

IN RE: PETITION FOR SPECIAL HEARING	*	BEFORE THE
(1227 Piney Hill Road)		
8 th Election District	*	OFFICE OF
3 rd Council District		
David & Katherine Cox	*	ADMINISTRATIVE HEARINGS
<i>Legal Owners</i>	*	FOR BALTIMORE COUNTY
Petitioners	*	Case No. 2017-0063-SPH

* * * * *

OPINION AND ORDER

This matter comes before the Office of Administrative Hearings (OAH) for consideration of a Petition for Special Hearing filed on behalf of David & Katherine Cox, legal owners ("Petitioners"). The Special Hearing was filed pursuant to § 500.7 of the Baltimore County Zoning Regulations ("B.C.Z.R") to approve an addition to a single-family dwelling to be used as an in-law apartment. David Cox appeared in support of the petition. There were no protestants or interested citizens in attendance. The Petition was advertised and posted as required by the Baltimore County Zoning Regulations. Substantive Zoning Advisory Committee (ZAC) comments were received from the Department of Planning (DOP) and the Department of Environmental Protection and Sustainability (DEPS). Neither agency opposed the request.

The subject property is 6.34 acres in size and zoned RC 7. The property is improved with a single-family dwelling constructed in 1983. Petitioners propose to construct a 1,450 sq. ft. two-story addition to the existing home. The bottom floor (725 sq. ft.) would be used as an accessory apartment for Mr. Cox's in-laws.

Under B.C.Z.R. §400.4.A, I do not believe a hearing was required in this matter. Even so, I will grant the petition for special hearing, and do not believe the proposed apartment would in any way have a detrimental impact upon the community. Petitioners own a large lot, and their only

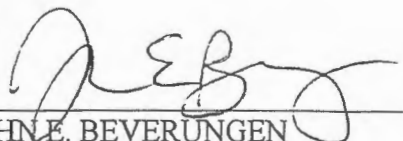
adjoining neighbors indicated in a letter (Petitioners' Ex. 2) they "fully support" the zoning request. Petitioners have also prepared for filing in the land records the requisite Declaration of Understanding, which contains all of the information and restrictions pertaining to the use of the accessory apartment. As such, the petition will be granted.

THEREFORE, IT IS ORDERED this 21st day of October, 2016 by this Administrative Law Judge, that the Petition for Special Hearing to approve a 725 sq. ft. addition to an existing single-family dwelling to be used as an accessory (in-law) apartment, be and is hereby GRANTED.

The relief granted herein shall be subject to and conditioned upon the following:

1. Petitioners may apply for necessary permits and/or licenses upon receipt of this Order. However, Petitioners are hereby made aware that proceeding at this time is at their own risk until 30 days from the date hereof, during which time an appeal can be filed by any party. If for whatever reason this Order is reversed, Petitioners would be required to return the subject property to its original condition.
2. Prior to issuance of permits Petitioners must obtain approval from the Ground Water Management section of DEPS.

Any appeal of this decision must be filed within thirty (30) days of the date of this Order.


JOHN E. BEVERUNGEN
Administrative Law Judge
for Baltimore County

JEB:slh

DECLARATION OF UNDERSTANDING

THIS DECLARATION OF UNDERSTANDING (hereinafter referred to as "Declaration") is made on this 9th day of August 2016, by and between David and Katherine Cox (hereinafter referred to as the "Declarant") and the Department of Permits, Approvals and Inspections (hereinafter referred to as "PAI").

Recitals

A. The Declarant(s) who is/are also the owner(s) of this property has/have filed an application for a use permit to construct an accessory apartment located on the ground floor of the proposed new construction of an addition to the existing home. The addition will consist of two floors and will be connected to the existing house. The ground floor of the addition will consist of a self-contained "in-law" suite that will not have direct access to the existing house. The "in-law" suite will contain a full kitchen, living room, one bedroom, one full bathroom, and a laundry room. The second floor of the addition will be connected to the existing house and include two bedrooms, one full bathroom, and a laundry room.

The property being located at **1227 Piney Hill Rd., Monkton, MD 21111** and is more particularly described by metes and bounds in Exhibit A (The Property) attached hereto and made a part hereof. The property is zoned **RC7**, which is the particular zone in which the property is located.

B. PAI (or) The Administrative Law Judge has approved the Declaration request to create an Accessory Apartment complete with dedicated bathing and cooking facilities, located on this owner-occupied property. The accessory apartment will be the housing for **Tom and Cheryl Reese, father and mother of Katherine Cox**. The other residents of the property are **David Cox (owner), Katherine Cox (owner), Alex Cox (child of owner), Reese Cox (child of owner), and Hailey Cox (child of owner)**, all of which will reside in the existing home. The use permit must be renewed with PAI every two years by filing a renewal on a PAI approved form, to be dated from the month of the initial approval.

C. As a condition of approval of the Declarant(s) request, Bill No. 49-11 requires the filing of this Declaration among the Land Records of Baltimore County, to

provide notice to any future owners, subsequent bona fide purchasers or users of the Property that no part of any improvements or addition on the Property may be used for separate living quarters and that all such improvements shall only be used as a single-family residence, unless otherwise approved by and at the discretion of PAI.

NOW, THEREFORE, in consideration of the premises and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledge, the Declarant(s) and PAI hereby declare as follows:

1. Any and all improvements now existing or to be constructed on the Property shall be used only as a single family residence. No such improvements or additions shall ever be used as a separate living quarter or second residential unit. The kitchen for the Accessory Apartment will be constructed as part of the Property and shall be accessory to the principal use of the Property as a single-family residence. The Accessory Apartment shall house only the immediate family member(s) listed in this Declaration and it is not to be used as an independent residential unit, nor is it to be used for compensation, and it shall not be used by any other person or for any other reason. The use permit and this Declaration are subject to the order, conditions or restrictions of any required zoning hearing.
2. Once the Accessory Apartment is no longer occupied by the persons named in this Declaration or if the property is sold, or the use permit has not been renewed within the 2 year temporary use permit time limit, the use permit shall terminate, and any proposed changes in occupancy to the Accessory Apartment by the property owner or subsequent purchaser shall require a new request for a use permit.
3. Upon use permit termination:
 - A. In the Accessory Apartment in the principal dwelling, use permit termination requires removal of the second kitchen (range) and the former Accessory Apartment space to be occupied by the Declarant(s) or subsequent purchaser.
 - B. The Declarant(s) upon termination of the use permit will provide written notification to PAI for the closing of the Department file.

4. The covenants, conditions, and restrictions stated above shall run with and bind the Property and shall be enforceable by Baltimore County, MD and by the owners of all or any portion of the Property.

5. Enforcement of the Covenants shall be by proceedings at law or in equity against any person or persons violating or attempting to violate any of the covenants, either to restrain the violation or to recover damages.

IN WITNESS WHEREOF, the parties hereto have duly executed this Declaration under seal on the date first above written.

WITNESS: Autumn Brooks [Signature]
Declarant
[Signature]
Declarant

State of Maryland, County of ^{Harford} ~~Baltimore~~ to wit:

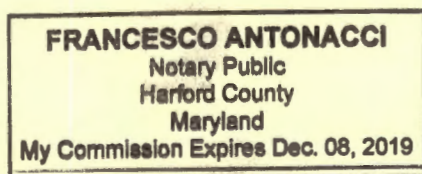
I HEREBY CERTIFY that on this 9th August day of 20 16, before the Subscriber, a Notary Public of State of Maryland, personally appeared

David W Cox AND Katherine M Cox

The declarant(s) herein, who is/are also the owner(s) of this property, known to me (or satisfactorily proven) to be the person(s) whose name(s) is/are subscribed to the within instrument, and who acknowledged that he/she/they executed for the foregoing instrument for the purposes therein contained.

IN WITNESS WHEREOF, have hereunto set my hand and Notarial Seal.

