations (BCZR) require that notice be given to the general public/neighboring property owners relative to property which is the subject of an upcoming zoning hearing. For those petitions which require a public hearing, this notice is accomplished by posting a sign on the property (responsibility of the petitioner) and placement of a notice in a newspaper of general circulation in the County, both at least fifteen (15) days before the hearing.

Zoning Review will ensure that the legal requirements for advertising are satisfied. However, the petitioner is responsible for the costs associated with these requirements. The newspaper will bill the person listed below for the advertising. This advertising is due upon receipt and should be remitted directly to the newspaper.

OPINIONS MAY NOT BE ISSUED UNTIL ALL ADVERTISING COSTS ARE PAID.

For Newspaper Advertising:

Item Number or Case Number: 2015-0292-A

Petitioner: Scott Development, LLC

Address or Location: 8890 McDonogh Road

PLEASE FORWARD ADVERTISING BILL TO:

Name: CLIFF SHAFFER

Address: WIRELESS COMMUNICATION CONSULTANTS, INC.
3817 LINGLESTOWN ROAD
HARRISBURG PA 17110

Telephone Number: 717-545-2800 EXT 105

Debra Wiley

NB 8-31-15 (2)
order: 9/2

From: John E. Beverungen
Sent: Thursday, September 17, 2015 9:29 AM
To: Debra Wiley
Subject: Re: Sprint Site #WA80XC067 - Petition for Variance, Case #2015-0292-A, 8890 McDonogh Road

its ok to just put it in the file. Thanks, John

From: Debra Wiley
Sent: Wednesday, September 16, 2015 12:47 PM
To: John E. Beverungen
Subject: RE: Sprint Site #WA80XC067 - Petition for Variance, Case #2015-0292-A, 8890 McDonogh Road

John,

The "original" was just received from FedEx. Does that need to be labeled as a new or replacement exhibit or should I just simply place in file?

Thanks.

From: John E. Beverungen
Sent: Wednesday, September 16, 2015 12:05 PM
To: Debra Wiley <dwiley@baltimorecountymd.gov>
Subject: Fw: Sprint Site #WA80XC067 - Petition for Variance, Case #2015-0292-A, 8890 McDonogh Road

Deb, can you please put this email and the 2 attachments in this zoning file. Thanks. JB.

From: Cliff Shaffer <cshaffer@w-c-c.com>
Sent: Tuesday, September 15, 2015 5:09 PM
To: John E. Beverungen
Cc: Randell G. Holmes; Andrew Seeger; Leicht, Paula; Cliff Shaffer
Subject: Sprint Site #WA80XC067 - Petition for Variance, Case #2015-0292-A, 8890 McDonogh Road

John E. Beverungen
Administrative Law Judge for Baltimore County
Office of Administrative Hearings
105 West Chesapeake Avenue, Suite 103
Towson, MD 21204
(410) 887-3868

Good afternoon Judge Beverungen.

Attached on behalf of Sprint and in accordance with the third of three conditions contained in your decision dated 9/2/15, please find a redlined version of the Title Sheet ("Sheet T-1") which now correctly shows the subject Sprint site as being located in the 4th councilmanic district of the County.

A hard copy original of Sheet T-1 is also coming your way via FedEx (#7745 1417 9751).

Should you and/or others representing the County require additional information and/or action(s) from those of us representing Sprint, please advise by using the reply-to-all function via e-mail.

Thank you.

Cliff Shaffer
Wireless Communication Consultants, Inc.
3817 Linglestown Road
Harrisburg, PA 17110
Office - (717) 545-2800, Ext 105
Fax - (717) 545-4470
Mobile - (717) 512-8701
E-mail: cshaffer@w-c-c.com & cshaffer60@gmail.com

From: Cliff Shaffer
Sent: Tuesday, September 15, 2015 5:09 PM
To: 'jbeverungen@baltimorecountymd.gov'
Cc: Randell G. Holmes; Andrew Seeger; 'Leicht, Paula'; 'Cliff Shaffer'
Subject: Sprint Site #WA80XC067 - Petition for Variance, Case #2015-0292-A, 8890 McDonogh Road
Attachments: Sprint #WA80XC067 - Zoning Decision dtd 9-2-15 - Baltimore County Case #2015-0292-A.pdf; WA80XC067 ZDs Rev 7 09-15-15 (SS), Title Sheet (T-1) showing District 4.pdf

Tracking:	Recipient	Delivery
	'jbeverungen@baltimorecountymd.gov'	
	Randell G. Holmes	Delivered: 9/15/2015 5:09 PM
	Andrew Seeger	Delivered: 9/15/2015 5:09 PM
	'Leicht, Paula'	
	'Cliff Shaffer'	
	Cliff Shaffer	Delivered: 9/15/2015 5:09 PM

John E. Beverungen
Administrative Law Judge for Baltimore County
Office of Administrative Hearings
105 West Chesapeake Avenue, Suite 103
Towson, MD 21204
(410) 887-3868

Good afternoon Judge Beverungen.

Attached on behalf of Sprint and in accordance with the third of three conditions contained in your decision dated 9/2/15, please find a redlined version of the Title Sheet ("Sheet T-1") which now correctly shows the subject Sprint site as being located in the 4th councilmanic district of the County.

A hard copy original of Sheet T-1 is also coming your way via FedEx (#7745 1417 9751).

Should you and/or others representing the County require additional information and/or action(s) from those of us representing Sprint, please advise by using the reply-to-all function via e-mail.

Thank you.

Cliff Shaffer
Wireless Communication Consultants, Inc.
3817 Linglestown Road
Harrisburg, PA 17110
Office - (717) 545-2800, Ext 105
Fax - (717) 545-4470
Mobile - (717) 512-8701
E-mail: cschaffer@w-c-c.com & cschaffer60@gmail.com

RECEIVED

SEP 16 2015

OFFICE OF ADMINISTRATIVE HEARINGS



KEVIN KAMENETZ
County Executive

LAWRENCE M. STAHL
Managing Administrative Law Judge
JOHN E. BEVERUNGEN
Administrative Law Judge

September 2, 2015

Randall Hurst, Esq.
P.O. Box 5950
Harrisburg, PA 17110

RE: Petition for Variance
Case No. 2015-0292-A
Property: 8890 McDonough Road

Dear Mr. Hurst:

Enclosed please find a copy of the decision rendered in the above-captioned matter.

In the event any party finds the decision rendered is unfavorable, any party may file an appeal to the County Board of Appeals within thirty (30) days of the date of this Order. For further information on filing an appeal, please contact the Office of Administrative Hearings at 410-887-3868.

Sincerely,

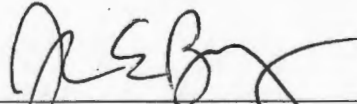
A handwritten signature in black ink, appearing to read "JEB", is written over the printed name of John E. Beverungen.

JOHN E. BEVERUNGEN
Administrative Law Judge
for Baltimore County

JEB:sln
Enclosure

2. Petitioners must obtain from Baltimore County the necessary written approvals to access the site via County-owned property. To initiate the approval process Petitioners shall within 15 days of the date hereof contact Dennis Kennedy, Supervisor of the Bureau of Development Plans Review; 410-887-3751 or dkennedy@baltimorecountymd.gov.
3. Petitioners shall within 15 days of the date hereof submit a redline Title Sheet of the site plan (sheet No. 1 of 7 only) with the correct Council District (i.e., 4th District) identified in the "Site Information" section.

Any appeal of this decision must be made within thirty (30) days of the date of this Order.



JOHN E. BEVERUNGEN
Administrative Law Judge for
Baltimore County

JEB:slh

IN RE: PETITION FOR VARIANCE	*	BEFORE THE OFFICE
(8890 McDonough Road)		
2 nd Election District	*	OF ADMINISTRATIVE
4 th Council District		
Scott Development, LLC	*	HEARINGS FOR
Legal Owner		
Sprint	*	BALTIMORE COUNTY
Lessee		
Petitioners	*	CASE NO. 2015-0292-A

* * * * *

OPINION AND ORDER

This matter comes before the Office of Administrative Hearings (OAH) for Baltimore County as a Petition for Variance on behalf of Scott Development, LLC, legal owner, and Sprint, lessee ("Petitioners"). The Petitioners are requesting Variance relief from the Baltimore County Zoning Regulations (B.C.Z.R.) §§426.6.A.2 & 209.4.C to permit a proposed equipment cabinet with a setback of 28.25 ft. in lieu of the required 50 ft. A site plan was marked and admitted as Petitioners' Exhibit 1.

Appearing at the public hearing in support of the request was Randall Holmes. Randall G. Hurst, Esq. appeared on behalf of the Petitioners. The Petition was advertised and posted as required by the B.C.Z.R. A substantive Zoning Advisory Committee (ZAC) comment was received from the Bureau of Development Plans Review (DPR) dated June 25, 2015, and a condition will be included in the Order below to address that agency's concern.

The cell tower compound is 3,734 square feet and is located within a 7.85 acre parcel zoned O.T. The County's Tower Review Committee ("TRC") approved the location of the cell tower on April 28, 2015. Counsel noted that to comply with the 200' setback requirement in the B.C.Z.R. (from a residential zone), the tower was shifted on the site such that the equipment cabinet (an 8' high structure enclosed by a board-on-board fence, and screened in accordance with the Landscape

Manual) was situated 28.25 ft. from the property boundary. The regulation requires a 50 ft. setback, and thus the zoning petition was filed.

To obtain variance relief (as provided for in B.C.Z.R. §307) requires a showing that:

- (1) The property is unique; and
- (2) If variance relief is denied, petitioner will experience a practical difficulty or hardship.

Trinity Assembly of God v. People's Counsel, 407 Md. 53, 80 (2008).

Petitioners have met this test. The property is of irregular dimensions and is triangular in shape. It is therefore unique. Petitioners would experience a practical difficulty if the regulations were strictly interpreted, since they would be unable to construct the cell tower as planned. I find that the variance can be granted in harmony with the spirit and intent of the B.C.Z.R., and in such manner as to grant relief without injury to the public health, safety, and general welfare. This is demonstrated by the lack of County agency and/or community opposition, and the approval of the TRC.

THEREFORE, IT IS ORDERED, this 2nd day of September, 2015, by the Administrative Law Judge for Baltimore County, that the Petition for Variance seeking relief from the Baltimore County Zoning Regulations ("B.C.Z.R) §§426.6.A.2 & 209.4.C to permit a proposed equipment housing structure with a setback of 28.25 ft. in lieu of the required 50 ft., be and is hereby GRANTED.

The relief granted herein shall be subject to the following:

1. Petitioners may apply for necessary permits and/or licenses upon receipt of this Order. However, Petitioners are hereby made aware that proceeding at this time is at their own risk until 30 days from the date hereof, during which time an appeal can be filed by any party. If for whatever reason this Order is reversed, Petitioners would be required to return the subject property to its original condition.

JB 8-31-15
Order 9-2

Debra Wiley

From: John E. Beverungen
Sent: Wednesday, September 16, 2015 12:05 PM
To: Debra Wiley
Subject: Fw: Sprint Site #WA80XC067 - Petition for Variance, Case #2015-0292-A, 8890 McDonogh Road
Attachments: Sprint #WA80XC067 - Zoning Decision dtd 9-2-15 - Baltimore County Case # 2015-0292-A.pdf; WA80XC067 ZDs Rev 7 09-15-15 (SS), Title Sheet (T-1) showing District 4.pdf

Deb, can you please put this email and the 2 attachments in this zoning file. Thanks. JB.

From: Cliff Shaffer <cshaffer@w-c-c.com>
Sent: Tuesday, September 15, 2015 5:09 PM
To: John E. Beverungen
Cc: Randell G. Holmes; Andrew Seeger; Leicht, Paula; Cliff Shaffer
Subject: Sprint Site #WA80XC067 - Petition for Variance, Case #2015-0292-A, 8890 McDonogh Road

John E. Beverungen
Administrative Law Judge for Baltimore County
Office of Administrative Hearings
105 West Chesapeake Avenue, Suite 103
Towson, MD 21204
(410) 887-3868

Good afternoon Judge Beverungen.

Attached on behalf of Sprint and in accordance with the third of three conditions contained in your decision dated 9/2/15, please find a redlined version of the Title Sheet ("Sheet T-1") which now correctly shows the subject Sprint site as being located in the 4th councilmanic district of the County.

A hard copy original of Sheet T-1 is also coming your way via FedEx (#7745 1417 9751).

Should you and/or others representing the County require additional information and/or action(s) from those of us representing Sprint, please advise by using the reply-to-all function via e-mail.

Thank you.

Cliff Shaffer
Wireless Communication Consultants, Inc.
3817 Linglestown Road
Harrisburg, PA 17110
Office - (717) 545-2800, Ext 105
Fax - (717) 545-4470
Mobile - (717) 512-8701
E-mail: cshaffer@w-c-c.com & cshaffer60@gmail.com



KEVIN KAMENETZ
County Executive

LAWRENCE M. STAHL
Managing Administrative Law Judge
JOHN E. BEVERUNGEN
Administrative Law Judge

September 2, 2015

Randall Hurst, Esq.
P.O. Box 5950
Harrisburg, PA 17110

RE: Petition for Variance
Case No. 2015-0292-A
Property: 8890 McDonough Road

Dear Mr. Hurst:

Enclosed please find a copy of the decision rendered in the above-captioned matter.

In the event any party finds the decision rendered is unfavorable, any party may file an appeal to the County Board of Appeals within thirty (30) days of the date of this Order. For further information on filing an appeal, please contact the Office of Administrative Hearings at 410-887-3868.

Sincerely,

A handwritten signature in black ink, appearing to read "JEB", is written over the printed name of John E. Beverungen.

JOHN E. BEVERUNGEN
Administrative Law Judge
for Baltimore County

JEB:slh
Enclosure

IN RE: PETITION FOR VARIANCE	*	BEFORE THE OFFICE
(8890 McDonough Road)		
2 nd Election District	*	OF ADMINISTRATIVE
4 th Council District		
Scott Development, LLC	*	HEARINGS FOR
Legal Owner		
Sprint	*	BALTIMORE COUNTY
Lessee		
Petitioners	*	CASE NO. 2015-0292-A

* * * * *

OPINION AND ORDER

This matter comes before the Office of Administrative Hearings (OAH) for Baltimore County as a Petition for Variance on behalf of Scott Development, LLC, legal owner, and Sprint, lessee ("Petitioners"). The Petitioners are requesting Variance relief from the Baltimore County Zoning Regulations (B.C.Z.R.) §§426.6.A.2 & 209.4.C to permit a proposed equipment cabinet with a setback of 28.25 ft. in lieu of the required 50 ft. A site plan was marked and admitted as Petitioners' Exhibit 1.

Appearing at the public hearing in support of the request was Randall Holmes. Randall G. Hurst, Esq. appeared on behalf of the Petitioners. The Petition was advertised and posted as required by the B.C.Z.R. A substantive Zoning Advisory Committee (ZAC) comment was received from the Bureau of Development Plans Review (DPR) dated June 25, 2015, and a condition will be included in the Order below to address that agency's concern.

The cell tower compound is 3,734 square feet and is located within a 7.85 acre parcel zoned O.T. The County's Tower Review Committee ("TRC") approved the location of the cell tower on April 28, 2015. Counsel noted that to comply with the 200' setback requirement in the B.C.Z.R. (from a residential zone), the tower was shifted on the site such that the equipment cabinet (an 8' high structure enclosed by a board-on-board fence, and screened in accordance with the Landscape

Manual) was situated 28.25 ft. from the property boundary. The regulation requires a 50 ft. setback, and thus the zoning petition was filed.

To obtain variance relief (as provided for in B.C.Z.R. §307) requires a showing that:

- (1) The property is unique; and
- (2) If variance relief is denied, petitioner will experience a practical difficulty or hardship.

Trinity Assembly of God v. People's Counsel, 407 Md. 53, 80 (2008).

Petitioners have met this test. The property is of irregular dimensions and is triangular in shape. It is therefore unique. Petitioners would experience a practical difficulty if the regulations were strictly interpreted, since they would be unable to construct the cell tower as planned. I find that the variance can be granted in harmony with the spirit and intent of the B.C.Z.R., and in such manner as to grant relief without injury to the public health, safety, and general welfare. This is demonstrated by the lack of County agency and/or community opposition, and the approval of the TRC.

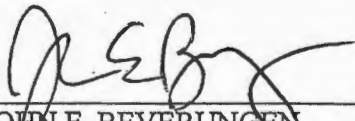
THEREFORE, IT IS ORDERED, this 2nd day of September, 2015, by the Administrative Law Judge for Baltimore County, that the Petition for Variance seeking relief from the Baltimore County Zoning Regulations ("B.C.Z.R") §§426.6.A.2 & 209.4.C to permit a proposed equipment housing structure with a setback of 28.25 ft. in lieu of the required 50 ft., be and is hereby GRANTED.

The relief granted herein shall be subject to the following:

1. Petitioners may apply for necessary permits and/or licenses upon receipt of this Order. However, Petitioners are hereby made aware that proceeding at this time is at their own risk until 30 days from the date hereof, during which time an appeal can be filed by any party. If for whatever reason this Order is reversed, Petitioners would be required to return the subject property to its original condition.

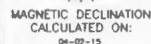
2. Petitioners must obtain from Baltimore County the necessary written approvals to access the site via County-owned property. To initiate the approval process Petitioners shall within 15 days of the date hereof contact Dennis Kennedy, Supervisor of the Bureau of Development Plans Review; 410-887-3751 or dkennedy@baltimorecountymd.gov.
3. Petitioners shall within 15 days of the date hereof submit a redline Title Sheet of the site plan (sheet No. 1 of 7 only) with the correct Council District (i.e., 4th District) identified in the "Site Information" section.

Any appeal of this decision must be made within thirty (30) days of the date of this Order.



JOHN E. BEVERUNGEN
Administrative Law Judge for
Baltimore County

JEB:slm



Sprint®



Together with Nextel.

SITE NAME:

RANDALLSTOWN

SITE NUMBER:

WA80XC067

SITE INFORMATION	
SITE NAME:	RANDOLPH TOWER
SITE NUMBER:	WV-000387
SITE ADDRESS:	4888 MCCORMICK ROAD CHENOWETH HILLS, MARYLAND 21117
JURISDICTION:	BALTIMORE COUNTY, MARYLAND
ZONING:	OT
COUNCIL/MAYOR DISTRICT:	4
TAX ACCOUNT NO.	03-00000781
MAP / PARCEL:	67 / 84
PARCEL SIZE / COMPOUND SIZE:	7.88 AC / 2.88 AC
SITE COORDINATES:	N 30° 37' 31.28" (PAQ 92) W 71° 07' 16.31" (PAQ 93)
GROUND ELEVATION:	895' (ASBL)
STRUCTURE TYPE:	MONOPOLE
STRUCTURE HEIGHT:	50' ASBL (TOP OF MONOPOLE)
ANTENNA RA CENTER:	165' ASL (2.5 ON ANTENNA) 130' ASL (2.5 ON ANTENNA)
GROUND LANDLORD NAME:	SCOTT DEVELOPMENT, LLC A HAWAII AND LIMITED LIABILITY COMPANY
GROUND LANDLORD ADDRESS:	6130 PRITCHEN STREET SILVER SPRING, MARYLAND 20910
LANDLORD NAME:	SCOTT DEVELOPMENT, LLC A HAWAII AND LIMITED LIABILITY COMPANY
LANDLORD ADDRESS:	6130 PRITCHEN STREET SILVER SPRING, MARYLAND 20910
APPLICANT:	SPRINT MR. SAMUEL MORRIS DRIVE, SUITE 100 COLUMBIA, MARYLAND 21038
APPLICANT PHONE:	(410) 852-4243
APPLICANT FAX:	(410) 852-7428

CODE ANALYSIS	
BUILDING CODE:	IRC 2015
ELECTRICAL CODE:	NEC 2011
FIRE SAFETY CODE:	2012 NFPA 101
USE GROUP:	U (UTILITY)
CONSTRUCTION TYPE:	II

PROJECT DESCRIPTION

1. NEW 26'-0" x 10'-0" FENCED TELECOMMUNICATIONS COMPOUND TO BE INSTALLED.
2. NEW 18'-0" MONOPOLE TO BE INSTALLED WITHIN NEW TELECOMMUNICATIONS COMPOUND.
3. NEW OUTDOOR EQUIPMENT CABINETS TO BE INSTALLED ON NEW CONCRETE PAD WITHIN NEW TELECOMMUNICATIONS COMPOUND.
4. NEW ANTENNAS AND ALL ASSOCIATED EQUIPMENT TO BE INSTALLED.



AREA MAP

WINNIE MILLS, MARYLAND
BONE: C + 10047

DIRECTIONS:

DIRECTIONS:
HEADING FROM 7005 SAMUEL MORSE DRIVE

DEPART SAMUEL MOORE DRIVE TOWARD COLUMBIA GATEWAY DRIVE, TURN LEFT ONTO COLUMBIA GATEWAY DRIVE, TURN LEFT TO STAY ON COLUMBIA GATEWAY DRIVE, TAKE RAMP LEFT FOR SR-11 WEST / PATUSSETT PARKWAY TOWARD COLUMBIA, TAKE RAMP RIGHT FOR US-29 NORTH / COLUMBIA ROAD, TAKE RAMP LEFT AT EXIT 25A, TAKE RAMP LEFT FOR EAST BROADWAY / SR-106, AT EXIT #18, TAKE RAMP RIGHT / BALTIMORE AVENUE, TAKE RAMP LEFT FOR LOOP TOWARD NEW YORK / TOWNSEND, AT EXIT 20, TAKE RAMP RIGHT FOR SR-140 NORTH TOWARD ROBERTSTOWN / GARIBOLDI, BEAR LEFT ONTO SR-140 WEST / REINTERSTOWN ROAD, TURN LEFT ONTO MCCORDSON ROAD.

