

IN THE MATTER OF
ROSEDALE FEDERAL SAVINGS AND LOAN
ASSOCIATION
9616 AND 9618 BELAIR ROAD

11th Election District
5th Councilmanic District

* BEFORE THE
* BOARD OF APPEALS
* FOR BALTIMORE COUNTY
* Case No. 2016-0219-X
* and 2016-0063-SPH
*

* * * * *

OPINION

This matter came before the Board of Appeals on September 20, 2016 as a de novo appeal from the November 20, 2015 and June 1, 2016 decisions of the Office of Administrative Hearings in which the requested Special Hearing to permit accessory parking in a residential (RO) zone to support a commercial use in a commercial (BL) zone (Case No. 2016-063-SPH) and the requested Special Exception to permit a Class B Office Building in the RO zone (Case No. 2016-0219-X) were approved and denied, respectively. The cases were consolidated before the Board of Appeals. A public deliberation was held by the Board on November 3, 2016.

BACKGROUND

The property involved in this appeal is a 2.77 acre BL and RO split-zoned parcel located at 9616 and 9618 Belair Road, on the northwest corner of the intersection of Belair Road and Baker Lane in Baltimore County, Maryland (the "Property"). The headquarters for Rosedale Federal Savings and Loan ("Rosedale") is located on the Property and includes a bank branch, an office building and accessory parking. On account of Rosedale's recent growth, it is seeking approval to construct an addition to the office building with accessory parking on the Property. The proposal calls for the office building to be constructed partly in the RO-zoned portion of the Property and partly in the BL-zoned portion of the Property, as depicted in the site plan (Petitioner's Exhibit 8).

The parking is located in both the BL and RO-zoned portions of the Property. Section 409.8.B of the Baltimore County Zoning Regulations ("BCZR") permits business parking in a residential zone. Section 204.3.B.2 of the BCZR permits the type of office proposed here as a Special Exception in the RO zone.

The Administrative Law Judge granted the Special Hearing for the parking in the residential zone and denied the Special Exception for the office use.

HEARING

The consolidated relief sought before the Board was (1) a Petition for Special Hearing pursuant the BCZR § 409.8.B to permit business parking in a residential zone, and (2) a Petition for Special Exception pursuant to BCZR § 204.3.B.2 to permit a Class B Office in a residential zone. Linda Muffoletto, Matt Bishop, and Chris Lester appeared before the Board in support of the combined Petitions for Special Hearing and Special Exception. Adam Baker, Esquire represented Rosedale Federal Savings and Loan Association (the "Petitioner"). Also appearing before the Board were Carole Demilio, Esquire, People's Counsel for Baltimore County, and Pat Keller, on behalf of the Perry Hall Improvement Association ("PHIA").

The Petitioner proceeded by means of a modified proffer. The Petitioner's first witness was Chris Lester, a professional architect and President and Design Principal of GVA Architecture and Interior Design. Mr. Lester was offered and accepted by the Board as an expert in the field of architecture and presented the plans for the proposed addition which included renderings of the building (Petitioner's Exhibit 2), floor plans (Petitioner's Exhibit 3), aerial photographs of the Property (Petitioner's Exhibit 3), and the original and modified rendered site plans (Petitioner's

Exhibits 5 and 6, respectively)¹. Mr. Lester expressed his opinion that the proposed building was complementary to the existing building in size, scale and materials.

The next witness called by the Petitioner was Matt Bishop, a professional Landscape Architect with Morris and Ritchie Associates, Inc. Mr. Bishop was offered and accepted by the Board as an expert in the fields of planning, zoning and landscape architecture. Mr. Bishop prepared the Plan B site plan (Petitioner's Exhibit 8) and described the site's zoning, existing conditions, the surrounding area, and the proposed office addition. Mr. Bishop also described the prominent differences between the original Plan A and the proposed Plan B. Mr. Bishop stated and explained the basis for his opinion that the proposed business parking in the residential zone meets the requirements of BCZR § 409.8.B.2. Mr. Bishop's conclusion was that the proposed parking scheme is consistent with other business uses in the surrounding area, that it would have a minimal impact on the surrounding area, and that it meets all of the requirements of the BCZR. With regard to the special exception, Mr. Bishop stated that he was familiar with the requirements of BCZR § 502.1 for approving a special exception request in Baltimore County as well as the seminal cases in Maryland governing special exceptions. Mr. Bishop concluded that the proposed office use meets all of the requirements of BCZR § 502.1 and the special exception jurisprudence of Maryland.

DECISION OF THE BOARD

With regard to the parking in the residential zone, BCZR § 409.8 provides a list of requirements which must be satisfied in order to permit such a parking facility. Essentially, the applicable test is that set forth in BCZR § 502.1: whether the use will be detrimental to the health,

¹ Over the course of this matter, the layout and design of the proposed office addition has changed. The modified design, referred to as "Plan B" by the Petitioners, is the plan for which the Petitioners are seeking approval before the Board. Plan B moves the proposed building closer to Belair Road than the original "Plan A" proposal and shifts some of the parking to the rear of the building. Plan B was the result of an agreement between the Petitioner and the PHIA.

safety or general welfare of the surrounding community. Based upon the evidence presented, the Board is of the opinion that the proposed parking meets the requirements of BCZR §§ 409.8 and 502.1.

With regard to the proposed office use, BCZR § 204.3.B.2 provides that such a use is permitted as a special exception in the RO zone. Section 502.1 of the BCZR sets forth the requirements which must be met in order for a special exception to be approved in Baltimore County. There is a presumption under Maryland Law that a special exception is in the general interest of the jurisdiction where it is located and therefore valid. In addition, when a legislative body deems a use to be permitted as a special exception, there is the presumption that the use is consistent with the Master Plan of the particular jurisdiction. People's Counsel for Balt. Cnty. v. Loyola College in Md., 406 Md. 54, 77, 956 A.2d 166 (2008). The Maryland Court of Appeals has recognized that:

a special exception is a valid zoning mechanism that delegates to an administrative board a limited authority to permit enumerated uses which the legislative body has determined can, *prima facie*, properly be allowed in a special use district, absent any fact or circumstance in a particular case which would change this presumptive finding.

Id., at 105-106 (quoting Montgomery Cnty. v. Merlands Club, Inc., 202 Md. 279, 287, 96 A.2d 261 (1953)).

Special exception uses, by their very nature, have inherent adverse impacts. Loyola at 69. The Special Exception Test² exists to determine if the use and its inherent adverse characteristics are greater than or beyond those which one would ordinarily expect the use to have regardless of its location. Further, as the Court in Loyola discussed, the special exception ensures that there is appropriate oversight for uses which ensures that the surrounding community will not suffer real

and significant harm. If a use will actually significantly harm the community, then it follows that the use is impacting the community in a manner that is above that which one would expect the use to have. Where the impacts of a use are mere inconveniences (e.g. traffic, noise, typical operation and construction impacts), though, it cannot be said that the impacts are above that which are expected with the use because they do not actually significantly harm the community. Loyola, 406 Md. at 99-100.

In seeking special exception relief, the applicant bears both the burden of production and the burden of persuasion on the issue of whether the special exception should be granted. Id. at 109. If evidence is presented that generates a genuine question of fact as to whether the grant of a special exception would violate the Special Exception Test, the applicant must “persuade the zoning authority by a preponderance of the evidence that the special exception will conform to all applicable requirements.” Id.

The Board finds that the evidence presented by the Petitioner satisfies the requirements of BCZR § 502.1. The Board also finds that there was no evidence presented which rebuts the presumption of the proposed use’s validity under the law. Therefore, under the law of special exceptions in Maryland, the Board determines that the Petitioner has met its burden of production and persuasion in satisfying the requirements of BCZR § 502.1 and grants the special exception subject to the conditions contained in the following Order.

ORDER

IT IS THEREFORE, this 27th day of December, 2016, by the Board of Appeals
of Baltimore County

² The “Special Exception Test” as used herein shall mean BCZR § 502.1 as interpreted through the Maryland courts.

ORDERED that the Petition for Special Hearing pursuant to BCZR § 500.7 to approve accessory parking in a residential (RO) zone to support a commercial use in a commercial (BL) zone, be and is hereby GRANTED.

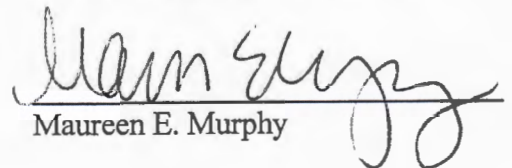
ORDERED that the Petition for Special Exception pursuant to BCZR § 502.1 to approve a Class B Office in the RO zone, be and is hereby GRANTED.

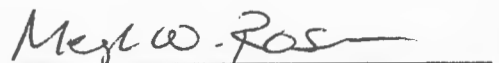
The relief granted herein shall be subject to and conditioned upon the following:

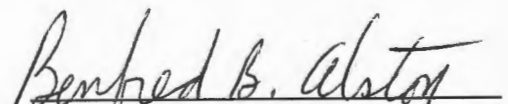
1. Upon expiration of the thirty (30) day appeal period following this Order with no appeals having been filed, the Petitioner shall record in the Land Records of Baltimore County an Amendment to the Restrictive Covenant Agreement between the Petitioner and the Perry Hall Improvement Association, a copy of which is attached hereto for reference.

Any Petition for Judicial Review from this decision must be made in accordance with Rule 7-201 through Rule 7-210 of the *Maryland Rules*.

**BOARD OF APPEALS
OF BALTIMORE COUNTY**


Maureen E. Murphy


Meryl W. Rosen


Benfred B. Alston

AMENDMENT TO RESTRICTIVE COVENANT AGREEMENT

THIS AMENDMENT TO RESTRICTIVE COVENANT AGREEMENT ("Amendment"), dated ~~January~~ January 20th, 2016, is hereby made by and between ROSEDALE FEDERAL SAVINGS AND LOAN ASSOCIATION ("Rosedale") and the PERRY HALL IMPROVEMENT ASSOCIATION, INC. (the "PHIA").

WHEREAS, Rosedale and PHIA entered into that certain Restrictive Covenant Agreement, dated May 8, 2008, and attached hereto as Exhibit A (the "Agreement");

WHEREAS, Rosedale desires to expand the existing office building on its property located at 9616 and 9618 Belair Road in Baltimore County, Maryland (the "Property"). In order to accomplish this goal, the Rosedale has filed a zoning petition to permit a Class B Office building with accessory parking in the RO zone (the "Zoning Petition"). The Zoning Petition is currently before the Board of Appeals for Baltimore County for approval.

WHEREAS, the PHIA, has agreed to support the Zoning Petition on the condition that the parties enter into this Amendment;

WHEREAS, Rosedale and the PHIA desire to enter into this Amendment so as to update the Landscaping covenant from the Agreement as more particularly described below.

NOW, THEREFORE, in consideration of the support of the PHIA and the benefits derived from Rosedale, its successors and assigns, the parties hereby amend the Agreement as follows on the condition that the Zoning Petition be approved by the Board, with no appeals filed:

1. Landscaping. The Property shall be landscaped in a manner consistent with that depicted in Exhibit B. The landscaping shall include, but is not limited to, an appropriate buffer between the proposed parking and the neighboring residential community. Said buffer shall be designed in a manner that is in harmony with the existing landscaping, both onsite and in the surrounding community. Landscaping shall be sufficiently watered to assure growth during the first four (4) years after installation. This provision amends and replaces the Landscaping covenant contained in the Agreement.
2. Site Plan. The property shall be developed in accordance with the site plan depicted in Exhibit B.
3. Other Terms. Other than the foregoing, all other terms and conditions of the Agreement shall remain unchanged and in full force and effect except as otherwise modified or amended by this Amendment.
4. Counterparts. This Amendment may be executed in several counterparts, each of which shall be deemed an original, but all which shall constitute one instrument.

[signatures appear on following page]

WITNESS the due execution of this Amendment to Restrictive Covenant Agreement by the parties hereto.

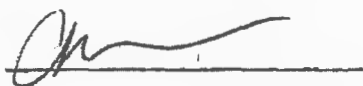
ATTEST/WITNESS:



ROSEDALE FEDERAL SAVINGS AND
LOAN ASSOCIATION

By: Linda A. Muffoletto (SEAL)
Name: Linda A. Muffoletto
Title: Executive Vice President

ATTEST/WITNESS:



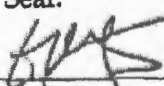
PERRY HALL IMPROVEMENT
ASSOCIATION, INC.

By: John P. Amrhein (SEAL)
Name: John P. Amrhein (Jack)
Title: President

STATE OF MARYLAND, CITY/COUNTY OF BALTIMORE, TO WIT:

I HEREBY CERTIFY, that on this 20 day of September, 2016, before me, a Notary Public in and for the State and County aforesaid, personally appeared Linda Muffoletto, and that he/she as Executive Vice President being authorized to do so, executed the foregoing Amendment to Restrictive Covenant Agreement for the purposes therein contained, but signing the name of the Rosedale Federal Savings and Loan Association, Inc., by himself/herself as such Executive Vice President, and IN MY PRESENCE SIGNED AND SEALED THE SAME.

AS WITNESS my hand and Notarial Seal.


NOTARY PUBLIC

My Commission Expires:

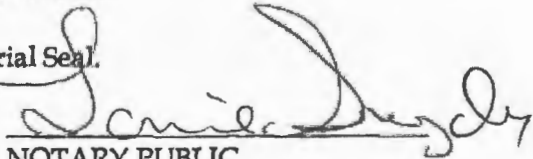
4/25/2019

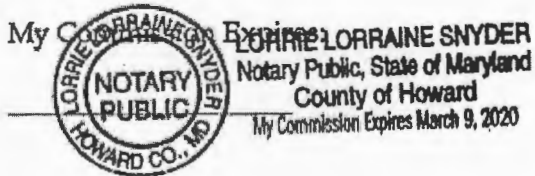


STATE OF MARYLAND, CITY/COUNTY OF BALTIMORE, TO WIT:

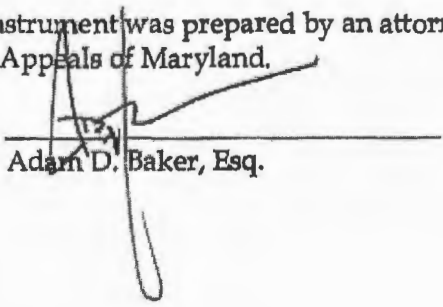
I HEREBY CERTIFY, that on this 23rd day of September, 2016, before me, a Notary Public in and for the State and County aforesaid, personally appeared John Amrhein and that he/she as President, being authorized to do so, executed the foregoing Amendment to Restrictive Covenant Agreement for the purposes therein contained, but signing the name of the Perry Hall Improvement Association, Inc. by himself/herself as such President, and IN MY PRESENCE SIGNED AND SEALED THE SAME.

AS WITNESS my hand and Notarial Seal.


NOTARY PUBLIC



This is to certify that the within instrument was prepared by an attorney admitted to practice before the Court of Appeals of Maryland.


Adam D. Baker, Esq.

RESTRICTIVE COVENANT AGREEMENT

THIS RESTRICTIVE COVENANT AGREEMENT ("Agreement"), dated May 3, 2008, is hereby made by and between ROSEDALE FEDERAL SAVINGS AND LOAN ASSOCIATION ("Rosedale") and the PERRY HALL IMPROVEMENT ASSOCIATION, INC. (the "PHIA").

WHEREAS, Rosedale is the owner in fee simple of all that property situate and lying in the 11th Election District of Baltimore County, Maryland, and more particularly described in a Deed dated February 16, 1961, and recorded in the Land Records of Baltimore County in Liber 3812, folio 1, from E. Scott Moore and Robert E. Carney, Jr. to Rosedale Federal Savings and Loan Association (the "Property").

WHEREAS, Rosedale desires to expand the existing office building located on the Property. In order to accomplish this goal, the Rosedale has petitioned to have a portion of the Property rezoned from 0.1 acres of RO and 0.9 acres of DR 5.5 to 1.0 acre of BL through the 2008 Comprehensive Zoning Map Process (the "Rosedale Application").

WHEREAS, the PHIA, has agreed to support the Rosedale Application on the condition that Rosedale will subject the Property to the restrictive covenants, hereinafter defined and set forth below, which are for the purpose of protecting the value and desirability of the Property and the surrounding area;

WHEREAS, in exchange for the support of the PHIA in connection with the Rosedale Application, Rosedale desires to subject the Property to the restrictive covenants set forth below, which are for the purpose of protecting the value and desirability of the Property and the surrounding area, for a period of fifteen (15) years from the start of construction;

WHEREAS, Rosedale hereby declares that the Property shall be held, sold, and conveyed for the next fifteen (15) years from the start of construction subject to the restrictive covenants set forth below on the condition that the Property be rezoned to BL based on the Rosedale Application.

NOW, THEREFORE, in consideration of the support of the PHIA and the benefits derived from Rosedale, its successors and assigns, Rosedale hereby declares that the Property shall be held, sold and conveyed subject to the following restrictive covenants for the period stated in this Agreement, which are for the purpose of protecting the value and desirability of the Property and the surrounding area, and agrees as follows on the condition that the Property be rezoned based on the Rosedale Application to BL:

1. Height Restriction. Any building erected on the Property shall not exceed two stories in height.
2. Building Exterior. Any building erected or any extension of an existing building on the Property shall be finished with brick.

3. Landscaping. The Property shall be landscaped in a manner consistent with that depicted in Exhibit A. The landscaping shall include, but is not limited to, an appropriate buffer between the proposed parking and the neighboring residential community. Said buffer shall be designed in a manner that is in harmony with the existing landscaping, both onsite and in the surrounding community. Landscaping shall be sufficiently watered to assure growth during the first four (4) years after installation.
4. Noise and Hours. The Property will not host outdoor events between 9:00PM and 7:00AM. Noise emitted by the Property shall not exceed the Maximum Allowable Noise Levels set forth in COMAR 26.02.03.03.
5. Term. The covenants numbered 1 through 4 above (the "Restrictive Covenants") shall run with and bind the Property and shall be enforceable against the Rosedale, or its successors and assigns, until the fifteenth (15th) anniversary of the date of the issuance of the building permit ("Expiration Date"). After the Expiration Date, this Agreement and the Restrictive Covenants contained herein shall no longer bind or run with the Property and shall become void and unenforceable.
6. Condition Precedent. These Restrictive Covenants are conditioned and shall only be applicable and enforceable upon the Rosedale Application being granted resulting in the Property being rezoned to BL allowing Rosedale the right to construct a new building or an extension of an existing building on the Property for Rosedale's commercial purposes. In the event Rosedale is for any reason prohibited from erecting such building or extension or chooses not to erect or extend a commercial building of this type, these Restrictive Covenants shall immediately become null and void ab initio.
7. Enforcement. Enforcement of the Restrictive Covenants shall be by proceedings at law or in equity against any person or persons violating or attempting to violate any covenant, to restrain the violation.
8. Separable. The invalidity of any of the provisions of this Agreement shall not affect the validity of any of the other provisions, all of which shall remain in full force and effect.
9. Binding Nature. This Agreement shall be binding upon and inure to the benefit of the parties hereto, their successors and assigns and shall touch and concern the Property thus running with and binding upon the Property.
10. Further Assurances. The parties hereto agree to act in good faith and with due diligence and to sign, seal, deliver and acknowledge all documents and take or cause to occur all actions necessary to effect the terms, intentions and conditions hereof.
[signatures appear on following page]

WITNESS the due execution of this Restrictive Covenant Agreement by the parties hereto.

ATTEST/WITNESS:

[Signature]

ROSEDALE FEDERAL SAVINGS AND
LOAN ASSOCIATION

By: [Signature] (SEAL)
Name: THOMAS C. WHITE
Title: PRESIDENT

ATTEST/WITNESS:

[Signature]

PERRY HALL IMPROVEMENT
ASSOCIATION, INC.

By: [Signature] (SEAL)
Name: DAVID MARRAS
Title: PRESIDENT

STATE OF MARYLAND, CITY/COUNTY OF BALTIMORE, TO WIT:

I HEREBY CERTIFY, that on this 8th day of May, 2008, before me, a Notary Public in and for the State and County aforesaid, personally appeared Thomas S. White, and that he/she as PRESIDENT, being authorized to do so, executed the foregoing Restrictive Covenant Agreement for the purposes therein contained, but signing the name of the Rosedale Federal Savings and Loan Association, Inc., by himself/herself as such PRESIDENT, and IN MY PRESENCE SIGNED AND SEALED THE SAME.

AS WITNESS my hand and Notarial Seal.

[Signature]
NOTARY PUBLIC

My Commission Expires:

7/1/2009

STATE OF MARYLAND, CITY/COUNTY OF BALTIMORE, TO WIT:

I HEREBY CERTIFY, that on this 8th day of May, 2008, before me, a Notary Public in and for the State and County aforesaid, personally appeared Dan Harris, and that he/she as President, being authorized to do so, executed the foregoing Restrictive Covenant Agreement for the purposes therein contained, but signing the name of the Perry Hall Improvement Association, Inc. by himself/herself as such President, and IN MY PRESENCE SIGNED AND SEALED THE SAME.

AS WITNESS my hand and Notarial Seal.