My Commission Expires: 12/8/19



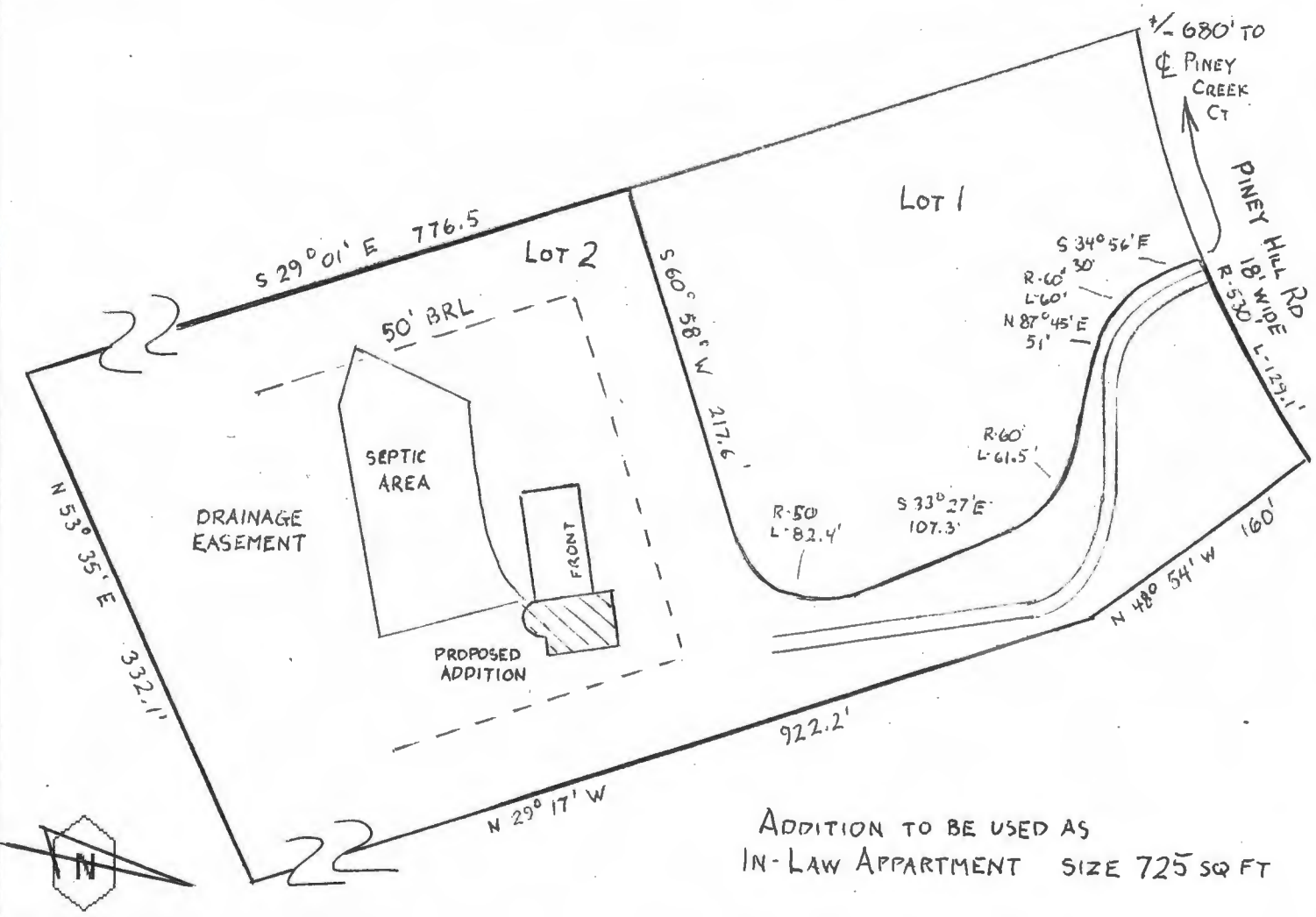
[Signature]
Notary Public

Exhibit A

BEING KNOWN AND DESIGNATED as Lot No. 2 in Block A as shown on the Plat entitled, "Section One, Richland Estates," which Plat is recorded among the Plat Records of Baltimore County in Plat Book EHK, Jr. No.50, folio 4. The improvements thereon being known as No. 1227 Piney Hill Road.

BEING THE SAME property which by Deed June 3, 2016 and recorded among the Land Records of Baltimore County in Liber JLE, Jr. No. 37650, Page 0379 was granted and conveyed by Thomas E. Reese and Cheryl J. Reese, his wife, unto David W. Cox and Katherine M. Cox, his wife the Grantors herein.

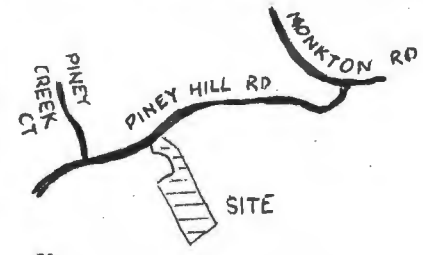
ZONING HEARING PLAN FOR VARIANCE _____ FOR SPECIAL HEARING X (MARK TYPE REQUESTED WITH X)
 ADDRESS 1227 PINEY HILL RD OWNER(S) NAME(S) DAVID & KATHERINE COX
 SUBDIVISION NAME RICHLAND ESTATES LOT# 2 BLOCK# A SECTION# 1
 PLAT BOOK# 50 FOLIO# 4 10 DIGIT TAX# 1900008542 DEED REF.# 37650/00379



ADDITION TO BE USED AS
 IN-LAW APPARTMENT SIZE 725 SQ FT

PLAN DRAWN BY _____ DATE _____ SCALE: 1 INCH = 100 FEET

SITE VICINITY MAP

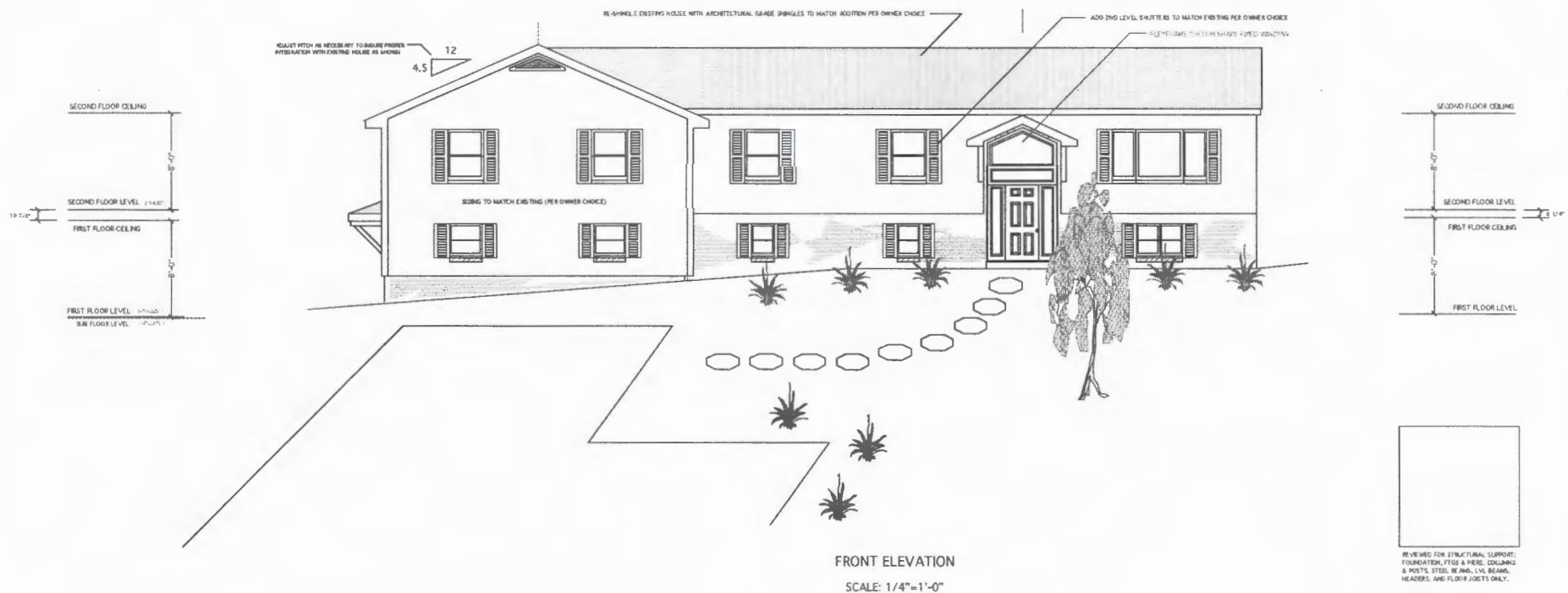


N
 ↑
 MAP IS NOT TO SCALE

ZONING MAP# 022C3/028C1
 SITE ZONED RC7
 ELECTION DISTRICT 8TH
 COUNCIL DISTRICT 3RD
 LOT AREA ACREAGE 6.34
 OR SQUARE FEET _____
 HISTORIC? No
 IN CBCA? No
 IN FLOOD PLAIN? No
 UTILITIES? MARK WITH X
 WATER IS:
 PUBLIC _____ PRIVATE X
 SEWER IS:
 PUBLIC _____ PRIVATE X
 PRIOR HEARING? No
 IF SO GIVE CASE NUMBER
 AND ORDER RESULT BELOW

VIOLATION CASE INFO:

R.D.



ALL RIGHTS RESERVED RESPECTING DESIGN AND SUBJECT SHOWN ON THIS DRAWING

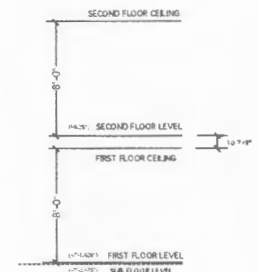
FRONT ELEVATION	SCALE: 1/4"=1'-0"	DWG. NO. 1 of 12
PROPOSED RESIDENCE FOR: DAVID & KATIE COX		
Paul Pare' Associates	Date: 11/14/15	Rev. 1A

Paul Pare' Associates Inc. P.O. Box 293, Monkton, Md. 21111 / Tele Or Fax: (410) 472-4306

Every attempt has been made to create an accurate set of construction drawings that meet most applicable codes, ordinances, and regulations. However, it shall become the responsibility of the Builder/Contractor to verify compliance with all local building codes and ordinances. All critical dimensions should be reviewed and confirmed by the Builder/Contractor and all structural elements should be verified with a local engineer and building official. PPA assumes no responsibility or liability for any damages or claims due to any deficiencies, omissions, or errors in the preparation of these drawings.



LEFT ELEVATION
SCALE: 1/4"=1'-0"



REVIEWED FOR STRUCTURAL SUPPORT:
FOUNDATION, FTGS & PIERS, COLUMNS
& POSTS, STEEL BEAMS, LVL BEAMS,
HEADERS, AND FLOOR JOISTS ONLY.

ALL RIGHTS RESERVED RESPECTING DESIGN AND SUBJECT SHOWN ON THIS DRAWING

LEFT ELEVATION	SCALE: 1/4"=1'-0"	DWG. NO. 2 of 12
PROPOSED RESIDENCE FOR: DAVID & KATIE COX		
Paul Pare' Associates	Date: 11/14/15	Rev. 1A b

Paul Pare' Associates Inc. P.O. Box 293, Monkton, Md. 21111 / Tele Or Fax: (410) 472-4306

Every attempt has been made to create an accurate set of Construction Drawings that meet most applicable codes, ordinances, and regulations. However, it shall become the responsibility of the Builder/Contractor to verify compliance with all local building codes and ordinances. All critical dimensions should be reviewed and confirmed by the Builder/Contractor and all structural elements should be verified with a local engineer and building official. PPA assumes no responsibility or liability for any damages or claims due to any deficiencies, omissions, or errors in the preparation of these Drawings.