SHEET INDEX	
SHEET NO.	SHEET DESCRIPTION
T-1	TITLE SHEET
Z-1	SITE PLAN
Z-2	SURVEY AND EASEMENT INFO
Z-3	ZONING MAPS
Z-4	COMPOUND PLAN
Z-5	ELEVATION
Z-6	EQUIPMENT AND ANTENNA DETAILS

SPRINT REVIEW	
THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS AND AUTHORIZE THE CONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT AND MAY IMPOSE CHANGES OR MODIFICATIONS.	
SPRINT S.P.:	DATE:
SPRINT SCHEDULE:	DATE:
SPRINT S.A.:	DATE:
SPRINT P.O.:	DATE:
SPRINT C.O.B.T.:	DATE:
SPRINT AGE BDR.:	DATE:
PROPERTY OWNER:	DATE:



7055 BALTIMORE MORRIS DRIVE, SUITE 100
COLUMBIA, MARYLAND 21046
OFFICE: (410) 823-7055
FAX: (410) 823-7055



|| advantage engineers

6996 COLUMBIA GATEWAY DRIVE, SUITE 300
COLUMBIA, MARYLAND 21046
PHONE (410) 347-0083
FAX (410) 347-0013

SCHEMATA OF RESEARCH

8	06-08-15	EQUIPMENT RELOCATION
7	06-12-15	ISSUED FOR CONSTRUCTION (ZD)
6	06-12-15	REV PER CLIENT COMMENTS (ZD)
5	04-08-15	REV PER CLIENT COMMENTS (ZD)
4	03-18-13	REV. PER CLIENT COMMENTS (ZD)
3	01-23-12	REV. PER CLIENT COMMENTS (ZD)
2	08-27-12	ISSUED FOR ZONING (ZD)
1	06-20-12	ISSUED FOR 10% REVIEW (ZD)
REV. DATE	DATE	DESCRIPTION OF CHANGES

DRAWN BY:	AK
CHECKED BY:	
SCALE:	NOTED
JOB NO:	M08019000

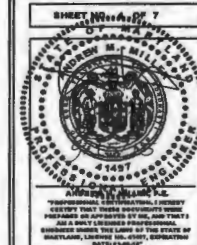
DRAWING TITLE

**TITLE
SHEET**

DRAWING SHEET:

T-1

**SITE NAME:
RANDALLSTOWN
SITE NUMBER:
WA80XC067
SITE ADDRESS:
8890 McDONOUGH ROAD
OWINGS MILLS, MARYLAND
21117**



Case No.: 2015-0292-A

Exhibit Sheet

9-2-15
slr

Petitioner/Developer

Protestant

No. 1	Site plan (7 sheets)	
No. 2		
No. 3		
No. 4		
No. 5		
No. 6		
No. 7		
No. 8		
No. 9		
No. 10		
No. 11		
No. 12		

MEMORANDUM

DATE: October 1, 2015
TO: Zoning Review Office
FROM: Office of Administrative Hearings
RE: Case No. 2015-0292-A – Appeal Period Expired

The appeal period for the above-referenced case expired on October 2, 2015. There being no appeal filed, the subject file is ready for return to the Zoning Review Office and is placed in the 'pick up box.'

c: ✓ Case File
Office of Administrative Hearings

DATE 8-31-2015

PETITIONER'S SIGN-IN SHEET

[illegible]

UNCABLE to Find SDAT
For tax# listed

CASE NO. 2015-

0292-A

CHECKLIST

Comment
Received

Department

Support/Oppose/
Conditions/
Comments/
No Comment

6/25

DEVELOPMENT PLANS REVIEW
(if not received, date e-mail sent _____)

C

DEPS
(if not received, date e-mail sent _____)

FIRE DEPARTMENT

7/21

PLANNING
(if not received, date e-mail sent _____)

N/c

6/23

STATE HIGHWAY ADMINISTRATION

no obj

TRAFFIC ENGINEERING

COMMUNITY ASSOCIATION

ADJACENT PROPERTY OWNERS

ZONING VIOLATION (Case No. _____)

~~PRIOR ZONING~~ (Case No. 07-0295-SPHA)

NEWSPAPER ADVERTISEMENT

Date: 8/11/15

SIGN POSTING

Date: 8/11/15

by ogile

PEOPLE'S COUNSEL APPEARANCE

Yes ☒ No ☐

PEOPLE'S COUNSEL COMMENT LETTER

Yes ☐ No ☐

Comments, if any: _____

IN RE: PETITIONS FOR SPECIAL HEARING *

AND VARIANCE – NE Corner

Painters Mill Road & McDonogh Road *

(Owings Mills Corporate Campus, *

Parcels B & E) *

2nd Election District

4th Council District *

McDonogh Enterprises, LLC, *Owner* *

Petitioner

BEFORE THE

ZONING COMMISSIONER

OF

BALTIMORE COUNTY

Case No. 07-295-SPHA

* * * * *

FINDINGS OF FACT AND CONCLUSIONS OF LAW

This matter comes before the Zoning Commissioner for consideration of Petitions for Special Hearing and Variance filed by the owner of the subject property, McDonogh Enterprises, LLC through its attorney, Sebastian A. Cross, Esquire. The Petitioner requests a variance to permit accessory uses, each with a maximum floor area of 4,000 sq.ft. in lieu of the maximum allowed 1,500 sq.ft., pursuant to Section 206.3.C.1 of the Baltimore County Zoning Regulations (B.C.Z.R.). In addition, the Petitioner requests variance relief from Section 206.3.A.3.b of the B.C.Z.R. to allow an accessory drive-through bank to exist separate from the proposed office; or, in the alternative, from the overall Owings Mills Corporate Campus building, and B.C.Z.R. Section 206.3.A.3.b(1)(c) to permit a bank access lane as close as 150 feet from a residence in lieu of the required 200 feet. Finally, a special hearing was requested to approve an amendment to the plan previously approved in Zoning Case No. 04-079-XA. The subject property and requested relief are more particularly described on the amended site plan submitted which was accepted into evidence and marked as Petitioner's Exhibit 1.

Appearing at the requisite public hearing in support of the request were Jim Jost, managing member, on behalf of McDonogh Enterprises, LLC, property owner, and Sebastian A. Cross, Esquire, attorney for the Petitioner. Also appearing were Mitch Kellman, a representative of Daft-McCune-Walker, Inc., the engineering consultants who prepared the site plan for this property. There were no Protestants or other interested persons present.

across this line and/or the easement itself. These modifications did not affect any other requests for zoning relief.

Testimony was also offered by Mr. Kellman that a grant of the variance relief is appropriate. The variances are necessary based on the practical difficulty/undue hardship that would be created if strict adherence to the regulations were required. Additionally, it was noted that the unusual shape of the property and its role as a part of the overall office park were significant factors. Finally, a schematic representation of proposed improvements was submitted as Petitioner's Exhibit 2. It was indicated that the office park is a high quality park and the proposed building will be of similar quality and design.

Finally, testimony was also offered that an amendment to the previously approved Zoning Case No. 04-079-XA was appropriate as this site plan proposed only a slight modification to the office building plan previously approved for this site. Evidence of the appropriateness of this amendment came from Petitioner's case as well as comments of support from the Baltimore County's Office of Planning ZAC comment and the Department of Economic Development's letter of support submitted as Petitioner's Exhibit 3. These comments, along with the testimony provided, demonstrated the appropriateness of amending the previously approved plan by special hearing.

Based upon the testimony and evidence presented, I am persuaded to grant the special hearing and variance requests. It is clear that the proposed office building and the bank itself are appropriate for this site and consistent with other uses in the locale. Moreover, given the nature of the uses in the vicinity, I find that the proposed accessory commercial uses on the first floor of the building will provide a needed service for employees who work in this office park as well as the nearby residents. The relief requested will not adversely impact the surrounding locale and meets the spirit and intent of the zoning regulations.

Pursuant to the advertisement, posting of the property and public hearing on this Petition held and for the reasons set forth herein, the relief requested shall be granted.



KEVIN KAMENETZ
County Executive

ARNOLD JABLON
Deputy Administrative Officer
Director, Department of Permits,
Approvals & Inspections

August 27, 2015

Scott Development LLC
John Lynn
1300 Spring Street
Suite 300
Silver Spring MD 20901

RE: Case Number: 2015-0292 A, Address: 8890 McDonough Road

Dear Mr. Lynn:

The above referenced petition was accepted for processing **ONLY** by the Bureau of Zoning Review, Department of Permits, Approvals, and Inspection (PAI) on June 16, 2015. This letter is not an approval, but only a **NOTIFICATION**.

The Zoning Advisory Committee (ZAC), which consists of representatives from several approval agencies, has reviewed the plans that were submitted with your petition. All comments submitted thus far from the members of the ZAC are attached. These comments are not intended to indicate the appropriateness of the zoning action requested, but to ensure that all parties (zoning commissioner, attorney, petitioner, etc.) are made aware of plans or problems with regard to the proposed improvements that may have a bearing on this case. All comments will be placed in the permanent case file.

If you need further information or have any questions, please do not hesitate to contact the commenting agency.

Very truly yours,

A handwritten signature in black ink, reading "W. Carl Richards, Jr.", is written over a horizontal line.

W. Carl Richards, Jr.
Supervisor, Zoning Review

WCR: jaw

Enclosures

c: People's Counsel
Sprint, Cliff Shaffer, 7055 Samuel Morse Drive, Columbia MD 21046
Randall G Hurst, P O Box 5950, Harrisburg MD 17110

Larry Hogan, Governor
Boyd Rutherford, Lt. Governor



Pete K. Rahn, Secretary
Douglas H. Simmons, Acting Administrator

Date: 6/23/15

Ms. Kristen Lewis
Baltimore County Office of
Permits and Development Management
County Office Building, Room 109
Towson, Maryland 21204

RE: Baltimore County
Item No 2015-0292-A
Variance
Scott Development LLC.
John Lynn
8890 McDonough Road.

Dear Ms. Lewis:

Thank you for the opportunity to review your referral request on the subject of the above captioned. We have determined that the subject property does not access a State roadway and is not affected by any State Highway Administration projects. Therefore, based upon available information this office has no objection to Baltimore County Zoning Advisory Committee approval of Item No. 2015-0292-A.

Should you have any questions regarding this matter, please contact Mr. Richard Zeller at 410-545-5598 or 1-800-876-4742 (in Maryland only) extension 5598, or by email at (rzeller@sha.state.md.us).

Sincerely,

A handwritten signature in dark ink, appearing to read 'Richard Zeller'.

David W. Peake
Metropolitan District Engineer
Baltimore & Harford Counties

DWP/RAZ

BALTIMORE COUNTY, MARYLAND
INTEROFFICE CORRESPONDENCE

TO: Arnold Jablon, Director
Department of Permits, Approvals
And Inspections

FROM: Dennis A. Kennedy, Supervisor
Bureau of Development Plans Review

SUBJECT: Zoning Advisory Committee Meeting
For June 29, 2015
Item No. 2015-0292

DATE: June 25, 2015

The Bureau of Development Plans Review has reviewed the subject zoning item and we have the following comment.

We do not oppose granting the requested variance; however, the developer may not use County property for access unless permission is granted in writing. Please make this a condition of your order. The developer should contact me at 410-887-3751 or dkennedy@baltimorecountymd.gov to start the permission process.

* * * * *

DAK:CEN
cc:file

ZAC-ITEM NO 15-0292-06292015.doc

8/31

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

TO: Arnold Jablon
Deputy Administrative Officer and
Director of Permits, Approvals and Inspections

DATE: July 21, 2015

FROM: Andrea Van Arsdale
Director, Department of Planning

SUBJECT: 8890 McDonogh Road

RECEIVED

INFORMATION:

Item Number: 15-292

JUL 24 2015

Petitioner: Scott Development, LLC

OFFICE OF ADMINISTRATIVE HEARINGS

Zoning: DR 3.5

Requested Action: Variance

SUMMARY OF RECOMMENDATIONS:

The Department of Planning has reviewed the Petition for Variance to permit a proposed equipment housing structure with setback of 28.25' in lieu of the required 50'. The Department of Planning has no objection to the granting the petitioned zoning relief.

For further information concerning the matters stated herein, please contact Troy Leftwich at 410-887-3480.

Division Chief: Kathy Schlabach

AVA/KS

C: Troy Leftwich

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

TO: Arnold Jablon
Deputy Administrative Officer and
Director of Permits, Approvals and Inspections

DATE: July 21, 2015

FROM: Andrea Van Arsdale
Director, Department of Planning

SUBJECT: 8890 McDonogh Road

INFORMATION:

Item Number: 15-292

Petitioner: Scott Development, LLC

Zoning: DR 3.5

Requested Action: Variance

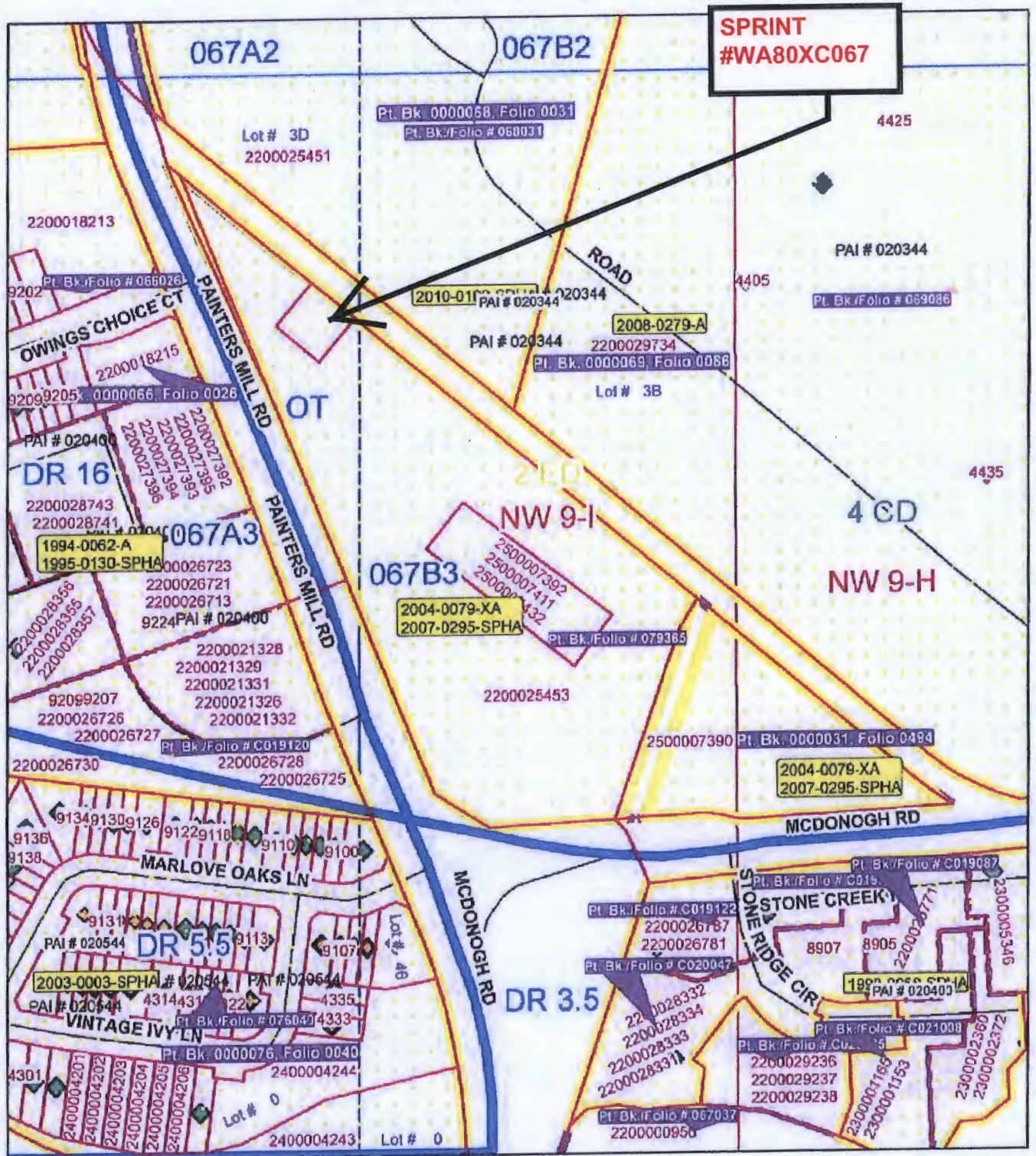
SUMMARY OF RECOMMENDATIONS:

The Department of Planning has reviewed the Petition for Variance to permit a proposed equipment housing structure with setback of 28.25' in lieu of the required 50'. The Department of Planning has no objection to the granting the petitioned zoning relief.

For further information concerning the matters stated herein, please contact Troy Leftwich at 410-887-3480.

Division Chief: Kathy Schlabach
AVA/KS
C: Troy Leftwich

8890 McDonough Road



Publication Date: 6/3/2015



Publication Agency: Permits, Approvals & Inspections
 Projection/Datum: Maryland State Plane,
 FIPS 1900, NAD 1983/91 HARN, US Foot

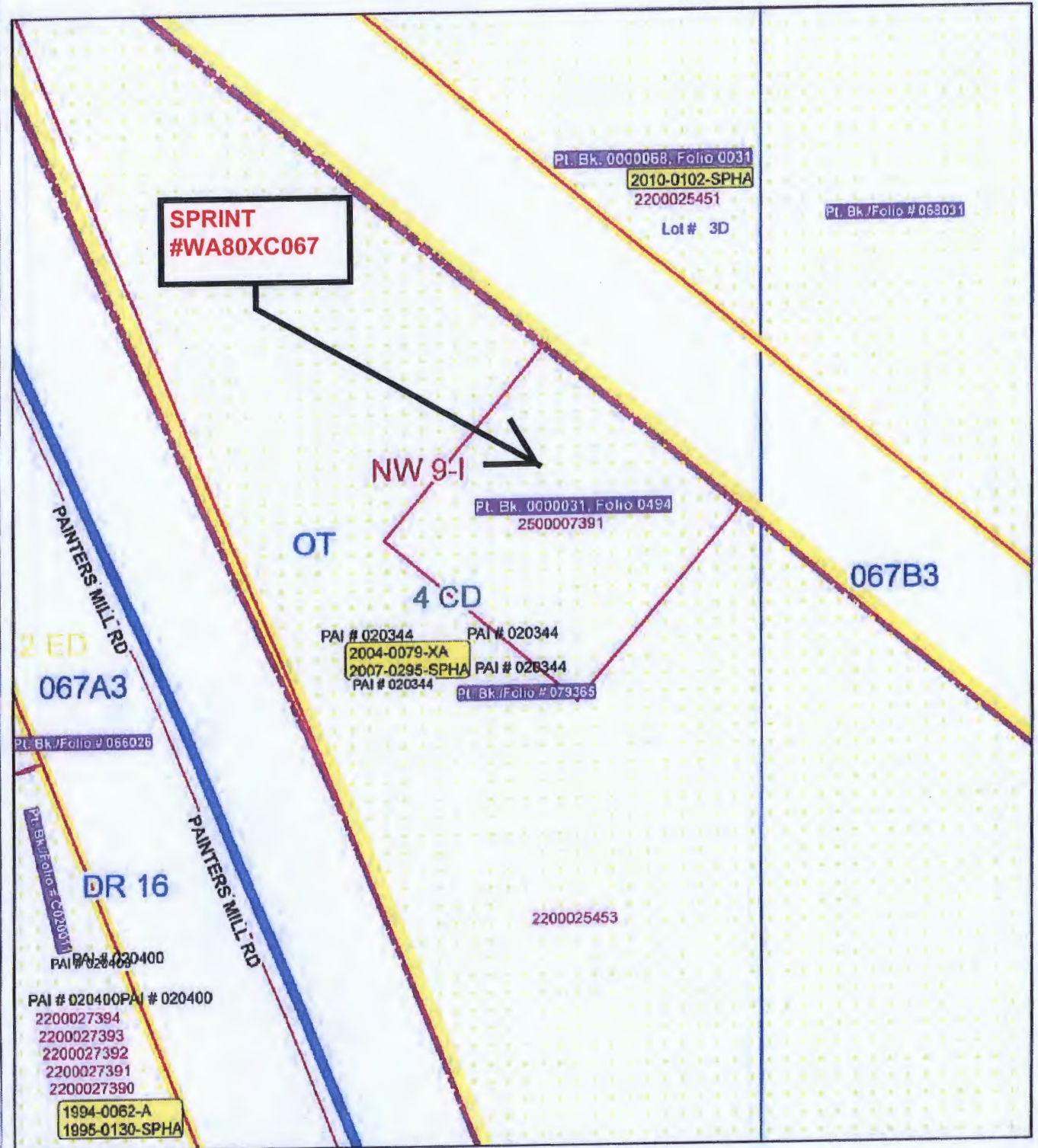


0 50 100 200 300 400 Feet

1 inch = 200 feet

2015-0292-A

8890 McDonough Road



Publication Date: 6/4/2015

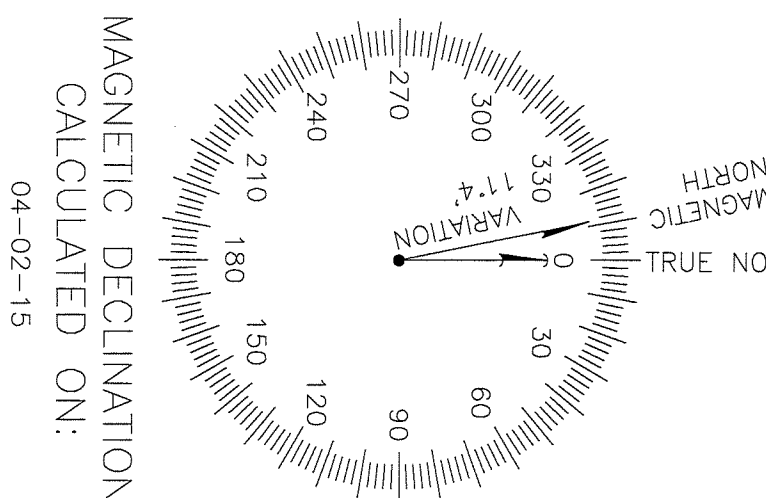


Publication Agency: Permits, Approvals & Inspections
Projection/Datum: Maryland State Plane,
FIPS 1900, NAD 1983/91 HARN, US Foot



0 10 20 40 60 80 Feet

1 inch = 44.145299 feet



Together with Nextel.
SITE NAME:

RANDALLSTOWN

SITE NUMBER:

WA80XC067

SITE INFORMATION

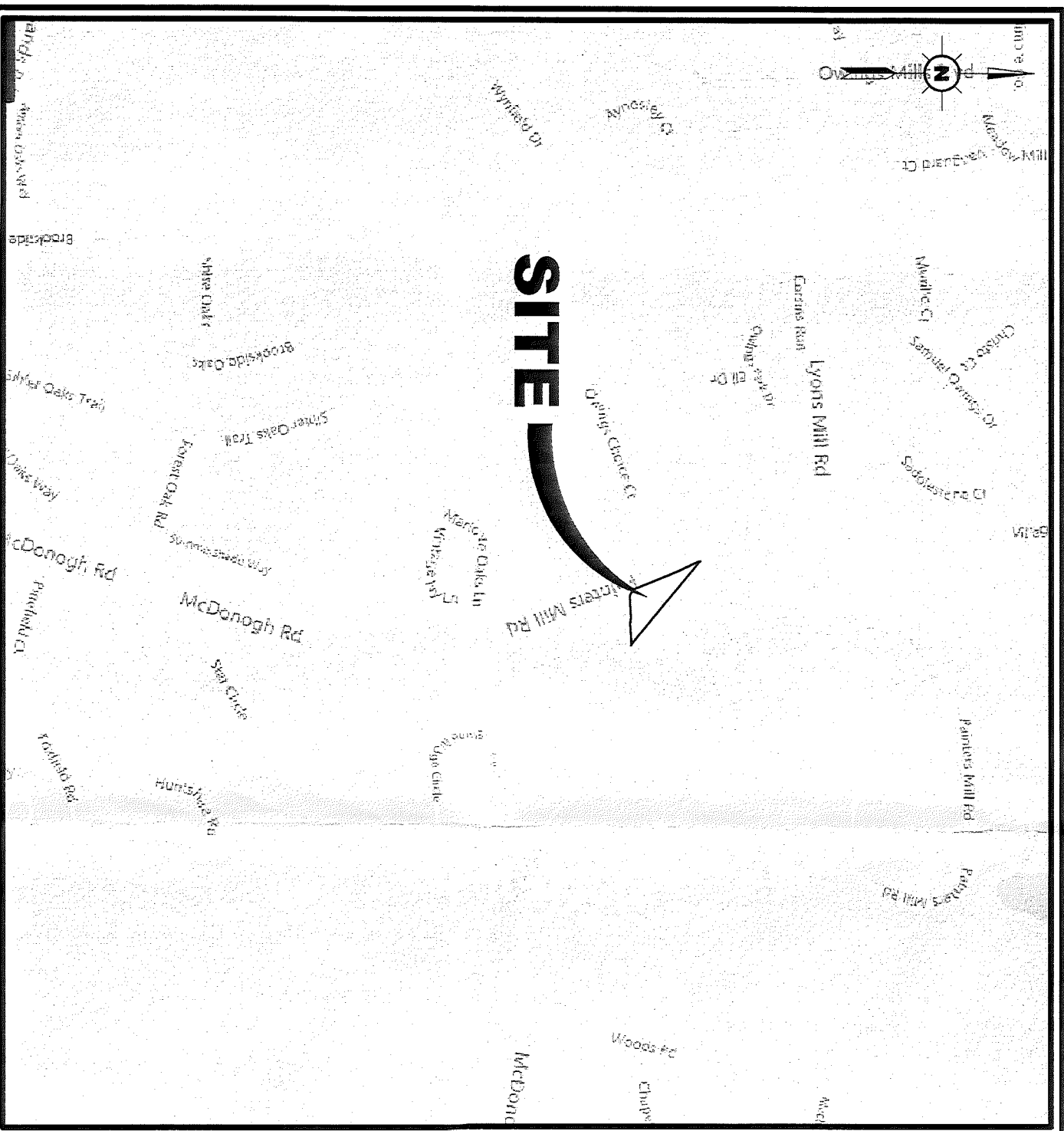
SITE NAME:	RANDALLSTOWN
SITE NUMBER:	WA80XC067
SITE ADDRESS:	8890 MCDONOUGH ROAD OWINGS MILLS, MARYLAND 21117
JURISDICTION:	BALTIMORE COUNTY, MARYLAND
ZONING:	OT
COUNCILMANIC DISTRICT:	5
TAX ACCOUNT ID:	02-220007391
MAP / PARCEL:	7.86 AC / 3,734 S.F. 67 / 564
PARCEL SIZE / COMPOUND SIZE:	
SITE COORDINATES:	N 89° 23' 31.06" (MAD 63) W 76° 47' 15.51" (MAD 63)
GROUND ELEVATION:	566± (AMSL)
STRUCTURE TYPE:	MONOPOLE
STRUCTURE HEIGHT:	150± AGL (TOP OF MONOPOLE)
ANTENNA RAD CENTER:	146-6"± AGL (800/1900 MHZ ANTENNAS) 136-6"± AGL (2.5 GHz ANTENNAS)
GROUND LANDLORD NAME:	SCOTT DEVELOPMENT, LLC A MARYLAND LIMITED LIABILITY COMPANY
GROUND LANDLORD ADDRESS:	8120 FENTON STREET SILVER SPRING, MARYLAND 20910
LANDLORD NAME:	SCOTT DEVELOPMENT, LLC A MARYLAND LIMITED LIABILITY COMPANY
LANDLORD ADDRESS:	8120 FENTON STREET SILVER SPRING, MARYLAND 20910
APPLICANT:	SPRINT 7055 SAMUEL MORSE DRIVE, SUITE 203 COLUMBIA, MARYLAND 21046
APPLICANT PHONE:	(410) 953-7400
APPLICANT FAX:	(410) 953-7406

CODE ANALYSIS

BUILDING CODE:	IBC 2016
ELECTRICAL CODE:	NEC 2011
FIRE SAFETY CODE:	2012 NFPA 101
USE GROUP:	U (UTILITY)
CONSTRUCTION TYPE:	II-B

PROJECT DESCRIPTION

- NEW 27'-0" X 80'-0" FENCED TELECOMMUNICATIONS COMPOUND TO BE INSTALLED.
- NEW 150'-0" MONOPOLE TO BE INSTALLED WITHIN NEW TELECOMMUNICATIONS COMPOUND.
- NEW OUTDOOR EQUIPMENT CABINETS TO BE INSTALLED ON NEW CONCRETE PAD WITHIN NEW TELECOMMUNICATIONS COMPOUND.
- NEW ANTENNAS AND ALL ASSOCIATED EQUIPMENT TO BE INSTALLED.



AREA MAP

OWINGS MILLS, MARYLAND
SCALE: 1" = 1000'-0"

DIRECTIONS:

HEADING FROM 7055 SAMUEL MORSE DRIVE:
DEPART SAMUEL MORSE DR TOWARD COLUMBIA GATEWAY DR. TURN LEFT ONTO COLUMBIA GATEWAY DR. TURN LEFT TO STAY ON COLUMBIA GATEWAY DR. TAKE RAMP LEFT FOR SR-175 WEST / PATUXENT PKWY TOWARD COLUMBIA. TAKE RAMP RIGHT FOR I-70 EAST TOWARD BALTIMORE AT EXIT 91B-A. TAKE RAMP RIGHT FOR I-695 NORTH / BALTIMORE BELTWAY INNER LOOP TOWARD NEW YORK / TOWSON. AT EXIT 20 TAKE RAMP RIGHT FOR SR-140 NORTH TOWARD REISTERSTOWN / GARRISON. BEAR LEFT ONTO SR-140 WEST / REISTERSTOWN RD. TURN LEFT ONTO MCDONOUGH RD.

SHEET INDEX	
SHEET NO.	SHEET DESCRIPTION
T-1	TITLE SHEET
Z-1	SITE PLAN
Z-2	SURVEY AND EASEMENT INFO
Z-3	ZONING MAPS
Z-4	COMPOUND PLAN
Z-5	ELEVATION
Z-6	EQUIPMENT AND ANTENNA DETAILS

SPRINT REVIEW

THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS AND AUTHORIZE THE CONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT AND MAY IMPOSE CHANGES OR MODIFICATIONS.

SPRINT R.F.:	DATE:
SPRINT ZONING:	DATE:
SPRINT S.A.:	DATE:
SPRINT P&T:	DATE:
SPRINT CONST.:	DATE:
SPRINT A&E MGR.:	DATE:
PROPERTY OWNER:	DATE:



advantage engineers
6996 COLUMBIA GATEWAY DRIVE, SUITE 203
COLUMBIA, MARYLAND 21046
PHONE (443) 367-0003
FAX (443) 367-0013

SCHEDULE OF REVISIONS	
7	06-12-16 ISSUED FOR CONSTRUCTION (ZDS)
6	06-12-16 REV. PER CLIENT COMMENTS (ZDS)
5	04-09-16 REV. PER CLIENT COMMENTS (ZDS)
4	02-19-13 REV. PER CLIENT COMMENTS (ZDS)
3	01-23-13 REV. PER CLIENT COMMENTS (ZDS)
2	08-27-12 ISSUED FOR ZONING (ZDS)
1	08-20-12 ISSUED FOR 100% REVIEW (ZDS)
0	02-03-11 ISSUED FOR 90% REVIEW (ZDS)
REV. NO.	DATE DESCRIPTION OF CHANGES

DRAWN BY:	JIK
CHECKED BY:	
SCALE:	NOTED
JOB NO.:	M05010.00
DRAWING TITLE:	

TITLE SHEET

DRAWING SHEET:

T-1

SITE NAME:
RANDALLSTOWN
SITE NUMBER:
WA80XC067
SITE ADDRESS:
8890 MCDONOUGH ROAD
OWINGS MILLS, MARYLAND
21117

SHEET NO. 1 OF 7



ANDREW M. MILLER, P.E.
PROFESSIONAL CERTIFICATION, I HEREBY
PREPARED OR APPROVED BY ME, AND THAT I
AM A DULY LICENSED PROFESSIONAL
ENGINEER IN THE STATE OF MARYLAND.
DATE: 01-05-16

2015-0292-A

SECTIONS 426.6.A AND 209.4.C - TO PERMIT A PROPOSED EQUIPMENT HOUSING STRUCTURE WITH A SETBACK OF 28.25' IN LIEU OF THE REQUIRED 50'



ZONING:
DR-16

5

ZONING:
DR-16

6

ZONING:
DR-16

7

ZONING:
DR-16

8

ZONING:
DR-16

9

10

11

PROPOSED 20'-0" WIDE
ACCESS ROAD

ZONING:
OT

3

(2) PROPOSED
PARKING SPACES
(SEE SHEET Z-5 FOR MORE DETAIL)

PROPOSED 27'-0" x 80'-0" FENCED
TELECOMMUNICATIONS COMPOUND
(SEE SHEET Z-4 FOR MORE DETAIL)

BULK REGULATIONS TABLE: OT ZONE		
REGULATION	REQUIRED	PROPOSED
FRONT SETBACK	50'-0"	1,088'-1"
BACK SETBACK	50'-0"	28'-3"
SIDE SETBACK	50'-0"	125'-10"
D.R., R.A.E., OR R-O ZONE SETBACK	200'-0"	203'-2"
R.C., D.R.1., D.R.2, D.R.3.5, D.R.5.5, OR D.R.10.5 ZONE SETBACK	150'-0"	703'-0"
HEIGHT	150'-0"	150'-0"

* REQUIRES VARIANCE

ZONING:
OT

PROPOSED 3'-0"
UTILITY EASEMENT

EXISTING RETAINING
WALL

EXISTING 20'-0" WIDE
GRAVEL ACCESS ROAD

EXISTING TELEPHONE
POLE #J87854

EXISTING TRANSFORMER
#40057 ABC

4

OWNER NAME: JOSHUA RODENS
ADDRESS: 9238 LEIGH CHOICE COURT #23
OWINGS MILLS, MARYLAND 21117
TAX ACCOUNT #: 2200026723
LAND AREA: 5.71 AC.
ZONING: R

7

OWNER NAME: PATRICIA D. & ALEX C. THOMAS
ADDRESS: 9318 LEIGH CHOICE COURT #54
OWINGS MILLS, MARYLAND 21117
TAX ACCOUNT #: 2200027394
LAND AREA: 0.04 AC.
ZONING: R

8

OWNER NAME: SHARON OSTIKER
ADDRESS: 9204 LEIGH CHOICE COURT #4
OWINGS MILLS, MARYLAND 21117
TAX ACCOUNT #: 2200021324
LAND AREA: 0.04 AC.
ZONING: R

9

OWNER NAME: JOE ANN OATIS
ADDRESS: 9100 MARLOVE OAKS LANE
OWINGS MILLS, MARYLAND 21117
TAX ACCOUNT #: 2400004166
LAND AREA: 0.11 AC.
ZONING: R

10

OWNER NAME: SCOTT DEVELOPMENT LLC
ADDRESS: 8890 MCDONOUGH ROAD
OWINGS MILLS, MARYLAND 21117
TAX ACCOUNT #: 2200025453
LAND AREA: 7.85 AC.
ZONING: OT

11

OWNER NAME: TRISTIE L. TARPIN
ADDRESS: 9204 LEIGH CHOICE COURT #4
OWINGS MILLS, MARYLAND 21117
TAX ACCOUNT #: 2200021324
LAND AREA: 0.04 AC.
ZONING: R

ADJOINER PROPERTY OWNER INFORMATION:

1. OWNER NAME: SCOTT DEVELOPMENT LLC
ADDRESS: 8890 MCDONOUGH ROAD
OWINGS MILLS, MARYLAND 21117
TAX ACCOUNT #: 2200025453
LAND AREA: 7.85 AC.
ZONING: OT

2. OWNER NAME: TRP SUBURBAN SECOND INC
ADDRESS: 8890 MCDONOUGH ROAD
OWINGS MILLS, MARYLAND 21117
TAX ACCOUNT #: 2200029734
LAND AREA: 25.59 AC.
ZONING: OT

3. OWNER NAME: TRP SUBURBAN SECOND INC
ADDRESS: 8890 MCDONOUGH ROAD
OWINGS MILLS, MARYLAND 21117
TAX ACCOUNT #: 2200029734
LAND AREA: 25.59 AC.
ZONING: OT

4. OWNER NAME: TRP SUBURBAN SECOND INC
ADDRESS: 8890 MCDONOUGH ROAD
OWINGS MILLS, MARYLAND 21117
TAX ACCOUNT #: 2200029734
LAND AREA: 25.59 AC.
ZONING: OT

5. OWNER NAME: OWINGS CHOICE HOMEOWNERS ASSOCIATION
ADDRESS: OWINGS CHOICE COURT
OWINGS MILLS, MARYLAND 21117
TAX ACCOUNT #: 2200018215
LAND AREA: 5.71 AC.
ZONING: R

6. OWNER NAME: OWINGS CHOICE HOMEOWNERS ASSOCIATION
ADDRESS: OWINGS CHOICE COURT
OWINGS MILLS, MARYLAND 21117
TAX ACCOUNT #: 2200018215
LAND AREA: 5.71 AC.
ZONING: R

7. OWNER NAME: OWINGS CHOICE HOMEOWNERS ASSOCIATION
ADDRESS: OWINGS CHOICE COURT
OWINGS MILLS, MARYLAND 21117
TAX ACCOUNT #: 2200018215
LAND AREA: 5.71 AC.
ZONING: R

8. OWNER NAME: OWINGS CHOICE HOMEOWNERS ASSOCIATION
ADDRESS: OWINGS CHOICE COURT
OWINGS MILLS, MARYLAND 21117
TAX ACCOUNT #: 2200018215
LAND AREA: 5.71 AC.
ZONING: R

9. OWNER NAME: OWINGS CHOICE HOMEOWNERS ASSOCIATION
ADDRESS: OWINGS CHOICE COURT
OWINGS MILLS, MARYLAND 21117
TAX ACCOUNT #: 2200018215
LAND AREA: 5.71 AC.
ZONING: R

10. OWNER NAME: OWINGS CHOICE HOMEOWNERS ASSOCIATION
ADDRESS: OWINGS CHOICE COURT
OWINGS MILLS, MARYLAND 21117
TAX ACCOUNT #: 2200018215
LAND AREA: 5.71 AC.
ZONING: R

11. OWNER NAME: OWINGS CHOICE HOMEOWNERS ASSOCIATION
ADDRESS: OWINGS CHOICE COURT
OWINGS MILLS, MARYLAND 21117
TAX ACCOUNT #: 2200018215
LAND AREA: 5.71 AC.
ZONING: R

1. THIS PLAN WAS PREPARED USING AN APPROVED PLAN ENTITLED SITE PLAN BY DART-MACQUE-WALKER DATED 08-01-2008 AND SHOULD NOT BE CONSTRUED AS AN ACCURATE SURVEY.
2. THE PROPOSED FACILITY WILL CAUSE "DE MINIMIS" INCREASE IN STORMWATER RUNOFF. THEREFORE, NO DRAINAGE STRUCTURES ARE PROPOSED.
3. NO NOISE, SMOKE, DUST, OR ODOR WILL RESULT FROM THIS FACILITY.
4. THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. (THERE IS NO HANDICAP ACCESS REQUIRED).
5. THE FACILITY IS UNMANNED AND DOES NOT REQUIRE PORTABLE WATER OR SANITARY SERVICE.
6. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988).
7. THE PROPOSED DEVELOPMENT DOES NOT INCLUDE STREET SIGNS OF ANY TYPE.
8. THE PROPOSED DEVELOPMENT DOES NOT INCLUDE OUTDOOR STORAGE OR ANY SOLID WASTE RECEPTACLES.
9. ACCORDING TO THE F.I.R.M. COMMUNITY PANEL #2400100220C, DATED 09-03-1992, THE PROPOSED SITE IS NOT IN A FLOOD PLAN.

SECTION 426.6.A:

A. SETBACKS [BUL NO. 17-2002]

1. A TOWER SHALL BE SET BACK AT LEAST 200 FEET FROM ANY OTHER OWNER'S RESIDENTIAL PROPERTY LINE.

2. A STRUCTURE HOUSING EQUIPMENT FOR A TOWER SHALL MEET THE MINIMUM SETBACK REQUIREMENTS FROM ANY OTHER OWNER'S PROPERTY OR ZONE LINE.

3. NONWALL-STANDING THE PROVISIONS OF SECTION 109 OF THESE TOWER ARE REQUIRED TO BE SETBACK FROM THE PROPERTY LINE OF THE TOWER.

4. LOCATED ON THE SAME OWNER'S PROPERTY, A YARD OF SETBACK IS NOT REQUIRED BETWEEN THE STRUCTURES.

B. EXCEPT AS REQUIRED BY THE FEDERAL AVIATION ADMINISTRATION.

1. STROBOSCOPIC LIGHTS ARE NOT PERMITTED ON A TOWER.

2. THE TOWER, ANTENNA AND SUPPORTING LINES SHALL BE NEUTRAL IN COLOR.

C. IF A TOWER IS LOCATED IN A RESIDENTIAL OR TRANSITIONAL ZONE, ANY STRUCTURE HOUSING EQUIPMENT FOR THE TOWER SHALL BE:

1. SCREENED IN ACCORDANCE WITH THE LANDSCAP MANUAL, CLASS "A" SCREENING REQUIREMENTS.

2. FACED WITH A MATERIAL COMPATIBLE WITH BUILDINGS OR STRUCTURES SURROUNDING THE TOWER.

D. UPON COMPLETION OF A TOWER AND EVERY FIVE YEARS AFTER THE DATE OF COMPLETION, THE OWNER OF THE TOWER SHALL SUBMIT TO THE CODE OFFICIAL WRITTEN CERTIFICATION FROM A PROFESSIONAL ENGINEERING VERIFYING THAT THE TOWER AND ANY STRUCTURE HOUSING EQUIPMENT FOR THE TOWER MEETS ALL APPLICABLE BUILDING CODE AND SAFETY REQUIREMENTS.

E. THE OWNER OF A TOWER SHALL SUBMIT ANNUALLY TO THE TOWER COORDINATOR WRITTEN CERTIFICATION OF THE NUMBER OF PROVIDERS AND ANTENNAS OF THE TOWER.

SECTION 209.4.C:

A. MINIMUM NET LOT AREA: 30,000 SQUARE FEET, EXCEPT THAT PUBLIC UTILITY USES SHALL BE EXEMPT FROM MINIMUM NET LOT AREA REQUIREMENTS. THE TERM "NET LOT AREA" SHALL BE USED HEREIN AS USED HEREIN DOES NOT INCLUDE THE PORTION OF ANY LOT WHICH IS WITHIN A STREET RIGHT-OF-WAY.

B. MINIMUM LOT WIDTH AT BUILDING LINE: 150 FEET, EXCEPT THAT PUBLIC UTILITY USES SHALL BE EXEMPT FROM MINIMUM LOT WIDTH REQUIREMENTS.

C. BUILDING SETBACKS

1. MINIMUM SETBACK FROM ANY LOT LINE OTHER THAN A STREET LINE: 50 FEET. THE MINIMUM SETBACK MAY BE REDUCED TO ZERO FOR THE PURPOSES OF INTEGRATING, ADJOINING OR CONNECTING STRUCTURES ON CONTIGUOUS LOTS WITH THE EXPRESSED APPROVAL OF THE OWNER OF THE CONTIGUOUS LOT.