Lincoln Institute
NOTARY PUBLIC

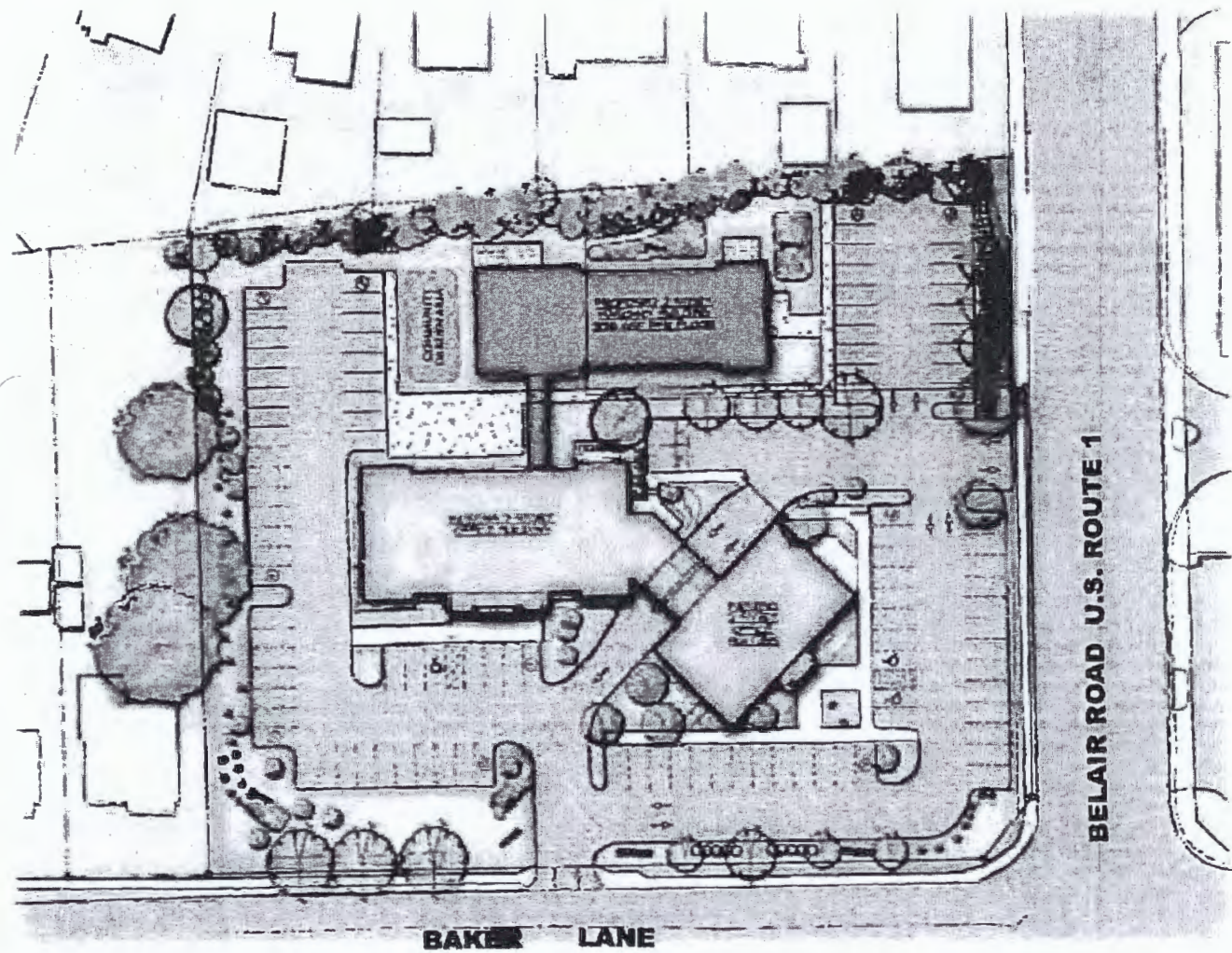
My Commission Expires:

7/1/2009

This is to certify that the within instrument was prepared by an attorney admitted to practice before the Court of Appeals of Maryland.

Adam B. Baker
Adam B. Baker, Esq.

EXHIBIT B



MORRIS & RITCHIE ASSOCIATES, INC.
ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS,
AND LANDSCAPE ARCHITECTS

PLAN B

HEADQUARTERS ANNEX FOR ROSEDALE FEDERAL SAVINGS AND LOAN ASSOCIATION
ILLUSTRATIVE SITE PLAN
(SCALE: 1"=20')

PROPOSED PLANTING SCHEDULE

1. PLANTING SCHEDULE	1. PLANTING SCHEDULE
2. PLANTING SCHEDULE	2. PLANTING SCHEDULE
3. PLANTING SCHEDULE	3. PLANTING SCHEDULE
4. PLANTING SCHEDULE	4. PLANTING SCHEDULE
5. PLANTING SCHEDULE	5. PLANTING SCHEDULE
6. PLANTING SCHEDULE	6. PLANTING SCHEDULE
7. PLANTING SCHEDULE	7. PLANTING SCHEDULE
8. PLANTING SCHEDULE	8. PLANTING SCHEDULE
9. PLANTING SCHEDULE	9. PLANTING SCHEDULE
10. PLANTING SCHEDULE	10. PLANTING SCHEDULE

PROPOSED PLANTING SCHEDULE

1. PLANTING SCHEDULE	1. PLANTING SCHEDULE
2. PLANTING SCHEDULE	2. PLANTING SCHEDULE
3. PLANTING SCHEDULE	3. PLANTING SCHEDULE
4. PLANTING SCHEDULE	4. PLANTING SCHEDULE
5. PLANTING SCHEDULE	5. PLANTING SCHEDULE
6. PLANTING SCHEDULE	6. PLANTING SCHEDULE
7. PLANTING SCHEDULE	7. PLANTING SCHEDULE
8. PLANTING SCHEDULE	8. PLANTING SCHEDULE
9. PLANTING SCHEDULE	9. PLANTING SCHEDULE
10. PLANTING SCHEDULE	10. PLANTING SCHEDULE

PROPOSED PLANTING SCHEDULE

1. PLANTING SCHEDULE	1. PLANTING SCHEDULE
2. PLANTING SCHEDULE	2. PLANTING SCHEDULE
3. PLANTING SCHEDULE	3. PLANTING SCHEDULE
4. PLANTING SCHEDULE	4. PLANTING SCHEDULE
5. PLANTING SCHEDULE	5. PLANTING SCHEDULE
6. PLANTING SCHEDULE	6. PLANTING SCHEDULE
7. PLANTING SCHEDULE	7. PLANTING SCHEDULE
8. PLANTING SCHEDULE	8. PLANTING SCHEDULE
9. PLANTING SCHEDULE	9. PLANTING SCHEDULE
10. PLANTING SCHEDULE	10. PLANTING SCHEDULE

PROPOSED PLANTING SCHEDULE

1. PLANTING SCHEDULE	1. PLANTING SCHEDULE
2. PLANTING SCHEDULE	2. PLANTING SCHEDULE
3. PLANTING SCHEDULE	3. PLANTING SCHEDULE
4. PLANTING SCHEDULE	4. PLANTING SCHEDULE
5. PLANTING SCHEDULE	5. PLANTING SCHEDULE
6. PLANTING SCHEDULE	6. PLANTING SCHEDULE
7. PLANTING SCHEDULE	7. PLANTING SCHEDULE
8. PLANTING SCHEDULE	8. PLANTING SCHEDULE
9. PLANTING SCHEDULE	9. PLANTING SCHEDULE
10. PLANTING SCHEDULE	10. PLANTING SCHEDULE

PROPOSED PLANTING SCHEDULE

1. PLANTING SCHEDULE	1. PLANTING SCHEDULE
2. PLANTING SCHEDULE	2. PLANTING SCHEDULE
3. PLANTING SCHEDULE	3. PLANTING SCHEDULE
4. PLANTING SCHEDULE	4. PLANTING SCHEDULE
5. PLANTING SCHEDULE	5. PLANTING SCHEDULE
6. PLANTING SCHEDULE	6. PLANTING SCHEDULE
7. PLANTING SCHEDULE	7. PLANTING SCHEDULE
8. PLANTING SCHEDULE	8. PLANTING SCHEDULE
9. PLANTING SCHEDULE	9. PLANTING SCHEDULE
10. PLANTING SCHEDULE	10. PLANTING SCHEDULE

PROPOSED PLANTING SCHEDULE

1. PLANTING SCHEDULE	1. PLANTING SCHEDULE
2. PLANTING SCHEDULE	2. PLANTING SCHEDULE
3. PLANTING SCHEDULE	3. PLANTING SCHEDULE
4. PLANTING SCHEDULE	4. PLANTING SCHEDULE
5. PLANTING SCHEDULE	5. PLANTING SCHEDULE
6. PLANTING SCHEDULE	6. PLANTING SCHEDULE
7. PLANTING SCHEDULE	7. PLANTING SCHEDULE
8. PLANTING SCHEDULE	8. PLANTING SCHEDULE
9. PLANTING SCHEDULE	9. PLANTING SCHEDULE
10. PLANTING SCHEDULE	10. PLANTING SCHEDULE



NORRIS & RITCHIE ASSOCIATES, INC.
 10000 WOODBURN AVENUE
 SUITE 100
 WOODBURN, MARYLAND 21797
 TEL: (301) 261-1100
 FAX: (301) 261-1101

BAKER LANE

**ROSEDALE FEDERAL SAVINGS
 & LOAN ASSOCIATION**
 10000 WOODBURN AVENUE
 SUITE 100
 WOODBURN, MARYLAND 21797
 TEL: (301) 261-1100
 FAX: (301) 261-1101

LEGEND



OVERHEAD
 UTILITY LINES

BELAIR ROAD



MAY 8, 2008
 R.L.S.



Board of Appeals of Baltimore County

JEFFERSON BUILDING
SECOND FLOOR, SUITE 203
105 WEST CHESAPEAKE AVENUE
TOWSON, MARYLAND, 21204
410-887-3180
FAX: 410-887-3182

December 27, 2016

Peter M. Zimmerman, Esquire
Carole S. Demilio, Esquire
Office of People's Counsel
The Jefferson Building, Suite 204
105 W. Chesapeake Avenue
Towson, Maryland 21204

Adam D. Baker, Esquire
Whiteford, Taylor & Preston, LLP
1 W. Pennsylvania Avenue, Suite 300
Towson, Maryland 21204

RE: In the Matter of: *Rosedale Federal Savings and Loan Association*
Case Nos.: 16-063-SPH and 16-219-X

Dear Counsel:

Enclosed please find a copy of the final Opinion and Order issued this date by the Board of Appeals of Baltimore County in the above subject matter.

Any petition for judicial review from this decision must be made in accordance with Rule 7-201 through Rule 7-210 of the *Maryland Rules*, **WITH A PHOTOCOPY PROVIDED TO THIS OFFICE CONCURRENT WITH FILING IN CIRCUIT COURT.** Please note that all Petitions for Judicial Review filed from this decision should be noted under the same civil action number. If no such petition is filed within 30 days from the date of the enclosed Order, the subject file will be closed.

Very truly yours,

Krysundra "Sunny" Cannington
Administrator

KLC/tam
Enclosure
Duplicate Original Cover Letter

c: Linda Muffoletto, Executive Vice President/Rosedale Federal Savings and Loan Association
Christopher R. Lester/George Vaeth Associates, Inc.
Matthew Bishop/Morris & Ritchie Associates, Inc.
John P. Amrhein, President/Perry Hall Improvement Association, Inc.
Pamela Hess
Stephen Davis
Lawrence M. Stahl, Managing Administrative Law Judge
Andrea Van Arsdale, Director/Department of Planning
Arnold Jablon, Deputy Administrative Officer, and Director/PAI
Nancy C. West, Assistant County Attorney/Office of Law
Michael E. Field, County Attorney/Office of Law

Tammy McDiarmid

From: Tammy McDiarmid
Sent: Tuesday, December 27, 2016 10:12 AM
To: 'pmjpa@aol.com'
Subject: Rosedale Federal
Attachments: Rosedale Federal 16-063-SPH & 16-219-X Opinion and Order.pdf

Dear Mr. Amrhein:

Attached for your records is a copy of the Opinion and Order issued by the Board of Appeals in the matter of Rosedale Federal Savings and Loan Association, Case Nos.: 16-063-SPH and 16-219-X.

Sincerely,

Tammy A. McDiarmid, Legal Secretary
Board of Appeals of Baltimore County
Second Floor, Suite 203
105 West Chesapeake Avenue
Towson, Maryland 21204
(410) 887-3180
(410) 887-3182 (Fax)

Confidentiality Statement

This electronic mail transmission contains confidential information belonging to the sender which is legally privileged and confidential. This information is intended only for the use of the individual or entity named above. If you are not the intended recipient, you are hereby notified that any disclosure, copying, distribution, or taking of any action based on the contents of this electronic mail transmission is strictly prohibited. If you have received this electronic mail transmission in error, please immediately notify the sender.

Krysundra Cannington

From: Krysundra Cannington
Sent: Thursday, December 22, 2016 8:19 AM
To: 'Jack Amrhein'
Cc: Adam Baker, Esquire; Peoples Counsel
Subject: RE: Rosedale Federal Savings and Loan 16-219-X and 16-063-SPH

Thank you Mr. Amrhein.

Nothing more needs to be done. We will issue the opinion as soon as possible.

Sunny

From: Jack Amrhein [mailto:pmjpa@aol.com]
Sent: Wednesday, December 21, 2016 3:51 PM
To: Krysundra Cannington <kcannington@baltimorecountymd.gov>
Subject: Re: Rosedale Federal Savings and Loan 16-219-X and 16-063-SPH

Sunny

Our former member Pat Keller has reviewed his. He reports that all seems appropriate. That being said, we are in agreement with the decision. Please let me know if there is any paperwork needed on our end.

Adam Baker should have signed copies of the covenant.

Thank you

Jack Amrhein

-----Original Message-----

From: Krysundra Cannington <kcannington@baltimorecountymd.gov>
To: Jack Amrhein <pmjpa@aol.com>
Cc: Adam Baker, Esquire <abaker@wtplaw.com>; Peoples Counsel <peoplescounsel@baltimorecountymd.gov>
Sent: Tue, Dec 20, 2016 9:32 am
Subject: RE: Rosedale Federal Savings and Loan 16-219-X and 16-063-SPH

Mr. Amrhein,

We were under the impression Mr. Keller was the contact for the Perry Hall Improvement Association (PHIA). As such, I emailed Mr. Keller on December 12, 2016 requesting an immediate response to the proposed order and setting a deadline of December 16, 2016. On Wednesday, December 14th, I was advised by Mr. Keller that he was no longer involved. Upon your email on Thursday, December 15th, I forwarded the proposed order, which is attached again.

Please be advised that at this time, this is your final opportunity to weigh in on the proposed decision. You have until 4:00 p.m. Wednesday, December 21, 2016 to respond. If we do not receive any response from you, we will proceed as necessary.

Thank you for your prompt attention to this matter. Should you have any questions, please do not hesitate to contact me.

Sunny

Krysundra Cannington

From: Jack Amrhein <pmjpa@aol.com>
Sent: Wednesday, December 21, 2016 3:51 PM
To: Krysundra Cannington
Subject: Re: Rosedale Federal Savings and Loan 16-219-X and 16-063-SPH

Sunny

Our former member Pat Keller has reviewed his. He reports that all seems appropriate. That being said, we are in agreement with the decision. Please let me know if there is any paperwork needed on our end.

Adam Baker should have signed copies of the covenant.

Thank you

Jack Amrhein

-----Original Message-----

From: Krysundra Cannington <kcannington@baltimorecountymd.gov>
To: Jack Amrhein <pmjpa@aol.com>
Cc: Adam Baker, Esquire <abaker@wtplaw.com>; Peoples Counsel <peoplescounsel@baltimorecountymd.gov>
Sent: Tue, Dec 20, 2016 9:32 am
Subject: RE: Rosedale Federal Savings and Loan 16-219-X and 16-063-SPH

Mr. Amrhein,

We were under the impression Mr. Keller was the contact for the Perry Hall Improvement Association (PHIA). As such, I emailed Mr. Keller on December 12, 2016 requesting an immediate response to the proposed order and setting a deadline of December 16, 2016. On Wednesday, December 14th, I was advised by Mr. Keller that he was no longer involved. Upon your email on Thursday, December 15th, I forwarded the proposed order, which is attached again.

Please be advised that at this time, this is your final opportunity to weigh in on the proposed decision. You have until 4:00 p.m. Wednesday, December 21, 2016 to respond. If we do not receive any response from you, we will proceed as necessary.

Thank you for your prompt attention to this matter. Should you have any questions, please do not hesitate to contact me.

Sunny

Krysundra "Sunny" Cannington
Administrator
Board of Appeals of Baltimore County
410-887-3180

From: Jack Amrhein [<mailto:pmjpa@aol.com>]
Sent: Thursday, December 15, 2016 3:02 PM

Krysundra Cannington

From: Krysundra Cannington
Sent: Tuesday, December 20, 2016 9:33 AM
To: 'Jack Amrhein'
Cc: Adam Baker, Esquire; Peoples Counsel
Subject: RE: Rosedale Federal Savings and Loan 16-219-X and 16-063-SPH
Attachments: COLUMBIA-#22656-v2-Rosedale_Proposed_BofA_Order.DOC

Mr. Amrhein,

We were under the impression Mr. Keller was the contact for the Perry Hall Improvement Association (PHIA). As such, I emailed Mr. Keller on December 12, 2016 requesting an immediate response to the proposed order and setting a deadline of December 16, 2016. On Wednesday, December 14th, I was advised by Mr. Keller that he was no longer involved. Upon your email on Thursday, December 15th, I forwarded the proposed order, which is attached again.

Please be advised that at this time, this is your final opportunity to weigh in on the proposed decision. You have until 4:00 p.m. Wednesday, December 21, 2016 to respond. If we do not receive any response from you, we will proceed as necessary.

Thank you for your prompt attention to this matter. Should you have any questions, please do not hesitate to contact me.

Sunny

Krysundra "Sunny" Cannington
Administrator
Board of Appeals of Baltimore County
410-887-3180

From: Jack Amrhein [mailto:pmjpa@aol.com]
Sent: Thursday, December 15, 2016 3:02 PM
To: Krysundra Cannington <kcannington@baltimorecountymd.gov>; pkeller57@verizon.net
Subject: Re: Rosedale Federal Savings and Loan 16-219-X and 16-063-SPH

Hi Sunny

There is no attachment that can be reviewed. Can you please send it to me?

Thanks

-----Original Message-----

From: Krysundra Cannington <kcannington@baltimorecountymd.gov>
To: Pat Keller <pkeller57@verizon.net>; pmjpa <pmjpa@aol.com>
Sent: Thu, Dec 15, 2016 8:48 am
Subject: RE: Rosedale Federal Savings and Loan 16-219-X and 16-063-SPH

Krysundra Cannington

Baker, Adam D <ABaker@wtplaw.com>
Monday, December 19, 2016 4:07 PM

From:
Sent:
To:
Subject:

Krysundra Cannington
Rosedale Federal Savings and Loan 16-219-X and 16-063-SPH

with its approval? Thanks.

Sunny,

Did the PHIA ever

Adam D. Baker | Taylor | Preston

1052 | F: 410.339.4028
www.wtplaw.com | Bio | vCard | www.wtplaw.com

From: Krysundra Cannington [mailto:kcannington@baltimorecountymd.gov]
Sent: Monday, December 12, 2016 9:20 AM
To: pkeller57@verizon.net
Cc: Peoples Counsel; Baker, Adam D
Subject: Rosedale Federal Savings and Loan 16-219-X and 16-063-SPH

Hello Mr. Keller,

Attached please find the final draft of the proposed Order in the above referenced matter. As previously on behalf of the Perry Hall Improvement Association (PHIA) are the only entity I have not heard from. request an immediate response. If I have not received a response by Friday, December 16, 2016, I will draft to the Board members for final review and signature so it can be issued.

Thank you for your attention to this matter. Please do not hesitate to contact me with any question.

Sunny

Krysundra "Sunny" Cannington
Administrator
Board of Appeals of Baltimore County
The Jefferson Building, Suite 203
105 W. Chesapeake Avenue
Towson, MD 21204
Phone: 410-887-3180
Fax: 410-887-3182

Confidentiality Statement

This electronic mail transmission contains confidential information belonging to the individual or organization. The information is intended only for the use of the individual or organization.

Krysundra Cannington

From: Krysundra Cannington
Sent: Thursday, December 15, 2016 8:49 AM
To: 'Pat Keller'; pmjpa@aol.com
Subject: RE: Rosedale Federal Savings and Loan 16-219-X and 16-063-SPH

Mr. Keller,

I apologize. I did not know you were no longer involved. I will follow up with the email provided.

Thank you for your response.

Sunny

Krysundra "Sunny" Cannington
Administrator
Board of Appeals of Baltimore County
410-887-3180

-----Original Message-----

From: Pat Keller [mailto:pkeller57@verizon.net]
Sent: Wednesday, December 14, 2016 2:39 PM
To: Krysundra Cannington <kcannington@baltimorecountymd.gov>; pmjpa@aol.com
Subject: Re: Rosedale Federal Savings and Loan 16-219-X and 16-063-SPH

Krysundra - Thank you for the notification, as I am now longer serving on the PHIA Board have forwarded this to the president, who has hopefully responded to you.