REAR ELEVATION
SCALE: 1/4"=1'-0"

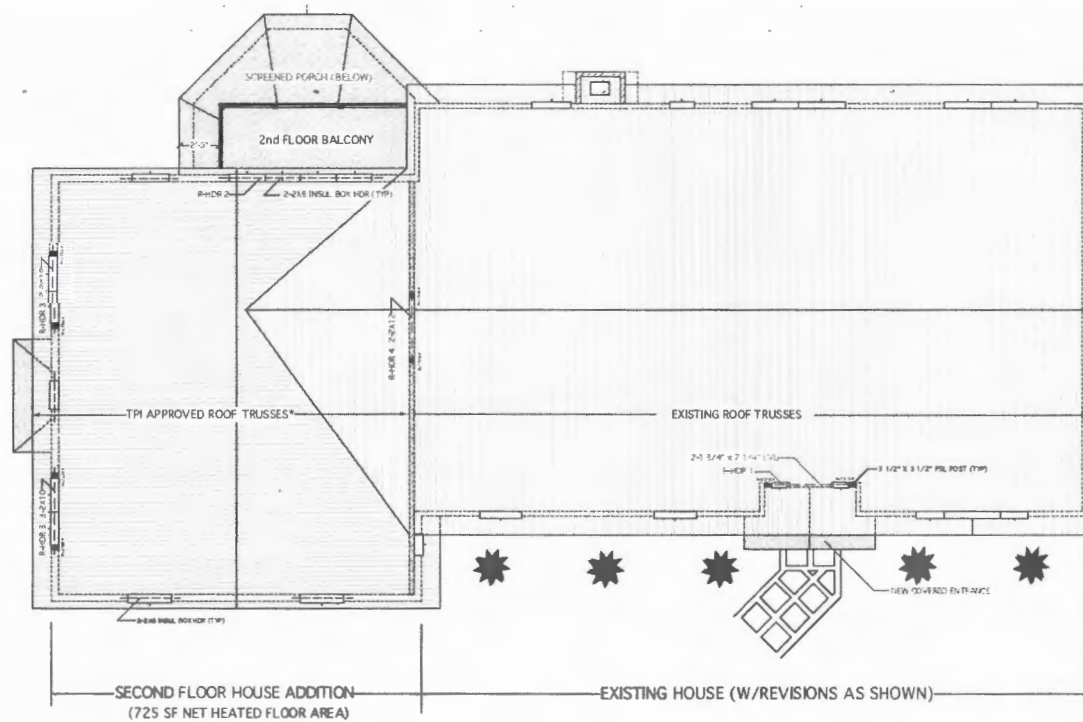
REVIEWED FOR STRUCTURAL SUPPORT:
FOUNDATION, FTES & FES, COLUMNS
& POSTS, STEEL BEAMS, LVL BEAMS,
HEADERS, AND FLOOR JOISTS ONLY.

ALL RIGHTS RESERVED RESPECTING DESIGN AND SUBJECT SHOWN ON THIS DRAWING

REAR ELEVATION	SCALE: 1/4"=1'-0"	DWG. NO.	3 of 12
PROPOSED RESIDENCE FOR: DAVID & KATIE COX			
Paul Pare' Associates	Date: 11/14/15	Rev. 2 b	

Paul Pare' Associates Inc. P.O. Box 293, Monkton, Md. 21111 / Tele Or Fax: (410) 472-4306

Every attempt has been made to create an accurate set of Construction Drawings that meet most applicable codes, ordinances, and regulations. However, it shall become the responsibility of the Builder/Contractor to verify compliance with all local building codes and ordinances. All critical dimensions should be reviewed and confirmed by the Builder/Contractor and all structural elements should be verified with a local engineer and building official. PPA assumes no responsibility or liability for any damages or claims due to any deficiencies, omissions, or errors in the preparation of these Drawings.



* TP1 APPROVED ROOF TRUSSES TO BE DESIGN SUCH THAT ALL ROOF LOADS WILL BEAR ONLY ON EXTERIOR WALLS AND INSURE SOLID BEARING DOWN TO THE FOUNDATION WALLS.

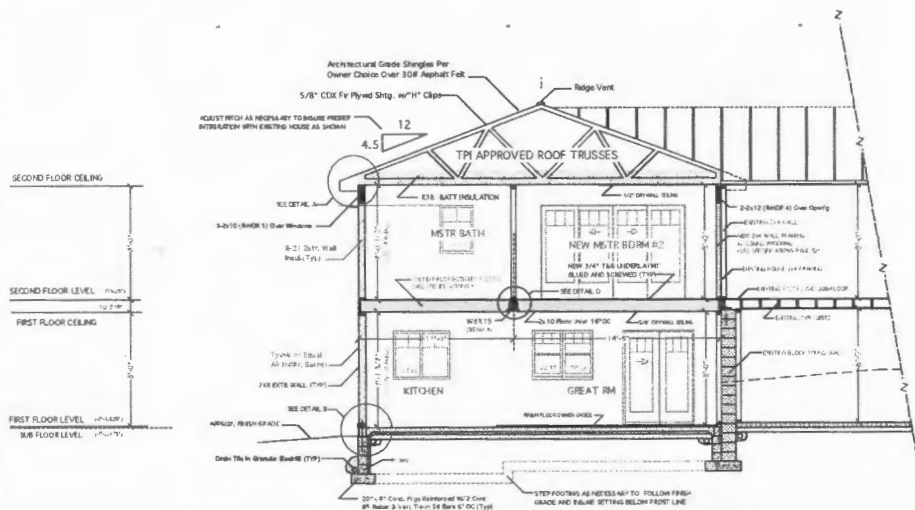
ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"



REVIEWED FOR STRUCTURAL SUPPORT;
FOUNDATION, ITES, A PERS. COLUMN;
A POSTS, STEEL, R AND, L.V. BEAMS,
HEADERS, AND FLOOR JOISTS ONLY.

ALL RIGHTS RESERVED RESPECTING DESIGN AND SUBJECT SHOWN ON THIS DRAWING

ROOF FRAMING PLAN	SCALE: 1/4"=1'-0"	DWG. NO.	8 of 12
PROPOSED RESIDENCE FOR: DAVID & KATIE COX			
Paul Pare' Associates	Date: 11/14/15	Rev. B	



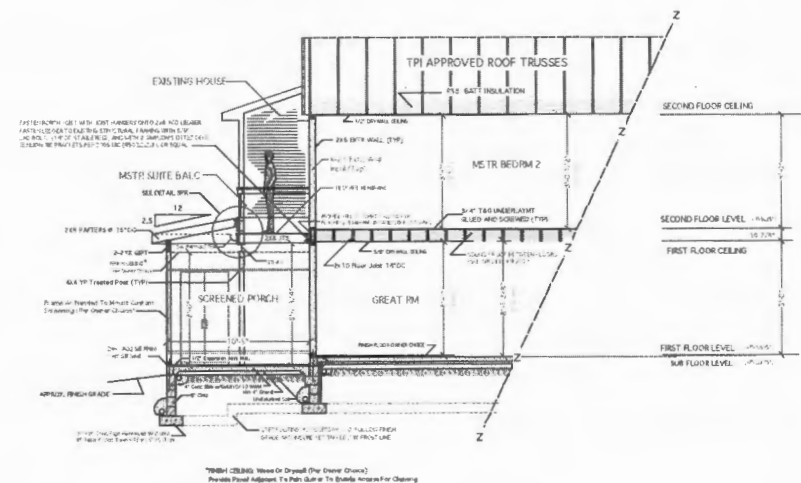
Set and reinforcement of all concrete footings, piers, and foundation walls must be verified to ensure compliance with local codes and local site and soil conditions. (Note: Soil bearing has been assumed to have a minimum capacity of 2500 P.S.F.)

"SOUND PROOFING SPECIFICATIONS (BETWEEN FLOORS)"

1. Fill space between floors with QuietZone Acoustic Battis
2. Provide 5/8" drywall first floor ceiling
3. Foam all ceiling abutment joints, boxes & outlets

SECTION AA

SCALE: 1/4"=1'-0"



SECTION BB

SCALE: 1/4"=1'-0"

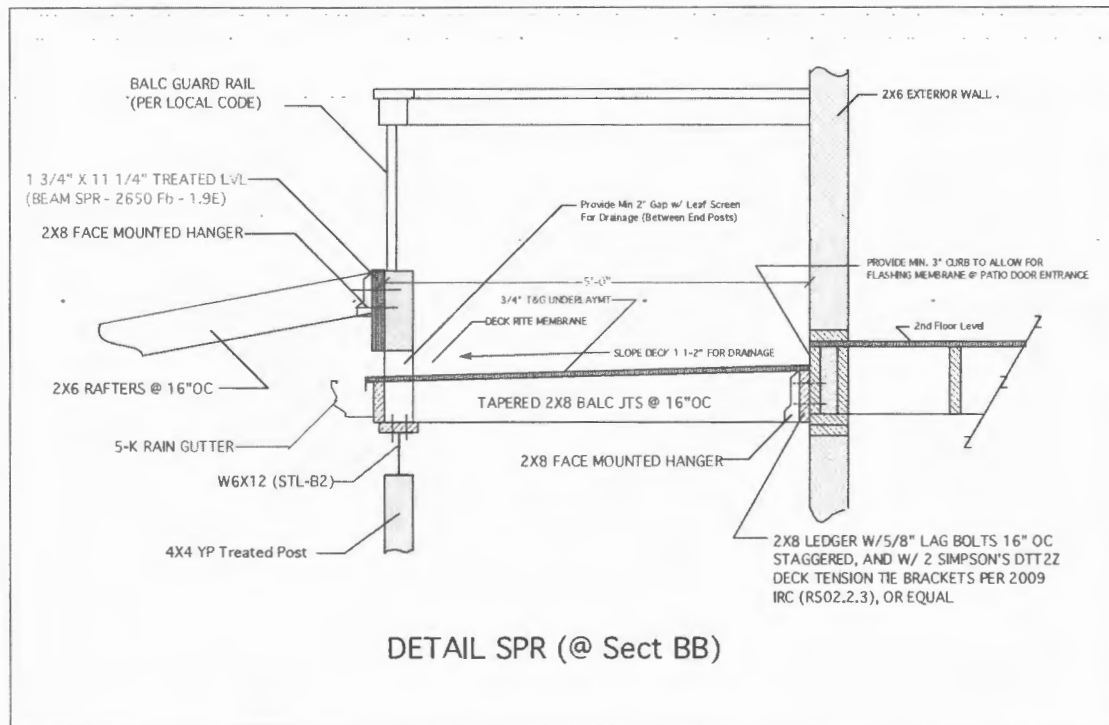
REVIEWED FOR STRUCTURAL SUPPORT, FOUNDATION, PTOS & PERM, COLUMNS & POSTS, STEEL, REINFORCED, BEAMS, HEADERS, AND FLOOR JOISTS ONLY.