2. MINIMUM SETBACK FROM ANY STREET LINE: 50 FEET.

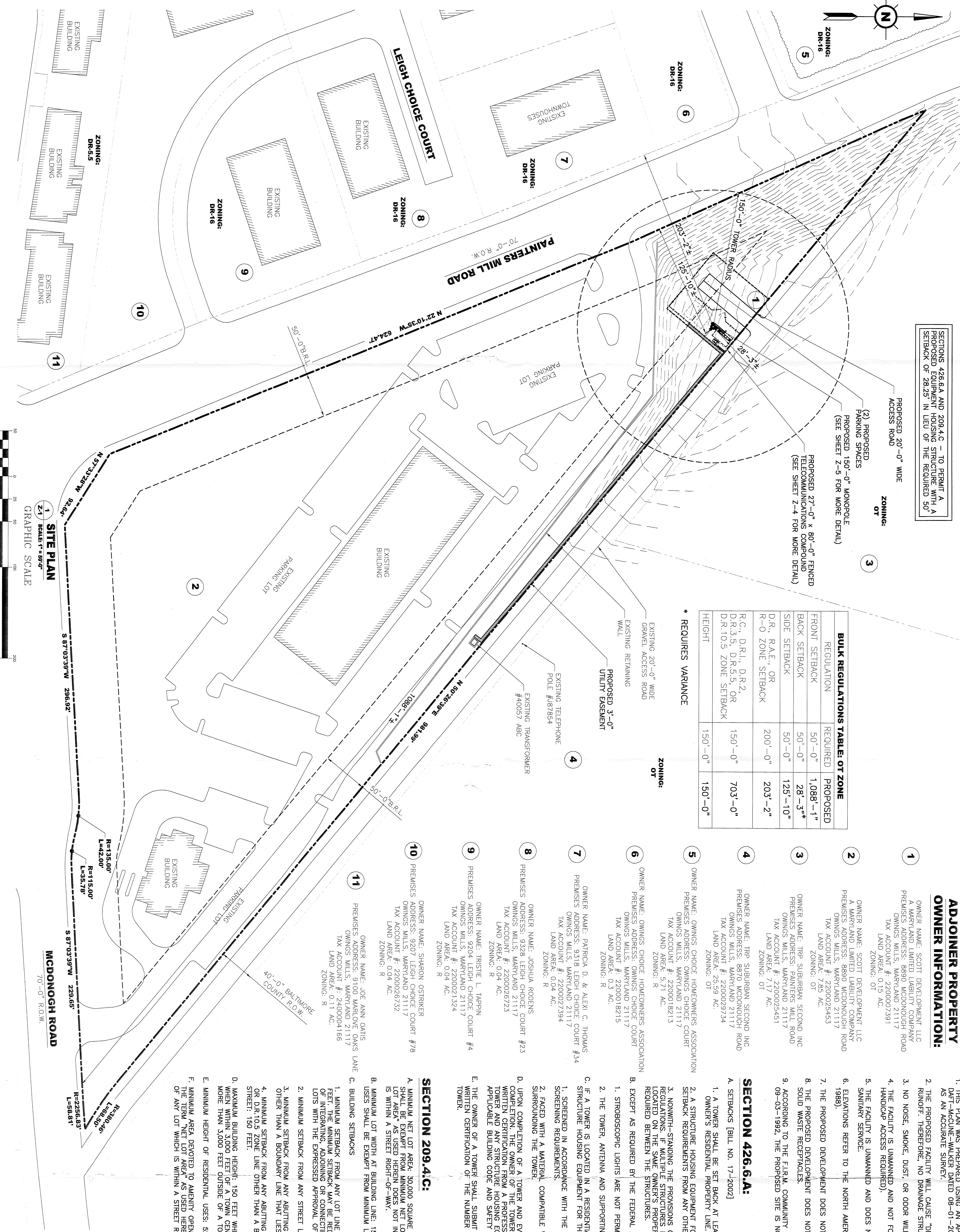
3. MINIMUM SETBACK FROM ANY ADJOINING D.R., R.A.E. OR R-O ZONE LINE OTHER THAN A BOUNDARY LINE THAT LIES WITHIN A STREET: 50 FEET.

4. MINIMUM SETBACK FROM ANY ADJOINING R.C., D.R.1., D.R.2, D.R.3.5, D.R.5.5 OR D.R.10.5 ZONE LINE OTHER THAN A BOUNDARY LINE THAT LIES WITHIN A STREET: 150 FEET.

D. MAXIMUM BUILDING HEIGHT: 150 FEET WHEN LOCATED IN A TOWN CENTER OR WHEN WITHIN 3,000 FEET OF A TOWN CENTER BOUNDARY; 60 FEET WHEN LOCATED MORE THAN 3,000 FEET OUTSIDE OF A TOWN CENTER.

E. MINIMUM HEIGHT OF RESIDENTIAL USES: 52 FEET.

F. MINIMUM AREA DEVOTED TO AMENITY OPEN SPACE: 25% OF THE NET LOT AREA. THE TERM "NET LOT AREA" AS USED HEREIN DOES NOT INCLUDE THE PORTION OF ANY LOT WHICH IS WITHIN A STREET RIGHT-OF-WAY.



1 SITE PLAN SCALE: 1" = 50'-0"



(IN FEET)

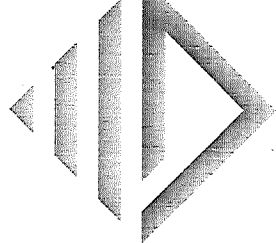
(SCALE BASED ON FULL SIZE 24"x36" SHEETS ONLY)
(DO NOT USE SCALE ON OTHER SIZED DRAWINGS)



PROFESSIONAL ENGINEER, CIVIL
THIS DRAWING DOES NOT INCLUDE ANY NECESSARY
CONSTRUCTION WHICH IS DONE IN COMPLIANCE
WITH THE PROVISIONS OF THE PROFESSIONAL
ENGINEERING ACT OF 1939 AND ALL RULES AND REGULATIONS
THAT THEREAFTER MAY BE ADOPTED BY THE BOARD OF
ENGINEERS.

6/12/15

ANDREW M. MILLER, P.E.
REGISTERED PROFESSIONAL ENGINEER
CERTIFY THAT THESE DOCUMENTS WERE
PREPARED OR APPROVED BY ME, AND THAT I
AM A LICENSED PROFESSIONAL ENGINEER
ENGINEER UNDER THE LAWS OF THE STATE OF
MARYLAND, LICENSE NO. 41897, EXPIRATION
DATE 09-05-16



7055 SAMUEL MORSE DRIVE, SUITE 100
COLUMBIA, MARYLAND 21046
OFFICE: (410) 953-7400
FAX: (410) 953-7406

advantage engineers

6996 COLUMBIA GATEWAY DRIVE, SUITE 203
COLUMBIA, MARYLAND 21046
PHONE (410) 367-0003
FAX (410) 367-0013

SCHEDULE OF REVISIONS

NO.	DATE	DESCRIPTION OF CHANGES
1	06-12-15	ISSUED FOR CONSTRUCTION (ZDS)
2	06-12-15	REV. PER CLIENT COMMENTS (ZDS)
3	04-09-15	REV. PER CLIENT COMMENTS (ZDS)
4	02-19-13	REV. PER CLIENT COMMENTS (ZDS)
5	01-23-13	REV. PER CLIENT COMMENTS (ZDS)
6	08-27-12	ISSUED FOR ZONING (ZDS)
7	08-20-12	ISSUED FOR 100% REVIEW (ZDS)
8	02-03-11	ISSUED FOR 50% REVIEW (ZDS)

DRAWN BY:	JIK
CHECKED BY:	NOTED
SCALE:	NOTED
JOB NO:	M080710.00
DRAWING TITLE:	

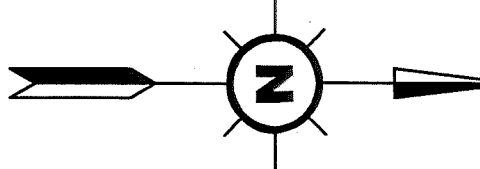
SITE PLAN

DRAWING SHEET:

Z-1

SITE NAME:
RANDALLSTOWN
SITE NUMBER:
WAB0XC0067
SITE ADDRESS:
8890 MCDONOUGH ROAD
OWINGS MILLS, MARYLAND
21117

SHEET NO. 2 OF 7



LINE	BEARING	DISTANCE
L1	N 50°56'32" W	80.00'
L2	S 39°53'21" E	80.00'
L3	N 50°56'32" W	80.00'
L4	N 39°53'21" E	80.00'
L5	N 50°56'32" W	422.17'
L6	S 39°53'21" W	10.50'
L7	N 50°56'32" W	3.00'
L8	N 39°53'21" E	7.50'
L9	N 50°56'32" W	416.17'
L10	S 39°53'21" W	47.00'
L11	N 50°56'32" W	3.00'
L12	N 39°53'21" E	50.00'

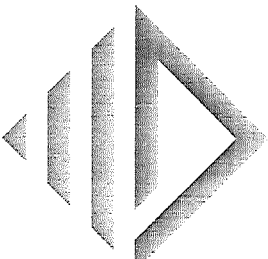
DESCRIPTION OF A 3-FOOT UTILITY EASEMENT:



Together with Nextel.

COLUMBIA, MARYLAND 21046

FAX: (410) 953-7406



advantage engineers

6996 COLUMBIA GATEWAY DRIVE, SUITE 203

COLUMBIA, MARYLAND 21046

FAX (443) 367-0015

SCHEDULE OF REVISIONS		
REV. NO.	DATE	DESCRIPTION OF CHANGES
7	06-12-16	ISSUED FOR CONSTRUCTION (ZDS)
6	06-12-16	REV. / PER CLIENT COMMENTS (ZDS)
5	04-09-16	REV. / PER CLIENT COMMENTS (ZDS)
4	02-19-13	REV. / PER CLIENT COMMENTS (ZDS)
3	01-23-13	REV. / PER CLIENT COMMENTS (ZDS)
2	08-27-12	ISSUED FOR ZONING (ZDS)
1	08-28-12	ISSUED FOR 100% REVIEW (ZDS)
0	02-20-17	ISSUED FOR 80% REVIEW (ZDS)

DRAWN BY: JJK

CHECKED BY:

SCALE: NOTED

JOB NO: M050110.00

DRAWING TITLE:

SURVEY AND EASEMENT INFO

DRAWING SHEET

NS

SITE NAME:
RANDALLSTOWN

WA80XC067

SITE ADDRESS:

**8890 McDONOUGH ROAD
OWINGS MILLS, MARYLAND**

2117

SHEET NO. 3 OF 7



6/12/15

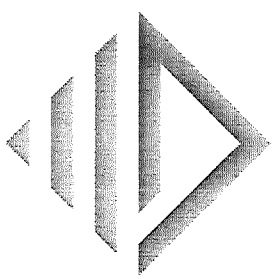
Know what's below

PROTECT YOURSELF, GIVE THREE
WORKING DAYS NOTICE

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATION DERIVE TO ARCHITECTURAL.



Together with Nextel.
7055 SAMUEL MORSE DRIVE, SUITE 100
COLUMBIA, MARYLAND 21046
OFFICE: (410) 953-7400
FAX: (410) 953-7406



advantage engineers

6996 COLUMBIA GATEWAY DRIVE, SUITE 203
COLUMBIA, MARYLAND 21046
TEL: (410) 367-0013
FAX: (410) 367-0013

SCHEDULE OF REVISIONS

NO.	DATE	DESCRIPTION OF CHANGES
7	06-12-15	ISSUED FOR CONSTRUCTION (ZDS)
6	06-12-15	REV. PER CLIENT COMMENTS (ZDS)
5	04-09-15	REV. PER CLIENT COMMENTS (ZDS)
4	02-19-13	REV. PER CLIENT COMMENTS (ZDS)
3	01-23-13	REV. PER CLIENT COMMENTS (ZDS)
2	08-27-12	ISSUED FOR ZONING (ZDS)
1	08-20-12	ISSUED FOR 100% REVIEW (ZDS)
0	02-03-11	ISSUED FOR 90% REVIEW (ZDS)

DRAWN BY: JJK

CHECKED BY: NOTED

SCALE: NOTED

JOB NO: M060710.00

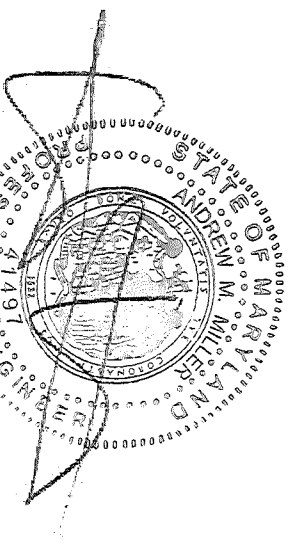
DRAWING TITLE: ZONING MAPS

DRAWING SHEET:

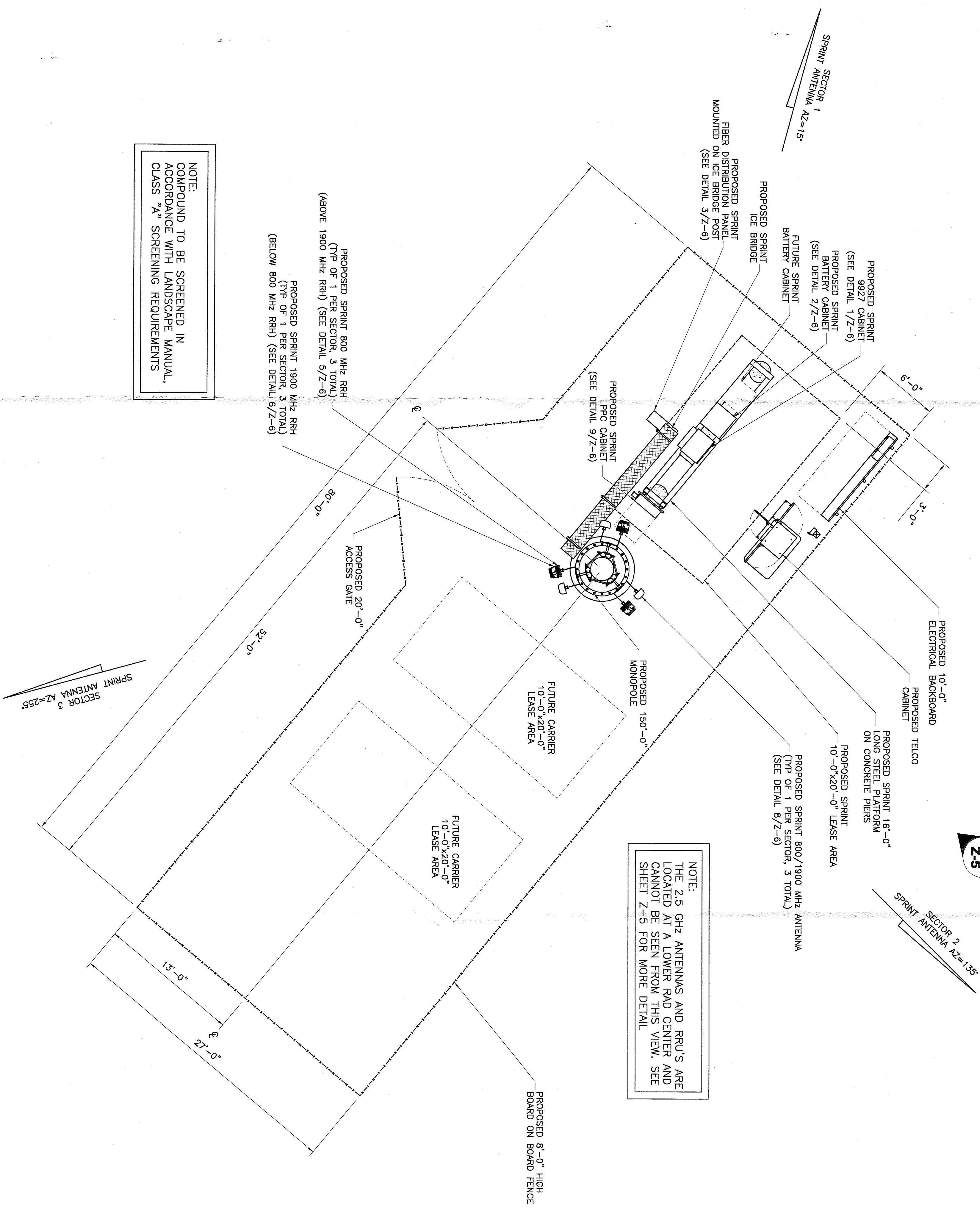
Z-3

SITE NAME:
RANDALLSTOWN
SITE NUMBER:
WA80XC067
SITE ADDRESS:
8890 MCDONOUGH ROAD
OWINGS MILLS, MARYLAND
21117

SHEET NO. 4 OF 7



ANDREW M. MILLER, P.E.
"PROFESSIONAL CERTIFICATION, I HEREBY
CERTIFY THAT THESE DOCUMENTS WERE
PREPARED BY ME OR UNDER MY CLOSE
PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE OF
MARYLAND, LICENSE NO. 1954-0130-SPH-A,
EXPIRATION DATE 06/30/15."



NOTE:
COMPOUND TO BE SCREENED IN
ACCORDANCE WITH LANDSCAPE MANUAL,
CLASS "A" SCREENING REQUIREMENTS

(IN FEET)
3/16 inch = 1 ft.
(SCALE BASED ON FULL SIZE 24"x36" SHEETS ONLY)
(DO NOT USE SCALE ON OTHER SIZED DRAWINGS)

1. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES ORDINANCES, LAWS AND REGULATIONS OF ALL MUNICIPALITIES, UTILITY COMPANIES OR OTHER PUBLIC AUTHORITIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS THAT MAY BE REQUIRED BY ANY FEDERAL, STATE, COUNTY OR MUNICIPAL AUTHORITIES.
3. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER, IN WRITING, OF ANY CONFLICTS, ERRORS OR OMISSIONS PRIOR TO THE SUBMISSION OF BIDS OR PERFORMANCE OF WORK. MINOR OMISSIONS OR ERRORS IN THE BID PROJECT IN ACCORDANCE WITH THE OVERALL INTENT OF THESE DRAWINGS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SITE IMPROVEMENTS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED AS A RESULT OF CONSTRUCTION OF THIS FACILITY.
5. THE SCOPE OF WORK FOR THIS PROJECT SHALL INCLUDE PROVIDING ALL MATERIALS, EQUIPMENT AND LABOR REQUIRED TO COMPLETE THIS PROJECT. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
6. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTING A BID TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
7. THIS PLAN WAS PREPARED USING AN APPROVED PLAN ENTITLED SITE PLAN BY DART-MCCUE-WALKER DATED 08-01-2008 AND SHOULD NOT BE CONSTRUCTED AS AN ACCURATE SURVEY.
8. THE PROPOSED RUNOFF WILL CAUSE ONLY A "DE MINIMIS" INCREASE IN STORMWATER RUNOFF. THEREFORE, NO DRAINAGE STRUCTURES ARE PROPOSED.
9. NO NOISE, SMOKE, DUST, OR ODOR WILL RESULT FROM THIS FACILITY.
10. THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION (THERE IS NO HANDICAP ACCESS REQUIRED).
11. THE FACILITY IS UNMANNED AND DOES NOT REQUIRE PORTABLE WATER OR SANITARY SERVICE.
12. POWER TO THE FACILITY WILL BE MONITORED BY A SEPARATE METER.
13. CONTRACTOR SHALL VERIFY ANTENNA ELEVATION AND AZIMUTH WITH RF ENGINEERING PRIOR TO INSTALLATION.
14. MOUNTS AND ANTENNAS ARE DESIGNED TO MEET ANS/TIA-222-G AS PER IBC 2015 REQUIREMENTS.
15. ALL STRUCTURAL ELEMENTS SHALL BE HOT DIPPED GALVANIZED STEEL.
16. CONTRACTOR SHALL MAKE A UTILITY "ONE CALL" TO LOCATE ALL UTILITIES PRIOR TO EXCAVATING.
17. IF ANY PIPING EXISTS BENEATH THE SITE AREA, CONTRACTOR MUST LOCATE IT AND CONTACT OWNERS REPRESENTATIVE.
18. CONSTRUCTION TO COMMENCE UPON COMPLETION OF A PASSING STRUCTURAL ANALYSIS. STRUCTURAL ANALYSIS TO BE PERFORMED BY OTHERS.



6996 COLUMBIA GATEWAY DRIVE, SUITE 100
COLUMBIA, MARYLAND 21046
PHONE (443) 367-0003
FAX (443) 367-0013

SCHEDULE OF REVISIONS	
7	06-12-16 ISSUED FOR CONSTRUCTION (ZDS)
6	06-12-15 REV. PER CLIENT COMMENTS (ZDS)
5	04-08-15 REV. PER CLIENT COMMENTS (ZDS)
4	02-18-13 REV. PER CLIENT COMMENTS (ZDS)
3	01-23-13 REV. PER CLIENT COMMENTS (ZDS)
2	08-27-12 ISSUED FOR ZONING (ZDS)
1	08-20-12 ISSUED FOR 100% REVIEW (ZDS)
0	02-23-11 ISSUED FOR 80% REVIEW (ZDS)
REV. NO.	DISCUSSION OF CHANGES

BY: JIK

ED BY:

NOTED

M050110.

ING TITLE:

COMPOUND PLAN

DRAWING SHEET:

N4

SITE NAME:
RANDALLSTOWN

SITE NUMBER:

WAGUACUO

90 MCDONOUGH

OWINGS MILLS, MARYLAND

2117

SHEET NO. 5 OF 7



6/12/15

ANDREW M. MILLER, P.E.

**Know what's below.
Call before you dig.**

PROTECT YOURSELF. GIVE THREE
WORKING DAYS NOTICE.

THIS DRAWING DOES NOT INCLUDE NECESSARY
COMPONENTS FOR CONSTRUCTION SAFETY. ALL
CONSTRUCTION MUST BE DONE IN COMPLIANCE
WITH THE FEDERAL SAFETY ACT OF 1970 AND ALL RULES AND REGULATION
THERE TO APPURTENANT.