On 12/12/16, Krysundra Cannington wrote:

Hello Mr. Keller,

Krysundra Cannington

From: Pat Keller <pkeller57@verizon.net>
Sent: Wednesday, December 14, 2016 2:39 PM
To: Krysundra Cannington; pmjpa@aol.com
Subject: Re: Rosedale Federal Savings and Loan 16-219-X and 16-063-SPH

Krysundra - Thank you for the notification, as I am now longer serving on the PHIA Board have forwarded this to the president, who has hopefully responded to you.

On 12/12/16, Krysundra Cannington wrote:

Hello Mr. Keller,

Attached please find the final draft of the proposed Order in the above referenced matter. As previously indicated, you, on behalf of the Perry Hall Improvement Association (PHIA) are the only entity I have not heard from. At this time, I request an immediate response. If I have not received a response by Friday, December 16, 2016, I will present the final draft to the Board members for final review and signature so it can be issued.

Thank you for your attention to this matter. Please do not hesitate to contact me with any questions.

Sunny

Krysundra ?Sunny? Cannington

Administrator

Board of Appeals of Baltimore County

The Jefferson Building, Suite 203

105 W. Chesapeake Avenue

Towson, MD 21204

Phone: 410-887-3180

Fax: 410-887-3182

Confidentiality Statement

This electronic mail transmission contains confidential information belonging to the sender which is legally privileged and confidential. The information is intended only for the use of the individual or entity named above. If you are not the intended recipient, you are hereby notified that any disclosure, copying, distribution, or taking of any action based on the contents of this electronic mail transmission is strictly prohibited. If you have received this electronic mail transmission in error, please immediately notify the sender.

Connect with Baltimore County

www.baltimorecountymd.gov

Krysundra Cannington

From: Krysundra Cannington
Sent: Monday, December 12, 2016 9:20 AM
To: pkeller57@verizon.net
Cc: Peoples Counsel; Adam Baker, Esquire
Subject: Rosedale Federal Savings and Loan 16-219-X and 16-063-SPH
Attachments: COLUMBIA-#22656-v2-Rosedale_Proposed_BofA_Order.DOC

Hello Mr. Keller,

Attached please find the final draft of the proposed Order in the above referenced matter. As previously indicated, you, on behalf of the Perry Hall Improvement Association (PHIA) are the only entity I have not heard from. At this time, I request an immediate response. If I have not received a response by Friday, December 16, 2016, I will present the final draft to the Board members for final review and signature so it can be issued.

Thank you for your attention to this matter. Please do not hesitate to contact me with any questions.

Sunny

Krysundra "Sunny" Cannington
Administrator
Board of Appeals of Baltimore County
The Jefferson Building, Suite 203
105 W. Chesapeake Avenue
Towson, MD 21204
Phone: 410-887-3180
Fax: 410-887-3182

Confidentiality Statement

This electronic mail transmission contains confidential information belonging to the sender which is legally privileged and confidential. The information is intended only for the use of the individual or entity named above. If you are not the intended recipient, you are hereby notified that any disclosure, copying, distribution, or taking of any action based on the contents of this electronic mail transmission is strictly prohibited. If you have received this electronic mail transmission in error, please immediately notify the sender.

Krysundra Cannington

From: Krysundra Cannington
Sent: Friday, December 09, 2016 9:08 AM
To: 'Baker, Adam D'
Subject: RE: Rosedale Federal Proposed Board Order (Case No. 2016-0219-X)

Hi Adam,

People's Counsel did respond. I sent a follow up email to Mr. Keller Tuesday morning and have not received a response as of yet.

If I do not hear from him today, I will follow up again on Monday.

Sunny

From: Baker, Adam D [mailto:ABaker@wtplaw.com]
Sent: Thursday, December 08, 2016 12:23 PM
To: Krysundra Cannington <kcannington@baltimorecountymd.gov>
Subject: RE: Rosedale Federal Proposed Board Order (Case No. 2016-0219-X)

Sunny,

Has the Board received a response from Pat Keller or anyone at the PHIA on the proposed Order? I presume People's Counsel has responded. Thanks.

Adam D. Baker



Whiteford Taylor Preston[®]

8830 Stanford Boulevard, Suite 400 | Columbia, Maryland 21045
T: 410.832.2052 | F: 410.339.4028
abaker@wtplaw.com | [Bio](#) | [vCard](#) | www.wtplaw.com

From: Krysundra Cannington [mailto:kcannington@baltimorecountymd.gov]
Sent: Tuesday, December 06, 2016 8:29 AM
To: pkeller57@verizon.net
Cc: Baker, Adam D; Carole Demilio; Linda Muffoletto (lmuffoletto@rosedalefederal.com)
Subject: RE: Rosedale Federal Proposed Board Order (Case No. 2016-0219-X)

Good morning Mr. Keller,

Presently, the attached Order is the final draft. Can you please advise as to the status of the approval of this proposed order? Do you or PHIA have any revisions, questions or concerns?

Thank you.

Sunny

Krysundra Cannington

From: Baker, Adam D <ABaker@wtplaw.com>
Sent: Thursday, December 08, 2016 12:23 PM
To: Krysundra Cannington
Subject: RE: Rosedale Federal Proposed Board Order (Case No. 2016-0219-X)

Sunny,

Has the Board received a response from Pat Keller or anyone at the PHIA on the proposed Order? I presume People's Counsel has responded. Thanks.

Adam D. Baker



Whiteford Taylor Preston[®]

8830 Stanford Boulevard, Suite 400 | Columbia, Maryland 21045
T: 410.832.2052 | F: 410.339.4028
abaker@wtplaw.com | [Bio](#) | [vCard](#) | www.wtplaw.com

From: Krysundra Cannington [mailto:kcannington@baltimorecountymd.gov]
Sent: Tuesday, December 06, 2016 8:29 AM
To: pkeller57@verizon.net
Cc: Baker, Adam D; Carole Demilio; Linda Muffoletto (lmuffoletto@rosedalefederal.com)
Subject: RE: Rosedale Federal Proposed Board Order (Case No. 2016-0219-X)

Good morning Mr. Keller,

Presently, the attached Order is the final draft. Can you please advise as to the status of the approval of this proposed order? Do you or PHIA have any revisions, questions or concerns?

Thank you.

Sunny

Krysundra "Sunny" Cannington
Administrator
Board of Appeals of Baltimore County
410-887-3180

From: Baker, Adam D [mailto:ABaker@wtplaw.com]
Sent: Tuesday, November 29, 2016 11:58 AM
To: Krysundra Cannington <kcannington@baltimorecountymd.gov>; Carole Demilio <cdemilio@baltimorecountymd.gov>; pkeller57@verizon.net
Cc: Linda Muffoletto (lmuffoletto@rosedalefederal.com) <lmuffoletto@rosedalefederal.com>
Subject: RE: Rosedale Federal Proposed Board Order (Case No. 2016-0219-X)

All,

A redline and clean revision of the proposed order are attached. If there are additional comments, please let me know. Carole and Pat, if the Order is acceptable, please reply all so that the Board has a record of your approval. Thanks.

Adam D. Baker



Whiteford | Taylor | Preston[®]

8830 Stanford Boulevard, Suite 400 | Columbia, Maryland 21045
T: 410.832.2052 | F: 410.339.4028
abaker@wtplaw.com | [Bio](#) | [vCard](#) | www.wtplaw.com

From: Krysundra Cannington [<mailto:kcannington@baltimorecountymd.gov>]
Sent: Tuesday, November 29, 2016 7:59 AM
To: Baker, Adam D; Carole Demilio; pkeller57@verizon.net
Cc: Linda Muffoletto (lmuffoletto@rosedalefederal.com)
Subject: RE: Rosedale Federal Proposed Board Order (Case No. 2016-0219-X)

Adam,

One of the Board members emailed that:

top of page three; complimentary should be complementary

Thanks,

Sunny

From: Baker, Adam D [<mailto:ABaker@wtplaw.com>]
Sent: Wednesday, November 23, 2016 1:50 PM
To: Carole Demilio <cdemilio@baltimorecountymd.gov>; pkeller57@verizon.net
Cc: Krysundra Cannington <kcannington@baltimorecountymd.gov>; Linda Muffoletto (lmuffoletto@rosedalefederal.com) <lmuffoletto@rosedalefederal.com>
Subject: Rosedale Federal Proposed Board Order (Case No. 2016-0219-X)

Carole & Pat,

Attached is the proposed Order for the Board's consideration in the above-referenced case. I have also attached a copy of the Amendment to the Restrictive Covenants, which is incorporated into the Board's Order. Please review and, if acceptable, reply all to this e-mail so that the Board has record of your agreement. If you have questions or comments, please let me know.

Thanks and have a great Thanksgiving!

Adam D. Baker



Whiteford | Taylor | Preston[®]

8830 Stanford Boulevard, Suite 400 | Columbia, Maryland 21045
T: 410.832.2052 | F: 410.339.4028

This transmission contains information from the law firm of Whiteford, Taylor & Preston LLP which may be confidential and/or privileged. The information is intended to be for the exclusive use of the planned recipient. If you are not the intended recipient, be advised that any disclosure, copying, distribution or other use of this information is strictly prohibited. If you have received this transmission in error, please notify the sender immediately.



CONNECT WITH BALTIMORE COUNTY



www.baltimorecountymd.gov

Krysundra Cannington

From: Krysundra Cannington
Sent: Tuesday, December 06, 2016 8:29 AM
To: pkeller57@verizon.net
Cc: 'Baker, Adam D'; Carole Demilio; Linda Muffoletto (lmuffoletto@rosedalefederal.com)
Subject: RE: Rosedale Federal Proposed Board Order (Case No. 2016-0219-X)
Attachments: COLUMBIA-#22656-v2-Rosedale_Proposed_BofA_Order.DOC

Good morning Mr. Keller,

Presently, the attached Order is the final draft. Can you please advise as to the status of the approval of this proposed order? Do you or PHIA have any revisions, questions or concerns?

Thank you.

Sunny

Krysundra "Sunny" Cannington
Administrator
Board of Appeals of Baltimore County
410-887-3180

From: Baker, Adam D [mailto:ABaker@wtplaw.com]
Sent: Tuesday, November 29, 2016 11:58 AM
To: Krysundra Cannington <kcannington@baltimorecountymd.gov>; Carole Demilio <cdemilio@baltimorecountymd.gov>; pkeller57@verizon.net
Cc: Linda Muffoletto (lmuffoletto@rosedalefederal.com) <lmuffoletto@rosedalefederal.com>
Subject: RE: Rosedale Federal Proposed Board Order (Case No. 2016-0219-X)

All,

A redline and clean revision of the proposed order are attached. If there are additional comments, please let me know. Carole and Pat, if the Order is acceptable, please reply all so that the Board has a record of your approval. Thanks.

Adam D. Baker



Whiteford | Taylor | Preston

8830 Stanford Boulevard, Suite 400 | Columbia, Maryland 21045
T: 410.832.2052 | F: 410.339.4028
abaker@wtplaw.com | [Bio](#) | [vCard](#) | www.wtplaw.com

From: Krysundra Cannington [mailto:kcannington@baltimorecountymd.gov]
Sent: Tuesday, November 29, 2016 7:59 AM
To: Baker, Adam D; Carole Demilio; pkeller57@verizon.net

Krysundra Cannington

From: Rebecca Wheatley
Sent: Wednesday, November 30, 2016 11:43 AM
To: Krysundra Cannington
Subject: Rosedale Federal

Sunny,

Our office is fine with the proposed opinion.

Rebecca

Krysundra Cannington

From: Krysundra Cannington
Sent: Monday, November 28, 2016 11:26 AM
To: 'Baker, Adam D'; Carole Demilio; pkeller57@verizon.net
Cc: Linda Muffoletto (lmuffoletto@rosedalefederal.com)
Subject: RE: Rosedale Federal Proposed Board Order (Case No. 2016-0219-X)
Attachments: COLUMBIA-#22656-v1-Rosedale_Proposed_BofA_Order-With_edits.pdf

Adam,

I made some notes since I cannot edit the pdf document. If you would prefer that I make the corrections, please forward the word document to me. Additionally, I have forwarded your draft to the Board members. If they come back with any notes or corrections, I will let you know.

Thank you.

Sunny

From: Baker, Adam D [mailto:ABaker@wtplaw.com]
Sent: Wednesday, November 23, 2016 1:50 PM
To: Carole Demilio <cdemilio@baltimorecountymd.gov>; pkeller57@verizon.net
Cc: Krysundra Cannington <kcannington@baltimorecountymd.gov>; Linda Muffoletto (lmuffoletto@rosedalefederal.com) <lmuffoletto@rosedalefederal.com>
Subject: Rosedale Federal Proposed Board Order (Case No. 2016-0219-X)

Carole & Pat,

Attached is the proposed Order for the Board's consideration in the above-referenced case. I have also attached a copy of the Amendment to the Restrictive Covenants, which is incorporated into the Board's Order. Please review and, if acceptable, reply all to this e-mail so that the Board has record of your agreement. If you have questions or comments, please let me know.

Thanks and have a great Thanksgiving!

Adam D. Baker



Whiteford Taylor Preston.

8830 Stanford Boulevard, Suite 400 | Columbia, Maryland 21045
T: 410.832.2052 | F: 410.339.4028
abaker@wtplaw.com | [Bio](#) | [vCard](#) | www.wtplaw.com

This transmission contains information from the law firm of Whiteford, Taylor & Preston LLP which may be confidential and/or privileged. The information is intended to be for the exclusive use of the planned recipient. If you are not the intended recipient, be advised that any disclosure, copying, distribution or other use of this information is strictly prohibited. If you have received this transmission in error, please notify the sender immediately.

Krysundra Cannington

From: Baker, Adam D <ABaker@wtplaw.com>
Sent: Wednesday, November 23, 2016 1:50 PM
To: Carole Demilio; pkeller57@verizon.net
Cc: Krysundra Cannington; Linda Muffoletto (lmuffoletto@rosedalefederal.com)
Subject: Rosedale Federal Proposed Board Order (Case No. 2016-0219-X)
Attachments: COLUMBIA-#22656-v1-Rosedale_Proposed_BofA_Order.pdf; Rosedale Amendment to Restrictive Covenant.pdf

Carole & Pat,

Attached is the proposed Order for the Board's consideration in the above-referenced case. I have also attached a copy of the Amendment to the Restrictive Covenants, which is incorporated into the Board's Order. Please review and, if acceptable, reply all to this e-mail so that the Board has record of your agreement. If you have questions or comments, please let me know.

Thanks and have a great Thanksgiving!

Adam D. Baker



Whiteford | Taylor | Preston^{LLP}

8830 Stanford Boulevard, Suite 400 | Columbia, Maryland 21045

T: 410.832.2052 | F: 410.339.4028

abaker@wtplaw.com | [Bio](#) | [vCard](#) | www.wtplaw.com

This transmission contains information from the law firm of Whiteford, Taylor & Preston LLP which may be confidential and/or privileged. The information is intended to be for the exclusive use of the planned recipient. If you are not the intended recipient, be advised that any disclosure, copying, distribution or other use of this information is strictly prohibited. If you have received this transmission in error, please notify the sender immediately.

Krysundra Cannington

From: Baker, Adam D <ABaker@wtplaw.com>
Sent: Monday, November 14, 2016 2:11 PM
To: Krysundra Cannington
Cc: Peoples Counsel
Subject: RE: Rosedale Federal Savings and Loan 16-063-SPH and 16-219-X

Sunny,

We will prepare the Order and circulate it to People's Counsel and the PHIA for approval, per your request. Thanks.

Adam D. Baker



Whiteford Taylor Preston^{LLP}

8830 Stanford Boulevard, Suite 400 | Columbia, Maryland 21045
T: 410.832.2052 | F: 410.339.4028
abaker@wtplaw.com | [Bio](#) | [vCard](#) | www.wtplaw.com

From: Krysundra Cannington [mailto:kcannington@baltimorecountymd.gov]
Sent: Monday, November 14, 2016 11:45 AM
To: Baker, Adam D
Cc: Peoples Counsel
Subject: Rosedale Federal Savings and Loan 16-063-SPH and 16-219-X

Good morning Adam,

The matter of Rosedale Federal Savings and Loan was more or less settled. The Board has asked if you would be so kind as to prepare the Opinion and circulate it to Ms. Demilio in People's Counsel and Mr. Keller on behalf of the Perry Hall Improvement Association. Please include signature lines so each of you can approve as to form and content.

Thank you for your assistance in this matter.

Sunny

Krysundra "Sunny" Cannington
Administrator
Board of Appeals of Baltimore County
The Jefferson Building, Suite 203
105 W. Chesapeake Avenue
Towson, MD 21204
Phone: 410-887-3180
Fax: 410-887-3182

Confidentiality Statement

IN THE MATTER OF
ROSEDALE FEDERAL SAVINGS AND LOAN
ASSOCIATION
9616 AND 9618 BELAIR ROAD

11th Election District
5th Councilmanic District

* BEFORE THE
* BOARD OF APPEALS
* FOR BALTIMORE COUNTY
* Case No. 2016-0219-X
*

* * * * *

OPINION

This matter came before the Board of Appeals on September 20, 2016 as a de novo appeal from the November 20, 2015 and June 1, 2016 decisions of the Office of Administrative Hearings in which the requested special hearing to permit accessory parking in a residential (RO) zone to support a commercial use in a commercial (BL) zone (Case No. 2016-063-SPH) and the requested special exception to permit a Class B Office Building in the RO zone (Case No. 2016-0219-X) were approved and denied, respectively. The cases were consolidated before the Board of Appeals. Public deliberation was held by the Board on November 3, 2016.

BACKGROUND

The property involved in this appeal is a 2.77 acre BL and RO split-zoned parcel located at 9616 and 9618 Belair Road, on the northwest corner of the intersection of Belair Road and Baker Lane in Baltimore County, Maryland (the "Property"). The headquarters for Rosedale Federal Savings and Loan is located on the Property and includes a bank branch, an office building and accessory parking. On account of Rosedale's recent growth, it is seeking approval to construct an addition to the office building with accessory parking on the Property. The proposal calls for the office building to be constructed partly in the RO-zoned portion of the Property and partly in the

BL-zoned portion of the Property, as depicted in the site plan (Petitioner's Exhibit 8). The parking is located in both the BL and RO-zoned portions of the Property. Section 409.8.B of the Baltimore County Zoning Regulations ("BCZR") permits business parking in a residential zone. Section 204.3.B.2 of the BCZR permits the type of office proposed here as a Special Exception in the RO zone.

The Administrative Law Judge granted the Special Hearing for the parking in the residential zone and denied the Special Exception for the office use.

HEARING

The consolidated relief sought before the Board was (1) a Petition for Special Hearing pursuant the BCZR § 409.8.B to permit business parking in a residential zone, and (2) a Petition for Special Exception pursuant to BCZR § 204.3.B.2 to permit a Class B Office in a residential zone. Linda Muffaletto, Matt Bishop, and Chris Lester appeared before the Board in support of the combined Petitions for Special Hearing and Special Exception. Adam Baker, Esq. represented Rosedale Federal Savings and Loan Association (the "Petitioner"). Also appearing before the Board were Carole Demilio, Esq., People's Counsel for Baltimore County, and Pat Keller, on behalf of the Perry Hall Improvement Association ("PHIA").

The Petitioner proceeded by means of a modified proffer. The Petitioner's first witness was Chris Lester, a professional architect and President and Design Principal of GVA Architecture and Interior Design. Mr. Lester was offered an accepted by the Board as an expert in the field of architecture and presented the plans for the proposed addition which included renderings of the building (Petitioner's Exhibit 2), floor plans (Petitioner's Exhibit 3), aerial photographs of the Property (Petitioner's Exhibit 3), and the original and modified rendered site plans (Petitioner's

Exhibits 5 and 6, respectively)¹. Mr. Lester expressed his opinion that the proposed building was complimentary to the existing building in size, scale and materials.

The next witness called by the Petitioner was Matt Bishop, a professional Landscape Architect with Morris and Ritchie Associates, Inc. Mr. Bishop was offered and accepted by the Board as an expert in the fields of planning, zoning and landscape architecture. Mr. Bishop prepared the Plan B site plan (Petitioner's Exhibit 8) and described the site's zoning, existing conditions, the surrounding area, and the proposed office addition. Mr. Bishop also described the prominent differences between the original Plan A and the proposed Plan B. Mr. Bishop stated and explained the basis for his opinion that the proposed business parking in the residential zone meets the requirements of BCZR § 409.8.B.2. Mr. Bishop's conclusion was that the proposed parking scheme is consistent with other business uses in the surrounding area, that it would have a minimal impact on the surrounding area, and that it meets all of the requirements of the BCZR. With regard to the special exception, Mr. Bishop stated that he was familiar with the requirements of BCZR § 502.1 for approving a special exception request in Baltimore County as well as the seminal cases in Maryland governing special exceptions. Mr. Bishop concluded that the proposed office use meets all of the requirements of BCZR § 502.1 and the special exception jurisprudence of Maryland.