ALL RIGHTS RESERVED RESPECTING DESIGN AND SUBJECT SHOWN ON THIS DRAWING

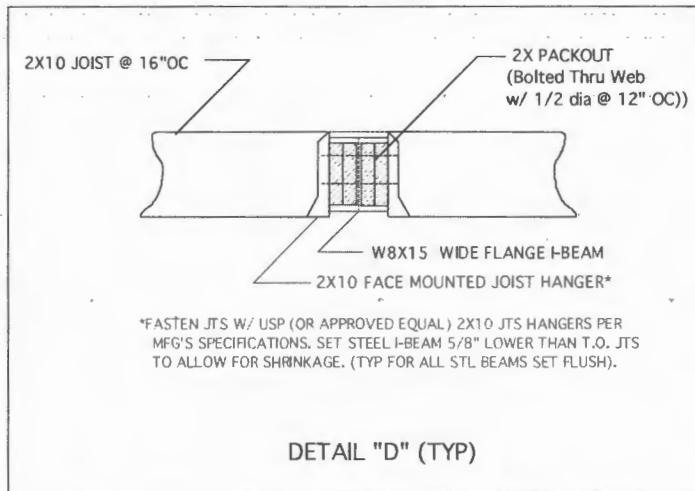
AS NOTED	SCALE: 1/4"=1'-0"	DWG. NO.	9 of 12
PROPOSED RESIDENCE FOR: DAVID & KATIE COX			
Paul Pare' Associates	Date: 11/14/15	Rev. B	

Paul Pare' Associates Inc. P.O. Box 293, Monkton, Md. 21111 / Tele Or Fax: (410) 472-4306

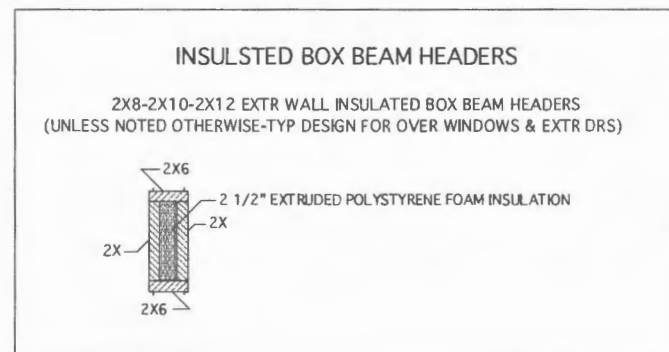
Every attempt has been made to create an accurate set of General Notes/Drawings that meet most applicable codes, ordinances, and regulations. However, it shall become the responsibility of the Builder/Contractor to verify compliance with all local building codes and ordinances. All critical dimensions should be reviewed and confirmed by the Builder/Contractor and all structural elements should be verified with a local engineer and building official. PPA assumes no responsibility or liability for any damage or claim due to any deficiencies, omissions, or errors in the preparation of these Drawings.



DETAIL SPR (@ Sect BB)



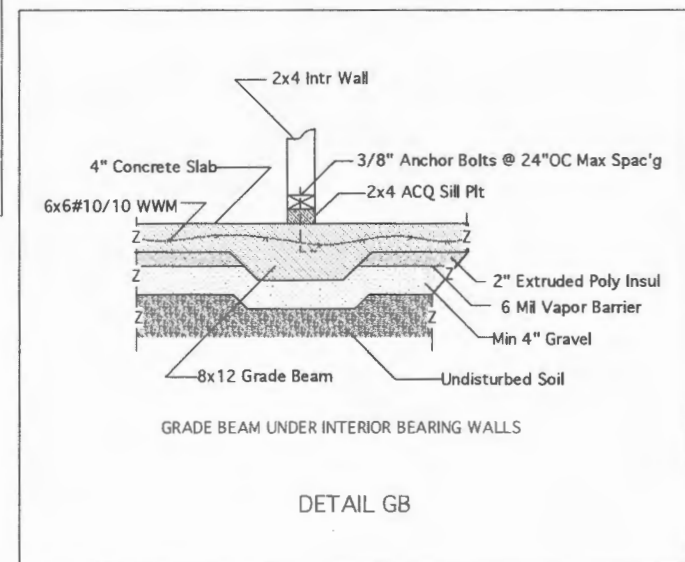
DETAIL "D" (TYP)



REVIEWED FOR STRUCTURAL SUPPORT:
FOUNDATION, PTGS & PERS, COLUMNS
& POSTS, STEEL BEAMS, LVL BEAMS,
HEADERS, AND FLOOR JOISTS ONLY.

SECTION DETAILS

SCALE: 1 1/2"=1'-0"



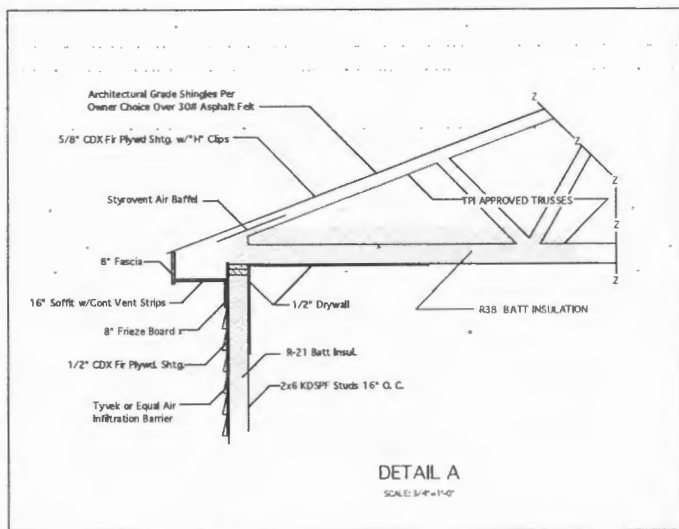
DETAIL GB

ALL RIGHTS RESERVED RESPECTING DESIGN AND SUBJECT SHOWN ON THIS DRAWING

AS NOTED	SCALE: 1 1/2"=1'-0"	DWG. NO. 10 of 12
PROPOSED RESIDENCE FOR: DAVID & KATIE COX		
Paul Pare' Associates	Date: 11/14/15	Rev. B

Paul Pare' Associates Inc. P.O. Box 293, Monkton, Md. 21111 / Tele Or Fax: (410) 472-4306

Every attempt has been made to create an accurate set of Construction Drawings that meet most applicable codes, ordinances, and regulations. However, it shall become the responsibility of the Builder/Contractor to verify compliance with all local building codes and ordinances. All critical dimensions should be reviewed and confirmed by the Builder/Contractor and all structural elements should be verified with a local engineer and building official. PPA assumes no responsibility or liability for any damages or claims due to any deficiencies, omissions, or errors in the preparation of these Drawings.



DETAIL A
SCALE: 3/4"=1'-0"

GENERAL SPECIFICATIONS

- DOUBLE FLOOR JOISTS ARE REQUIRED UNDER ALL PARALLEL PARTITIONS OVER 5'-0" IN LENGTH OR 2X LADDER FRAMING @ 16" O.C.
- DOUBLE JACK STUDS ARE REQUIRED ON EACH SIDE OF ALL OPENINGS GREATER THAN 6" WIDE.
- STRUCTURAL FRAMING LUMBER TO BE #2 S-YTH HEM-FIR GRADE UNLESS NOTED OTHERWISE.
- ALL LOAD BEARING WALLS MUST HAVE A MIN OF TWO TOP PLATES.
- FRAME ALL DOORS & CASED OPENINGS TO ALLOW SPACE FOR 3 1/2" CASINGS (MIN).
- PROVIDE SOLID BLOCKING UNDER ALL HEADERS, BEAMS, AND POSTS BEARING POINTS.
- ALL STEEL I-BEAMS AND PIPE COLUMNS MUST BE WELDED, OR FASTENED AND SECURED PER LOCAL GOVERNING CODES.
- EXTERIOR & INTERIOR WALLS FRAMED WITH KDSF STUDS GRADE MATERIAL.
- RECOMMENDED INSULATION: R-21 WALLS / R-38 CEILING & ROOF.
- APPLY "WEB STIFFENERS" AND "SQUASH BLOCKS" AT ALL BEARING POINTS PER MANUFACTURER'S SPECIFICATIONS. USE #80 BOX NAILS (SEE MFG'S PRODUCT CATALOG).
- CUT OPENINGS THROUGH WEB OF I-JOIST ONLY AS AUTHORIZED IN MFG'S PRODUCT LITERATURE OR IN WRITING BY MFG. DO NOT CUT FLANGES.
- INSTALL PLYWOOD OR OSB SHEATHING BETWEEN WEBS ON ALL I-JOIST MEMBERS.
- GLUE & NAIL @ 6" O.C. FROM BOTH SIDES, STAGGER ROWS/CLINCH NAILS FROM OPPOSITE SIDES.
- ALL RM BOARDS FOR I-JOISTS TO BE 1" OSB "1/4" RM BOARD" (SEE DETAIL). EXCEPT, WHEN USE IN CONJUNCTION WITH JOIST HANGERS USE 1 3/4" LVL AS RM BOARD (SEE DETAIL).
- USE ONLY APPROVED I-JOIST & LVL BEAM HANGERS AS MANUFACTURED FOR USE WITH ENGINEERED LUMBER.
- FASTEN AND INSTALL ALL ENGINEERED LUMBER IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION.
- ALL 4-PLY LVL BEAMS MUST BE BOLTED WITH 1/2" HEX HD BOLTS W/ FENDER WASHERS INSTALLED 12" O.C. STAGGERED 3" FROM TOP AND BOTTOM.
- APPLY 2-X12 BOXED HEADERS OVER ALL WINDOWS & EXTERIOR DOOR OPENINGS UNLESS NOTED OTHERWISE.
- ALL EXTERIOR WALLS ADJACENT TO CATH. AND/OR VAULTED CEILINGS MUST BE BALLOON FRAMED.
- ALL WINDOWS IN THESE WALLS MUST BE STRUCTURALLY REINFORCED PER MFG'S SPECIFICATIONS.
- AT LEAST ONE SMOKE DETECTOR SHALL BE INSTALLED ON EACH FLOOR TO INCLUDE ALL SLEEPING AREAS AND AT THE BOTTOM OF BSTM STAIRS.
- ONE WINDOW IN EACH BEDROOM MUST HAVE A CLEAR OPENING OF AT LEAST 24" HIGH AND 20" WIDE AND HAVE A MIN CLEAR OPENING OF 5.7 sq ft. BILL SHALL BE NO MORE THAN 44" ABOVE FINISH FLOOR.
- ALL STRUCTURAL MEMBERS ARE SUBJECT TO REVIEW BY THE BUILDER/GENERAL CONTRACTOR TO INSURE COMPLIANCE WITH ALL LOCAL BUILDING CODES.
- THE BUILDER/GENERAL CONTRACTOR MUST FIELD VERIFY ALL DIMENSIONS PRIOR TO STARTING CONSTRUCTION.
- WRITTEN DIMENSIONS OVERSIDE SCALE.
- DESIGN LOADS MEET OR EXCEED BOCA 93' CHAPTER 16.