SCHEDULE OF REVISIONS		
7	06-12-15	ISSUED FOR CONSTRUCTION (ZD'S)
6	06-12-15	REV. PER CLIENT COMMENTS (ZD'S)
5	04-09-15	REV. PER CLIENT COMMENTS (ZD'S)
4	02-19-13	REV. PER CLIENT COMMENTS (ZD'S)
3	01-23-13	REV. PER CLIENT COMMENTS (ZD'S)
2	08-27-12	ISSUED FOR ZONING (ZD'S)
1	08-20-12	ISSUED FOR 100% REVIEW (ZD'S)
0	02-03-11	ISSUED FOR 90% REVIEW (ZD'S)
REV. NO.	DATE	DESCRIPTION OF CHANGES

DRAWN BY:	JJK
CHECKED BY:	
SCALE:	NOTED
JOB NO:	M050110.00
DRAWING TITLE:	

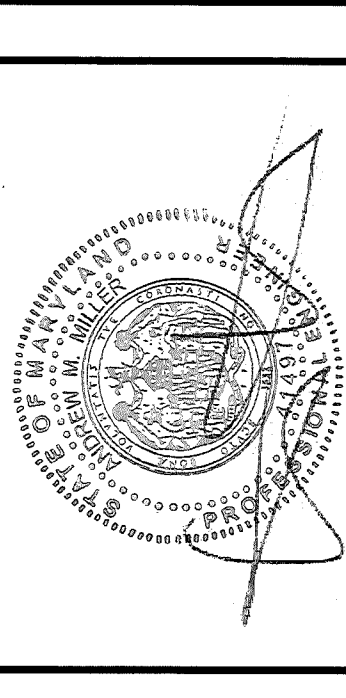
EQUIPMENT AND ANTENNA DETAILS

DRAWING SHEET:

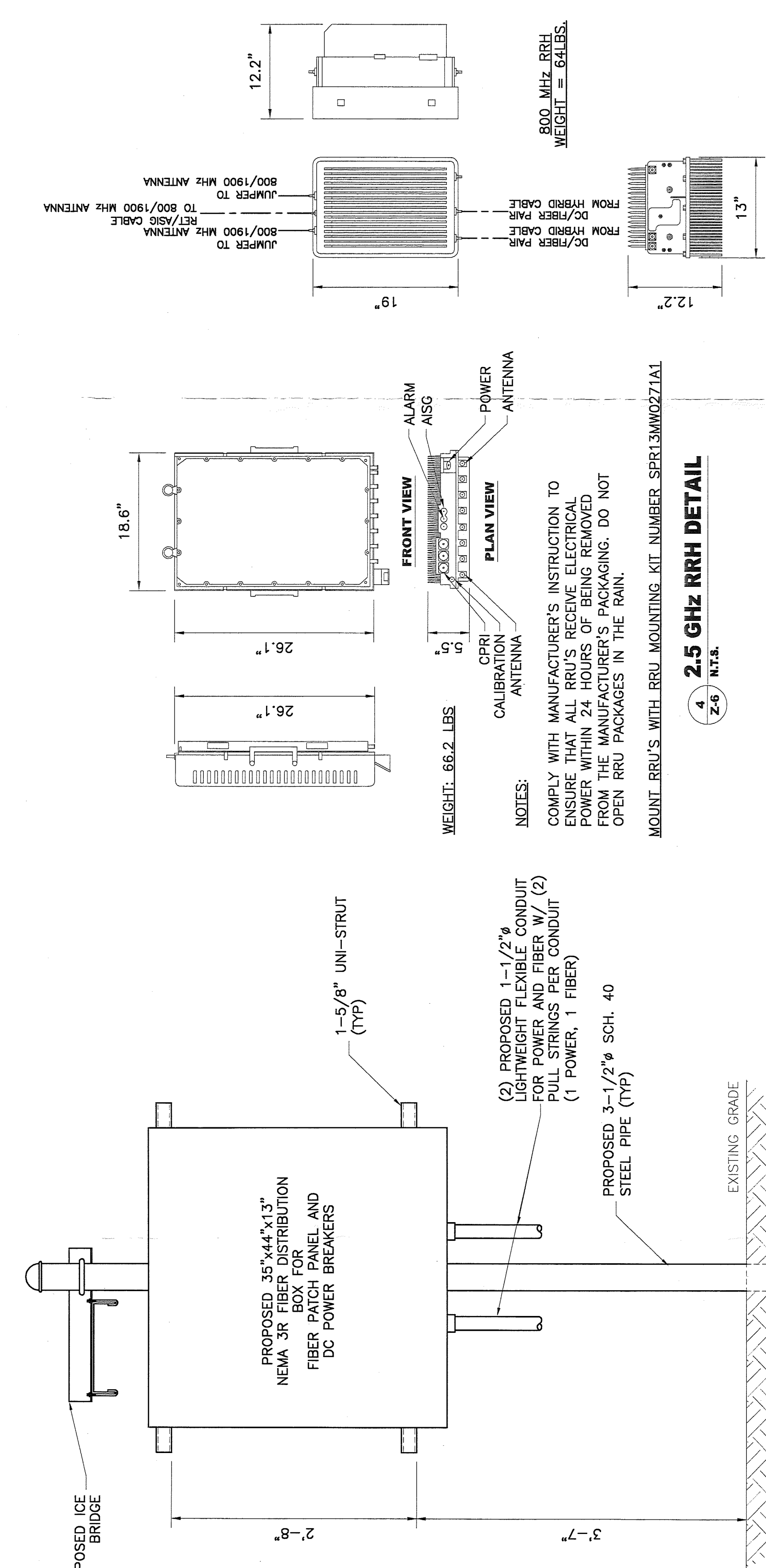
Z-6

SITE NAME:
RANDALLSTOWN
SITE NUMBER:
WA80XC067
SITE ADDRESS:
8890 MCDONOUGH ROAD
OWINGS MILLS, MARYLAND
21117

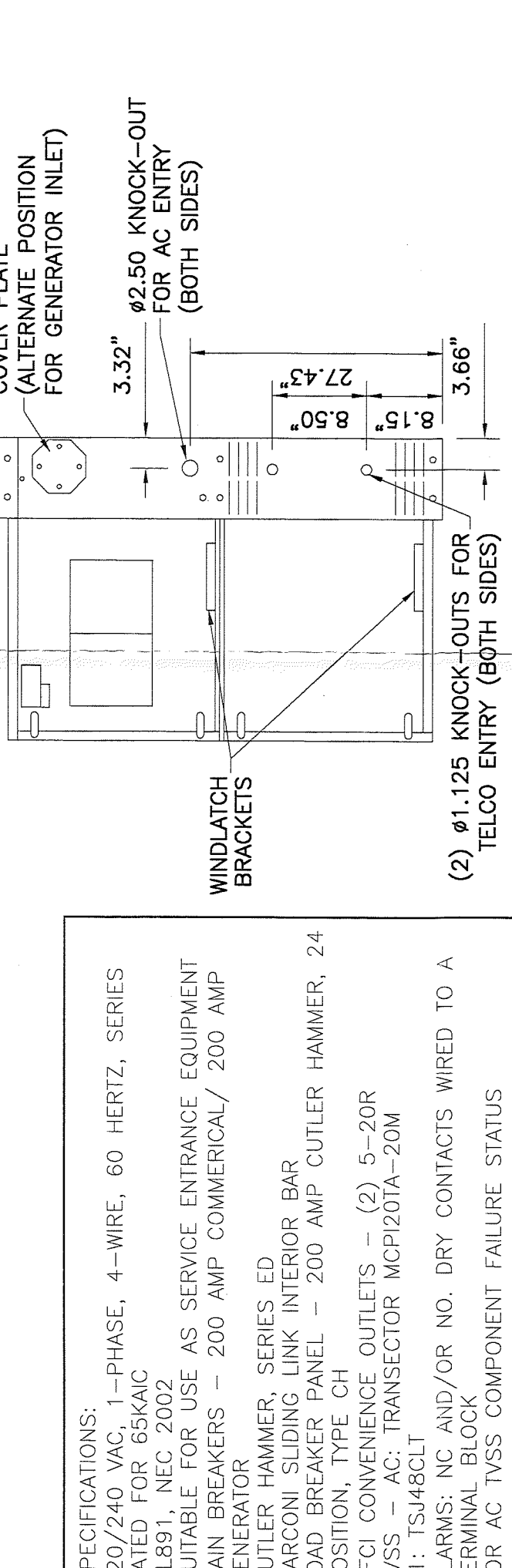
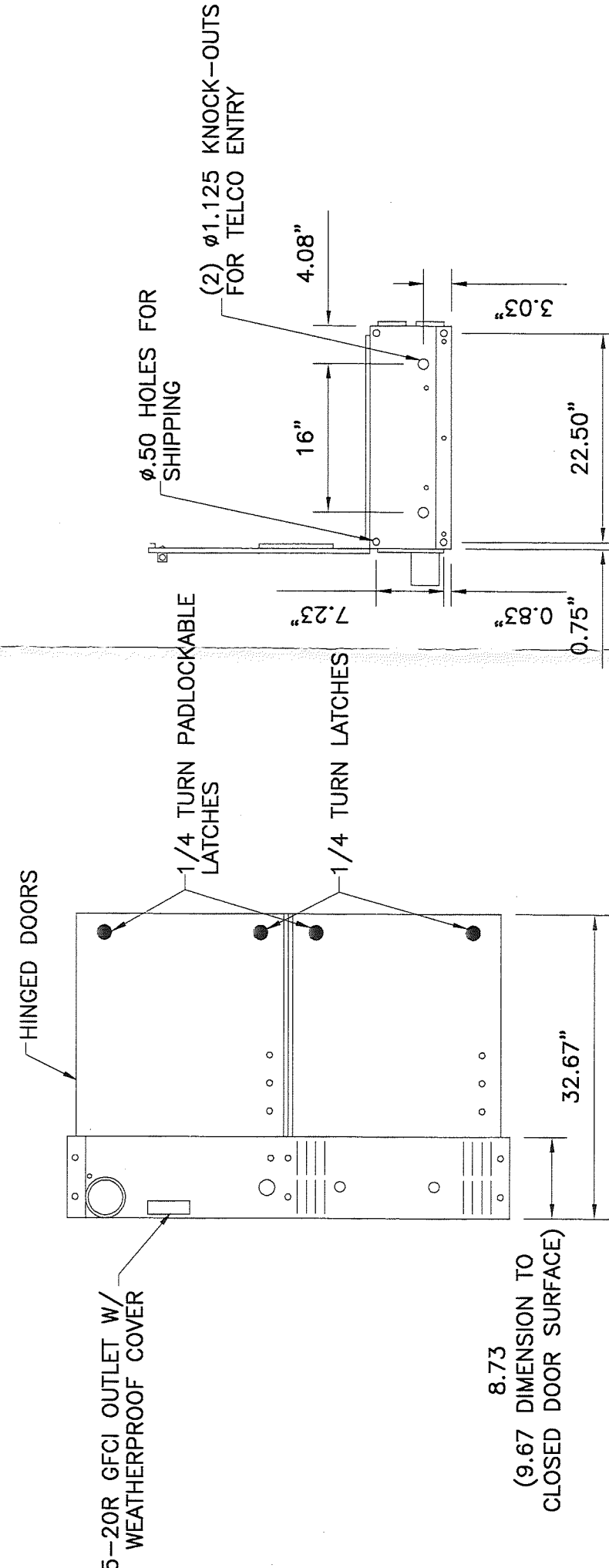
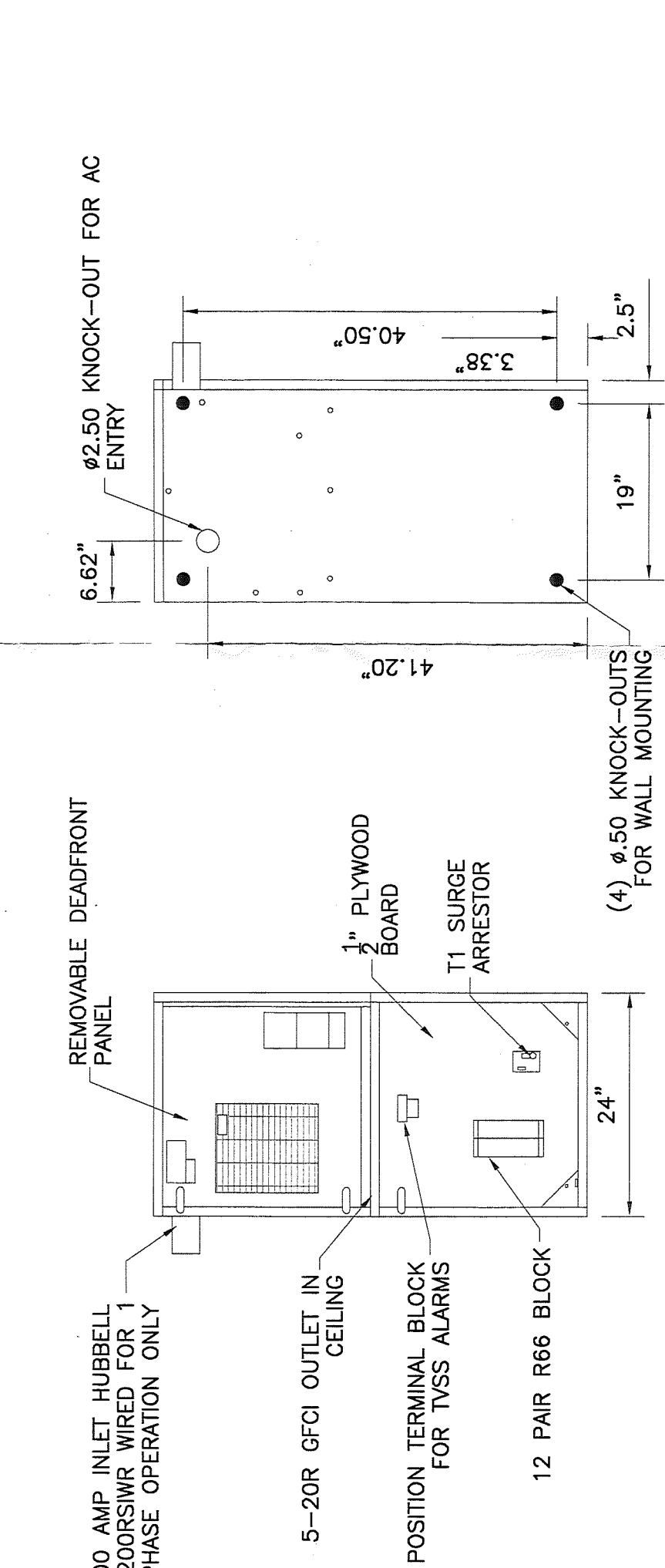
SHEET NO. 7 OF 7



ANDREW M. MILLER, P.E.
"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 11111, EXPIRATION DATE 06-01-16"

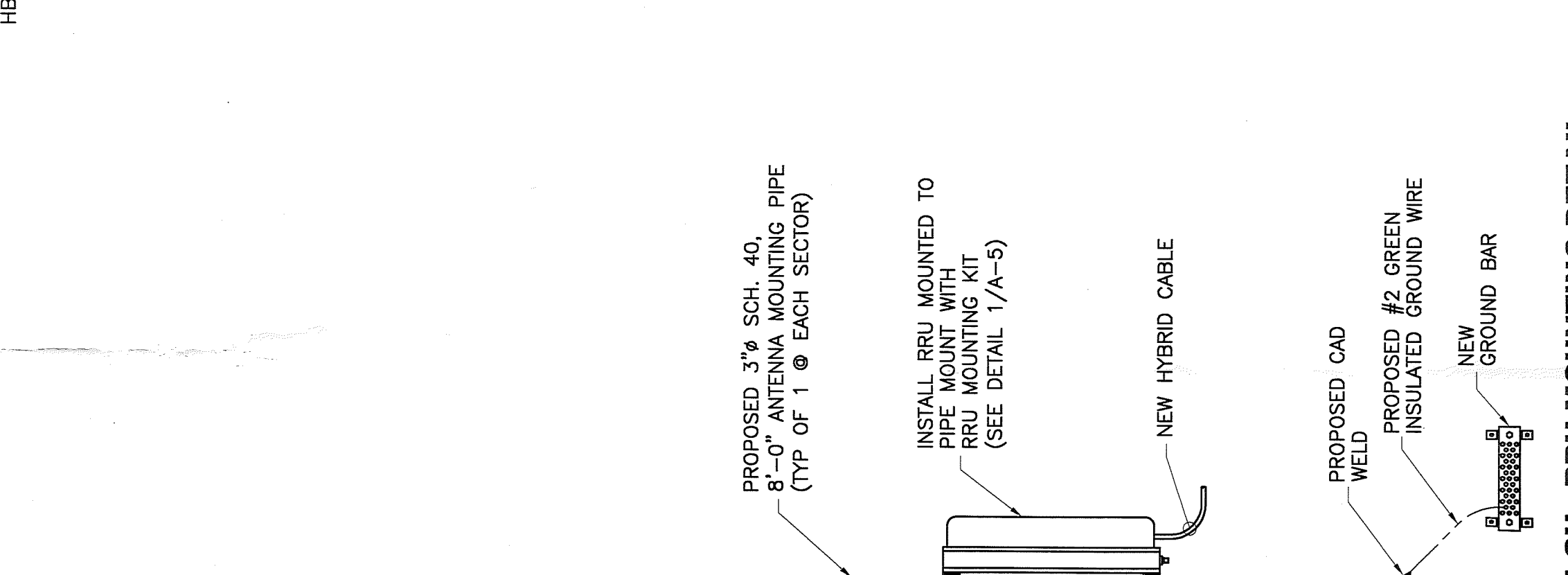


800 MHz RRH DETAIL
5 Z-6 N.T.S.

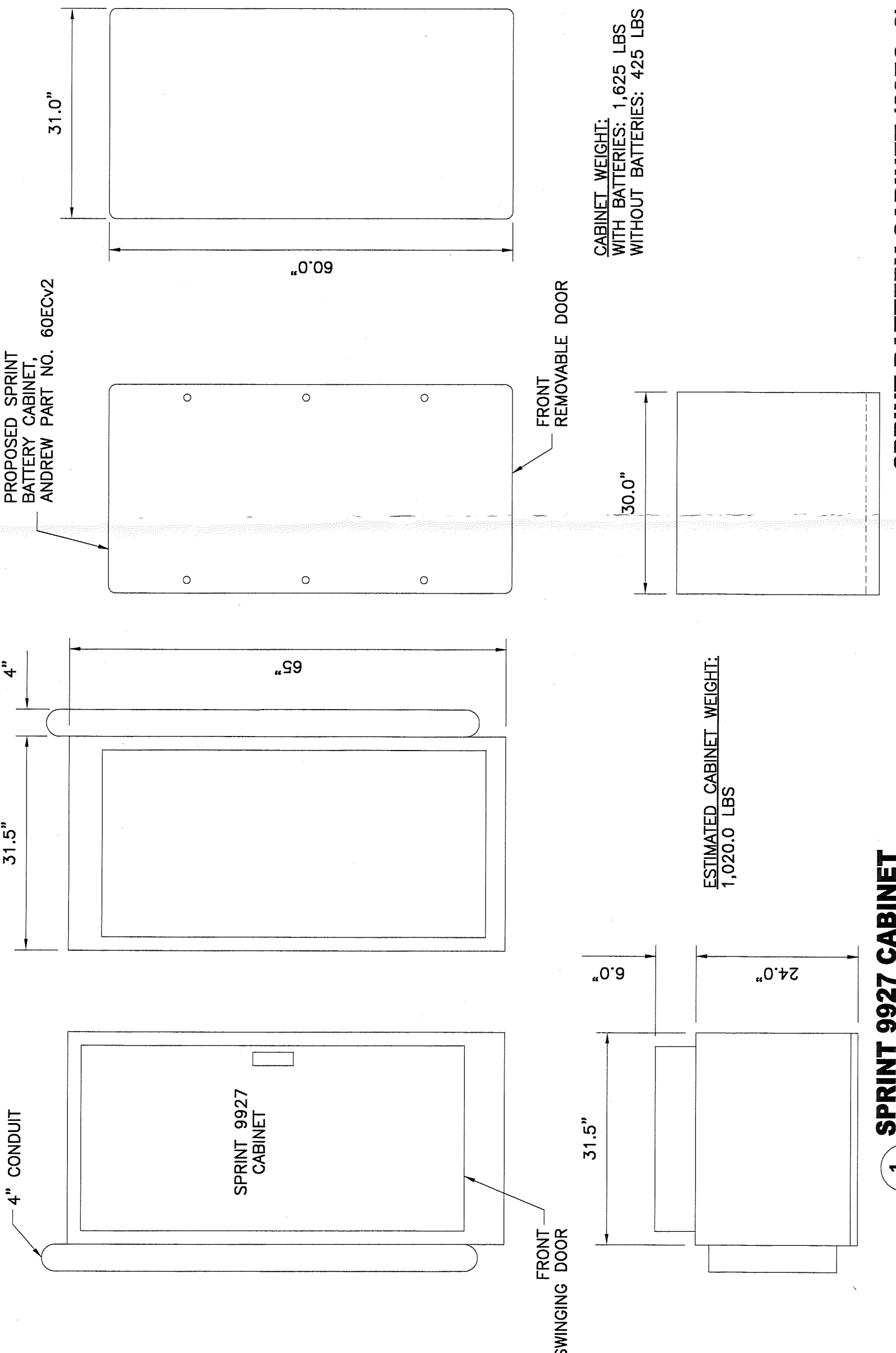


PPC CABINET DETAIL
11 Z-6 N.T.S.

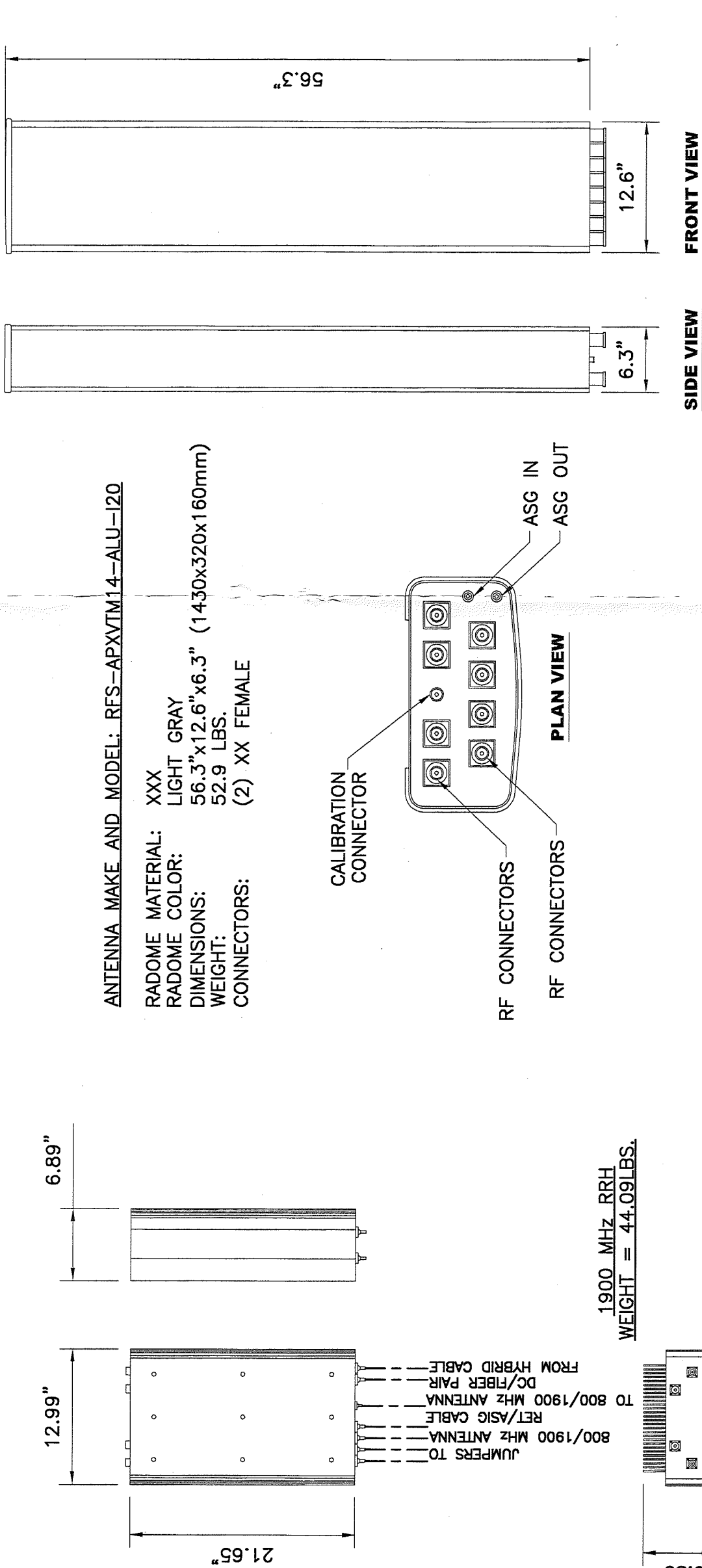
PROPOSED BACKBOARD DETAIL
3 Z-6 N.T.S.