DECISION OF THE BOARD

With regard to the parking in the residential zone, BCZR § 409.8 provides a list of requirements which must be satisfied in order to permit such a parking facility. Essentially, the applicable test is that set forth in BCZR § 502.1: whether the use will be detrimental to the health,

¹ Over the course of this matter, the layout and design of the proposed office addition has changed. The modified design, referred to as "Plan B" by the Petitioners, is the plan for which the Petitioners are seeking approval before the Board. Plan B moves the proposed building closer to Belair Road than the original "Plan A" proposal and shifts some of the parking to the rear of the building. Plan B was the result of an agreement between the Petitioner and the PHIA.

safety or general welfare of the surrounding community. Based upon the evidence presented, the Board is of the opinion that the proposed parking meets the requirements of BCZR §§ 409.8 and 502.1.

With regard to the proposed office use, BCZR § 204.3.B.2 provides that such a use is permitted as a special exception in the RO zone. Section 502.1 of the BCZR sets forth the requirements which must be met in order for a special exception to be approved in Baltimore County. There is a presumption under Maryland Law that a special exception is in the general interest of the jurisdiction where it is located and therefore valid. In addition, when a legislative body deems a use to be permitted as a special exception, there is the presumption that the use is consistent with the Master Plan of the particular jurisdiction. People's Counsel for Balt. Cnty. v. Loyola College in Md., 406 Md. 54, 77, 956 A.2d 166 (2008). The Maryland Court of Appeals has recognized that:

a special exception is a valid zoning mechanism that delegates to an administrative board a limited authority to permit enumerated uses which the legislative body has determined can, *prima facie*, properly be allowed in a special use district, absent any fact or circumstance in a particular case which would change this presumptive finding.

Id., at 105-106 (quoting Montgomery Cnty. v. Merlands Club, Inc., 202 Md. 279, 287, 96 A.2d 261 (1953)).

Special exception uses, by their very nature, have inherent adverse impacts. Loyola at 69. The Special Exception Test² exists to determine if the use and its inherent adverse characteristics are greater than or beyond those which one would ordinarily expect the use to have regardless of its location. Further, as the Court in Loyola discussed, the special exception ensures that there is

² The "Special Exception Test" as used herein shall mean BCZR § 502.1 as interpreted through the Maryland courts.

appropriate oversight for uses which ensures that the surrounding community will not suffer real and significant harm. If a use will actually significantly harm the community, then it follows that the use is impacting the community in a manner that is above that which one would expect the use to have. Where the impacts of a use are mere inconveniences (e.g. traffic, noise, typical operation and construction impacts), though, it cannot be said that the impacts are above that which are expected with the use because they do not actually significantly harm the community. Loyola, 406 Md. at 99-100.

In seeking special exception relief, the applicant bears both the burden of production and the burden of persuasion on the issue of whether the special exception should be granted. Id. at 109. If evidence is presented that generates a genuine question of fact as to whether the grant of a special exception would violate the Special Exception Test, the applicant must “persuade the zoning authority by a preponderance of the evidence that the special exception will conform to all applicable requirements.” Id.

The Board finds that the evidence presented by the Petitioner satisfies the requirements of BCZR § 502.1. The Board also finds that there was no evidence presented which rebuts the presumption of the proposed use’s validity under the law. Therefore, under the law of special exceptions in Maryland, the Board determines that the Petitioner has met its burden of production and persuasion in satisfying the requirements of BCZR § 502.1 and grants the special exception subject to the conditions contained in the following Order.

ORDER

IT IS THEREFORE, this ____ day of _____, 2016, by the Board of Appeals
of Baltimore County

ORDERED that the Petition for Special Hearing pursuant to BCZR § 500.7 to approve accessory parking in a residential (RO) zone to support a commercial use in a commercial (BL) zone, be and is hereby GRANTED.

ORDERED that the Petition for Special Exception pursuant to BCZR § 502.1 to approve a Class B Office in the RO zone, be and is hereby GRANTED.

The relief granted herein shall be subject to and conditioned upon the following:

1. Upon expiration of the thirty (30) day appeal period following this Order with no appeals having been filed, the Petitioner shall record in the Land Records of Baltimore County an Amendment to the Restrictive Covenant Agreement between the Petitioner and the Perry Hall Improvement Association, a copy of which is attached hereto for reference.

Any Petition for Judicial Review from this decision must be made in accordance with Rule 7-201 through Rule 7-210 of the *Maryland Rules*.

**BOARD OF APPEALS
OF BALTIMORE COUNTY**

Maureen E. Murphy

Meryl W. Rosen

Benfred B. Alston

This electronic mail transmission contains confidential information belonging to the sender which is legally privileged and confidential. The information is intended only for the use of the individual or entity named above. If you are not the intended recipient, you are hereby notified that any disclosure, copying, distribution, or taking of any action based on the contents of this electronic mail transmission is strictly prohibited. If you have received this electronic mail transmission in error, please immediately notify the sender.



CONNECT WITH BALTIMORE COUNTY



www.baltimorecountymd.gov

This transmission contains information from the law firm of Whiteford, Taylor & Preston LLP which may be confidential and/or privileged. The information is intended to be for the exclusive use of the planned recipient. If you are not the intended recipient, be advised that any disclosure, copying, distribution or other use of this information is strictly prohibited. If you have received this transmission in error, please notify the sender immediately.

Krysundra Cannington

From: Krysundra Cannington
Sent: Monday, November 14, 2016 11:45 AM
To: Adam Baker, Esquire
Cc: Peoples Counsel
Subject: Rosedale Federal Savings and Loan 16-063-SPH and 16-219-X

Good morning Adam,

The matter of Rosedale Federal Savings and Loan was more or less settled. The Board has asked if you would be so kind as to prepare the Opinion and circulate it to Ms. Demilio in People's Counsel and Mr. Keller on behalf of the Perry Hall Improvement Association. Please include signature lines so each of you can approve as to form and content.

Thank you for your assistance in this matter.

Sunny

Krysundra "Sunny" Cannington
Administrator
Board of Appeals of Baltimore County
The Jefferson Building, Suite 203
105 W. Chesapeake Avenue
Towson, MD 21204
Phone: 410-887-3180
Fax: 410-887-3182

Confidentiality Statement

This electronic mail transmission contains confidential information belonging to the sender which is legally privileged and confidential. The information is intended only for the use of the individual or entity named above. If you are not the intended recipient, you are hereby notified that any disclosure, copying, distribution, or taking of any action based on the contents of this electronic mail transmission is strictly prohibited. If you have received this electronic mail transmission in error, please immediately notify the sender.

Krysundra Cannington

From: Maureen Murphy <maureen@murphyslaw.bz>
Sent: Monday, November 14, 2016 11:11 AM
To: Krysundra Cannington
Subject: Rosedale and Seminary Sign Variance

Rosedale - This was uncontested and it makes more sense to have the parties draft the Opinion. Would you send an email to Adam Baker to draft the Opinion and circulate it to Carole DeMilieo and Pat Keller? Have them sign as to content and form and then we can sign?

I can't get Adobe to pull up the ALJ Seminary opinion for Wed. Can you email me one? Thanks!

Maureen E. Murphy, Esquire
Murphy & Murphy, LLC
14 North Rolling Road
Catonsville, MD 21228
T: 410-744-4967

BOARD OF APPEALS OF BALTIMORE COUNTY
MINUTES OF DELIBERATION

IN THE MATTER OF: Rosedale Federal Savings and Loan Association

16-063-SPH &
16-219-X

DATE: November 3, 2016

BOARD/PANEL: Maureen E. Murphy, Panel Chairman
Meryl W. Rosen
Benfred B. Alston

RECORDED BY: Tammy A. McDiarmid, Legal Secretary

PURPOSE: To deliberate the following:

Petition for Special Hearing to approve accessory parking in a residential (RO) zone to support a commercial use in a commercial (BL) zone; and

Petition for Special Exception pursuant to Section 204.3.B of the BCZR to permit a Class B Office Building in the residential (RO) zone.

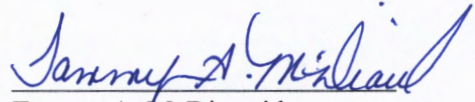
PANEL MEMBERS DISCUSSED THE FOLLOWING:

- The Board held de novo hearings, which were part proffer and part testimony.
- The Board noted the Special Hearing case was originally heard in early 2016. The Petitioner then filed the Petition for Special Exception which changed its proposal by flipping the proposed location of the building and by revising the parking area.
- The Board noted that there was a Restrictive Covenant Agreement entered into between Rosedale Federal Savings and Loan Association, and the community in May 2008. The parties worked together and entered into an Amendment to the Agreement in September 2016 which addresses the community concerns. The parties agree that the Restrictive Covenant Agreement, and Amendment, will be incorporated into and made part of the Board's Order and also recorded among the Land Records of Baltimore County.
- The Board reviewed the evidence in accordance with *Schultz v. Pritts*, and the special exception requirements of 502.1. The Board determined that the special exception standards were satisfied and proffered without objection.

FINAL DECISION: After thorough review of the facts, testimony, and law in the matter, the Board unanimously agreed to GRANT the requested relief.

NOTE: These minutes, which will become part of the case file, are intended to indicate for the record that a public deliberation took place on the above date regarding this matter. The Board's final decision and the facts and findings thereto will be set out in the written Opinion and Order to be issued by the Board.

Respectfully Submitted,


Tammy A. McDiarmid



Board of Appeals of Baltimore County

JEFFERSON BUILDING
SECOND FLOOR, SUITE 203
105 WEST CHESAPEAKE AVENUE
TOWSON, MARYLAND, 21204

410-887-3180
FAX: 410-887-3182

October 5, 2016

NOTICE OF PUBLIC DELIBERATION

IN THE MATTER OF: Rosedale Federal Savings and Loan Association
9616 and 9618 Belair Road
16-063-SPH 11th Election District; 5th Councilmanic District

Re: Petition for Special Hearing to approve accessory parking in a residential (RO) zone to support a commercial use in a commercial (BL) zone.

11/20/15 Opinion and Order issued by the Administrative Law Judge wherein the requested relief was GRANTED.

SET WITH

IN THE MATTER OF: Rosedale Federal Savings and Loan Association
9616 and 9618 Belair Road
16-219-X 11th Election District; 5th Councilmanic District

Re: Petition for Special Exception to approve a Class B Office Building in the RO zone.

6/1/16 Opinion and Order issued by the Administrative Law Judge wherein the requested relief was DENIED.

These matters having been heard on February 25, 2016, and concluded on September 20, 2016, a public deliberation has been scheduled for the following:

DATE AND TIME: THURSDAY, NOVEMBER 3, 2016 at 9:30 a.m.

LOCATION: Jefferson Building - Second Floor
Hearing Room #2 - Suite 206
105 W. Chesapeake Avenue

NOTE: PUBLIC DELIBERATIONS ARE OPEN WORK SESSIONS WHICH ALLOW THE PUBLIC TO WITNESS THE DECISION-MAKING PROCESS. ATTENDANCE IS NOT REQUIRED AND PARTICIPATION IS NOT ALLOWED. A WRITTEN OPINION AND/OR ORDER WILL BE ISSUED BY THE BOARD AND A COPY SENT TO ALL PARTIES.

For further information, including our inclement weather policy, please visit our website www.baltimorecountymd.gov/Agencies/appeals/index.html

Krysundra "Sunny" Cannington, Administrator

c: See attached Distribution List

Notice of Public Deliberation

Distribution List

In the matter of: Rosedale Federal Savings and Loan Association

Case No: 16-063-SPH and 16-219-X

October 5, 2016

Page 2

c: Counsel for Petitioner/Legal Owner
Petitioner/LO

: Adam Baker, Esquire
: Rosedale Federal Savings and Loan Assoc.

Protestant/Appellants

: Pat Keller, Chair Sustainable Growth/Perry Hall
Improvement Association; Pamela Hess; Stephen Davis

Office of People's Counsel for Baltimore County

: Carole S. Demilio, Deputy People's Counsel

Christopher R. Lester/George Vaeth Associates, Inc.
Matthew Bishop/Morris & Ritchie Associates, Inc.

Lawrence M. Stahl, Managing Administrative Law Judge
Arnold Jablon, Director/PAI
Nancy West, Assistant County Attorney

Andrea Van Arsdale, Director/Department of Planning
Michael Field, County Attorney, Office of Law

Krysundra Cannington

From: Baker, Adam D <ABaker@wtplaw.com>
Sent: Monday, October 03, 2016 4:08 PM
To: Krysundra Cannington
Subject: Rosedale Federal
Attachments: 0502 ROSEDALE ANNEX - proposed views from BelAir Rd-s.pdf

Sunny,

Attached please find Petitioner's Exhibit No. 2 from our hearing before the Board in Rosedale. We only had a full sized mounted copy of this at the hearing and I promised the Board I would provide them with an unmounted copy. If you need anything further, please let me know. Thanks.

Adam D. Baker
Whiteford, Taylor & Preston, L.L.P.
8830 Stanford Boulevard, Suite 400 | Columbia, Maryland 21045
T: 410.832.2052 | F: 410.339.4028
abaker@wtplaw.com | [Bio](#) | [vCard](#) | www.wtplaw.com

This transmission contains information from the law firm of Whiteford, Taylor & Preston LLP which may be confidential and/or privileged. The information is intended to be for the exclusive use of the planned recipient. If you are not the intended recipient, be advised that any disclosure, copying, distribution or other use of this information is strictly prohibited. If you have received this transmission in error, please notify the sender immediately.

Krysundra Cannington

From: Baker, Adam D <ABaker@wtplaw.com>
Sent: Thursday, September 29, 2016 1:10 PM
To: Krysundra Cannington
Cc: Carole Demilio; Jack Amrhein; pkeller57@verizon.net; Linda Muffoletto (lmuffoletto@rosedalefederal.com)
Subject: Rosedale - Case No. 16-063
Attachments: Rosedale_PHIA Amendment.PDF

Sunny,

Attached is the fully executed Amendment to the Restrictive Covenants between Rosedale Federal and the Perry Hall Improvement Association. At last week's hearing, the Board had agreed to leave the record open in order for the Amendment to be executed and submitted. I believe that the Board can now close the record.

Please feel free to call me if you have any questions. Thanks.

Adam D. Baker
Whiteford, Taylor & Preston, L.L.P.
8830 Stanford Boulevard, Suite 400 | Columbia, Maryland 21045
T: 410.832.2052 | F: 410.339.4028
abaker@wtplaw.com | [Bio](#) | [vCard](#) | www.wtplaw.com

From: Baker, Adam D
Sent: Thursday, September 29, 2016 1:02 PM
To: Baker, Adam D
Subject: Copitrak Scan to E-Mail

Copitrak Scan



Your Scan File is Attached



This transmission contains information from the law firm of Whiteford, Taylor & Preston LLP which may be confidential and/or privileged. The information is intended to be for the exclusive use of the planned recipient. If you are not the intended recipient, be advised that any disclosure, copying, distribution or other use of this information is strictly prohibited. If you have received this transmission in error, please notify the sender immediately.

2016-0063-SPH
Set with //
2016-0219X

Board of Appeals

Case No: _____

Case Name: Rosedale Federal Savings - Loan

Exhibit List

Party: Petitioner

Date: 9-20-16

Exhibit No:	Description:
✓ 1	CV of Christopher R. Lester, AIA
✓ 2 	Renderings of the Proposed Building ^{View from} ^{Southeast}
✓ 	Rendering of The Proposed Building ^{View from} ^{Northeast}
✓ 3A	floor Plan
✓ 3B	Floor Plan
✓ 3C	Elevations -
✓ 3D	Elevations - rear of Property
✓ 4	erial Photograph of the site
✓ 5	Site Plan A (Pictorial)
✓ 6	Site Plan B (Pictorial) - Final Plan
✓ 7	CV of Matthew A. Bishop, PLA
✓ 8	Site Plan - official
✓ 9	Context ariel photograph of area - Zoomed out photo
	VERIFIED BY _____ DATE: _____

2016-0063-SPH
Set with //
2016-0219X

Board of Appeals

Case No: _____

Case Name: Rosedale Federal Savings - Loan

Exhibit List

Party: Petitioner

Date: 9-20-16

Exhibit No:	Description:
✓ 1	CV of Christopher R. Lester, AIA
2 2B	Renderings of the Proposed Building ^{View from} Southeast
2A	Rendering of The Proposed Building ^{View from} Northwest
✓ 3A	floor Plan
✓ 3B	Flon Plan
✓ 3C	Elevations -
✓ 3D	Elevations - rear of Property
✓ 4	erial Photograph of the site
✓ 5	Site Plan A (Pictorial)
✓ 6	Site Plan B (Pictorial) - Final Plan
✓ 7	CV of Matthew A. Bishop, PLA
✓ 8	Site Plan - official
✓ 9	Context ariel photograph of area - zoomed out photo
	VERIFIED BY _____ DATE: _____



Board of Appeals of Baltimore County

JEFFERSON BUILDING
SECOND FLOOR, SUITE 203
105 WEST CHESAPEAKE AVENUE
TOWSON, MARYLAND, 21204
410-887-3180
FAX: 410-887-3182

June 16, 2016

NOTICE OF ASSIGNMENT

IN THE MATTER OF: Rosedale Federal Savings and Loan Association
9616 and 9618 Belair Road
16-063-SPH 11th Election District; 5th Councilmanic District

Re: Petition for Special Hearing to approve accessory parking in a residential (RO) zone to support a commercial use in a commercial (BL) zone.

11/20/15 Opinion and Order issued by the Administrative Law Judge wherein the requested relief was GRANTED.

SET WITH

IN THE MATTER OF: Rosedale Federal Savings and Loan Association
9616 and 9618 Belair Road
16-219-X 11th Election District; 5th Councilmanic District

Re: Petition for Special Exception to approve a Class B Office Building in the RO zone.

6/1/16 Opinion and Order issued by the Administrative Law Judge wherein the requested relief was DENIED.

ASSIGNED FOR: TUESDAY, SEPTEMBER 20, 2016, AT 10:00 A.M.

LOCATION: Hearing Room #2, Second Floor, Suite 206
Jefferson Building, 105 W. Chesapeake Avenue, Towson

NOTICE:

- This appeal is an evidentiary hearing. Parties should consider the advisability of retaining an attorney.
 - Please refer to the Board's Rules of Practice & Procedure, Appendix B, Baltimore County Code.
 - No postponements will be granted without sufficient reasons; said requests must be in writing and in compliance with Rule 2(b) of the Board's Rules. No postponements will be granted within 15 days of scheduled hearing date unless in full compliance with Rule 2(c).
 - If you have a disability requiring special accommodations, please contact this office at least one week prior to hearing date.
- NEW!** Parties must file one (1) original and three (3) copies of all Motions, Memoranda, and exhibits (including video and PowerPoint) with the Board unless otherwise requested.
- NEW!** Projection equipment for digital exhibits is available by request. A minimum of forty-eight (48) hours-notice is required. Supply is limited and not guaranteed.

For further information, including our inclement weather policy, please visit our website www.baltimorecountymd.gov/Agencies/appeals/index.html

Krysundra "Sunny" Cannington, Administrator

Notice of Assignment

Distribution List

In the matter of: Rosedale Federal Savings and Loan Association

Case No: 16-063-SPH and 16-219-X

June 16, 2016

Page 2

c: Counsel for Petitioner/Legal Owner
Petitioner/LO

Protestant/Appellants

: Adam Baker, Esquire
: Rosedale Federal Savings and Loan Assoc.

: Pat Keller, Chair Sustainable Growth/Perry Hall
Improvement Association; Pamela Hess; Stephen Davis

Christopher R. Lester/George Vaeth Associates, Inc.
Matthew Bishop/Morris & Ritchie Associates, Inc.

Office of People's Counsel
Arnold Jablon, Director/PAI
Nancy West, Assistant County Attorney

Lawrence M. Stahl, Managing Administrative Law Judge
Andrea Van Arsdale, Director/Department of Planning
Michael Field, County Attorney, Office of Law

Krysundra Cannington

From: Baker, Adam D <ABaker@wtplaw.com>
Sent: Monday, June 13, 2016 10:10 PM
To: Krysundra Cannington; Peoples Counsel
Cc: Carole Demilio
Subject: RE: Rosedale Federal Savings and Loan

Sunny,

I have spoken with my client and the other members of our team. Everyone is generally available in September with the following exceptions:

September 19 and 21-26

Carole Demilio has reached out to Pat Keller, Pam Hess and Steven Davis and will be in touch with their availability.

Adam D. Baker
Whiteford, Taylor & Preston, L.L.P.
8830 Stanford Boulevard, Suite 400 | Columbia, Maryland 21045
T: 410.832.2052 | F: 410.339.4028
abaker@wtplaw.com | [Bio](#) | [vCard](#) | www.wtplaw.com

From: Krysundra Cannington [mailto:kcannington@baltimorecountymd.gov]
Sent: Monday, June 13, 2016 10:23 AM
To: Baker, Adam D; Peoples Counsel
Subject: Rosedale Federal Savings and Loan

Hello,

We are in receipt of the new appeal 16-219-X. As previously agreed, the Board has held 16-063-SPH to be set with the new appeal. Upon discussion with Mr. Baker a couple weeks ago, I offered this matter first choice of hearing dates in the month of September. It was my understanding he was to work with the Protestants and People's Counsel to schedule this matter. To date, I have not been contacted with a date or dates for the hearing in this matter.

At this time, I need to begin offering dates in September to other cases. Please be advised that you have until close of business on Friday, June 17, 2016, to get back to me regarding scheduling this matter in September. After that, I will no longer hold dates in September for this matter.