STRUCTURAL SPECIFICATIONS

FOUNDATION:

- The footings have been designed for a minimum bearing capacity of 2500 psf provided at the foundation depth by original undisturbed soil. If these conditions do not exist, notify the Architect/Engineer for corrections.
- All exterior (exposed) wall footings shall be founded in 36" (min.) below final exterior grade.
- Footing reinforcing is to be continuous placed in accordance with the construction plans.
- Backfill under the slab on grade shall be compacted to a dry density of 95% as determined by AASHTO T-180.
- Provide adequate shoring for foundation and/or retaining walls. Backfill cautiously only after bracing and flooring is securely in place.

CONCRETE:

- All concrete work shall conform to the provisions as outlined in "Specification For Structural Concrete For Buildings" (ACI 301-85), and "Building Code Requirements For Reinforced Concrete" (ACI 318-89). As applicable, the work shall also conform to: ACI 305-82, ACI 306-83, and ACI 347-88.
- All concrete shall be stone and aggregate type of design compressive strength of 3000psi @ 28 days. Concrete exposed to weather shall have air entrainment of +5%. No other admixtures shall be used without approval.
- All concrete specified for use as fill for masonry walls shall be a pre-gravel aggregate mix of 3000psi design strength. Grout, when specified, shall conform to ASTM C - 476.

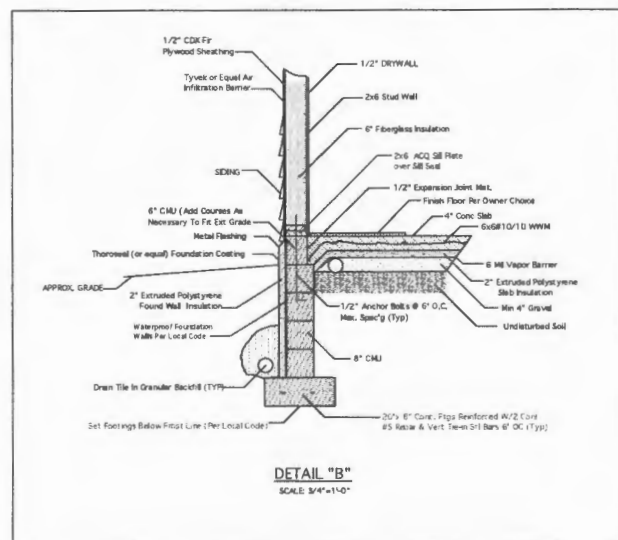
MASONRY

- All exterior walls, and all walls supporting loads, shall be constructed of load bearing concrete masonry units, conforming to ASTM C-90, Type N-1.
- All CMU bearing walls to be laid with type "S" mortar.
- Masonry walls shall be reinforced with bed joints reinforced with "Duro-Wall", or equal, at 16" vertical.
- All masonry materials and installation shall conform to the standards and recommendations of NCMA.

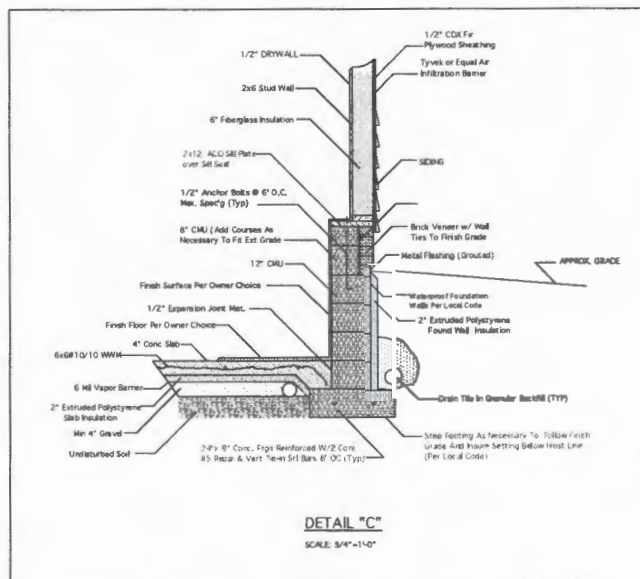
STEEL LINTELS FOR BRICK VENEER

- Steel lintels must be design for L/600 with a maximum deflection of 0.3", and must bear on solid masonry.
- For typical window and door openings use: 3 1/2"x3"x1/4" for 0' to 5.0' span
4"x3 1/2"x1/4" for 5.0 to 6.5' span
5"x3 1/2"x1/4" for 6.5' to 8.0' span
6"x4"x1/4" for 8.0' to 10' span

- If special conditions exist, notify the Architect/Engineer for review.



DETAIL "B"
SCALE: 3/4"=1'-0"



DETAIL "C"
SCALE: 3/4"=1'-0"



REVIEWED FOR STRUCTURAL SUPPORT, FOUNDATION, FTGS & PIERS, COLUMNS & POSTS, STEEL BEAMS, LVL BEAMS, HEADERS, AND FLOOR JOISTS ONLY.

SECTION DETAILS & SPECIFICATIONS

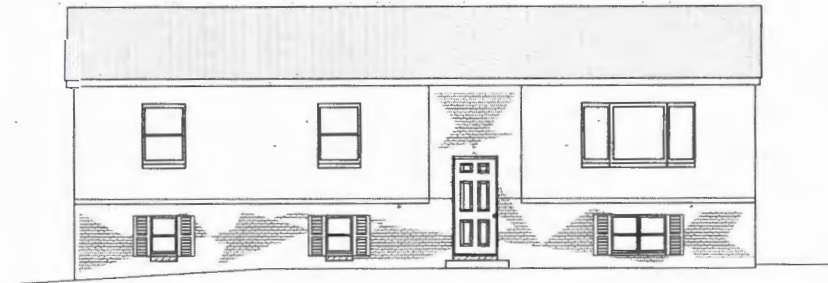
SCALE: 1/4"=1'-0"

ALL RIGHTS RESERVED RESPECTING DESIGN AND SUBJECT SHOWN ON THIS DRAWING.

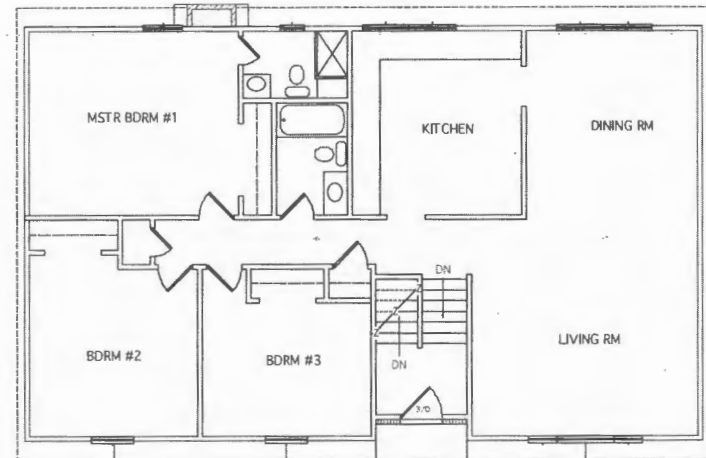
AS NOTED	SCALE: 3/4"=1'-0"	DWG. NO.	11 of 12
PROPOSED RESIDENCE FOR: DAVID & KATIE COX			
Paul Pare' Associates	Date: 11/14/15	Rev. B	

Paul Pare' Associates Inc. P.O. Box 293, Monkton, Md. 21111 / Tele Or Fax: (410) 472-4306

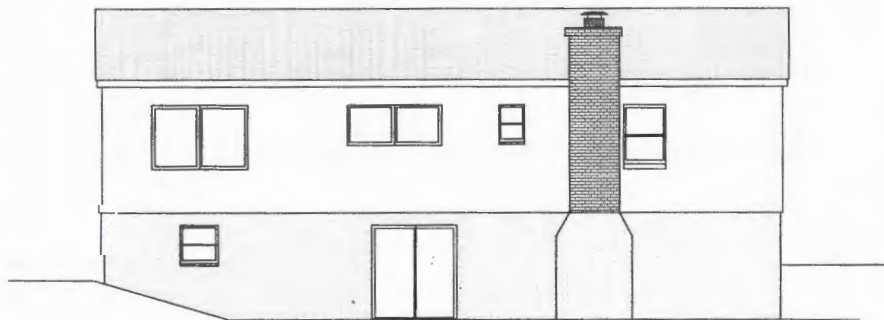
Every attempt has been made to create an accurate set of Generalization Drawings that meet most applicable codes, ordinances, and regulations. However, it shall become the responsibility of the Builder/Contractor to verify compliance with all local building codes and ordinances. All critical dimensions should be reviewed and confirmed by the Builder/Contractor and all structural elements should be verified with a local engineer and building official. PPA assumes no responsibility or liability for any damages or claims due to any omissions, errors, or errors in the preparation of these Drawings.