2.5 GHz RRU MOUNTING DETAIL
10 Z-6 N.T.S.

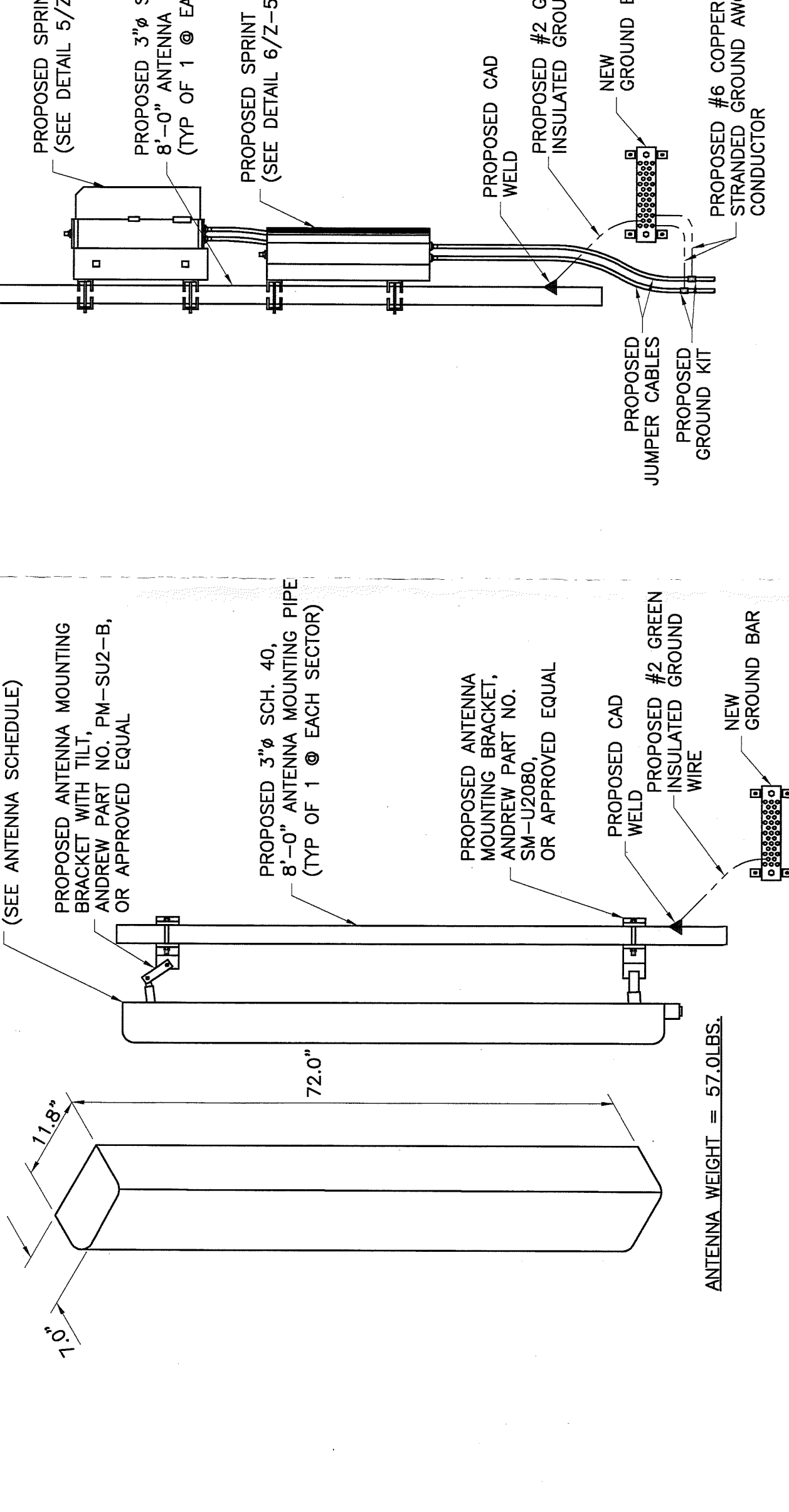


SPRINT 9927 CABINET
1 Z-6 N.T.S.

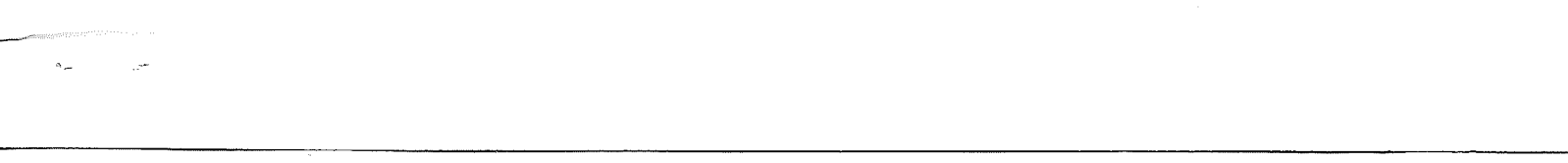


SPRINT BATTERY CABINET (60ECV2)
2 Z-6 N.T.S.

APXVTM14-ALU-I20 ANTENNA DETAIL
7 Z-6 N.T.S.



800/1900 MHz RRH MOUNTING DETAIL
9 Z-6 N.T.S.

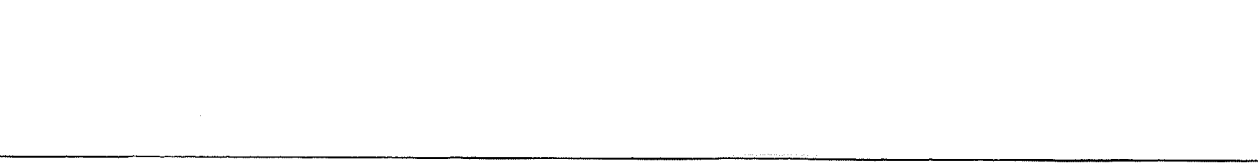


SPRINT 9927 CABINET
1 Z-6 N.T.S.

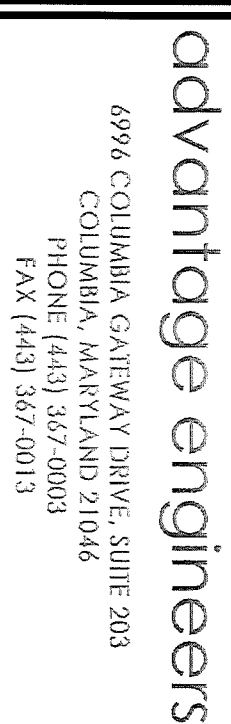
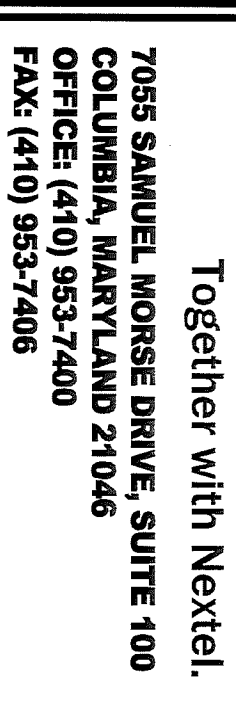


SPRINT BATTERY CABINET (60ECV2)
2 Z-6 N.T.S.

APXVTM14-ALU-I20 ANTENNA DETAIL
7 Z-6 N.T.S.



800/1900 MHz RRH MOUNTING DETAIL
9 Z-6 N.T.S.



DRAWN BY:	JLK
CHECKED BY:	
SCALE:	NOTED
JOB NO:	M050710.00

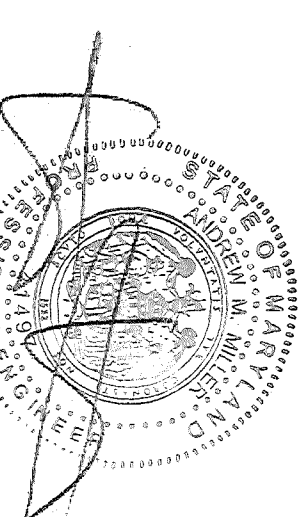
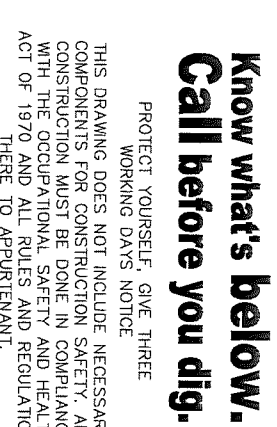
DRAWING SHEET

SITE NAME:
RANDALLSTOWN

SITE NUMBER:
WA80XC067

SITE ADDRESS:
8890 McDONOGH ROAD
OWINGS MILLS, MARYLAND
21117

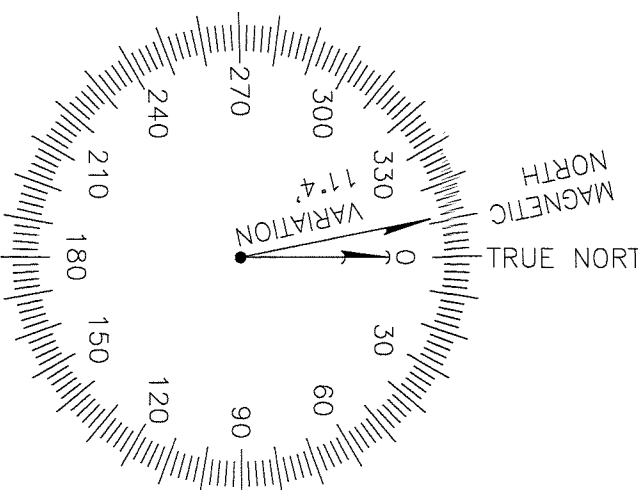
SHEET NO. 6 OF 7



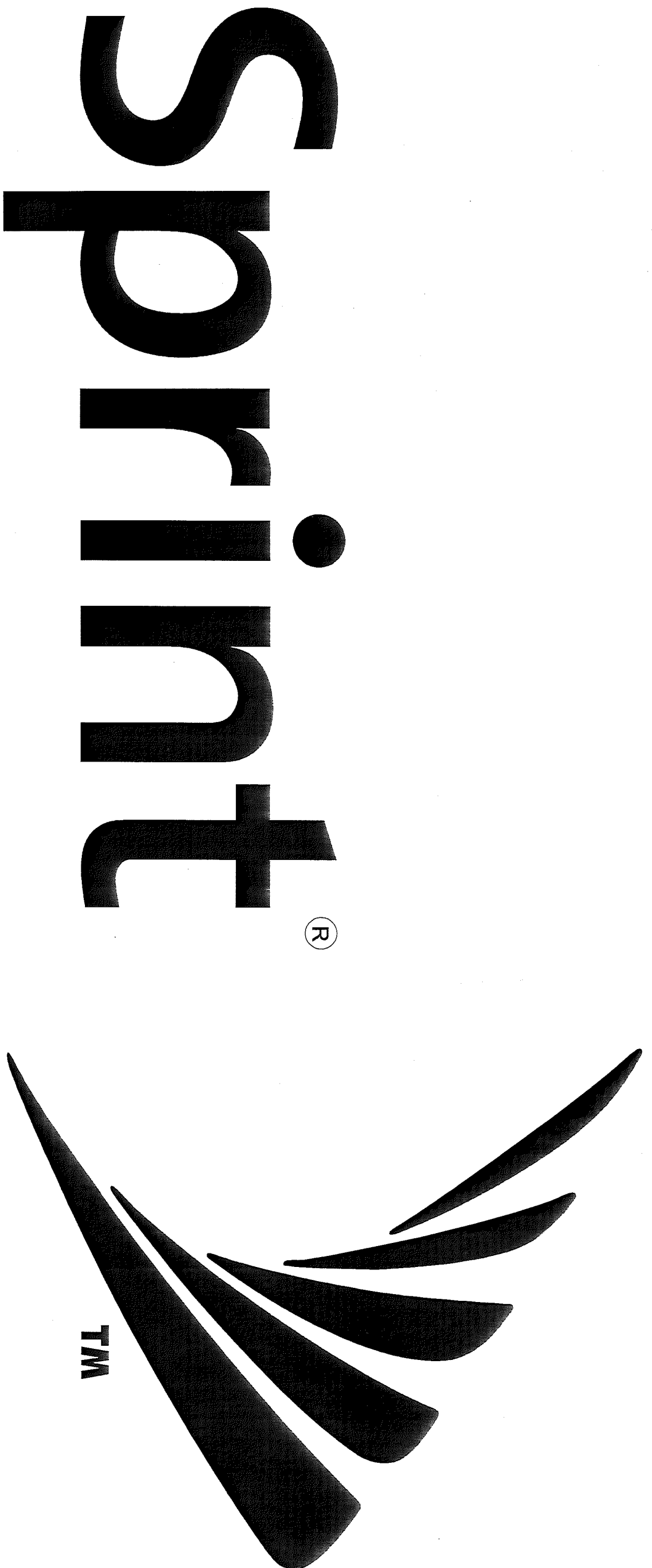
6/12/15

ANDREW M. MILLER, P.E.

"PROFESSIONAL CERTIFICATION, I HEREBY
CERTIFY THAT THESE DOCUMENTS WERE
PREPARED OR APPROVED BY ME, AND THAT
AM A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE OF
MARYLAND, LICENSE NO. 414697, EXPIRATION
DATE: 01-05-16"



MAGNETIC DECLINATION
CALCULATED ON:
04-02-15



Together with Nextel.
SITE NAME:

RANDALLSTOWN

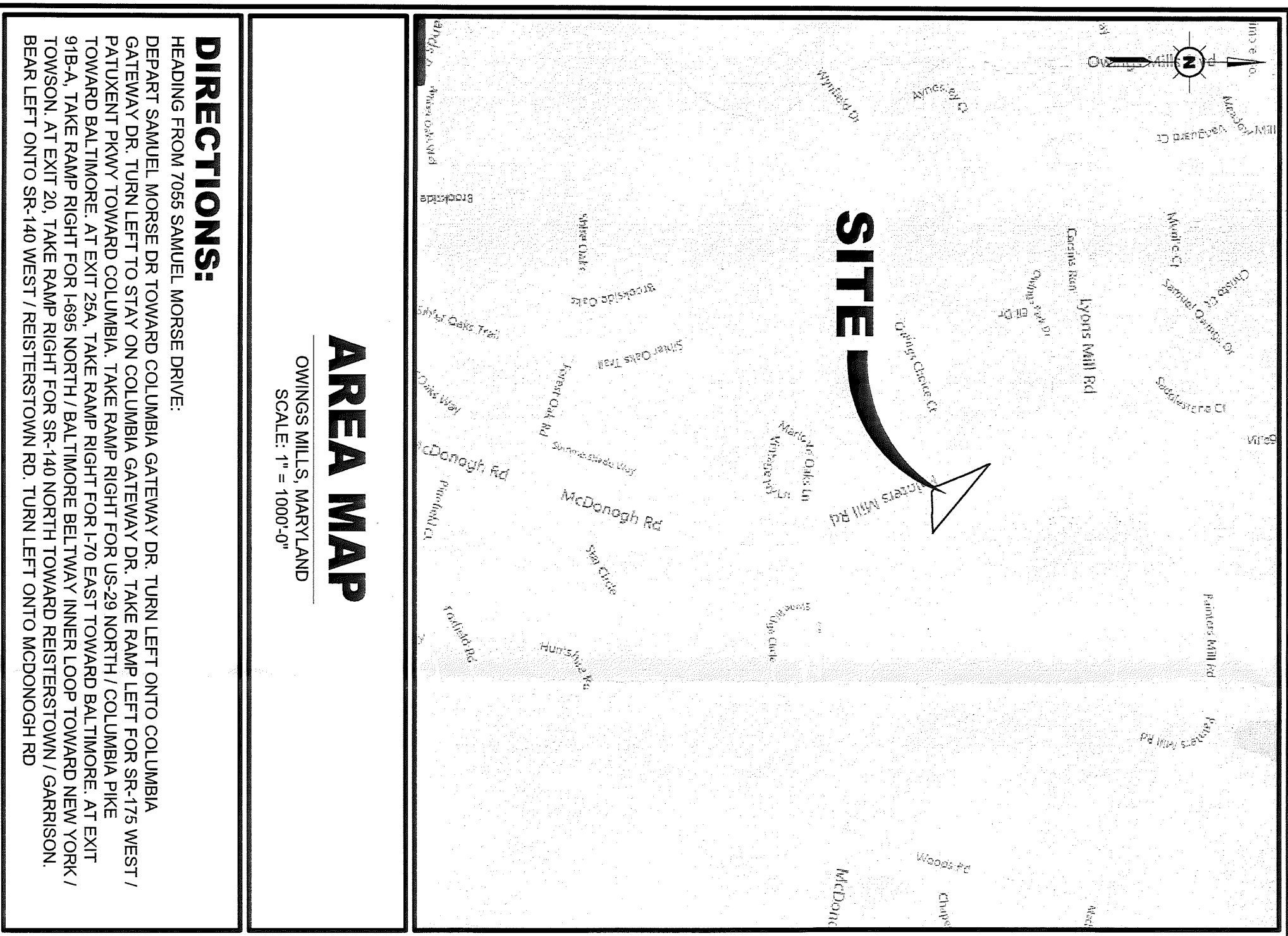
SITE NUMBER:

WA80XC067

SITE NAME:	RANDALLSTOWN
SITE NUMBER:	WA80XC067
SITE ADDRESS:	8890 MCDONOUGH ROAD OWINGS MILLS, MARYLAND 21117
JURISDICTION:	BALTIMORE COUNTY, MARYLAND
ZONING:	OT
COUNCLIMANIC DISTRICT:	5
TAX ACCOUNT ID:	02-2200007391
MAP / PARCEL:	671 / 564
PARCEL SIZE / COMPOUND SIZE:	7.86 AC. / 3,734 S.F.
SITE COORDINATES:	N 39° 23' 31.05" (MAD 83) W 76° 47' 15.31" (MAD 83)
GROUND ELEVATION:	566 ± (AMS)
STRUCTURE TYPE:	MONOPOLE
STRUCTURE HEIGHT:	160' ± AGL (TOP OF MONOPOLE)
ANTENNA RAD CENTER:	146' 6" ± AGL (800' / 900' W/2 ANTENNAS) 138' 6" ± AGL (2.5 GHz ANTENNAS)
GROUND LANDLORD NAME:	SCOTT DEVELOPMENT, LLC A MARYLAND LIMITED LIABILITY COMPANY
GROUND LANDLORD ADDRESS:	8120 FENTON STREET SILVER SPRING, MARYLAND 20910
LANDLORD NAME:	SCOTT DEVELOPMENT, LLC A MARYLAND LIMITED LIABILITY COMPANY
LANDLORD ADDRESS:	8120 FENTON STREET SILVER SPRING, MARYLAND 20910
APPLICANT:	SPRINT 7056 SAMUEL MORSE DRIVE, SUITE 100 COLUMBIA, MARYLAND 21046
APPLICANT PHONE:	(410) 953-7400
APPLICANT FAX:	(410) 953-7406

CODE ANALYSIS	
BUILDING CODE:	IBC 2015
ELECTRICAL CODE:	NEC 2011
FIRE SAFETY CODE:	2012 NFPA 101
USE GROUP:	U (UTILITY)
CONSTRUCTION TYPE:	III

PROJECT DESCRIPTION	
1. NEW 27'-0" X 80'-0" FENCED TELECOMMUNICATIONS COMPOUND TO BE INSTALLED.	
2. NEW 158' 0" MONOPOLE TO BE INSTALLED WITHIN NEW TELECOMMUNICATIONS COMPOUND.	
3. NEW OUTDOOR EQUIPMENT CABINETS TO BE INSTALLED ON NEW CONCRETE PAD WITHIN NEW TELECOMMUNICATIONS COMPOUND.	
4. NEW ANTENNAS AND ALL ASSOCIATED EQUIPMENT TO BE INSTALLED.	



AREA MAP
OWINGS MILLS, MARYLAND
SCALE: 1" = 1000'-0"

DIRECTIONS:
HEADING FROM 7056 SAMUEL MORSE DRIVE:
DEPART SAMUEL MORSE DR. TOWARD COLUMBIA GATEWAY DR. TURN LEFT ONTO COLUMBIA GATEWAY DR. TURN LEFT TO STAY ON COLUMBIA GATEWAY DR. TAKE RAMP LEFT FOR SR-175 WEST / PATUXENT PKWY TOWARD COLUMBIA. TAKE RAMP RIGHT FOR US-29 NORTH / COLUMBIA PIKE TOWARD BALTIMORE. AT EXIT 25A, TAKE RAMP RIGHT FOR I-70 EAST TOWARD BALTIMORE. AT EXIT 918A, TAKE RAMP RIGHT FOR I-895 NORTH / BALTIMORE BELTWAY INNER LOOP TOWARD NEW YORK / TOWSON. AT EXIT 20, TAKE RAMP RIGHT FOR SR-40 NORTH TOWARD RESISTANCE TOWN / GARRISON. BEAR LEFT ONTO SR-40 WEST / RESISTANCE TOWN. TURN LEFT ONTO MCDONOUGH RD.