Thank you for your attention and cooperation in this matter.

Sunny

Krysundra "Sunny" Cannington
Administrator
Board of Appeals of Baltimore County
The Jefferson Building, Suite 203
105 W. Chesapeake Avenue

Towson, MD 21204
Phone: 410-887-3180
Fax: 410-887-3182

Confidentiality Statement

This electronic mail transmission contains confidential information belonging to the sender which is legally privileged and confidential. The information is intended only for the use of the individual or entity named above. If you are not the intended recipient, you are hereby notified that any disclosure, copying, distribution, or taking of any action based on the contents of this electronic mail transmission is strictly prohibited. If you have received this electronic mail transmission in error, please immediately notify the sender.



CONNECT WITH BALTIMORE COUNTY



www.baltimorecountymd.gov

This transmission contains information from the law firm of Whiteford, Taylor & Preston LLP which may be confidential and/or privileged. The information is intended to be for the exclusive use of the planned recipient. If you are not the intended recipient, be advised that any disclosure, copying, distribution or other use of this information is strictly prohibited. If you have received this transmission in error, please notify the sender immediately.

Krysundra Cannington

From: Baker, Adam D <ABaker@wtplaw.com>
Sent: Monday, June 13, 2016 10:57 AM
To: Krysundra Cannington
Cc: Peoples Counsel
Subject: Re: Rosedale Federal Savings and Loan

Sunny,

My apologies on the delay. Thank you for continuing to hold the dates and for the reminder. I will get you dates ASAP.

Adam D. Baker

On Jun 13, 2016, at 10:22 AM, Krysundra Cannington <kcannington@baltimorecountymd.gov> wrote:

Hello,

We are in receipt of the new appeal 16-219-X. As previously agreed, the Board has held 16-063-SPH to be set with the new appeal. Upon discussion with Mr. Baker a couple weeks ago, I offered this matter first choice of hearing dates in the month of September. It was my understanding he was to work with the Protestants and People's Counsel to schedule this matter. To date, I have not been contacted with a date or dates for the hearing in this matter.

At this time, I need to begin offering dates in September to other cases. Please be advised that you have until close of business on Friday, June 17, 2016, to get back to me regarding scheduling this matter in September. After that, I will no longer hold dates in September for this matter.

Thank you for your attention and cooperation in this matter.

Sunny

Krysundra "Sunny" Cannington
Administrator
Board of Appeals of Baltimore County
The Jefferson Building, Suite 203
105 W. Chesapeake Avenue
Towson, MD 21204
Phone: 410-887-3180
Fax: 410-887-3182

Confidentiality Statement

This electronic mail transmission contains confidential information belonging to the sender which is legally privileged and confidential. The information is intended only for the use of the individual or entity named above. If you are not the intended recipient, you are hereby notified that any disclosure, copying, distribution, or taking of any action based on the contents of this electronic mail transmission is strictly prohibited. If you have received this electronic mail transmission in error, please immediately notify the sender.



CONNECT WITH BALTIMORE COUNTY



www.baltimorecountymd.gov

This transmission contains information from the law firm of Whiteford, Taylor & Preston LLP which may be confidential and/or privileged. The information is intended to be for the exclusive use of the planned recipient. If you are not the intended recipient, be advised that any disclosure, copying, distribution or other use of this information is strictly prohibited. If you have received this transmission in error, please notify the sender immediately.

Krysundra Cannington

From: Krysundra Cannington
Sent: Monday, June 13, 2016 10:23 AM
To: Adam Baker, Esquire; Peoples Counsel
Subject: Rosedale Federal Savings and Loan

Hello,

We are in receipt of the new appeal 16-219-X. As previously agreed, the Board has held 16-063-SPH to be set with the new appeal. Upon discussion with Mr. Baker a couple weeks ago, I offered this matter first choice of hearing dates in the month of September. It was my understanding he was to work with the Protestants and People's Counsel to schedule this matter. To date, I have not been contacted with a date or dates for the hearing in this matter.

At this time, I need to begin offering dates in September to other cases. Please be advised that you have until close of business on Friday, June 17, 2016, to get back to me regarding scheduling this matter in September. After that, I will no longer hold dates in September for this matter.

Thank you for your attention and cooperation in this matter.

Sunny

Krysundra "Sunny" Cannington
Administrator
Board of Appeals of Baltimore County
The Jefferson Building, Suite 203
105 W. Chesapeake Avenue
Towson, MD 21204
Phone: 410-887-3180
Fax: 410-887-3182

Confidentiality Statement

This electronic mail transmission contains confidential information belonging to the sender which is legally privileged and confidential. The information is intended only for the use of the individual or entity named above. If you are not the intended recipient, you are hereby notified that any disclosure, copying, distribution, or taking of any action based on the contents of this electronic mail transmission is strictly prohibited. If you have received this electronic mail transmission in error, please immediately notify the sender.

WHITEFORD, TAYLOR & PRESTON L.L.P.

8830 STANFORD BLVD
SUITE 400
COLUMBIA, MARYLAND 21045

MAIN TELEPHONE (410) 884-0700
FACSIMILE (410) 884-0719

ADAM D. BAKER
COUNSEL

DIRECT LINE (410) 832-2052
DIRECT FAX (410) 339-4028
ABaker@wtplaw.com

BALTIMORE, MD
BETHANY BEACH, DE*
BETHESDA, MD
COLUMBIA, MD
DEARBORN, MI
FALLS CHURCH, VA
LEXINGTON, KY
PITTSBURGH, PA
ROANOKE, VA
TOWSON, MD
WASHINGTON, DC
WILMINGTON, DE*

WWW.WTPLAW.COM
(800) 987-8705

April 7, 2016

RECEIVED
APR 07 2016

BALTIMORE COUNTY
BOARD OF APPEALS

Via Hand-Delivery

Ms. Krysundra Cannington
Board of Appeals of Baltimore County
The Jefferson Building, Suite 203
105 West Chesapeake Avenue
Towson, Maryland 21204

Re: Rosedale Federal Savings and Loan Association; Case No. 16-063-SPH

Dear Ms. Cannington,

Please accept this as a follow up to our conversation regarding the above referenced matter. Whiteford Taylor & Preston, LLP represents Rosedale Federal Savings and Loan Association. The above-referenced matter is currently before the Board Appeals. The matter is on appeal from the approval of the Administrative Law Judge ("ALJ") for special hearing relief to permit commercial parking in a residential zone on Rosedale's property at 9616 and 9618 Belair Road.

In light of some of the comments we received at the hearing before the ALJ from the Perry Hall Community Association ("PHIA") and individual neighbors who reside on Glen Park Road, we revised the plan by shifting the office addition closer to Belair Road and shrinking the parking field in front of the building. This matter was opened by the Board of Appeals on February 25, 2016. At the hearing, we requested a continuance in order to allow us to present the revised plan to the PHIA and the neighbors on Glen Arm Road. In addition to the special hearing relief for the parking, the revised plan also requires a special exception to permit the Class B Office in the RO zone.

The Board of Appeals does not have original jurisdiction over the special exception relief. It is for this reason that we have filed a petition for special exception before the ALJ. It is our intention to consolidate the cases before the Board once the ALJ

Ms. Krysundra Cannington

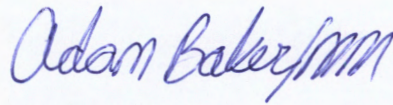
April 7, 2016

Page 2

has issued an order on the petition. In light of the procedural posture, we respectfully request that the Board hold this matter until such time that the special exception has been ruled on by the ALJ and we are able to request a consolidation of the cases.

Thank you for your kind consideration in this matter. Should you have any questions, please feel free to contact me.

Sincerely,



Adam D. Baker

Cc: Mr. Thomas Wintz (via e-mail)
Ms. Linda A. Muffaletto (via e-mail)
Carole Demilio, Esq. (via e-mail)
Ms. Pamela Hess
Mr. Stephen Davis
Mr. Arnold "Pat" Keller (via e-mail)
Mr. Jack Amrhein (via e-mail)

AB:adb

2195653



Board of Appeals of Baltimore County

JEFFERSON BUILDING
SECOND FLOOR, SUITE 203
105 WEST CHESAPEAKE AVENUE
TOWSON, MARYLAND, 21204
410-887-3180
FAX: 410-887-3182

January 11, 2016

NOTICE OF ASSIGNMENT

IN THE MATTER OF: Rosedale Federal Savings and Loan Association
9616 and 9618 Belair Road
16-063-SPH 11th Election District; 5th Councilmanic District

Re: Petition for Special Hearing to approve accessory parking in a residential (RO) zone to support a commercial use in a commercial (BL) zone.

11/20/15 Opinion and Order issued by the Administrative Law Judge wherein the requested relief was GRANTED

ASSIGNED FOR: THURSDAY, FEBRUARY 25, 2016, AT 10:00 A.M.

LOCATION: Hearing Room #2, Second Floor, Suite 206
Jefferson Building, 105 W. Chesapeake Avenue, Towson

NOTICE: This appeal is an evidentiary hearing; therefore, parties should consider the advisability of retaining an attorney.

Please refer to the Board's Rules of Practice & Procedure, Appendix B, Baltimore County Code.

IMPORTANT: No postponements will be granted without sufficient reasons; said requests must be in writing and in compliance with Rule 2(b) of the Board's Rules. No postponements will be granted within 15 days of scheduled hearing date unless in full compliance with Rule 2(c).

If you have a disability requiring special accommodations, please contact this office at least one week prior to hearing date.

For further information, including our inclement weather policy, please visit our website www.baltimorecountymd.gov/Agencies/appeals/index.html

Krysundra "Sunny" Cannington
Administrator

c: Counsel for Petitioner/Legal Owner
Petitioner/LO

: Adam Baker, Esquire
: Rosedale Federal Savings and Loan Assoc.

Protestant/Appellants

: Pat Keller, Chair Sustainable Growth/Perry Hall
Improvement Association; Pamela Hess; Stephen Davis

Christopher R. Lester/George Vaeth Associates, Inc.
Matthew Bishop/Morris & Ritchie Associates, Inc.

Office of People's Counsel
Arnold Jablon, Director/PAI
Nancy West, Assistant County Attorney

Lawrence M. Stahl, Managing Administrative Law Judge
Andrea Van Arsdale, Director/Department of Planning
Michael Field, County Attorney, Office of Law



RECEIVED
DEC 17 2015

BALTIMORE COUNTY
BOARD OF APPEALS

LAWRENCE M. STAHL
Managing Administrative Law Judge
JOHN E. BEVERUNGEN
Administrative Law Judge

KEVIN KAMENETZ
County Executive

December 17, 2015

Peter Max Zimmerman
People's Counsel for Baltimore County
Jefferson Building
105 West Chesapeake Avenue, Room 204
Towson, Maryland 21204

Pat Keller, Chair Sustainable Growth
Perry Hall Improvement Association
9704 Bernard Lewis Court
Perry Hall, Maryland 21128

Pamela Hess
4143 Glen Park Road
Baltimore, Maryland 21236

Stephen Davis
4147 Glen Park Road
Baltimore, Maryland 21236

RE: **APPEAL TO BOARD OF APPEALS**
Case Nos. 2016-0063-SPH
Location: 9616 & 9818 Belair Road

Dear Messrs. Zimmerman, Keller and Davis and Ms. Hess:

Please be advised that two appeals have been filed in this matter. An appeal on behalf of the Office of People's Counsel was filed on December 14, 2015 and a concurrent appeal filed by the Perry Hall Improvement Association, Pamela Hess, and Stephen Davis on December 15, 2015. All materials relative to the case have been forwarded to the Baltimore County Board of Appeals ("Board").

If you are the person or party taking the appeal, you should notify other similarly interested parties or persons known to you of the appeal. If you are an attorney of record, it is your responsibility to notify your client.

If you have any questions concerning this matter, please do not hesitate to contact the Board at 410-887-3180.

Sincerely,

LAWRENCE M. STAHL
Managing Administrative Law Judge
for Baltimore County

LMS/dlw

c: ✓ Baltimore County Board of Appeals
Adam Baker, Esq., Whiteford, Taylor & Preston, LLP, One West Pennsylvania Avenue,
Suite 300, Towson, MD 21204



RECEIVED

DEC 17 2015

BALTIMORE COUNTY
BOARD OF APPEALS
LAWRENCE M. STAHL
Managing Administrative Law Judge
JOHN E. BEVERUNGEN
Administrative Law Judge

KEVIN KAMENETZ
County Executive

December 17, 2015

Peter Max Zimmerman
People's Counsel for Baltimore County
Jefferson Building
105 West Chesapeake Avenue, Room 204
Towson, Maryland 21204

Pat Keller, Chair Sustainable Growth
Perry Hall Improvement Association
9704 Bernard Lewis Court
Perry Hall, Maryland 21128

Pamela Hess
4143 Glen Park Road
Baltimore, Maryland 21236

Stephen Davis
4147 Glen Park Road
Baltimore, Maryland 21236

RE: **APPEAL TO BOARD OF APPEALS**
Case Nos. 2016-0063-SPH
Location: 9616 & 9818 Belair Road

Dear Messrs. Zimmerman, Keller and Davis and Ms. Hess:

Please be advised that two appeals have been filed in this matter. An appeal on behalf of the Office of People's Counsel was filed on December 14, 2015 and a concurrent appeal filed by the Perry Hall Improvement Association, Pamela Hess, and Stephen Davis on December 15, 2015. All materials relative to the case have been forwarded to the Baltimore County Board of Appeals ("Board").

If you are the person or party taking the appeal, you should notify other similarly interested parties or persons known to you of the appeal. If you are an attorney of record, it is your responsibility to notify your client.

If you have any questions concerning this matter, please do not hesitate to contact the Board at 410-887-3180.

Sincerely,

LAWRENCE M. STAHL
Managing Administrative Law Judge
for Baltimore County

LMS/dlw

c: Baltimore County Board of Appeals
Adam Baker, Esq., Whiteford, Taylor & Preston, LLP, One West Pennsylvania Avenue,
Suite 300, Towson, MD 21204

Office of Administrative Hearings
105 West Chesapeake Avenue, Suite 103 | Towson, Maryland 21204 | Phone 410-887-3868 | Fax 410-887-3468
www.baltimorecountymd.gov

APPEAL

**Petition for Special Hearing
(9616 & 9818 Belair Road)
11th Election District – 5th Councilmanic District
Legal Owners: Rosedale Federal Savings & Loan Association
Case No. 2016-0063-SPH**

Petition for Variance Hearing (September 9, 2015)

Zoning Description of Property

Notice of Zoning Hearing (October 6, 2015 for November 12, 2015 hearing)

Certificate of Publication (October 22, 2015)

Certificate of Posting (October 23, 2015) – Linda O’Keefe

Entry of Appearance by People’s Counsel – October 8, 2015

Petitioner(s) Sign-in Sheet – One

Citizen(s) Sign-in Sheet – One

Zoning Advisory Committee (ZAC) Comments

Petitioner(s) Exhibits:

1. Site Plan
2. Illustrative Site Plan
3. Official zoning map
4. Aerial Imagery
5. Lester CV
5. Architect Rendering
7. Floorplans
8. Elevations
9. Bishop CV
10. 10A-X – Photos of Site & Vicinity
11. (Omitted)
12. 12A-C – Google street view photos
13. Monk CV
14. Resolution 67-15
15. Map – Perry Hall Revit. District

Protestants’ Exhibits:

1. Photo – view from neighboring prop.
2. Letters from neighbors
3. Restrictive Covenant Agreement

Miscellaneous (Not Marked as Exhibits)

Administrative Law Judge Order and Letter (GRANTED with Conditions – November 20, 2015)

Notice of Appeal – Peter Max Zimmerman on December 14, 2015

Notice of Appeal – Perry Hall Improvement Association, Pamela Hess and Stephen Davis on

December 14, 2015

Lawrence S. Stahl, Managing Administrative Law Judge
Office of Administrative Hearing
105 West Chesapeake Avenue, Suite 103
Towson, Maryland 21204

RECEIVED

DEC 15 2015

OFFICE OF ADMINISTRATIVE HEARINGS

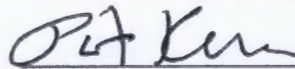
Re: PETITION FOR SPECIAL HEARING
Property Address: 9616 & 9618 Belair Road
Election District: 11th, 5th Council District
Petitioner's Name: Rosedale Federal Savings & Loan Assoc.
Case No.: 2016-0063-SPH

Dear Mr. Stahl:

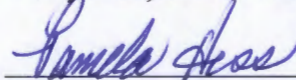
Please enter and accept this appeal on behalf of the Perry Hall Improvement Association and Pamela Hess and Stephen Davis to the County Board of Appeals of the Opinion and Order of the Administrative Law Judge dated 11/20/2015 in the above-entitled case.

Enclosed ^{PRE pth pth} is our check ^{\$1265.00 pth} in the amount of \$256.00 for the filing fee. Please forward copies of any papers pertinent to the appeal as necessary and appropriate.

Very truly yours,
Perry Hall Improvement Association



Pat Keller, Chair Sustainable Growth
9704 Bernard Lewis Court
Perry Hall, MD 21128



Pamela Hess
4143 Glen Park Road
Baltimore, MD 21236

 12-15-15

Stephen Davis
4147 Glen Park Road
Baltimore, MD 21236

cc: People's Counsel for Baltimore County, The Jefferson Building, 105 W. Chesapeake Avenue, Suite 204, Towson, MD 21204.

BALTIMORE COUNTY, MARYLAND
OFFICE OF BUDGET AND FINANCE
MISCELLANEOUS CASH RECEIPT

No. 133638

Date: 12/15/15

PAID RECEIPT

RECEIVED BY: [Signature]
DATE: 12/15/15
AMOUNT: \$265.00
RECEIPT # 133638
RECEIVED BY: [Signature]
DATE: 12/15/15
AMOUNT: \$265.00
RECEIPT # 133638

Fund	Dept	Unit	Sub Unit	Rev Source/Obj	Sub Rev/Obj	Dept Obj	BS Acct	Amount
001	806	000		6050				265.00

Total: 265.00

Rec From: Pat Keller - CK# 3296
For: Pamela Hess CK# 341
Stephen Davis CK# 8518
Case # 2016-0063-SPH
Roseville Federal

CASHIER'S
VALIDATION

DISTRIBUTION

WHITE - CASHIER PINK - AGENCY YELLOW - CUSTOMER GOLD - ACCOUNTING
PLEASE PRESS HARD!!!!



Baltimore County, Maryland

OFFICE OF PEOPLE'S COUNSEL

Jefferson Building
105 West Chesapeake Avenue, Room 204
Towson, Maryland 21204

410-887-2188
Fax: 410-823-4236

PETER MAX ZIMMERMAN
People's Counsel

December 14, 2015

CAROLE S. DEMILIO
Deputy People's Counsel

Hand-delivered

Arnold Jablon, Director
Department of Permits, Approvals & Inspections
111 W. Chesapeake Avenue
Towson, MD 21204

RECEIVED

DEC 14 2015

OFFICE OF ADMINISTRATIVE HEARINGS

Re: PETITION FOR SPECIAL HEARING
Rosedale Federal Savings & Loan Association – Legal Owner
9616 & 9818 Belair Road
Case No.: 2016-063-SPH

Dear Mr. Jablon:

Please enter an appeal by the People's Counsel for Baltimore County to the County Board of Appeals of the Opinion and Order dated November 20, 2015 by the Baltimore County Administrative Law Judge in the above entitled case.

Please forward copies of any papers pertinent to the appeal as necessary and appropriate.

Very truly yours,

A handwritten signature in black ink that reads "Peter Max Zimmerman".

Peter Max Zimmerman
People's Counsel for Baltimore County

A handwritten signature in blue ink that reads "Carole S. Demilio".

Carole S. Demilio
Deputy People's Counsel

PMZ/CSD/rmw

cc: Adam Baker, Esquire
Arnold "Pat" Keller, Perry Hall Community Association
Pamela Hess



KEVIN KAMENETZ
County Executive

LAWRENCE M. STAHL
Managing Administrative Law Judge
JOHN E. BEVERUNGEN
Administrative Law Judge

November 20, 2015

Adam Baker, Esq.
Whiteford, Taylor & Preston, LLP
1 W. Pennsylvania Avenue, Suite 300
Towson, Maryland 21204

RE: Petition for Special Hearing
Property: 9616 & 9618 Belair Road
Case No.: 2016-0063-SPH

Dear Mr. Baker:

Enclosed please find a copy of the decision rendered in the above-captioned matter.

In the event any party finds the decision rendered is unfavorable, any party may file an appeal to the Baltimore County Board of Appeals within thirty (30) days of the date of this Order. For further information on filing an appeal, please contact the Baltimore County Office of Administrative Hearings at 410-887-3868.

Sincerely,

A handwritten signature in black ink, appearing to read "JEB", is written over the printed name of John E. Beverungen.