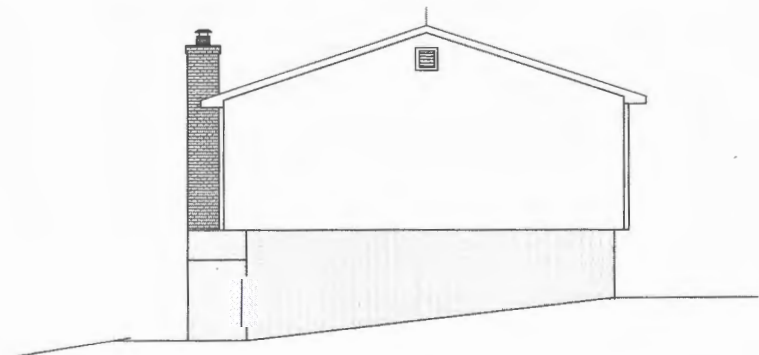
EXISTING FRONT ELEVATION



EXISTING SECOND LEVEL PLAN



EXISTING REAR ELEVATION



EXISTING LEFT ELEVATION

EXISTING HOUSE

SCALE: 1/4"=1'-0"

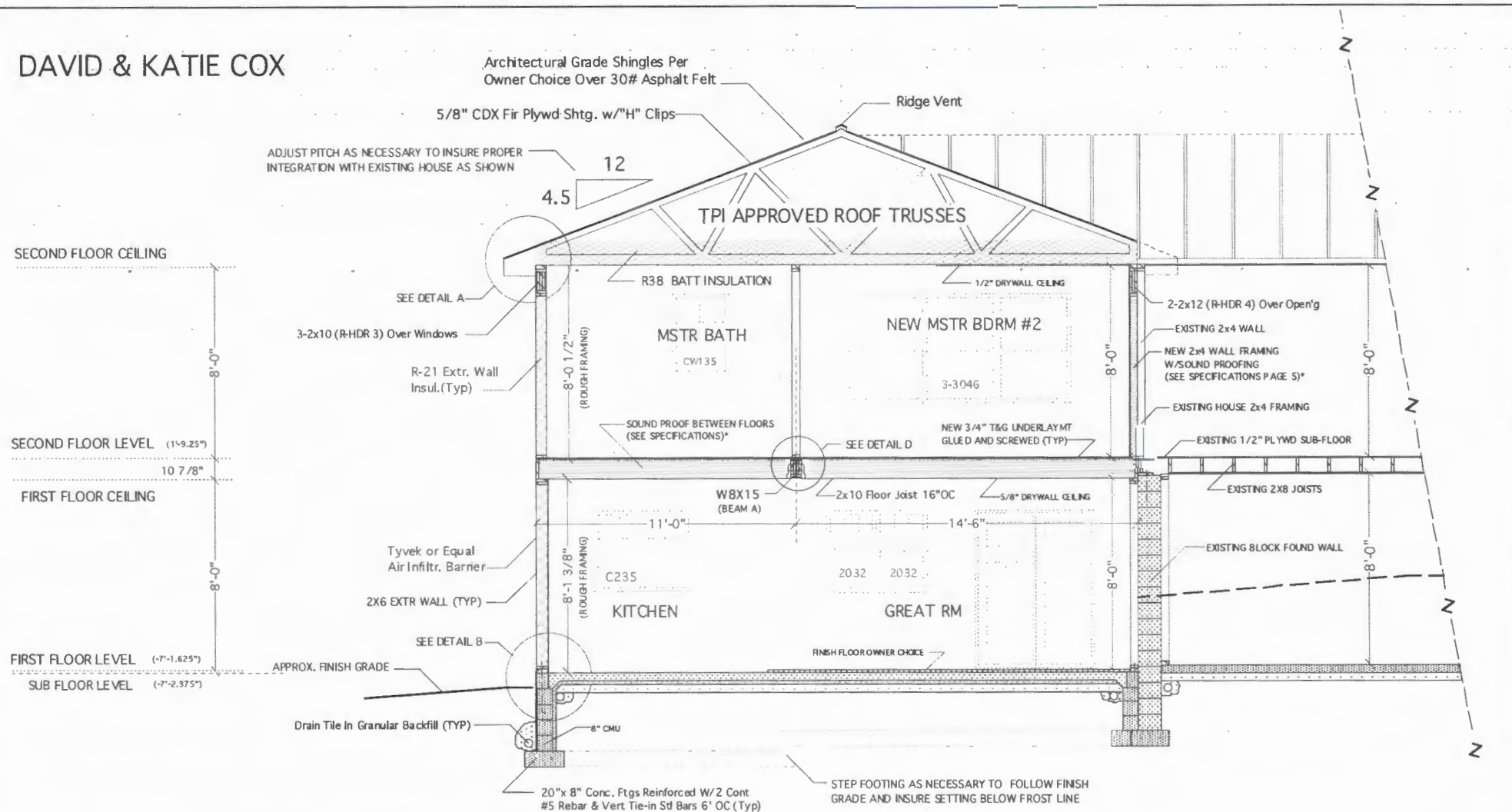
Paul Pare' Associates Inc. P.O. Box 293, Monkton, Md. 21111 / Tele Or Fax: (410) 472-4306

Every attempt has been made to create an accurate set of Construction Drawings that meet most applicable codes, ordinances, and regulations. However, it shall become the responsibility of the Builder/Contractor to verify compliance with all local building codes and ordinances. All critical dimensions should be reviewed and confirmed by the Builder/Contractor and all structural elements should be verified with a local engineer and building official. PPA assumes no responsibility or liability for any damages or claims due to any deficiencies, omissions, or errors in the preparation of these Drawings.

ALL RIGHTS RESERVED RESPECTING DESIGN AND SUBJECT SHOWN ON THIS DRAWING

EXISTING HOUSE	SCALE: 1/4"=1'-0"	DWG. NO. 12 of 12
PROPOSED RESIDENCE FOR: DAVID & KATIE COX		
Paul Pare' Associates	Date: 11/14/15	

DAVID & KATIE COX



SECTION AA

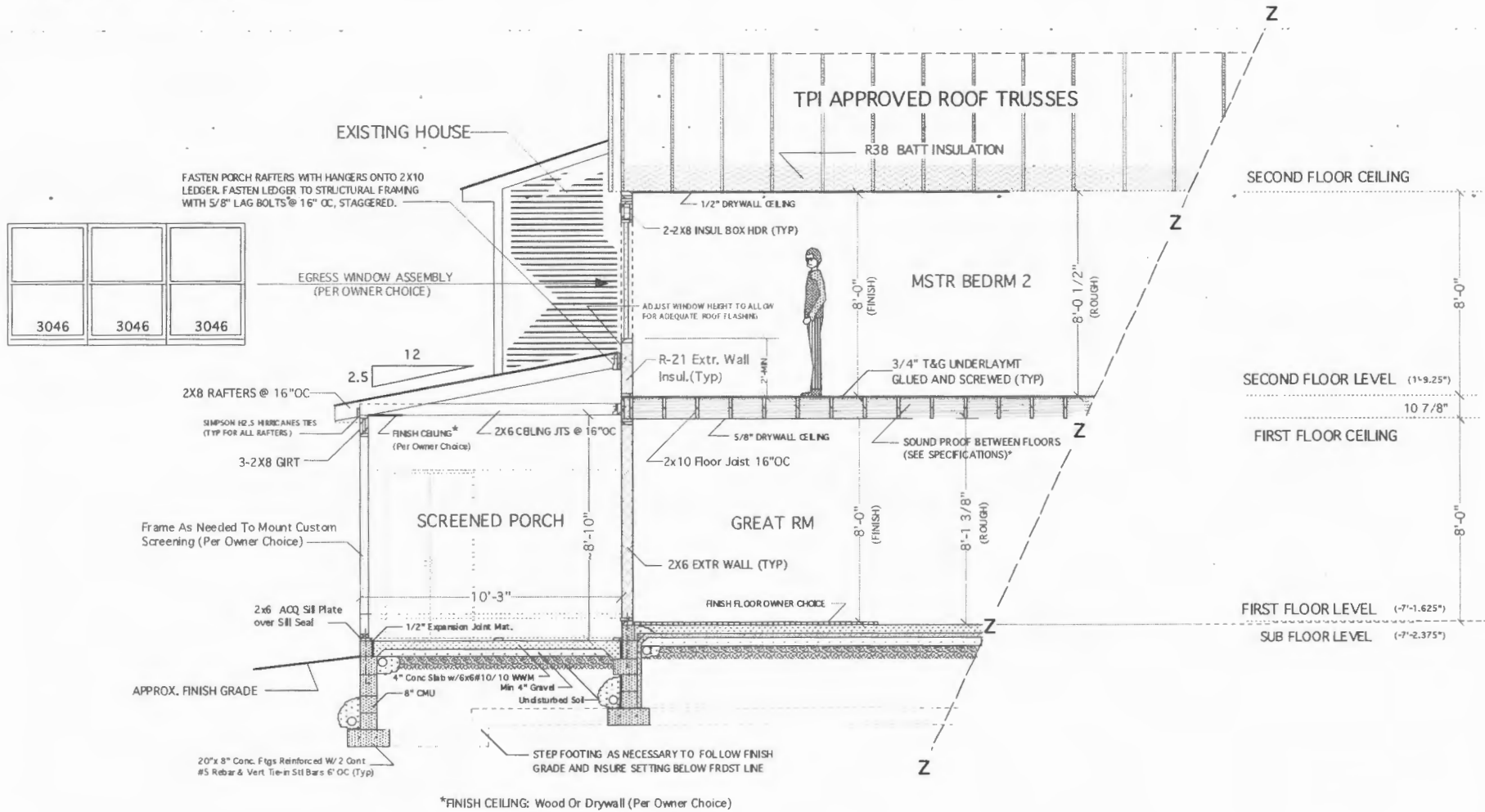
SCALE: 1/4"=1'-0"

- *SOUND PROOFING SPECIFICATIONS (BETWEEN FLOORS)

1. Fill space between floors with QuietZone Acoustic Batts
2. Provide 5/8" drywall first floor ceiling
3. Foam all ceiling electrical fixture Boxes & outlets

Size and reinforcement of all concrete footings, pads & piers, and foundation walls must be verified to insure compliance with local codes and local site and soil conditions.
(Note: Soil bearing has been assumed to have a minimum capacity of 2500 P.S.F.)