SHEET INDEX
SHEET NO.
TITLE SHEET
1-1
SITE PLAN
Z-1
SURVEY AND EASEMENT INFO
Z-2
ZONING MAPS
Z-3
COMPOUND PLAN
Z-4
ELEVATION
Z-5
EQUIPMENT AND ANTENNA DETAILS
Z-6

SPRINT REVIEW	
THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS AND ALL INFORMATION CONTAINED HEREIN. ALL DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT AND MAY IMPOSE CHANGES OR MODIFICATIONS.	
SPRINT R.E.:	DATE:
SPRINT ZONING:	DATE:
SPRINT S.A.:	DATE:
SPRINT PRT:	DATE:
SPRINT CONST.:	DATE:
SPRINT A&E MGR.:	DATE:
PROPERTY OWNER:	DATE:

PETITIONER'S
EXHIBIT NO. 1

2015-0292-A

Sprint
Together with Nextel.
7056 SAMUEL MORSE DRIVE, SUITE 100
COLUMBIA, MARYLAND 21046
OFFICE: (410) 953-7400
FAX: (410) 953-7406

advantage engineers
6996 COLUMBIA GATEWAY DRIVE, SUITE 203
COLUMBIA, MARYLAND 21046
PHONE: (410) 367-0003
FAX: (410) 367-0013

SCHEDULE OF REVISIONS	
7	06-12-15 ISSUED FOR CONSTRUCTION (ZDS)
6	06-12-15 REV. PER CLIENT COMMENTS (ZDS)
5	04-09-15 REV. PER CLIENT COMMENTS (ZDS)
4	02-19-13 REV. PER CLIENT COMMENTS (ZDS)
3	01-23-13 REV. PER CLIENT COMMENTS (ZDS)
2	08-27-12 ISSUED FOR ZONING (ZDS)
1	08-20-12 ISSUED FOR 100% REVIEW (ZDS)
0	02-03-11 ISSUED FOR 90% REVIEW (ZDS)
REV NO.	DATE DESCRIPTION OF CHANGES

DRAWN BY:	JMK
CHECKED BY:	
SCALE:	NOTED
JOB NO:	M080110.00

TITLE SHEET

DRAWING SHEET:
T-1

SITE NAME: RANDALLSTOWN
SITE NUMBER: WA80XC067
SITE ADDRESS: 8890 MCDONOUGH ROAD OWINGS MILLS, MARYLAND 21117

SHEET NO. 1 OF 7
ANDREW M. MILLER, P.E. 6/12/15 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM AN ENGINEER UNDER THE JURISDICTION OF THE STATE OF MARYLAND. LICENSE NO. 41497, EXPIRATION DATE: 01-05-16

SECTIONS 426.6.A AND 209.4.C - TO PERMIT A PROPOSED EQUIPMENT HOUSING STRUCTURE WITH A SETBACK OF 28.25' IN LIEU OF THE REQUIRED 50'

ADJOINER PROPERTY OWNER INFORMATION:

GENERAL NOTES:

1. THIS PLAN WAS PREPARED USING AN APPROVED PLAN ENTITLED SITE PLAN BY DART-MACUNE-WALKER DATED 08-01-2008 AND SHOULD NOT BE CONSTRUED AS AN ACCURATE SURVEY.
2. THE PROPOSED FACILITY WILL CAUSE "DE MINIMIS" INCREASE IN STORMWATER RUNOFF. THEREFORE, NO DRAINAGE STRUCTURES ARE PROPOSED.
3. NO NOISE, SMOKE, DUST, OR ODOR WILL RESULT FROM THIS FACILITY.
4. THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. (THERE IS NO HANDICAP ACCESS REQUIRED).
5. THE FACILITY IS UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SANITARY SERVICE.
6. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988).
7. THE PROPOSED DEVELOPMENT DOES NOT INCLUDE STREET SIGNS OF ANY TYPE.
8. THE PROPOSED DEVELOPMENT DOES NOT INCLUDE OUTDOOR STORAGE OR ANY SOLID WASTE RECEIPT/FILES.
9. ACCORDING TO THE F.I.R.M. COMMUNITY PANEL #2400100220C, DATED 09-03-1992, THE PROPOSED SITE IS NOT IN A FLOOD PLAN.

SECTION 426.6.A:

1. A TOWER SHALL BE SET BACK AT LEAST 200 FEET FROM ANY OTHER OWNERS RESIDENTIAL PROPERTY LINE.
2. A STRUCTURE HOUSING EQUIPMENT FOR A TOWER SHALL MEET THE MINIMUM SETBACK REQUIREMENTS FROM ANY OTHER OWNERS PROPERTY OR ZONE LINE.
3. NONWALL-STANDING TELECOMMUNICATIONS EQUIPMENT FOR A TOWER ARE LOCATED OUTSIDE THE TOWER'S FOOTPRINT, A YARD OR SETBACK IS NOT REQUIRED BETWEEN THE STRUCTURES.
4. EXCEPT AS REQUIRED BY THE FEDERAL AVIATION ADMINISTRATION.
5. STROBOSCOPIC LIGHTS ARE NOT PERMITTED ON A TOWER.
6. IF A TOWER IS LOCATED IN A RESIDENTIAL OR TRANSITIONAL ZONE, ANY STRUCTURE HOUSING EQUIPMENT FOR THE TOWER SHALL BE:
 1. SCREENED IN ACCORDANCE WITH THE LANDSCAP MANUAL, CLASS "A".
 2. FACED WITH A MATERIAL COMPATIBLE WITH BUILDINGS OR STRUCTURES SURROUNDING THE TOWER.
7. UPON COMPLETION OF A TOWER AND EVERY FIVE YEARS AFTER THE DATE OF COMPLETION, THE OWNER OF THE TOWER SHALL SUBMIT TO THE CODE OFFICIAL WRITTEN CERTIFICATION FROM A PROFESSIONAL ENGINEERING VERIFYING THAT THE TOWER AND ANY STRUCTURE HOUSING EQUIPMENT FOR THE TOWER MEETS ALL APPLICABLE BUILDING CODE AND SAFETY REQUIREMENTS.
8. THE OWNER OF A TOWER SHALL SUBMIT ANNUALLY TO THE TOWER COORDINATOR WRITTEN CERTIFICATION OF THE NUMBER OF PROVIDERS AND ANTENNAS OF THE TOWER.

advantage engineers

6996 COLUMBIA GATEWAY DRIVE, SUITE 203
COLUMBIA, MARYLAND 21046
PHONE (443) 367-0003
FAX (443) 367-0013

SCHEDULE OF REVISIONS

NO.	DATE	DESCRIPTION OF CHANGES
1	06-12-16	ISSUED FOR CONSTRUCTION (ZDS)
2	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
3	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
4	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
5	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
6	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
7	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
8	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
9	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
10	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
11	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
12	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
13	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
14	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
15	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
16	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
17	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
18	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
19	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
20	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
21	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
22	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
23	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
24	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
25	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
26	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
27	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
28	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
29	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
30	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
31	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
32	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
33	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
34	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
35	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
36	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
37	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
38	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
39	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
40	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
41	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
42	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
43	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
44	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
45	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
46	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
47	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
48	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
49	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
50	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
51	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
52	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
53	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
54	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
55	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
56	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
57	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
58	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
59	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
60	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
61	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
62	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
63	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
64	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
65	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
66	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
67	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
68	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
69	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
70	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
71	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
72	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
73	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
74	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
75	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
76	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
77	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
78	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
79	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
80	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
81	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
82	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
83	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
84	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
85	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
86	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
87	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
88	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
89	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
90	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
91	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
92	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
93	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
94	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
95	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
96	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
97	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
98	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
99	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
100	06-12-16	REV. PER CLIENT COMMENTS (ZDS)

DRAWN BY:	JIK
CHECKED BY:	NOTED
SCALE:	NOTED
JOB NO.:	M080110.00
DRAWING TITLE:	

SITE PLAN

DRAWING SHEET:

Z-1

SITE NAME:
RANDALLSTOWN
SITE NUMBER:
WA80XC0067
SITE ADDRESS:
8890 MCDONOUGH ROAD
OWINGS MILLS, MARYLAND
21117

SHEET NO. 2 OF 7



Know what's below.
Call before you dig.

PROTECT PROPOSED ONE (1) SHEET
THIS DRAWING DOES NOT INCLUDE NECESSARY
CONSTRUCTION NOTES OR SPECIFICATIONS
ADDITIONAL INFORMATION MUST BE OBTAINED FROM
THE PROJECT OWNER AND THE STATE OF MARYLAND
DEPARTMENT OF TRANSPORTATION AND DIVISION OF
ENGINEERING, PROFESSIONAL ENGINEER, ANDREW M. MILLER, P.E.
DATE: 01-05-16

ADJOINER PROPERTY OWNER INFORMATION:

OWNER NAME: SCOTT DEVELOPMENT LLC
A MARYLAND LIMITED LIABILITY COMPANY
PREMISES ADDRESS: 8890 MCDONOUGH ROAD
OWINGS MILLS, MARYLAND 21117
TAX ACCOUNT #: 2200027391
LAND AREA: 0.15 AC.
ZONING: OT

OWNER NAME: SCOTT DEVELOPMENT LLC
A MARYLAND LIMITED LIABILITY COMPANY
PREMISES ADDRESS: 8890 MCDONOUGH ROAD
OWINGS MILLS, MARYLAND 21117
TAX ACCOUNT #: 2200025453
LAND AREA: 7.85 AC.
ZONING: OT

OWNER NAME: TRP SUBURBAN SECOND INC
PREMISES ADDRESS: 8870 MCDONOUGH ROAD
OWINGS MILLS, MARYLAND 21117
TAX ACCOUNT #: 2200027394
LAND AREA: 25.59 AC.
ZONING: OT

OWNER NAME: TRP SUBURBAN SECOND INC
PREMISES ADDRESS: 8870 MCDONOUGH ROAD
OWINGS MILLS, MARYLAND 21117
TAX ACCOUNT #: 2200025453
LAND AREA: 25.59 AC.
ZONING: OT

OWNER NAME: OWINGS CHOICE HOMEOWNERS ASSOCIATION
PREMISES ADDRESS: OWINGS CHOICE COURT
OWINGS MILLS, MARYLAND 21117
TAX ACCOUNT #: 2200018215
LAND AREA: 0.3 AC.
ZONING: R

OWNER NAME: OWINGS CHOICE HOMEOWNERS ASSOCIATION
PREMISES ADDRESS: OWINGS CHOICE COURT
OWINGS MILLS, MARYLAND 21117
TAX ACCOUNT #: 2200018215
LAND AREA: 0.3 AC.
ZONING: R

OWNER NAME: PATRICIA D. & ALEXI C. THOMAS
PREMISES ADDRESS: 9318 LEIGH CHOICE COURT #34
OWINGS MILLS, MARYLAND 21117
TAX ACCOUNT #: 2200027394
LAND AREA: 0.04 AC.
ZONING: R

OWNER NAME: JOSHUA RODENS
PREMISES ADDRESS: 9328 LEIGH CHOICE COURT #23
OWINGS MILLS, MARYLAND 21117
TAX ACCOUNT #: 2200026723
LAND AREA: 0.04 AC.
ZONING: R

OWNER NAME: TRISTIE L. TAPPIN
PREMISES ADDRESS: 9204 LEIGH CHOICE COURT #4
OWINGS MILLS, MARYLAND 21117
TAX ACCOUNT #: 2200021324
LAND AREA: 0.04 AC.
ZONING: R

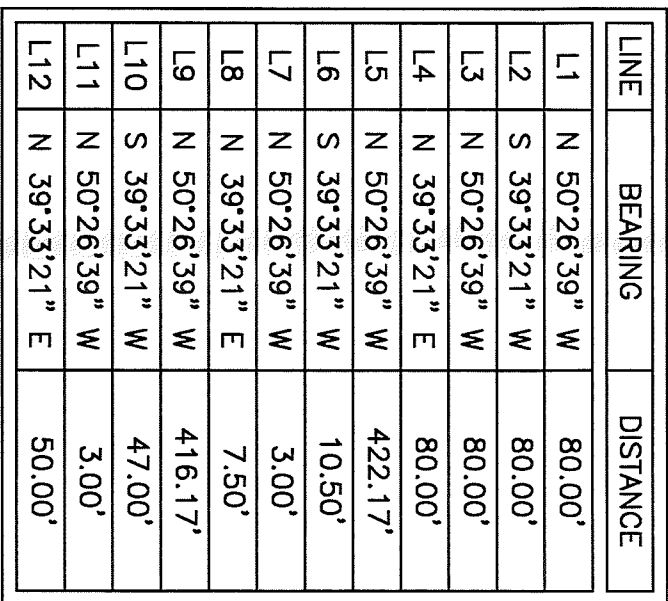
OWNER NAME: SHARON OSTRICKER
PREMISES ADDRESS: 9207 LEIGH CHOICE COURT #78
OWINGS MILLS, MARYLAND 21117
TAX ACCOUNT #: 2200026722
LAND AREA: 0.04 AC.
ZONING: R

OWNER NAME: JOE ANN DAVIS
PREMISES ADDRESS: 9100 MARLOWE OAKS LANE
OWINGS MILLS, MARYLAND 21117
TAX ACCOUNT #: 2400004166
LAND AREA: 0.11 AC.
ZONING: R

SECTION 209.4.C:

- A. MINIMUM NET LOT AREA: 30,000 SQUARE FEET, EXCEPT THAT PUBLIC UTILITY USES SHALL BE EXEMPT FROM MINIMUM NET LOT AREA REQUIREMENTS. THE TERM "NET LOT AREA" AS USED HEREIN DOES NOT INCLUDE THE PORTION OF ANY LOT WHICH IS WITHIN A STREET RIGHT-OF-WAY.
- B. MINIMUM LOT WIDTH AT BUILDING LINE: 150 FEET, EXCEPT THAT PUBLIC UTILITY USES SHALL BE EXEMPT FROM MINIMUM LOT WIDTH REQUIREMENTS.
- C. BUILDING SETBACKS
 1. MINIMUM SETBACK FROM ANY LOT LINE OTHER THAN A STREET LINE: 50 FEET. THE MINIMUM SETBACK MAY BE REDUCED TO ZERO FOR THE PIERCESSES OF INTEGRATING, ADJOINING OR CONNECTING STRUCTURES ON CONTIGUOUS LOTS WITH THE EXPRESSED APPROVAL OF THE OWNER OF THE CONTIGUOUS LOT.
 2. MINIMUM SETBACK FROM ANY STREET LINE: 50 FEET.
 3. MINIMUM SETBACK FROM ANY ADJUTING D.R., R.A.E. OR R-O ZONE LINE OTHER THAN A BOUNDARY LINE THAT LIES WITHIN A STREET: 50 FEET.
 4. MINIMUM SETBACK FROM ANY ADJUTING R.C., D.R.1, D.R.2, D.R.3.5, D.R.5.5 OR D.R.10.5 ZONE LINE OTHER THAN A BOUNDARY THAT LIES WITHIN A STREET: 150 FEET.
- D. MAXIMUM BUILDING HEIGHT: 150 FEET WHEN LOCATED IN A TOWN CENTER OR WHEN WITHIN 3,000 FEET OF A TOWN CENTER BOUNDARY; 60 FEET WHEN LOCATED MORE THAN 3,000 FEET OUTSIDE OF A TOWN CENTER.
- E. MINIMUM HEIGHT OF RESIDENTIAL USES: 92 FEET.
- F. MINIMUM AREA DEVOTED TO AGENCY OPEN SPACE: 25% OF THE NET LOT AREA. THE TERM "NET LOT AREA" AS USED HEREIN DOES NOT INCLUDE THE PORTION OF ANY LOT WHICH IS WITHIN A STREET RIGHT-OF-WAY.

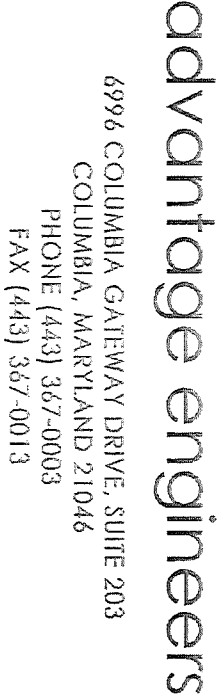
Sprint
Together with Nextel.
7055 SAMUEL MORSE DRIVE, SUITE 100
COLUMBIA, MARYLAND 21046
OFFICE: (410) 953-7400
FAX: (410) 953-7406



Sprint[®]

Together with Nextel.

7055 SAMUEL MORSE DRIVE, SUITE 100
COLUMBIA, MARYLAND 21046
OFFICE: (410) 953-7400



6996 COLUMBIA GATEWAY DRIVE, SUITE 203
COLUMBIA, MARYLAND 21046
PHONE (443) 367-0003
FAX (443) 367-0013

SCHEDULE OF REVISIONS	
7	06-12-16 ISSUED FOR CONSTRUCTION (ZDS)
6	06-12-16 REV. /PER CLIENT COMMENTS (ZDS)
5	04-09-15 REV. /PER CLIENT COMMENTS (ZDS)
4	02-19-13 REV. /PER CLIENT COMMENTS (ZDS)
3	01-23-13 REV. /PER CLIENT COMMENTS (ZDS)
2	06-27-12 ISSUED FOR ZONING (ZDS)
1	06-20-12 ISSUED FOR 100% REVIEW (ZDS)
0	04-20-11 ISSUED FOR 90% REVIEW (ZDS)
DATE	DESCRIPTION OF CHANGES

DRAWN BY: JIK

CHECKED BY:

SCALE: NOTED

JOB NO: M050110.00

DRAWING TITLE:

SURVEY AND EASEMENT INFO

DRAWING SHEET:



SITE NAME:
RANDALLSTOWN

SITE NUMBER:
WA000005

SITE ADDRESS:

**8890 McDONOGH ROAD
OWINGS MILLS, MARYLAND**

SHEET NO. 3 OF 7



6/12/15

ANDREW M. MILLER, P.E.

**Know what's below.
Call before you dig.**

PROTECT YOURSELF, GIVE THREE

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERE TO APPURINANT.

1. S 50°26'39" E, A DISTANCE OF 448.72'; THENCE,
2. S 39°33'21" W, A DISTANCE OF 10.50'; THENCE,
3. N 50°26'39" W, A DISTANCE OF 3.00'; THENCE,
4. N 39°33'21" E, A DISTANCE OF 7.50'; THENCE,
5. N 50°26'39" W, A DISTANCE OF 411.84'; THENCE,
6. S 39°33'21" W, A DISTANCE OF 47.00'; THENCE,
7. N 50°26'39" W, A DISTANCE OF 3.00'; THENCE,
8. N 39°33'21" E, A DISTANCE OF 50.00' TO THE POINT OF BEGINNING, HAVING AN AREA OF 1,450.0 SQUARE FEET, OR 0.033 ACRES MORE OR LESS.

BEING A LEASE AREA FOR A TELECOMMUNICATIONS TOWER IN, OVER, ACROSS AND THROUGH A PARCEL OF LAND KNOWN AS PARCEL B, PLAT B, OWINGS MILLS CORPORATE CENTER CONVEYED TO MCDONOUGH VILLAGE, LLC BY DEED DATED MARCH 4, 2005, AND RECORDED AMONG THE LAND RECORDS OF BALTIMORE COUNTY, MARYLAND, IN LIBER 21553, PAGE 527, AND BEING DESCRIBED AS FOLLOWS:

COMMENCEMENT THE NORTHERN MOST POINT OF SAID PARCEL, B, SAID POINT ALSO BEING ON THE WESTERLY LINE OF AN EXISTING 40-FT. BALTIMORE COUNTY RIGHT-OF-WAY; THENCE, ON A BEARING BASED ON THE MARYLAND STATE PLANE COORDINATE SYSTEM, S 50°26'39" E, A DISTANCE OF 270.52' ALONG WITH AND BINDING ON SAID WESTERLY RIGHT-OF-WAY LINE; THENCE;

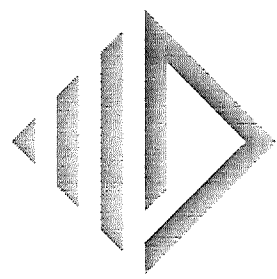
1. S 50°26'39" E, A DISTANCE OF 80.00'; THENCE,
2. S 39°35'21" W, A DISTANCE OF 80.00'; THENCE,
3. N 50°26'39" W, A DISTANCE OF 80.00'; THENCE,
4. N 39°35'21" E, A DISTANCE OF 80.00'; TO THE POINT OF BEGINNING, AREA OF 6,400.00 SQUARE FEET, OR 0.147 ACRES, MORE OR LESS.