JOHN E. BEVERUNGEN
Administrative Law Judge
for Baltimore County

JEB:sln
Enclosure

C: Pamela H. Hess, 4143 Glen Park Road, Baltimore, Maryland 21236
Stephen Davis, 4147 Glen Park Road, Baltimore, Maryland 21236
Pat Keller, 9704 Bernard Lewis Ct., Baltimore, Maryland 21136

IN RE: **PETITION FOR SPECIAL HEARING** *
(9616 & 9618 Belair Road)
11th Election District *
5th Council District *

Rosedale Federal Savings &
Loan Association *
Legal Owner *
Petitioner *

BEFORE THE
OFFICE OF
ADMINISTRATIVE HEARINGS
FOR BALTIMORE COUNTY
Case No. 2016-0063-SPH

* * * * *

OPINION AND ORDER

This matter comes before the Office of Administrative Hearings (OAH) for consideration of a Petition for Special Hearing filed on behalf of Rosedale Federal Savings and Loan Association, legal owner. The Special Hearing was filed pursuant to § 500.7 of the Baltimore County Zoning Regulations ("B.C.Z.R.") to approve accessory parking in a residential (RO) zone to support a commercial use in a commercial (BL) zone.

Chris Lester, Linda Muffoletto, Matt Bishop and Bill Monk appeared in support of the petition. Adam Baker, Esq. represented the Petitioner. Several members of the community, whose names are on the sign in sheets, opposed the requests. The Petition was advertised and posted as required by the Baltimore County Zoning Regulations. Substantive Zoning Advisory Committee (ZAC) comments were received from the Department of Planning (DOP) and the Bureau of Development Plans Review (DPR). The DOP opposed the request, and opined that parking should be "limited to sides and rear of building." (Emphasis in original). The DPR noted landscape and lighting plans are required.

The subject property is 2.77 acres and is split-zoned BL and RO. The headquarters for Rosedale Federal is on the subject property. The Petitioner indicated the bank is continuing to grow, and would like to construct a new building on the site with accessory parking adjacent

ORDER RECEIVED FOR FILING

Date 11/20/15
By Sen

thereto. The building would be constructed in the BL-zoned portion of the property, and professional engineer Matt Bishop testified it is permitted by right in the zone and that no variances are required. The surface parking facility which would serve the new building is proposed for the R.O. zone portion of the property. Under the B.C.Z.R. the R.O. zone is considered "residential." As such, Petitioner seeks special hearing relief to permit business parking in a residential zone, per B.C.Z.R. §409.8.

The regulations provide a list of requirements which must be satisfied prior to issuing a use permit for such a parking facility. Distilled to its essence, the applicable test is that set forth at B.C.Z.R. §502.1: whether the use will be detrimental to the health, safety or general welfare of the surrounding community. Based on the testimony in this case I believe the business parking in the R.O. zone would have at least some degree of detrimental impact upon the adjacent dwellings, whose owners object to the proposal. But, under Maryland law special exception uses are presumed to have some adverse impact upon the locality. While business parking in a residential zone is not a special exception use *per se*, B.C.Z.R. §409.8 expressly incorporates §502.1, and thus in sum and substance the analysis is the same.

Under Maryland law "the appropriate standard to be used in determining whether a requested special exception use would have an adverse effect and, therefore, should be denied is whether there are facts and circumstances that show that the particular use proposed at the particular location proposed would have any adverse effects above and beyond those inherently associated with such a special exception use irrespective of its location within the zone." Schultz v. Pritts, 291 Md. 1, 22-23 (1981). In this case, protestants did not present any evidence to establish that the negative effects at this site would be above and beyond those experienced at any other R.O. zoned property. As such, I believe the use permit must be granted.

ORDER RECEIVED FOR FILING

Date 11/20/15
By Sen

I understand and appreciate the concerns of the neighbors, but I am obliged to consider this request under the zoning regulations, which in my opinion have been satisfied. The community submitted a copy of a restrictive covenant agreement it entered into with Rosedale in 2008. Protestants' Ex. No. 3. The community believes Rosedale has reneged on its promises as set forth in that document, but as explained at the hearing the ALJ is not authorized to consider or interpret that private agreement. Blakehurst Life Care Community v. Baltimore County, 146 Md. App. 509 (2002). That is a matter for the circuit court for Baltimore County.

In addition, based upon a review of the opposition letters submitted by the community (Protestants' Ex. No. 2), the primary objection and concern voiced by the neighbors relates to the new building proposed, not the surface parking facility. As noted earlier, the proposed building is permitted by right in the B.L. zone and the Petitioner satisfies all height and setback requirements for the structure.

The only remaining issue concerns the ZAC comment submitted by the DOP. Therein, that agency suggested that the commercial corridor along Belair Road features parking in the side and rear of the buildings. But based upon the testimony of Bill Monk, and the photos submitted, I believe in fact that the businesses in the area have customer parking in the front of the stores. In addition, the subject property already has customer parking in front of the bank along Belair Road, and thus I respectfully disagree with the DOP's comment.

THEREFORE, IT IS ORDERED this **20th** day of November, **2015** by this Administrative Law Judge, that the Petition for Special Hearing pursuant to B.C.Z.R. § 500.7 to approve accessory parking in a residential (R.O.) zone to support a commercial use in a commercial (B.L.) zone, be and is hereby GRANTED.

The relief granted herein shall be subject to and conditioned upon the following:

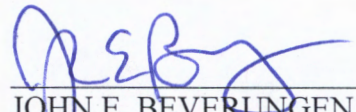
ORDER RECEIVED FOR FILING

Date 11/20/15
By Sen

1. Petitioner may apply for necessary permits and/or licenses upon receipt of this Order. However, Petitioner is hereby made aware that proceeding at this time is at its own risk until 30 days from the date hereof, during which time an appeal can be filed by any party. If for whatever reason this Order is reversed, Petitioner would be required to return the subject property to its original condition.
2. Prior to issuance of permits landscape and lighting plans must be submitted for approval by the Baltimore County Landscape Architect.

Any appeal of this decision must be filed within thirty (30) days of the date of this Order.

JEB:slh



JOHN E. BEVERUNGEN
Administrative Law Judge
for Baltimore County

ORDER RECEIVED FOR FILING

Date

11/20/15

By

slh

2016-

ER 2016-
CASE NAME 9/16/16-9/16/16 Belding
CASE NUMBER 16-063
DATE November 12, 2015
E-M

7	GLEN PARK RD	Bo/kimoremd?
4	B (P/NW) Lewis	Pr...
(7.		

PETITIONER'S SIGN-N SHEET

CITY, STATE, ZIP

Towson, MD 212

Columbia, MT

PLEASE PRINT CLEARLY

PETITIONER'S SIGN-N SHEET		
NAME	ADDRESS	CITY, STATE, ZIP
Adam Baker	1 W. Pennsylvania Ave Ste 300	Towson MD 21204
Luis Lester	5501 Twin Knolls Rd Ste 108	Columbia MD 21045
Linda Muffoletto	9616 Bel Air Rd	Baltimore MD 21236
Matt Bishop	1220-C East Joppa Road	TOWSON MD 21286
Bill Monk	1220-C E JOPPA ROAD	TOWSON MD 21286

CASE NAME

CASE NUMBER _____

DATE _____

2016-0063

CITIZEN'S SIGN - IN SHEET

NAME

ADDRESS

CITY, STATE, ZIP

E - MAIL

[illegible]

CERTIFICATE OF POSTING

ATTENTION: KRISTEN LEWIS

DATE: 10/23/2015

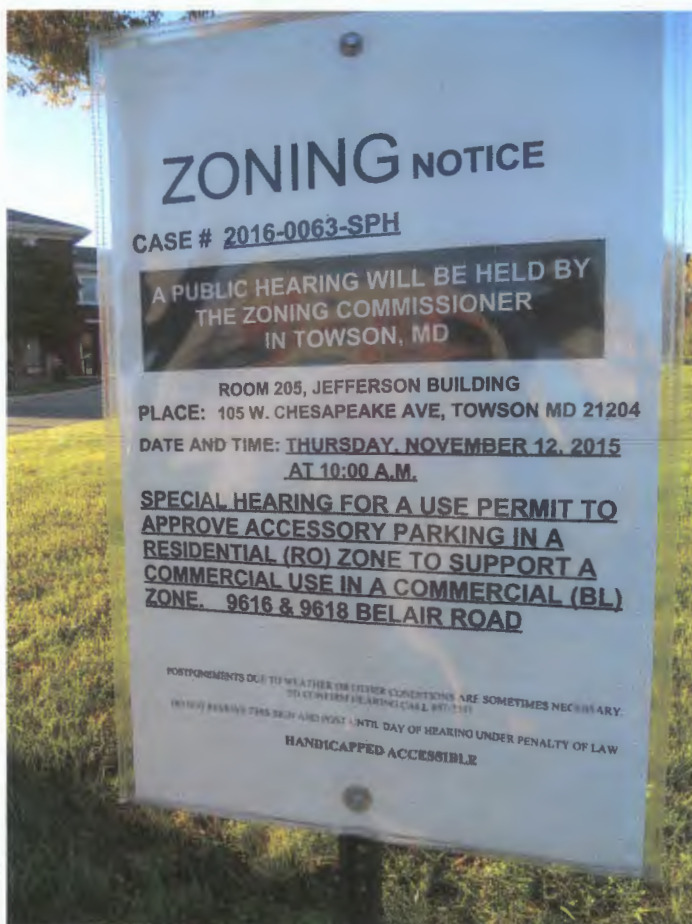
Case Number: 2016-0063-SPH

Petitioner / Developer: ADAM D. BAKER, ESQ. ~ ROSEDALE FEDERAL SAVINGS & LOAN ASSOCIATION

Date of Hearing (Closing): NOVEMBER 12, 2015

This is to certify under the penalties of perjury that the necessary sign(s) required by law were posted conspicuously on the property located at:
9616 & 9618 BELAIR ROAD

The sign(s) were posted on: OCTOBER 23, 2015



Linda O'Keefe
(Signature of Sign Poster)

Linda O'Keefe
(Printed Name of Sign Poster)

523 Penny Lane
(Street Address of Sign Poster)

Hunt Valley, Maryland 21030
(City, State, Zip of Sign Poster)

410 - 666 - 5366
(Telephone Number of Sign Poster)



501 N. Calvert St., P.O. Box 1377
Baltimore, Maryland 21278-0001
tel: 410/332-6000
800/829-8000

WE HEREBY CERTIFY, that the annexed advertisement of Order No 3670669

Sold To:

Whiteford, Taylor & Preston LLP - CU00483501
8830 Stanford Blvd
Columbia, MD 21045-5425

Bill To:

Whiteford, Taylor & Preston LLP - CU00483501
8830 Stanford Blvd
Columbia, MD 21045-5425

Was published in "Jeffersonian", "Bi-Weekly", a newspaper printed and published in Baltimore County on the following dates:

Oct 22, 2015

NOTICE OF ZONING HEARING

The Administrative Law Judge of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County will hold a public hearing in Towson, Maryland on the property identified herein as follows:

Case: # 2016-0063-SPH
9616 & 9618 Belair Road
W/s Belair Road, 126 ft. s/w of the centerline of Glen Park Road
11th Election District - 5th Councilmanic District
Legal Owner(s) Rosedale Federal Savings and Loan Association

Special Hearing: for a use permit to approve accessory parking in a residential (RO) zone to support a commercial use in a commercial (BL) zone.

Hearing: Thursday, November 12, 2015 at 10:00 a.m. in Room 205, Jefferson Building, 105 West Chesapeake Avenue, Towson 21204.

ARNOLD JABLON, DIRECTOR OF PERMITS, APPROVALS AND INSPECTIONS FOR BALTIMORE COUNTY

NOTES: (1) Hearings are Handicapped Accessible; for special accommodations Please Contact the Administrative Hearings Office at (410) 887-3868.
(2) For information concerning the File and/or Hearing, Contact the Zoning Review Office at (410) 887-3391.

10/347 Oct. 22 3670669

The Baltimore Sun Media Group

By S. Wilkinson
Legal Advertising

RE: PETITION FOR SPECIAL HEARING
9616-9618 Belair Road; W/S Belair Road,
126' SW of c/line Glen Park Road
11th Election & 5th Councilmanic Districts
Legal Owner(s): Rosedale Federal Savings
& Loan Association

Petitioner(s)

* BEFORE THE OFFICE
* OF ADMINSTRATIVE
* HEARINGS FOR
* BALTIMORE COUNTY
* 2016-063-SPH

* * * * *

ENTRY OF APPEARANCE

Pursuant to Baltimore County Charter § 524.1, please enter the appearance of People's Counsel for Baltimore County as an interested party in the above-captioned matter. Notice should be sent of any hearing dates or other proceedings in this matter and the passage of any preliminary or final Order. All parties should copy People's Counsel on all correspondence sent and all documentation filed in the case.

RECEIVED

OCT 08 2015

Peter Max Zimmerman

PETER MAX ZIMMERMAN
People's Counsel for Baltimore County

Carole S. Demilio

CAROLE S. DEMILIO
Deputy People's Counsel
Jefferson Building, Room 204
105 West Chesapeake Avenue
Towson, MD 21204
(410) 887-2188

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that on this 8th day of October, 2015, a copy of the foregoing Entry of Appearance was mailed to Adam Baker, Esquire, Whiteford, Taylor & Preston, LLP, 8830 Stanford Boulevard, Suite 400, Columbia, Maryland 21045, Attorney for Petitioner(s).

Peter Max Zimmerman

PETER MAX ZIMMERMAN
People's Counsel for Baltimore County



KEVIN KAMENETZ
County Executive

ARNOLD JABLON
Deputy Administrative Officer
Director, Department of Permits,
Approvals & Inspections

October 6, 2015

NOTICE OF ZONING HEARING

The Administrative Law Judges of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing in Towson, Maryland on the property identified herein as follows:

CASE NUMBER: 2016-0063-SPH

9616 & 9618 Belair Road

W/s Belair Road, 126 ft. s/w of the centerline of Glen Park Road

11th Election District – 5th Councilmanic District

Legal Owners: Rosedale Federal Savings and Loan Association

Special Hearing for a use permit to approve accessory parking in a residential (RO) zone to support a commercial use in a commercial (BL) zone.

Hearing: Thursday, November 12, 2015 at 10:00 a.m. in Room 205, Jefferson Building,
105 West Chesapeake Avenue, Towson 21204

A handwritten signature in black ink, appearing to read "Arnold Jablon".

Arnold Jablon
Director

AJ:kl

C: Adam Baker, 8830 Stanford Blvd., Ste. 400, Columbia 21045
Rosedale Federal Savings and Loan Association, 9616A Belair Road, Baltimore 21236

- NOTES: (1) **THE PETITIONER MUST HAVE THE ZONING NOTICE SIGN POSTED BY AN APPROVED POSTER ON THE PROPERTY BY FRIDAY, OCTOBER 23, 2015**
- (2) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMMODATIONS PLEASE CALL THE ADMINISTRATIVE HEARINGS OFFICE AT 410-887-3868.
- (3) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THE ZONING REVIEW OFFICE AT 410-887-3391.



PETITION FOR ZONING HEARING(S)

To be filed with the Department of Permits, Approvals and Inspections

To the Office of Administrative Law of Baltimore County for the property located at:

Address 9616 Belair Road & 9618 Belair Road which is presently zoned BL & RO
Deed References: 3812/001 & 28954/00318 10 Digit Tax Account # 1118049530 & 1111017100
Property Owner(s) Printed Name(s) Rosedale Federal Savings and Loan Association

(SELECT THE HEARING(S) BY MARKING X AT THE APPROPRIATE SELECTION AND PRINT OR TYPE THE PETITION REQUEST)

The undersigned legal owner(s) of the property situate in Baltimore County and which is described in the description and plan attached hereto and made a part hereof, hereby petition for:

1. X a **Special Hearing** under Section 500.7 of the Zoning Regulations of Baltimore County, to determine whether or not the Zoning Commissioner should approve
Accessory parking in a residential (RO) zone to support a commercial use in a commercial (BL) zone
2. a **Special Exception** under the Zoning Regulations of Baltimore County to use the herein described property for
3. a **Variance** from Section(s)

of the zoning regulations of Baltimore County, to the zoning law of Baltimore County, for the following reasons:
(Indicate below your hardship or practical difficulty or indicate below "TO BE PRESENTED AT HEARING". If you need additional space, you may add an attachment to this petition)

To be presented at hearing

Property is to be posted and advertised as prescribed by the zoning regulations.

I, or we, agree to pay expenses of above petition(s), advertising, posting, etc., and further agree to and are to be bounded by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

Legal Owner(s) Affirmation: I / we do so solemnly declare and affirm, under the penalties of perjury, that I / We are the legal owner(s) of the property which is the subject of this / these Petition(s).

Contract Purchaser/Lessee:

Name- Type or Print _____
Signature _____
Mailing Address _____ City _____ State _____
Zip Code _____ / Telephone # _____ / Email Address _____

Attorney for Petitioner:

Adam Baker
Name- Type or Print _____
Signature _____
Whiteford, Taylor & Preston, LLP
8830 Stanford Blvd, Suite 400, Columbia, MD
Mailing Address _____ City _____ State _____
21045 / 410-832-2052 / abaker@wtplaw.com
Zip Code Telephone # Email Address

Legal Owners (Petitioners):

Rosedale Federal Savings and Loan Association

Name #1 - Type or Print _____ Name #2 - Type or Print _____
Signature #1 _____ Signature #2 _____
9616A Belair Road, Baltimore, MD
Mailing Address _____ City _____ State _____
21236 / 410-668-4400 / _____
Zip Code Telephone # Email Address

Representative to be contacted:

Adam Baker
Name- Type or Print _____
Signature _____
Whiteford, Taylor & Preston, LLP
8830 Stanford Blvd., Suite 400, Columbia, MD
Mailing Address _____ City _____ State _____
21045 / 410-832-2052 / abaker@wtplaw.com
Zip Code Telephone # Email Address

CASE NUMBER 206-0063-SPH Filing Date 9/9/15 Do Not Schedule Dates: _____ Reviewer AT

PETITION FOR ZONING HEARING
9616 & 9618 Belair Road

Special Hearing Relief Requested:

1. A Special Hearing under Section 500.7 of the Baltimore County Zoning Regulations to approve accessory parking in a residential (RO) zone to support a commercial use in a commercial (BL) zone.

2152326



2016-0063-SPH

Zoning description for Special Hearing:
9616 and 9618 Belair Road

Beginning at a point located on the west side of Belair Road which has a right of way width of 75' at the distance of 126' southwest of the centerline of the nearest improved intersecting street Glen Park Road which has a right of way width of 60' **Thence** the following courses and distances, referred to the Maryland Coordinate System (NAD '83/91):

South 41 degrees 53 minutes 29 seconds West, 98.83' to a point; South 48 degrees 44 minutes 19 seconds East, 6.39' to a point, South 41 degrees 53 minutes 32 seconds West, 175.37' to a point, South 80 degrees 00 minutes 23 seconds West, 33.60' to a point, North 48 degrees 52 minutes 48 seconds West, 336.09' to a point, North 40 degrees 53 minutes 59 seconds East, 273.62' to a point, South 53 degrees 10 minutes 44 seconds East, 171.55' to a point, South 53 degrees 10 minutes 44 seconds East, 184.95' to a point; and place of beginning.

Containing an area of 102,292 square feet or 2.34 acres of land, more or less and being located in the 11th Election District and 5th Council District of Baltimore County Maryland.



2016-0063- SPHA



KEVIN KAMENETZ
County Executive

ARNOLD JABLON
*Deputy Administrative Officer
Director, Department of Permits,
Approvals & Inspections*

November 9, 2015

Rosedale Federal Savings and Loan Association
9616 A Belair Road
Baltimore MD 21236

RE: Case Number: 2016-0063 SPH, Address: 9616 A Belair Road

To Whom It May Concern:

The above referenced petition was accepted for processing **ONLY** by the Bureau of Zoning Review, Department of Permits, Approvals, and Inspection (PAI) on September 9, 2015. This letter is not an approval, but only a **NOTIFICATION**.

The Zoning Advisory Committee (ZAC), which consists of representatives from several approval agencies, has reviewed the plans that were submitted with your petition. All comments submitted thus far from the members of the ZAC are attached. These comments are not intended to indicate the appropriateness of the zoning action requested, but to ensure that all parties (zoning commissioner, attorney, petitioner, etc.) are made aware of plans or problems with regard to the proposed improvements that may have a bearing on this case. All comments will be placed in the permanent case file.

If you need further information or have any questions, please do not hesitate to contact the commenting agency.

Very truly yours,

A handwritten signature in black ink that reads "W. Carl Richards, Jr." The signature is stylized with a large, looped "J" at the end.

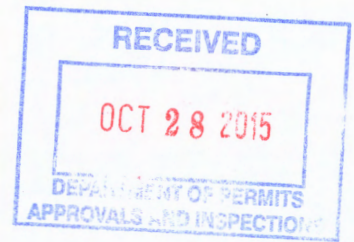
W. Carl Richards, Jr.
Supervisor, Zoning Review

WCR: jaw

Enclosures

c: People's Counsel
Adam Baker, Esquire, 8830 Stanford Boulevard, Suite 400, Columbia MD 21045

BALTIMORE COUNTY, MARYLAND
INTER-OFFICE CORRESPONDENCE



TO: Arnold Jablon
Deputy Administrative Officer and
Director of Permits, Approvals and Inspections

DATE: October 26, 2015

FROM: Andrea Van Arsdale
Director, Department of Planning

SUBJECT: 9616 – 9618 Belair Road

INFORMATION:

Item Number: 16-063

Petitioner: Rosedale Federal Savings and Loan Association

Zoning: BL, RO

Requested Action: Special Hearing

SUMMARY OF RECOMMENDATIONS:

The Department of Planning has reviewed the Petition for a Special Hearing to determine whether or not the Zoning Commissioner should approve accessory parking in a residential (RO) zone to support a commercial (BL) zone.