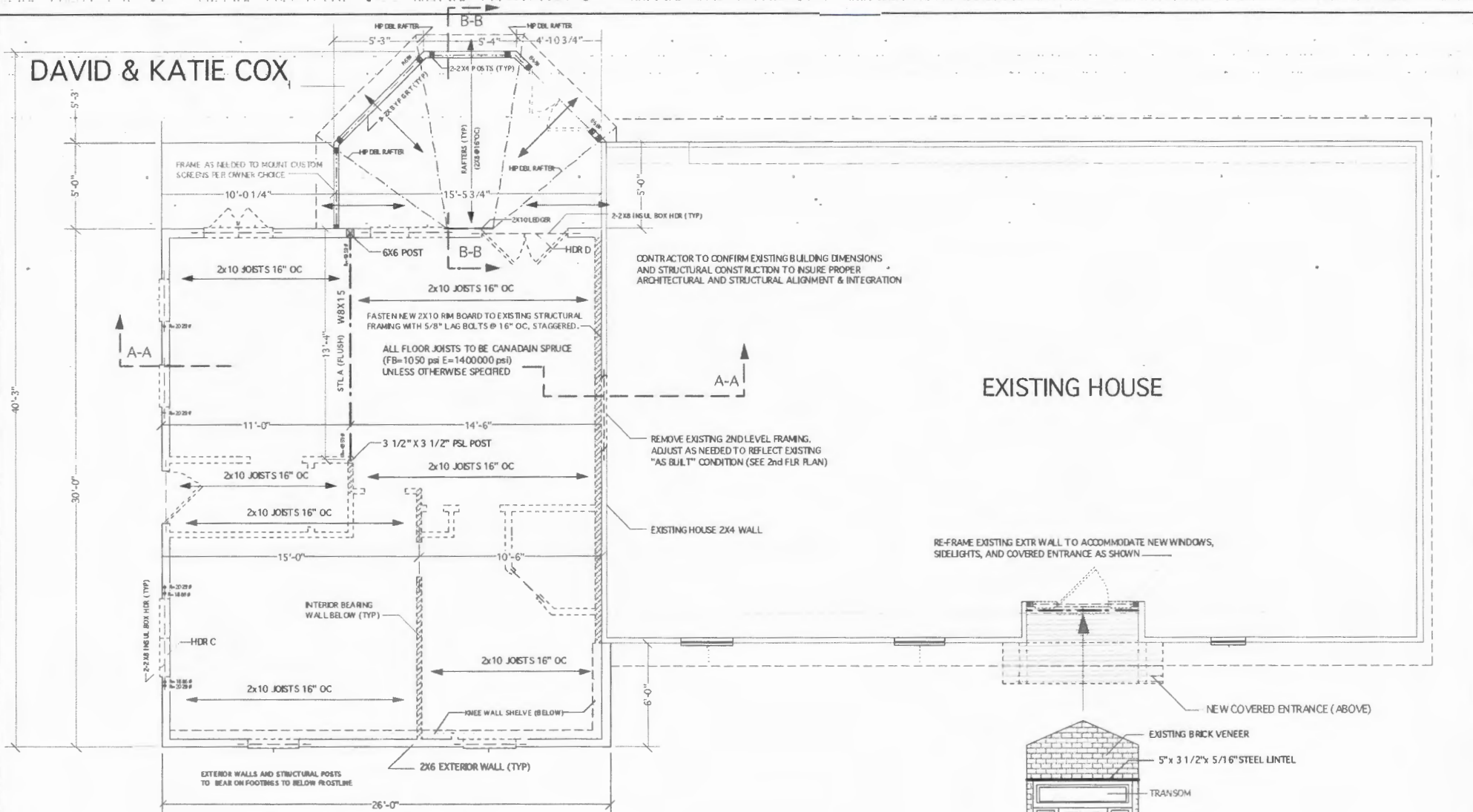
DAVID & KATIE COX



SECTION BB

SCALE: 1/4" = 1'-0"

DAVID & KATIE COX



SECOND FLOOR FRAMING PLAN

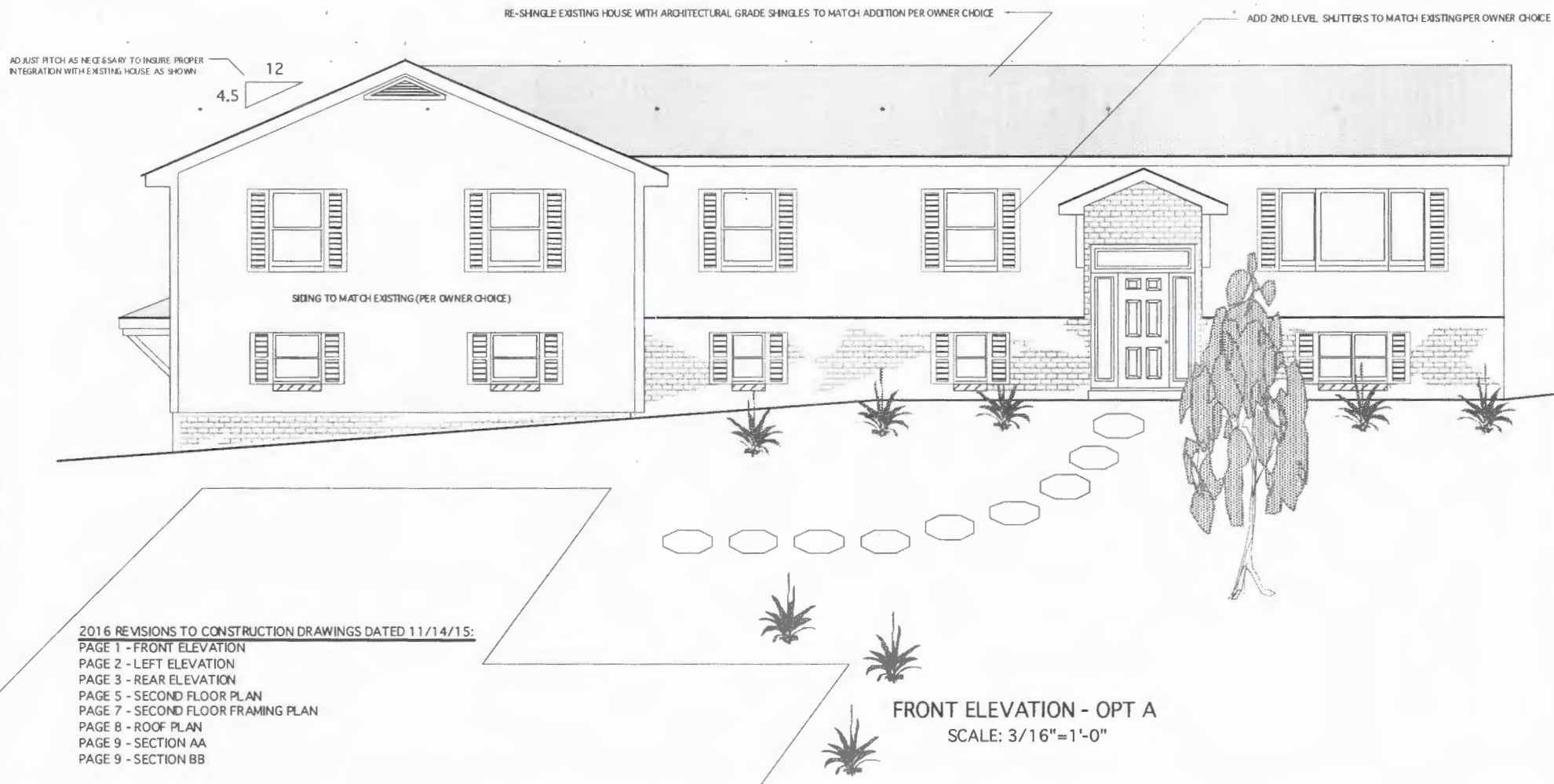
SCALE: 3/16"=1'-0"

ALL STRUCTURAL MEMBERS MUST BE VERIFIED BY THE GENERAL CONTRACTOR/ BUILDER TO INSURE COMPLIANCE WITH LOCAL BUILDING CODES AND REGULATIONS

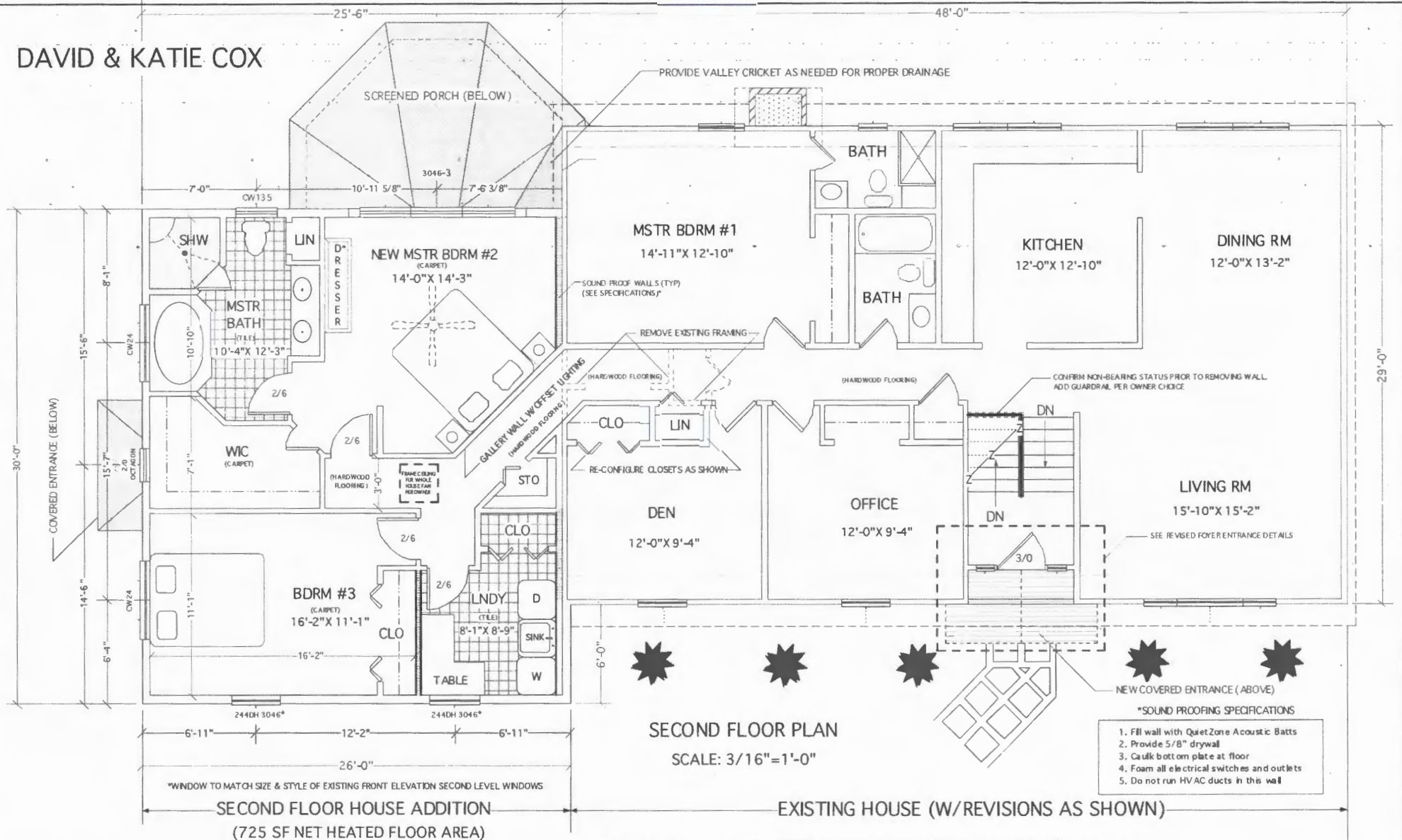
Paul Pare Associates, Inc. P.O. Box 293, Monkton, MD. 21111 Telephone or Fax: (410) 472-4306, e-mail: ppadesign@comcast.net