**Know what's below.
Call before you dig.**



Together with Nextel.
7055 SAMUEL MORSE DRIVE, SUITE 100
COLUMBIA, MARYLAND 21046
OFFICE: (410) 953-7400
FAX: (410) 953-7406



advantage engineers
6996 COLUMBIA GATEWAY DRIVE, SUITE 203
COLUMBIA, MARYLAND 21046
PHONE: (410) 953-0033
FAX: (410) 953-0013

SCHEDULE OF REVISIONS

NO.	DATE	DESCRIPTION OF CHANGES
7	06-12-15	ISSUED FOR CONSTRUCTION (ZDS)
6	06-12-15	REV. PER CLIENT COMMENTS (ZDS)
5	04-09-15	REV. PER CLIENT COMMENTS (ZDS)
4	02-19-13	REV. PER CLIENT COMMENTS (ZDS)
3	07-23-13	REV. PER CLIENT COMMENTS (ZDS)
2	08-27-12	ISSUED FOR ZONING (ZDS)
1	08-20-12	ISSUED FOR 100% REVIEW (ZDS)
0	02-03-11	ISSUED FOR 90% REVIEW (ZDS)

DRAWN BY: JJK

CHECKED BY: NOTED

SCALE: NOTED

JOB NO: M050710.00

DRAWING TITLE: ZONING MAPS

DRAWING SHEET: Z-3

SITE NAME: RANDALLSTOWN

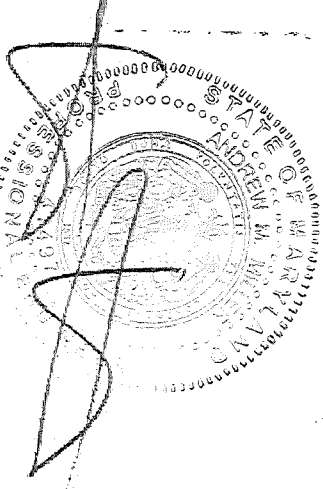
SITE NUMBER: WA80XC067

SITE ADDRESS: 8890 McDONOUGH ROAD

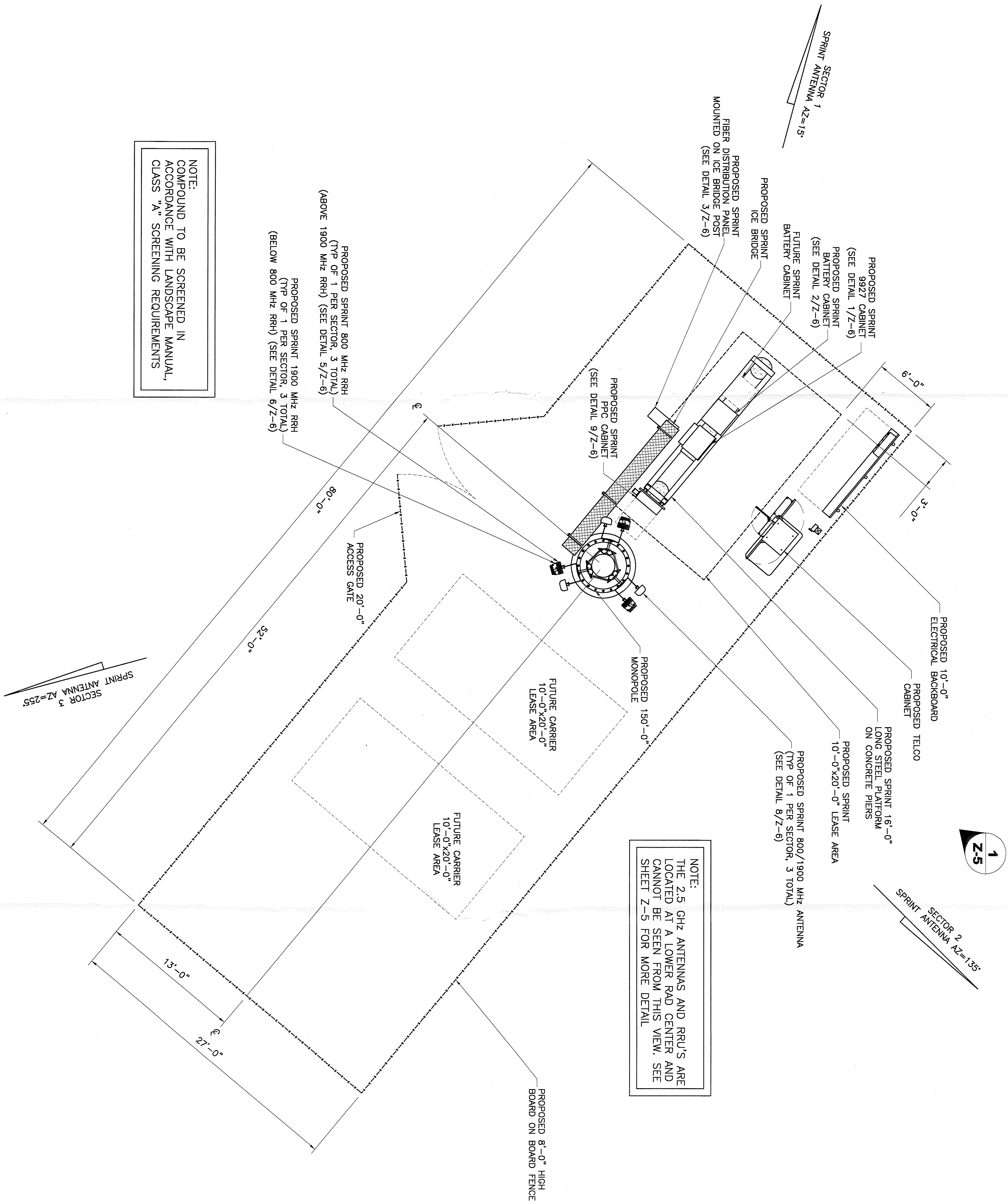
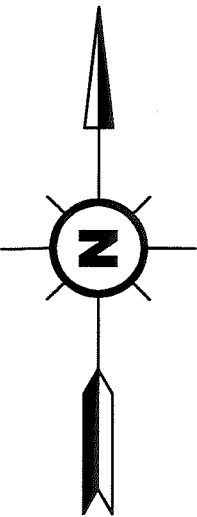
OWINGS MILLS, MARYLAND

21147

SHEET NO. 4 OF 7

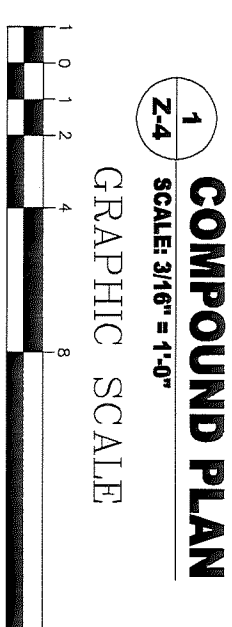


6/12/15
"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 4497, EXPIRATION DATE 12/31/2015."



NOTE:
COMPOUND TO BE SCREENED IN
ACCORDANCE WITH LANDSCAPE MANUAL,
CLASS "A" SCREENING REQUIREMENTS

NOTE:
THE 2.5 GHZ ANTENNAS AND RRU'S ARE
LOCATED AT A LOWER RAD CENTER AND
CANNOT BE SEEN FROM THIS VIEW. SEE
SHEET Z-5 FOR MORE DETAIL

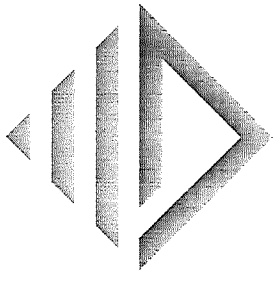


(SCALE BASED ON TITL SHEET 24"x36" SHEETS ONLY)
(DO NOT USE SCALE ON OTHER SIZED DRAWINGS)

1. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES ORDINANCES, LAWS, AND REGULATIONS OF ALL MUNICIPALITIES, UTILITY COMPANIES OR OTHER PUBLIC AUTHORITIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS THAT MAY BE REQUIRED BY ANY FEDERAL, STATE, COUNTY OR MUNICIPAL AUTHORITIES.
3. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER, IN WRITING, OF ANY CONFLICTS, ERRORS OR OMISSIONS PRIOR TO THE SUBMISSION OF BIDS OR PERFORMANCE OF WORK. MINOR OMISSIONS OR ERRORS IN THE BID PROJECT IN ACCORDANCE WITH THE OVERALL INTENT OF THESE DRAWINGS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SITE IMPROVEMENTS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED AS A RESULT OF CONSTRUCTION OF THIS FACILITY.
5. THE SCOPE OF WORK FOR THIS PROJECT SHALL INCLUDE PROVIDING ALL MATERIALS, EQUIPMENT AND LABOR REQUIRED TO COMPLETE THIS PROJECT. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
6. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTING A BID TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
7. THIS PLAN WAS PREPARED USING AN APPROVED PLAN ENTITLED SITE PLAN BY DART-MCCUNE-WALKER DATED 08-01-2008 AND SHOULD NOT BE CONSTRUED AS AN ACCURATE SURVEY.
8. THE PROPOSED FACILITY WILL CAUSE ONLY A "DE MINIMIS" INCREASE IN STORMWATER RUNOFF. THEREFORE, NO DRAINAGE STRUCTURES ARE PROPOSED.
9. NO NOISE, SMOKE, DUST, OR ODOR WILL RESULT FROM THIS FACILITY.
10. THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION (THERE IS NO HANDICAP ACCESS REQUIRED).
11. THE FACILITY IS UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SANITARY SERVICE.
12. POWER TO THE FACILITY WILL BE MONITORED BY A SEPARATE METER.
13. CONTRACTOR SHALL VERIFY ANTENNA ELEVATION AND AZIMUTH WITH RF ENGINEERING PRIOR TO INSTALLATION.
14. MOUNTS AND ANTENNAS ARE DESIGNED TO MEET ANSI/TIA-222-G AS PER IBC 2015 REQUIREMENTS.
15. ALL STRUCTURAL ELEMENTS SHALL BE HOT DIPPED GALVANIZED STEEL.
16. CONTRACTOR SHALL MAKE A UTILITY "ONE CALL" TO LOCATE ALL UTILITIES PRIOR TO EXCAVATING.
17. IF ANY PILING EXISTS BENEATH THE SITE AREA, CONTRACTOR MUST LOCATE IT AND CONTACT OWNERS REPRESENTATIVE.
18. CONSTRUCTION TO COMMENCE UPON COMPLETION OF A PASSING STRUCTURAL ANALYSIS. STRUCTURAL ANALYSIS TO BE PERFORMED BY OTHERS.



Together with Nextel.
7055 SAMUEL MORSE DRIVE, SUITE 100
COLUMBIA, MARYLAND 21046
OFFICE: (410) 953-7400
FAX: (410) 953-7406



6996 COLUMBIA GATEWAY DRIVE, SUITE 203
COLUMBIA, MARYLAND 21046
PHONE: (410) 367-0013
FAX: (410) 367-0013

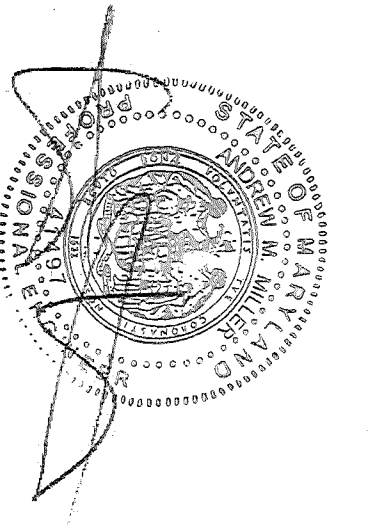
SCHEDULE OF REVISIONS		
7	06-12-15	ISSUED FOR CONSTRUCTION (ZDS)
6	06-12-15	REV. PER CLIENT COMMENTS (ZDS)
5	04-09-15	REV. PER CLIENT COMMENTS (ZDS)
4	02-19-13	REV. PER CLIENT COMMENTS (ZDS)
3	01-23-13	REV. PER CLIENT COMMENTS (ZDS)
2	08-27-12	ISSUED FOR ZONING (ZDS)
1	08-20-12	ISSUED FOR 100% REVIEW (ZDS)
0	02-03-11	ISSUED FOR 90% REVIEW (ZDS)
REV	DATE	DESCRIPTION OF CHANGES

DRAWN BY: JIK
CHECKED BY:
SCALE: NOTED
JOB NO: M050710.00
DRAWING TITLE: COMPOUND PLAN

DRAWING SHEET:
Z-4

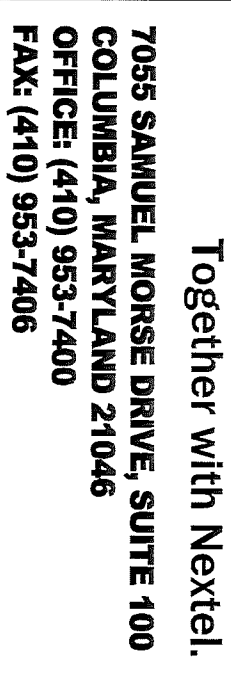
SITE NAME:
RANDALLSTOWN
SITE NUMBER:
WA80XC067
SITE ADDRESS:
8890 MCDONOUGH ROAD
OWINGS MILLS, MARYLAND
21117

SHEET NO. 5 OF 7



6/12/15
ANDREW M. MILLER, P.E.
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 11111, EXPIRATION DATE: 01-05-16

811
Know what's below.
Call before you dig.
THE DRAWING DOES NOT INCLUDE NECESSARY CONSTRUCTION DETAILS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSPECTIONS THAT MAY BE REQUIRED BY ANY FEDERAL, STATE, COUNTY OR MUNICIPAL AUTHORITIES.



Together with Nextel.
7055 SAMUEL MORSE DRIVE, SUITE 100
COLUMBIA, MARYLAND 21046
OFFICE: (410) 953-7400
FAX: (410) 953-7406



6996 COLUMBIA GATEWAY DRIVE, SUITE 203
COLUMBIA, MARYLAND 21046
PHONE (443) 367-0003
FAX (443) 367-0013

SCHEDULE OF REVISIONS		
REV. NO.	DATE	DESCRIPTION OF CHANGES
7	06-12-16	ISSUED FOR CONSTRUCTION (ZDS)
6	06-12-16	REV. PER CLIENT COMMENTS (ZDS)
5	04-08-16	REV. PER CLIENT COMMENTS (ZDS)
4	02-19-13	REV. PER CLIENT COMMENTS (ZDS)
3	01-23-13	REV. PER CLIENT COMMENTS (ZDS)
2	08-27-12	ISSUED FOR ZONING (ZDS)
1	08-20-12	ISSUED FOR 100% REVIEW (ZDS)
0	02-03-11	ISSUED FOR 90% REVIEW (ZDS)

DRAWN BY: JIK

CHECKED BY:

SCALE:	NOTED
JOB NO:	M050110.00

DRAWING TITLE

ELEVATION

DRAWING SHEET

N
C

SITE NAME:

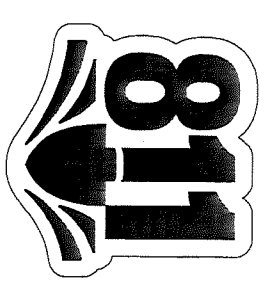
SITE NUMBER:
WA80XC067

**8890 MCDONOGH ROAD
OWINGS MILLS, MARYLAND**

SHEET NO. 6 OF 7



ANDREW M. MILLER, P.E.
"PROFESSIONAL CERTIFICATION, I HEREBY
CERTIFY THAT THESE DOCUMENTS WERE
PREPARED OR APPROVED BY ME, AND THAT
AM A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE OF
MARYLAND, LICENSE NO. 41487, EXPIRATION
DATE: 01-05-16"



**Know what's below.
Call before you dig.**

WORKING DAYS NOTICE

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERE TO APPURTENANT.



advantage engineers

6996 COLUMBIA GATEWAY DRIVE, SUITE 203
COLUMBIA, MARYLAND 21046
PHONE (443) 367-0003
FAX (443) 367-0013

DRAWN BY:	JLK
CHECKED BY:	
SCALE:	NOTED
JOB NO:	M050710.00

DRAWING SHEET:

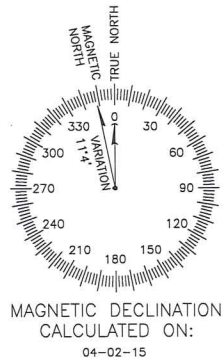
SITE NAME:
RANDALLSTOWN

SHEET NO. 7 OF 7

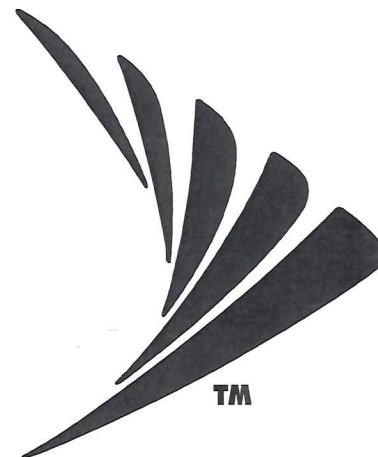
6/12/15

ANDREW M. MILLER, P.E.

"PROFESSIONAL CERTIFICATION, I HEREBY
PREFERED OR APPROVED BY ME, AND THAT I
AM A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE OF
MARYLAND, LICENSE NO. 414697, EXPIRATION
DATE: 01-06-16"



Sprint[®]



TM

Together with Nextel.

SITE NAME:

RANDALLSTOWN

SITE NUMBER:

WA80XC067

RECEIVED

SEP 16 2015

OFFICE OF ADMINISTRATIVE HEARINGS

SITE INFORMATION

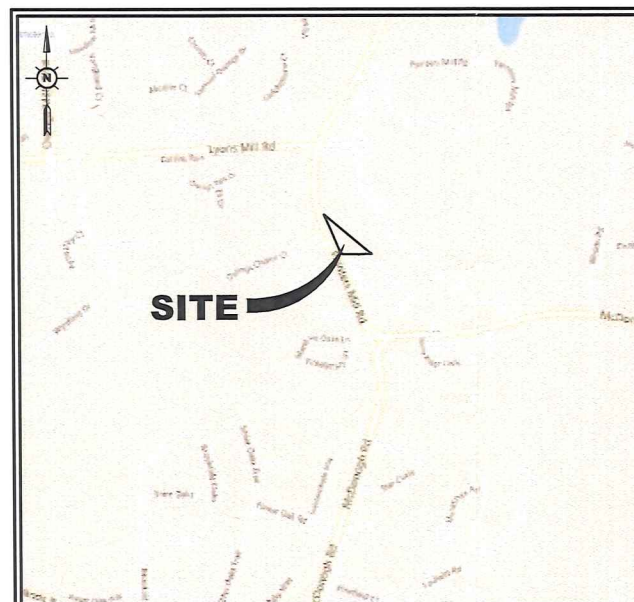
SITE NAME: RANDALLSTOWN
SITE NUMBER: WA80XC067
SITE ADDRESS: 8890 MCDONOUGH ROAD
OWINGS MILLS, MARYLAND 21117
JURISDICTION: BALTIMORE COUNTY, MARYLAND
ZONING: OT
COUNCILMANIC DISTRICT: 4
TAX ACCOUNT ID: 02-2200007391
MAP / PARCEL: 67 / 564
PARCEL SIZE / COMPOUND SIZE: 7.85 AC. / 2,880 S.F.
SITE COORDINATES: N 39° 23' 31.08" (NAD 83)
W 78° 47' 15.31" (NAD 83)
GROUND ELEVATION: 565± (AMSL)
STRUCTURE TYPE: MONOPOLE
STRUCTURE HEIGHT: 150± AGL (TOP OF MONOPOLE)
ANTENNA RAD CENTER: 145'-6"± AGL (800/1900 MHz ANTENNAS)
138'-6"± AGL (2.5 GHz ANTENNAS)
GROUND LANDLORD NAME: SCOTT DEVELOPMENT, LLC
A MARYLAND LIMITED LIABILITY COMPANY
GROUND LANDLORD ADDRESS: 8120 FENTON STREET
SILVER SPRING, MARYLAND 20910
LANDLORD NAME: SCOTT DEVELOPMENT, LLC
A MARYLAND LIMITED LIABILITY COMPANY
LANDLORD ADDRESS: 8120 FENTON STREET
SILVER SPRING, MARYLAND 20910
APPLICANT: SPRINT
7055 SAMUEL MORSE DRIVE, SUITE 100
COLUMBIA, MARYLAND 21046
APPLICANT PHONE: (410) 953-7400
APPLICANT FAX: (410) 953-7406

CODE ANALYSIS

BUILDING CODE: IBC 2015
ELECTRICAL CODE: NEC 2011
FIRE SAFETY CODE: 2012 NFPA 101
USE GROUP: U (UTILITY)
CONSTRUCTION TYPE: IIB

PROJECT DESCRIPTION

1. NEW 35'-0" x 80'-0" FENCED TELECOMMUNICATIONS COMPOUND TO BE INSTALLED.
2. NEW 150'-0" MONOPOLE TO BE INSTALLED WITHIN NEW TELECOMMUNICATIONS COMPOUND.
3. NEW OUTDOOR EQUIPMENT CABINETS TO BE INSTALLED ON NEW CONCRETE PAD WITHIN NEW TELECOMMUNICATIONS COMPOUND.
4. NEW ANTENNAS AND ALL ASSOCIATED EQUIPMENT TO BE INSTALLED.



AREA MAP

OWINGS MILLS, MARYLAND
SCALE: 1" = 1000'-0"

DIRECTIONS:

HEADING FROM 7055 SAMUEL MORSE DRIVE:
DEPART SAMUEL MORSE DRIVE TOWARD COLUMBIA GATEWAY DRIVE. TURN LEFT ONTO COLUMBIA GATEWAY DRIVE. TURN LEFT TO STAY ON COLUMBIA GATEWAY DRIVE. TAKE RAMP LEFT FOR SR-175 WEST / PATUXENT PARKWAY TOWARD COLUMBIA. TAKE RAMP RIGHT FOR US-29 NORTH / COLUMBIA PIKE TOWARD BALTIMORE. AT EXIT 25A, TAKE RAMP RIGHT FOR I-70 EAST TOWARD BALTIMORE. AT EXIT 91B-A, TAKE RAMP RIGHT FOR I-895 NORTH / BALTIMORE BELTWAY INNER LOOP TOWARD NEW YORK / TOWSON. AT EXIT 20, TAKE RAMP RIGHT FOR SR-140 NORTH TOWARD REISTERSTOWN / GARRISON. BEAR LEFT ONTO SR-140 WEST / REISTERSTOWN ROAD. TURN LEFT ONTO MCDONOUGH ROAD.

SHEET INDEX

SHEET NO.	SHEET DESCRIPTION
T-1	TITLE SHEET
Z-1	SITE PLAN
Z-2	SURVEY AND EASEMENT INFO
Z-3	ZONING MAPS
Z-4	COMPOUND PLAN
Z-5	ELEVATION
Z-6	EQUIPMENT AND ANTENNA DETAILS

SPRINT REVIEW

THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS AND AUTHORIZE THE CONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT AND MAY IMPOSE CHANGES OR MODIFICATIONS.

SPRINT R.F.: _____ DATE: _____
SPRINT ZONING: _____ DATE: _____
SPRINT S.A.: _____ DATE: _____
SPRINT P&T: _____ DATE: _____
SPRINT CONST.: _____ DATE: _____
SPRINT A&E MGR.: _____ DATE: _____
PROPERTY OWNER: _____ DATE: _____

Sprint[®]

Together with Nextel.

7055 SAMUEL MORSE DRIVE, SUITE 100
COLUMBIA, MARYLAND 21046
OFFICE: (410) 953-7400
FAX: (410) 953-7406



advantage engineers

8996 COLUMBIA GATEWAY DRIVE, SUITE 203
COLUMBIA, MARYLAND 21046
PHONE (443) 367-0003
FAX (443) 367-0013

SCHEDULE OF REVISIONS

REV. NO.	DATE	DESCRIPTION OF CHANGES
8	09-09-15	EQUIPMENT RELOCATION
7	06-12-15	ISSUED FOR CONSTRUCTION (ZD'S)
6	06-12-15	REV. PER CLIENT COMMENTS (ZD'S)
5	04-09-15	REV. PER CLIENT COMMENTS (ZD'S)
4	02-19-13	REV. PER CLIENT COMMENTS (ZD'S)
3	01-23-13	REV. PER CLIENT COMMENTS (ZD'S)
2	08-27-12	ISSUED FOR ZONING (ZD'S)
1	08-20-12	ISSUED FOR 100% REVIEW (ZD'S)

DRAWN BY: JIK

CHECKED BY:

SCALE: NOTED

JOB NO: M050110.00

DRAWING TITLE:

TITLE SHEET

DRAWING SHEET:

T-1

SITE NAME:
RANDALLSTOWN

SITE NUMBER:
WA80XC067

SITE ADDRESS:
**8890 MCDONOUGH ROAD
OWINGS MILLS, MARYLAND
21117**

SHEET No. 1 OF 7



ANDREW M. MILLER, P.E.
"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 41497, EXPIRATION DATE: 01-05-16"