The Department cannot recommend approval of the petitioned zoning request. The Perry Hall Community Plan, adopted by the County Council in 2011 and now a part of the Master Plan 2020 directs that parking be limited to the sides and rear of buildings.

It is the recommendation of the Department that a plan wherein the proposed two-story masonry building is situated on the subject property fronting on Belair Road with the attendant parking located behind it on 9616 Belair Road better meets the goals of the Perry Hall Community Plan. Additionally, the established commercial corridor along Belair Road is further defined by this arrangement. Any plan so submitted should also provide landscape buffering and lighting to mitigate any impacts on adjacent dwellings.

For further information concerning the matters stated herein, please contact Ngoné Seye Diop at 410-887-3480.

Division Chief:
AVA/KS

Kathy G. Calhoun

C: Ngoné Seye Diop

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

TO: Arnold Jablon
Deputy Administrative Officer and
Director of Permits, Approvals and Inspections

DATE: October 26, 2015

FROM: Andrea Van Arsdale
Director, Department of Planning

SUBJECT: 9616 – 9618 Belair Road

RECEIVED

INFORMATION:

OCT 27 2015

Item Number: 16-063

Petitioner: Rosedale Federal Savings and Loan Association

OFFICE OF ADMINISTRATIVE HEARINGS

Zoning: BL, RO

Requested Action: Special Hearing

SUMMARY OF RECOMMENDATIONS:

The Department of Planning has reviewed the Petition for a Special Hearing to determine whether or not the Zoning Commissioner should approve accessory parking in a residential (RO) zone to support a commercial (BL) zone.

The Department cannot recommend approval of the petitioned zoning request. The Perry Hall Community Plan, adopted by the County Council in 2011 and now a part of the Master Plan 2020 directs that parking be limited to the sides and rear of buildings.

It is the recommendation of the Department that a plan wherein the proposed two-story masonry building is situated on the subject property fronting on Belair Road with the attendant parking located behind it on 9616 Belair Road better meets the goals of the Perry Hall Community Plan. Additionally, the established commercial corridor along Belair Road is further defined by this arrangement. Any plan so submitted should also provide landscape buffering and lighting to mitigate any impacts on adjacent dwellings.

For further information concerning the matters stated herein, please contact Ngoné Seye Diop at 410-887-3480.

Division Chief: Kathy G. Calbach
AVA/KS

C: Ngoné Seye Diop

BALTIMORE COUNTY, MARYLAND

Inter-Office Correspondence

RECEIVED

OCT 07 2015



OFFICE OF ADMINISTRATIVE HEARINGS

TO: Hon. Lawrence M. Stahl; Managing Administrative Law Judge
Office of Administrative Hearings

FROM: Jeff Livingston, Department of Environmental Protection and
Sustainability (EPS) - Development Coordination

DATE: 10-7-2015

SUBJECT: DEPS Comment for Zoning Item # 2016-0063-SPH
Address 9616-9618 Belair Road
(Rosedale Federal Savings and Loan Assoc.)

Zoning Advisory Committee Meeting of 09-28- 2015.

X The Department of Environmental Protection and Sustainability has no
comment on the above-referenced zoning item.

BALTIMORE COUNTY, MARYLAND
INTEROFFICE CORRESPONDENCE

TO: Arnold Jablon, Director
Department of Permits, Approvals
And Inspections

FROM: Dennis A. Kennedy, ^{DAK}Supervisor
Bureau of Development Plans Review

SUBJECT: Zoning Advisory Committee Meeting
For October 2, 2015
Item No. 2016-0063

DATE: October 2, 2015

The Bureau of Development Plans Review has reviewed the subject zoning item and we have the following comment.

Landscape and Lighting Plans are required. Adequate planting to buffer the parking from adjacent residences is required.

* * * * *

DAK:CEN
cc:file

ZAC-ITEM NO 16-0063-10052015.doc

Larry Hogan, Governor
Boyd K. Rutherford, Lt. Governor



Pete K. Rahn, Secretary
Gregory C. Johnson, P.E., Administrator

Date: 9/30/15

Ms. Kristen Lewis
Baltimore County Department of
Permits, Approvals & Inspections
County Office Building, Room 109
Towson, Maryland 21204

RE: Baltimore County
Item No. 2016-0063-SPH
Special Hearing
Rosedale Federal Savings and Loan Association
9616-9618 Belair Road
US 1

Dear Ms. Lewis:

We have reviewed the site plan to accompany petition for variance on the subject of the above captioned, which was received on 9/30/15. A field inspection and internal review reveals that an entrance onto US 1 consistent with current State Highway Administration guidelines is not required. Therefore, SHA has no objection to approval for Special Hearing Case Number 2016-0063-SPH.

Should you have any questions regarding this matter feel free to contact Richard Zeller at 410-229-2332 or 1-866-998-0367 (in Maryland only) X 2332 or by email at (rzeller@sha.state.md.us).

Sincerely,

David W. Peake
Metropolitan District Engineer
Baltimore & Harford Counties

DWP/RAZ

XX11/24/15BAL TND212FRST1STCLA

Office of Administrative Hearings
105 West Chesapeake Avenue, Suite 103
Jefferson Building
Towson, Maryland, 21204

Hasler

FIRST CLASS MAIL
AUTO

11/24/2015

US POSTAGE \$000.39



ZIP 21204
011D12603654

RECEIVED

DEC 09 2015

OFFICE OF ADMINISTRATIVE HEARINGS

Return Service Requested

Pat Keller
9704 Bernard Lewis Ct.
Baltimore, Maryland 21136

NIXIE

212 DE 1009

0012/06/15

RETURN TO SENDER
NO SUCH STREET
UNABLE TO FORWARD

BC: 21204471028

*0727-03012-25-45

21204@4710



Re-Mailed
On 12/9/15

Real Property Data Search (w4)

Guide to searching the database

Search Result for BALTIMORE COUNTY

View Map		View GroundRent Redemption		View GroundRent Registration	
Account Identifier:		District - 11 Account Number - 2300005124			
Owner Information					
Owner Name:	KELLER ARNOLD F 3RD PFANNENSTEIN VICTORIA		Use:	RESIDENTIAL	
Mailing Address:	9704 BERNARD LEWIS CT PERRY HALL MD 21128-9705		Principal Residence:	YES	
			Deed Reference:	/30271/ 00419	
Location & Structure Information					
Premises Address:		9704 BERNARD LEWIS CT 0-0000		Legal Description:	.1928 AC 9704 BERNARD LEWIS CT SS GLENSIDE FARMS
Map:	Grid:	Parcel:	Sub District:	Subdivision:	Section: Block: Lot: Assessment Year: Plat No: Plat Ref:
0072	0006	1340		0000	49 2015 0072/0049
Special Tax Areas:			Town:	NONE	
			Ad Valorem:		
			Tax Class:		
Primary Structure Built	Above Grade Enclosed Area		Finished Basement Area	Property Land Area	County Use
2000	2,966 SF			8,400 SF	04
Stories	Basement	Type	Exterior	Full/Half Bath	Garage Last Major Renovation
2	YES	STANDARD UNIT	SIDING	2 full/ 1 half	1 Attached
Value Information					
	Base Value		Value	Phase-in Assessments	
			As of	As of	As of
			01/01/2015	07/01/2015	07/01/2016
Land:	152,100		152,100		
Improvements	237,000		299,600		
Total:	389,100		451,700	409,967	430,833
Preferential Land:	0				0
Transfer Information					
Seller: GAUGH STEPHEN E		Date: 12/15/2010		Price: \$495,000	
Type: ARMS LENGTH IMPROVED		Deed1: /30271/ 00419		Deed2:	
Seller: NVR INC		Date: 04/25/2000		Price: \$279,250	
Type: ARMS LENGTH IMPROVED		Deed1: /14428/ 00539		Deed2:	
Seller: HONEYGO FARM LLC		Date: 01/12/2000		Price: \$75,000	
Type: ARMS LENGTH IMPROVED		Deed1: /14259/ 00621		Deed2:	
Exemption Information					
Partial Exempt Assessments:	Class	07/01/2015		07/01/2016	
County:	000	0.00			
State:	000	0.00			
Municipal:	000	0.00 0.00		0.00 0.00	
Tax Exempt:	Special Tax Recapture:				
Exempt Class:	NONE				
Homestead Application Information					
Homestead Application Status: Approved 07/11/2011					



PETITION FOR ZONING HEARING(S)

To be filed with the Department of Permits, Approvals and Inspections

To the Office of Administrative Law of Baltimore County for the property located at:

Address 9616 Belair Road & 9618 Belair Road which is presently zoned BL & RO
Deed References: 3812/001 & 28954/00318 10 Digit Tax Account # 1118049530 & 1111017100
Property Owner(s) Printed Name(s) Rosedale Federal Savings and Loan Association

(SELECT THE HEARING(S) BY MARKING X AT THE APPROPRIATE SELECTION AND PRINT OR TYPE THE PETITION REQUEST)

The undersigned legal owner(s) of the property situate in Baltimore County and which is described in the description and plan attached hereto and made a part hereof, hereby petition for:

1. X a **Special Hearing** under Section 500.7 of the Zoning Regulations of Baltimore County, to determine whether or not the Zoning Commissioner should approve

Accessory parking in a residential (RO) zone to support a commercial use in a commercial (BL) zone

2. a **Special Exception** under the Zoning Regulations of Baltimore County to use the herein described property for

3. a **Variance** from Section(s)

of the zoning regulations of Baltimore County, to the zoning law of Baltimore County, for the following reasons:
(Indicate below your hardship or practical difficulty or indicate below "TO BE PRESENTED AT HEARING". If you need additional space, you may add an attachment to this petition)

To be presented at hearing

Property is to be posted and advertised as prescribed by the zoning regulations.

I, or we, agree to pay expenses of above petition(s), advertising, posting, etc. and further agree to and are to be bounded by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

Legal Owner(s) Affirmation: I / we do so solemnly declare and affirm, under the penalties of perjury, that I / We are the legal owner(s) of the property which is the subject of this / these Petition(s).

Contract Purchaser/Lessee:

Name- Type or Print

Signature

Mailing Address City State

Zip Code Telephone # Email Address

Attorney for Petitioner:

Adam Baker

Name- Type or Print

Signature Whiteford, Taylor & Preston, LLP

8830 Stanford Blvd, Suite 400, Columbia, MD

Mailing Address City State

21045 / 410-832-2052 / abaker@wtplaw.com

Zip Code Telephone # Email Address

Legal Owners (Petitioners):

Rosedale Federal Savings and Loan Association

Name #1 - Type or Print Name #2 - Type or Print

Signature #1

Signature #2

9616A Belair Road, Baltimore, MD

Mailing Address City State

21236 / 410-668-4400

Zip Code Telephone # Email Address

Representative to be contacted:

Adam Baker

Name - Type or Print

Signature Whiteford, Taylor & Preston, LLP

8830 Stanford Blvd., Suite 400, Columbia, MD

Mailing Address City State

21045 / 410-832-2052 / abaker@wtplaw.com

Zip Code Telephone # Email Address

CASE NUMBER 2016-0063-SPH Filing Date 9/9/15

Do Not Schedule Dates: Reviewer AT

PETITION FOR ZONING HEARING
9616 & 9618 Belair Road

Special Hearing Relief Requested:

1. A Special Hearing under Section 500.7 of the Baltimore County Zoning Regulations to approve accessory parking in a residential (RO) zone to support a commercial use in a commercial (BL) zone.

2152326



2016-0063-SPH

Zoning description for Special Hearing:
9616 and 9618 Belair Road

Beginning at a point located on the west side of Belair Road which has a right of way width of 75' at the distance of 126' southwest of the centerline of the nearest improved intersecting street Glen Park Road which has a right of way width of 60' **Thence** the following courses and distances, referred to the Maryland Coordinate System (NAD '83/91):

South 41 degrees 53 minutes 29 seconds West, 98.83' to a point; South 48 degrees 44 minutes 19 seconds East, 6.39' to a point, South 41 degrees 53 minutes 32 seconds West, 175.37' to a point, South 80 degrees 00 minutes 23 seconds West, 33.60' to a point, North 48 degrees 52 minutes 48 seconds West, 336.09' to a point, North 40 degrees 53 minutes 59 seconds East, 273.62' to a point, South 53 degrees 10 minutes 44 seconds East, 171.55' to a point, South 53 degrees 10 minutes 44 seconds East, 184.95' to a point; and place of beginning.

Containing an area of 102,292 square feet or 2.34 acres of land, more or less and being located in the 11th Election District and 5th Council District of Baltimore County Maryland.



2016-0063-SPHA

Elizabeth, There needs to be a refund of \$500.00 to:

Whiteford Taylor & Preston
8830 Stanford Boulevard
Suite 400
Columbia MD 21045

Adam Baker, Esquire, was instructed to pay \$500.00 for a Special Hearing and \$500.00 for a Variance. He was later told that he was instructed in error, that the Variance was not needed. Therefore, he was overcharged \$500.00 and was then told he would be refunded the \$500.00. Thanks, June

**CASHIER'S
VALIDATION**

DEPARTMENT OF PERMITS, APPROVALS AND INSPECTIONS

ZONING REVIEW

ADVERTISING REQUIREMENTS AND PROCEDURES FOR ZONING HEARINGS

The Baltimore County Zoning Regulations (BCZR) require that notice be given to the general public/neighboring property owners relative to property which is the subject of an upcoming zoning hearing. For those petitions which require a public hearing, this notice is accomplished by posting a sign on the property (responsibility of the petitioner) and placement of a notice in a newspaper of general circulation in the County, both at least fifteen (15) days before the hearing.

Zoning Review will ensure that the legal requirements for advertising are satisfied. However, the petitioner is responsible for the costs associated with these requirements. The newspaper will bill the person listed below for the advertising. This advertising is due upon receipt and should be remitted directly to the newspaper.

OPINIONS MAY NOT BE ISSUED UNTIL ALL ADVERTISING COSTS ARE PAID.

For Newspaper Advertising:

Item Number or Case Number: 2016-0063-SPH

Petitioner: ROSEDALE FEDERAL SAVINGS AND LOAN ASSOCIATION

Address or Location: 9610 & 9613 BEAR RD

PLEASE FORWARD ADVERTISING BILL TO:

Name: ADAM BAKER

Address: WHITEFORD TAYLOR & PRESTON

8030 STANFORD BLVD, STE 400

COLUMBIA, MD 21045

Telephone Number: _____

C H E C K L I S T

<u>Comment Received</u>	<u>Department</u>	<u>Support/Oppose/ Conditions/ Comments/ No Comment</u>
<u>10/2/15</u>	DEVELOPMENT PLANS REVIEW (if not received, date e-mail sent _____)	<u>C</u>
<u>10/7/15</u>	DEPS (if not received, date e-mail sent _____)	<u>N/C</u>
_____	FIRE DEPARTMENT	_____
<u>10/26</u>	PLANNING (if not received, date e-mail sent _____)	<u>C</u>
<u>9/30</u>	STATE HIGHWAY ADMINISTRATION	<u>no obj</u>
_____	TRAFFIC ENGINEERING	_____
_____	COMMUNITY ASSOCIATION	_____
_____	ADJACENT PROPERTY OWNERS	_____

ZONING VIOLATION (Case No. _____)

PRIOR ZONING (Case No. _____)

NEWSPAPER ADVERTISEMENT

Date:

10/22/15

SIGN POSTING

Date:

10/23/15

by

O'Keefe

PEOPLE'S COUNSEL APPEARANCE

Yes

☒

No

☐

PEOPLE'S COUNSEL COMMENT LETTER

Yes

☐

No

☐

Comments, if any: _____

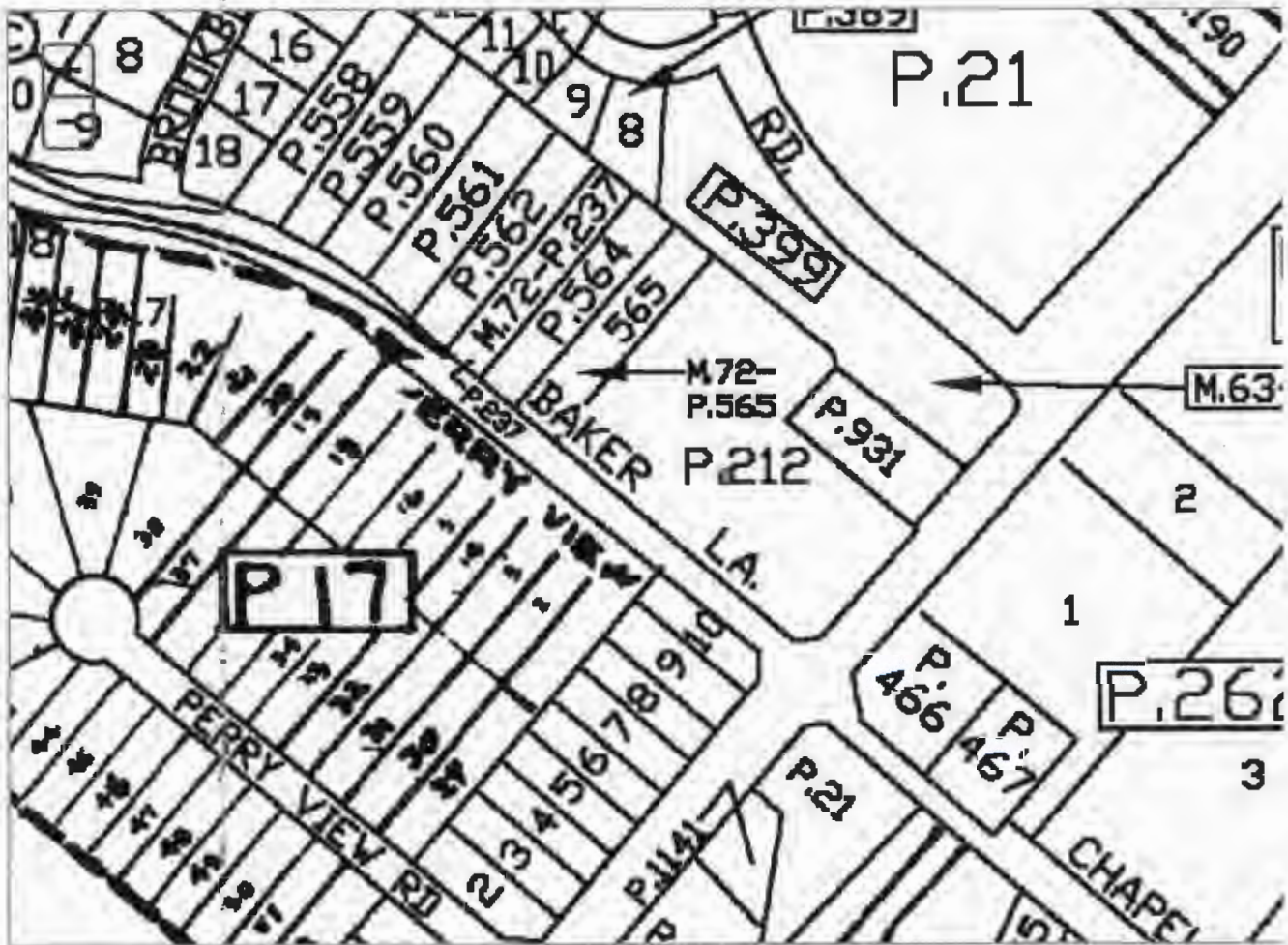
Real Property Data Search (w1)

Guide to searching the database

Search Result for BALTIMORE COUNTY

View Map		View GroundRent Redemption		View GroundRent Registration	
Account Identifier:		District - 11 Account Number - 1118049530			
Owner Information					
Owner Name:		ROSEDALE FED S&L ASN		Use:	COMMERCIAL
Mailing Address:		9616 BELAIR RD BALTIMORE MD 21236-		Principal Residence:	NO
Deed Reference:					
Location & Structure Information					
Premises Address:		9616 BELAIR RD 0-0000		Legal Description:	1.9123 AC NWS BELAIR RD COR BAKER LA
Map:	Grid:	Parcel:	Sub District:	Subdivision:	Section: Block: Lot: Assessment Year: Plat No: Plat Ref:
0072	0003	0212		0000	2016
Special Tax Areas:			Town: NONE		
			Ad Valorem:		
			Tax Class:		
Primary Structure Built	Above Grade Enclosed Area		Finished Basement Area		Property Land Area
1996	6835				1.9600 AC
County Use	16				
Stories	Basement	Type	Exterior	Full/Half Bath	Garage Last Major Renovation
		OFFICE BUILDING	BRICK		
Value Information					
		Base Value	Value As of 01/01/2013	Phase-in Assessments As of 07/01/2015 As of 07/01/2016	
Land:		1,258,000	1,258,000		
Improvements		3,242,000	3,242,000		
Total:		4,500,000	4,500,000	4,500,000	
Preferential Land:		0			
Transfer Information					
Seller:		Date:		Price:	
Type:		Deed1:		Deed2:	
Seller:		Date:		Price:	
Type:		Deed1:		Deed2:	
Seller:		Date:		Price:	
Type:		Deed1:		Deed2:	
Exemption Information					
Partial Exempt Assessments:		Class	07/01/2015	07/01/2016	
County:		000	0.00		
State:		000	0.00		
Municipal:		000	0.00	0.00	
Tax Exempt:		Special Tax Recapture:			
Exempt Class:		NONE			
Homestead Application Information					
Homestead Application Status: No Application					

Baltimore County

New Search (<http://sdat.dat.maryland.gov/RealProperty/>)District: **11** Account Number: **1118049530**

The information shown on this map has been compiled from deed descriptions and plats and is not a property survey. The map should not be used for legal descriptions. Users noting errors are urged to notify the Maryland Department of Planning Mapping, 301 W. Preston Street, Baltimore MD 21201.