5/15/16 REVISION

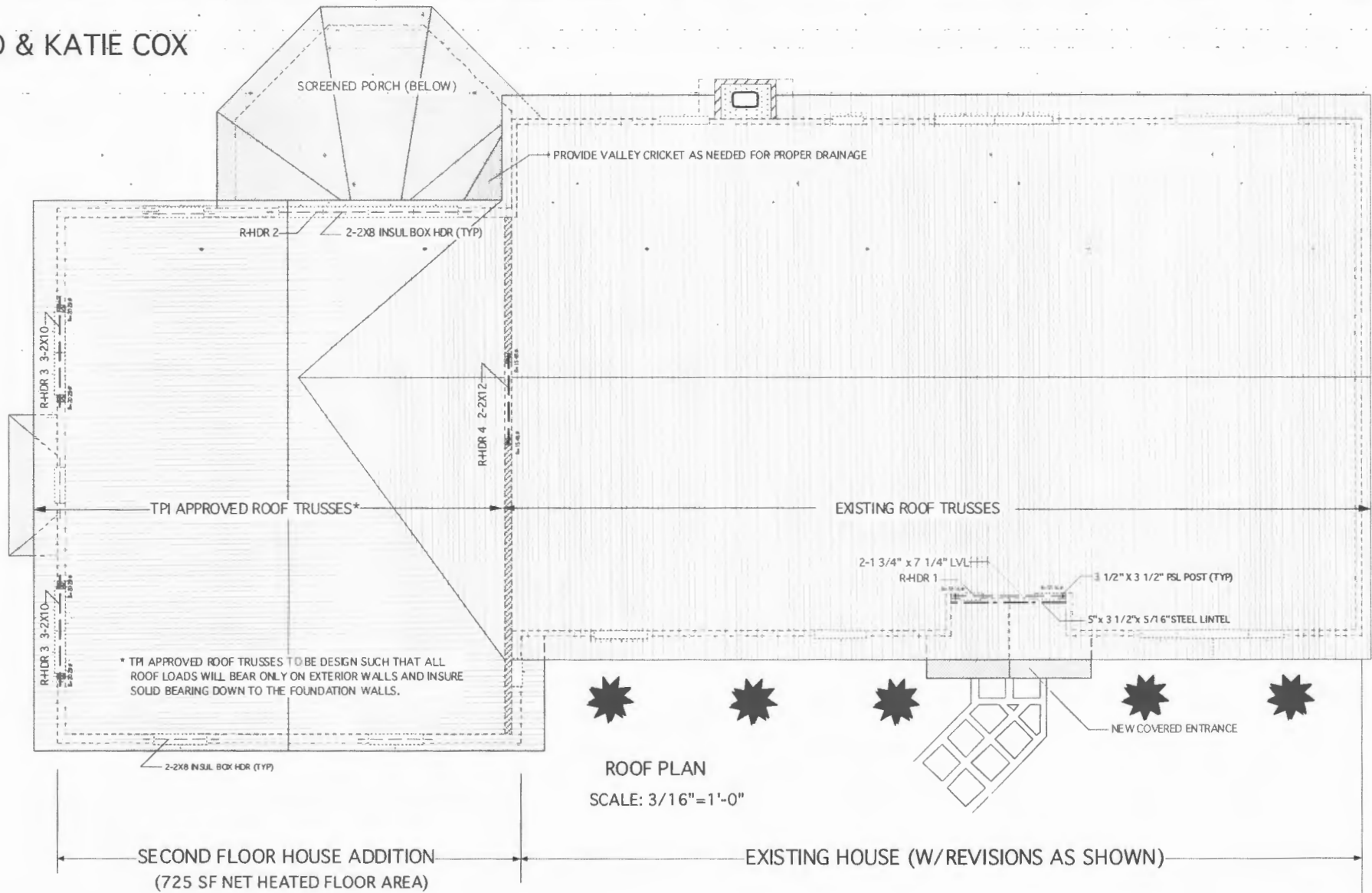
DAVID & KATIE COX



DAVID & KATIE COX



DAVID & KATIE COX



DAVID & KATIE COX



REAR ELEVATION - REV OPT A

SCALE: 3/16"=1'-0"



5/14/16 REVISION

APPLICATION FOR PERMIT
BALTIMORE COUNTY, MARYLAND
DEPARTMENT OF PERMITS, APPROVALS & INSPECTIONS
TOWSON, MARYLAND 21204

Date 8/4/16
OEA AB
Historic District/Building
☐ Yes ☐ No
District / Precinct 8

Permit # B
Control # MR
Ref # _____
Receipt # A
Fee 115.10
Fees Paid 125
Issued By _____
Inspector _____

Property Address 1227 PINEY HILL RD.
Suite/Space/Floor MONKTON M.D. 21111
Subdivision RICHLAND ESTATES
Tax Account # 1900008542
Will this building have sprinklers? ☐ Yes ☐ No
Is this property located in a floodplain? ☐ Yes ☐ No

OWNER'S INFORMATION

First & Last Name (Individual) DAVID WALTER & CATHERINE COX
Corporation Name N/A
Address 1227 PINEY HILL RD
City, State, Zip same 21111
Seller _____

I HAVE CAREFULLY READ THIS APPLICATION AND KNOW THE SAME IS CORRECT AND TRUE, AND THAT IN DOING THIS WORK ALL PROVISIONS OF THE BALTIMORE COUNTY CODE AND APPROPRIATE STATE REGULATIONS WILL BE COMPLIED WITH WHETHER HEREIN SPECIFIED OR NOT, AND WILL REQUEST ALL REQUIRED INSPECTIONS.

APPLICANT INFORMATION

Name Jon Skarda Phone Number 410 574-6623
Company (if applicable) SHORE-LINE CONSTRUCTION
Address 4713B FORGE RD.
City, State, Zip PERRY HALL MD 21128
Applicant Signature [Signature] E-Mail Jon@SHORE-LINE CONSTRUCTION
Business/Tenant Name _____
Contractor SHORE-LINE CONSTRUCTION MHIC # 48611 MHBR # 1318
Engineer _____
PLANS: CONST 2 PLOT 5 PLAT 2 DATA 0 EL 1 PL 1 DRC # _____

TYPE OF IMPROVEMENT

☐ New Bldg Construction
☒ Addition
☐ Alteration
☐ Repair
☐ Wrecking
☐ Moving
☐ Other _____

DESCRIBE PROPOSED WORK: CONSTRUCT 2-STY ADDN ON SIDE OF SFD TO BE INLAW SUITE. 1ST FL TIP KITCHEN, BEDRM, BATHRM, GREAT R SCREENED PORCH, COUD SIDE ENTRY.

TYPE OF USE

RESIDENTIAL
☒ One Family
☐ Two Family
☐ Three and Four Family
☐ Five or More Family (enter no. units) _____
☐ Swimming Pool
☐ Garage
☐ Other _____

NON-RESIDENTIAL 2ND FL TIP 2 BEDRMS, BATHRM, LAUNDRY AND BALCONY.
08. ☐ Amusement, Recreation, Place of Assembly
09. ☐ Church, Other Religious Building
10. ☐ Deleted
11. ☐ Industrial, Storage Building
12. ☐ Parking Garage
13. ☐ Service Station, Repair Garage
14. ☐ Hospital, Institutional, Nursing Home
15. ☐ Office, Bank, Professional
16. ☐ Public Utility
17. ☐ School, College, Other Educational
18. ☐ Deleted
19. ☐ Store ☐ Mercantile ☐ Restaurant (specify type) _____
20. ☐ Swimming Pool (specify type) _____
21. ☐ Tank, Tower
22. ☐ Transient Hotel, Motel (no. units) _____
23. ☐ Other _____
26' X 40'3" X 24' = 17300
ALSO CONSTRUCT ROOF OVER EX ENTRY 9.5' X 4.5' = 4250
Zoning case # 2017-0063 - SPH granted 10/21/16

Foundation Type Basement
☐ Slab 1. ☐ Full
☐ Block 2. ☐ Partial
☐ Concrete 3. ☐ None

Type of Construction
☐ Masonry
☐ Wood Frame
☐ Structure Steel
☐ Reinforced Concrete

Type of Heating Fuel
1. ☐ Gas 3. ☐ Electricity
2. ☐ Oil 4. ☐ Coal

Central Air: 1. ☐ 2. ☐ proposed addition is not in the 100-y Riverfront P.P. map 0110F, DATED 9-26-08 zone Y-unserved Rthunley 8-4-16

Type of Sewage Disposal
☐ Public Sewer ☐ Exists ☐ Proposed
☒ Private System ☐ Exists ☐ Proposed
☐ Septic ☐ Exists ☐ Proposed
☐ Privy ☐ Exists ☐ Proposed

Type of Water Supply
1. ☐ Public System ☐ Exists ☐ Proposed
2. ☒ Private System ☐ Exists ☐ Proposed

Estimated Cost of Materials and Labor \$ 300,000

Proposed Use SFD + ADDN
Existing Use u

BALTIMORE COUNTY, MARYLAND
OFFICE OF BUDGET AND FINANCE
MISCELLANEOUS CASH RECEIPT

№ 144002

Date: 8/23/16

PAID RECEIPT

BUSINESS ACTUAL TIME BRN
8/24/2016 8/23/2016 11:30:47 2
REG H503 WALKIN CAH
>>RECEIPT # 694016 8/23/2016 UFLH
Dept 5 528 ZONING VERIFICATION
CR NO. 144002
Recpt Tot \$100.00
\$100.00 CR \$1.00 CA
Baltimore County, Maryland

Fund	Dept	Unit	Sub Unit	Rev Source/ Obj	Sub Rev/ Sub Obj	Dept Obj	BS Acct	Amount
001	806	0000		6150				5100

Total: 5100

Rec From: David + Katherine Cox

For: Decorations of Understanding

**CASHIER'S
VALIDATION**

DISTRIBUTION

WHITE - CASHIER PINK - AGENCY YELLOW - CUSTOMER GOLD - ACCOUNTING
PLEASE PRESS HARD!!!!