If a plat for a property is needed, contact the local Land Records office where the property is located. Plats are also available online through the Maryland State Archives at www.plats.net (<http://www.plats.net>).

Property maps provided courtesy of the Maryland Department of Planning.

For more information on electronic mapping applications, visit the Maryland Department of Planning web site at www.mdp.state.md.us/OurProducts/OurProducts.shtml (<http://www.mdp.state.md.us/OurProducts/OurProducts.shtml>).

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

TO: Arnold Jablon
Deputy Administrative Officer and
Director of Permits, Approvals and Inspections

DATE: October 23, 2015

FROM: Andrea Van Arsdale
Director, Department of Planning

SUBJECT: 9616 – 9618 Belair Road

INFORMATION:

Item Number: 16-063

Petitioner: Rosedale Federal Savings and Loan Association

Zoning: BL, RO

Requested Action: Special Hearing

RECEIVED

OCT 27 2015

OFFICE OF ADMINISTRATIVE HEARINGS

SUMMARY OF RECOMMENDATIONS:

The Department of Planning has reviewed the Petition a Special Hearing to determine whether or not the Zoning Commissioner should approve accessory parking in a residential (RO) zone to support a commercial (BL) zone.

The adjacent property at 9616 Belair Road, which the proposed parking on the subject property will serve, changed from DR 5.5 and RO to BL (Issue 5-014) during the 2008 CZMP process. The Perry Hall Improvement Association supported the issue upon the establishment of covenants between themselves and the Petitioners. The Department understands that said covenants are valid until 5/8/2023. A two-story masonry building is proposed to be built on 9616 Belair Rd.

The Department cannot recommend approval of the petitioned zoning request. The Perry Hall Community Plan, adopted by the County Council in 2011 and now a part of the Master Plan 2020 directs that parking be limited to the sides and rear of buildings. This expression of the development goals of the community is re-enforced in a letter to this Department dated October 6, 2015 from Mr. Pat Keller of the Perry Hall Improvement Association, Sustainable Growth Committee. Mr. Keller further indicates the proposed development scenario for both parcels are contrary to the agreement made between the community and the Petitioners. The Department cannot enforce private agreements but is certainly sensitive to the development concerns of communities throughout the county.

It is the recommendation of the Department that, provided no adverse impacts to the health, safety and general welfare of the community is created, a plan wherein the proposed two-story masonry building is situated on the subject property fronting on Belair Road with the attendant parking located behind it on 9616 Belair Road better meets the goals of the Perry Hall Community Plan and therefore Master Plan 2020 and also the desires of the community. Additionally, the established commercial corridor along Belair Road is further defined by this arrangement. Any plan so submitted should also provide landscape buffering and lighting to mitigate any impacts on adjacent dwellings.

The Department recognizes such a proposal would require more strenuous zoning relief than the instant petition. A feasible plan responding more favorably to the aforementioned community and master plans and more responsive to the concerns of the community, upon review, may garner support from the

Department of Planning beyond what it is recommending on instant petition. As an advisory, in the event the subject property were to be rezoned to an appropriate business zone classification, many of the problematic issues of developing a Class B Office in the RO zone are eliminated.

For further information concerning the matters stated herein, please contact Ngoné Seye Diop at 410-887-3480.

Division Chief: _____
AVA/KS

C: Ngoné Seye Diop

TO: PATUXENT PUBLISHING COMPANY
Thursday, October 22, 2015 Issue - Jeffersonian

Please forward billing to:

Adam Baker
Whiteford, Taylor & Preston
8830 Stanford Blvd., Ste. 400
Columbia, MD 21045

410-832-2052

NOTICE OF ZONING HEARING

The Administrative Law Judge of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing in Towson, Maryland on the property identified herein as follows:

CASE NUMBER: 2016-0063-SPH

9616 & 9618 Belair Road

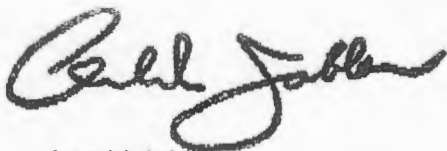
W/s Belair Road, 126 ft. s/w of the centerline of Glen Park Road

11th Election District – 5th Councilmanic District

Legal Owners: Rosedale Federal Savings and Loan Association

Special Hearing for a use permit to approve accessory parking in a residential (RO) zone to support a commercial use in a commercial (BL) zone.

Hearing: Thursday, November 12, 2015 at 10:00 a.m. in Room 205, Jefferson Building,
105 West Chesapeake Avenue, Towson 21204

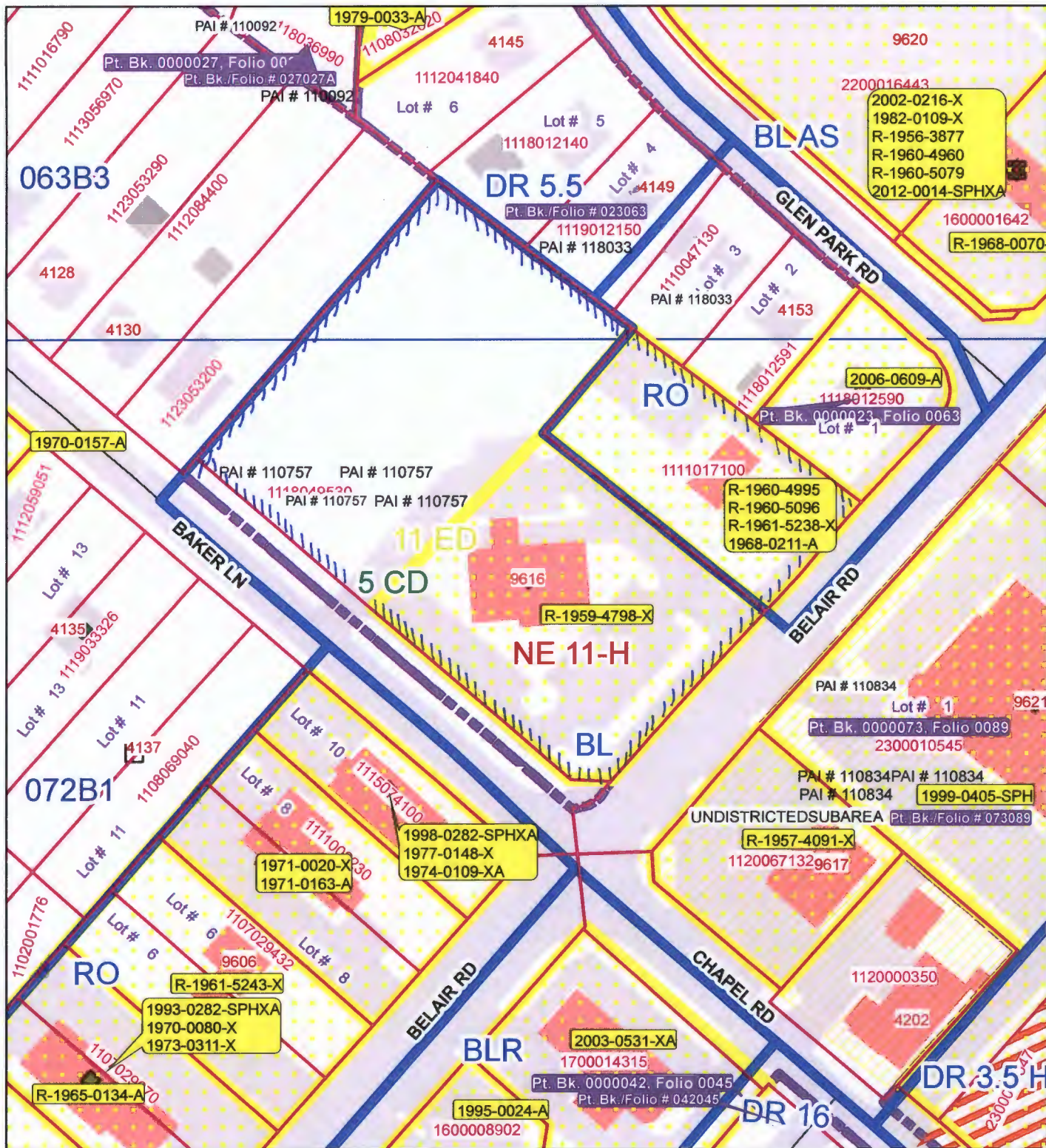


Arnold Jablon

Director of Permits, Approvals and Inspections for Baltimore County

- NOTES: (1) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMODATIONS, PLEASE CONTACT THE ADMINISTRATIVE HEARINGS OFFICE AT 410-887-3868.
- (2) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THE ZONING REVIEW OFFICE AT 410-887-3391.

9616-9618 Belair Raod



Publication Date: 9/9/2015



Publication Agency: Permits, Approvals & Inspections
Projection/Datum: Maryland State Plane,
FIPS 1900, NAD 1983/91 HARN, US Foot



1 inch = 100 feet

2016-0063-SPHA

Case No.: 2016-0063-SPH

Exhibit Sheet

11-20-15
DEN

Petitioner/Developer

Protestants

No. 1	Site plan	Photo - view from neighboring prop.
No. 2	Illustrative Site Plan	Letters from neighbors
No. 3	Official zoning map	Restrictive Covenant Agt.
No. 4	Aerial Imagery	
No. 5	Lester CV	
No. 6	Architect. Rendering	
No. 7	Floorplans	
No. 8	Elevations	
No. 9	Bishop CV	
No. 10	10A-X Photos of Site + Vicinity	
No. 11	(omitted)	
No. 12 12 A-C	(A-X) Google street view photos	

Case No.:

2016-0063-SPH

Exhibit Sheet - Continued

Petitioner/Developer

Protestants

No. 13	Monk CV	
No. 14	Resolution 67-15	
No. 15	Map Perry Hall Revit. District	
No. 16		
No. 17		
No. 18		
No. 19		
No. 20		
No. 21		
No. 22		
No. 23		
No. 24		

Case No.: 2016-0063-SPH

Exhibit Sheet

11-20-15
DEN

Petitioner/Developer

Protestants

No. 1	Site plan	Photo - view from neighboring prop.
No. 2	Illustrative Site Plan	Letters from neighbors
No. 3	Official zoning map	Restrictive Covenant Agt.
No. 4	Aerial Imagery	
No. 5	Lester CV	
No. 6	Architect. Rendering	
No. 7	Floorplans	
No. 8	Elevations	
No. 9	Bishop CV	
No. 10	10A-X Photos of Site + Vicinity	
No. 11	(omitted)	
No. 12 12 A-C	(A-X) Google Street view photos	

Case No.:

2016-0063-SPH

Exhibit Sheet - Continued

Petitioner/Developer

Protestants

No. 13	Monk CV	
No. 14	Resolution 67-15	
No. 15	Map Perry Hall Revit. District	
No. 16		
No. 17		
No. 18		
No. 19		
No. 20		
No. 21		
No. 22		
No. 23		
No. 24		

**MATTHEW A. BISHOP, PLA,
LEED AP**

Associate

PROJECT ASSIGNMENT:

Expert Witness, Landscape Architect

YEARS OF EXPERIENCE:

MRA:	9
Other Firms:	5

EDUCATION:

B.S. Landscape Architecture / 2001 /
University of Connecticut
M.S. Plant Science / 2005 / University
of Connecticut

ACTIVE REGISTRATION:

Landscape Architect:
Maryland, 2006, #3365
North Dakota, 2013, #80

L.E.E.D. Accredited Professional
(2008)

PROFESSIONAL AFFILIATIONS:

American Society of Landscape
Architects (ASLA)
U.S. Green Building Council
(USGBC), Maryland Chapter
Homebuilders Association of
Maryland, Baltimore County
Chapter

QUALIFICATIONS:

Mr. Bishop is an Associate with MRA's Towson office. His experience includes a variety of projects ranging in scale from site specific to regional planning including streetscapes, neighborhood parks, mixed-use and residential development. The scope of Mr. Bishop's project involvement includes site analysis through construction documents; applications and permitting; graphic renderings; grading; and cost estimating. His experience also includes working with various government agencies, private interest groups, and project related consultants including: architects; civil engineers; traffic engineers; and City, State, and County environmental and planning agencies.

Sample projects managed by Mr. Bishop include the following:

Firestone Auto Care Center, Baltimore County, Maryland - Located in Perry Hall on the east side of Belair Road, this commercial auto care facility included 5,000 sf of service and retail space with associated parking, signage, and landscape improvements. Served as project manager in the preparation of all Baltimore County required plans including a Special Exception Plan, Development Plan, Grading Plan, Site Plan, ESC Plan, Utility Plans, and Landscape Plans. Served as expert witness at the Special Exception hearing.

Gunpowder Overlook, Baltimore County, Maryland - Located in Perry Hall on the east side of Belair Road, this residential community includes 48 single family detached residential homes with associated open space, stormwater management facilities, environmental conservation areas, public roads and utilities. Served as project manager in the preparation of Concept Plans, a Development Plan, a Pattern Book, and coordination of a Community Input Meeting. Provided expert witness testimony at the Administrative Law Judge Hearing.

5737 Allender Road, Baltimore County, Maryland - Located on the east side of Baltimore County in White Marsh this development incorporates 121 homes situated around an extensive network of community open spaces. Served as project landscape architect in the design and preparation of planning related design products including Concept Plan, Development Plan, Pattern Book, and Final Development Plan. Also provided expert witness testimony for a Variance hearing to reduce side and rear yard building setbacks.

Red Lion Farm, Baltimore County, Maryland - Located on the east side of Baltimore County in White Marsh this development incorporates 61 homes. Provided expert witness testimony for a variance hearing to reduce rear yard building setbacks.

Windlass Run, Baltimore County, Maryland - Located on the east side of Baltimore County south of White Marsh Boulevard this Planned Unit Development incorporates 424 homes situated around an extensive network of community open spaces including a clubhouse, pool, and children's play equipment. Served as project landscape architect in the design and preparation of planning related design products including Concept Plan, Development Plan, Pattern Book, and Final Development Plan. Also designed and prepared detailed landscape architecture related design products including Active Open Space areas, Passive Open Space areas, Entry features, and Club house/pool area.

Towson Manor, Towson, Maryland - Located south of downtown Towson, on the east side of York Road, this Planned Unit Development incorporates 109 townhouses and an assisted living facility on ±8.22 acres. The project is a redevelopment of an existing single family residential community which had fallen into disrepair. Served as project



**MORRIS & RITCHIE
ASSOCIATES, INC.**

MATTHEW A. BISHOP, PLA, LEED AP- Page 2 of 2

landscape architect in the design and preparation of Baltimore County required Concept Plan, Development Plan, Pattern Book, Final Development Plan, Grading Plan, Landscape Plan / Cost Estimates, and Stormwater Management Plan. Also designed and prepared landscape construction drawings for a highly visible centrally located Bio-Retention facility that will be used not only as a functional stormwater treatment facility but also as a visually appealing community open space. The design incorporated native plant species chosen for both functional and aesthetic qualities while also meeting the strict specifications of Baltimore County DEPS and the Maryland Stormwater Design Manual


CHRISTOPHER R. LESTER, AIA , LEED AP BD+C

PROJECT FUNCTION President and Design Principal

EDUCATION Bachelor of Architecture / 1983 / Kent State University

PROFESSIONAL REGISTRATIONS Architectural Registration / Maryland #7636 / 1987
LEED Accredited Professional / 2009 / BD+C Specialty

YEARS EXPERIENCE WITH THIS FIRM 32

YEARS EXPERIENCE WITH OTHER FIRMS 0.5

RELEVANT EXPERIENCE

Mr. Lester has over 32 years of experience as a designer for a wide variety of architectural and interior projects. He has a particular expertise in the following building types: corporate/office buildings, financial institutions, commercial and retail, educational (Pre-K thru University), religious, residential and historic.

His work has won a number of awards from local and regional organizations including the United States Green Building Council (USGBC), Masonry Institute of Maryland (MIMI), Associated Builders and Contractors (ABC), National Association for Industrial and Office Parks (NAIOP) and the Building Owners and Managers Association (BOMA).

He has worked in all aspects of project development including master planning, programming, conceptual and schematic design, budget development, design development, construction documentation, bidding (including direct negotiation and design-build), construction administration and post construction.

Mr. Lester's involvement in energy-conscious design started as far back as 1982 (on grant work researching aspects of internally loaded office buildings). In the past 15 years, he has designed over 30 LEED certified projects. Projects span the Core & Shell (CS), New Construction (NC) and Commercial Interiors (CI) rating systems as well as all four categories of certification (Certified, Silver, Gold and Platinum).

Since 2000, Mr. Lester has been the President and Principal Designer for George Vaeth Associates, Inc. (GVA) located in Columbia, MD. His emphasis on outstanding service and communication has won kudos from many of GVA's clients and along with a commitment to thoughtful, appropriate and quality design has produced a very large percentage of repeat clients.

Some of Mr. Lester's relevant project experience includes:

SELECTED PROJECTS

410,420,430 National Business Parkway, Anne Arundel County, MD.

Principal-in-Charge for a campus of three office buildings. Design included a 5 story and two 4-story office buildings set within the context of a large plaza with sculpture gardens. Mr. Lester was responsible for master planning the entire site as well as the design of each building. He oversaw and directed the A/E team through a full scope of services from concept to construction completion. All buildings achieved LEED Gold Core & Shell certification. Sustainable design features included energy saving plumbing and mechanical systems as well as a roof water collection system for landscape irrigation. Total square footage of all buildings was 385,000 s.f. The project won multiple awards from NAIOF.

302,304,206 Sentinel Drive/Cedar Knolls, Anne Arundel Co., MD

Principal-in-Charge for a campus of three office buildings. Design scheme was for three 5 story office buildings, a two level parking deck and a large monumental sculpture with walking paths and tenant amenity spaces. Responsibilities included master planning for the entire development, design of all four structures and establishing the overall architectural scheme for the campus. Mr. Lester oversaw and directed the A/E team through a full scope of services from concept to construction completion. Buildings achieved both LEED Silver and Gold Core & Shell certification. Total square footage of all buildings was 487,000 s.f. The project won an award from the USGBC.

Rosedale Federal Savings & Loan Association Campus, Perry Hall, MD.

Principal-in-Charge for two projects on the same site. The first building designed was a 2 story, 7,200 s.f. branch banking facility and community room with vehicular banking lanes. The project was designed to be compatible from a scale and material standpoint with the adjacent residential neighborhood. A full ten years later, oversaw the design of a 2 story, 15,000 s.f. office building/headquarters addition with bridge connection to the existing branch. Design of the first structure was emulated closely to create a campus environment while employing a variety of dormers, gables and small scale detailing to break down the scale and mass of the facility. The headquarters addition received a LEED Gold certification for New Construction. Design work is currently underway on the design of an addition to the headquarters building.

225 and 230 Schilling Circle/Schilling Square, Hunt Valley, MD,

Designer and Principal-in-Charge for these two projects designed to create a new campus of office buildings and transform a former warehouse district to a Class A office park. The 230 Schilling building was designed as a major renovation and recladding of an existing 115,000 s.f. 4 story office building. Several years later, across the street from the first structure, Mr. Lester designed a new 5 story, 128,000 s.f. office building to act as a companion building and extend the architectural language of the first building. Both projects achieved LEED Platinum certification for Core & Shell. The two buildings received six different awards including the Associated Builders and Contractors Merit Award of Excellence as well as the USGBC's Green Project of the Year for projects over \$10 Million.



VIEW FROM SOUTHEAST



VIEW FROM NORTHEAST



CHRISTOPHER R. LESTER, AIA, LEED AP BD+C

PROJECT FUNCTION President and Design Principal

EDUCATION Bachelor of Architecture / 1983 / Kent State University

PROFESSIONAL REGISTRATIONS Architectural Registration / Maryland #7636 / 1987
LEED Accredited Professional / 2009 / BD+C Specialty

YEARS EXPERIENCE WITH THIS FIRM 32

YEARS EXPERIENCE WITH OTHER FIRMS 0.5

RELEVANT EXPERIENCE Mr. Lester has over 32 years of experience as a designer for a wide variety of architectural and interior projects. He has a particular expertise in the following building types: corporate/office buildings, financial institutions, commercial and retail, educational (Pre-K thru University), religious, residential and historic.

His work has won a number of awards from local and regional organizations including the United States Green Building Council (USGBC), Masonry Institute of Maryland (MIMI), Associated Builders and Contractors (ABC), National Association for Industrial and Office Parks (NAIOP) and the Building Owners and Managers Association (BOMA).

He has worked in all aspects of project development including master planning, programming, conceptual and schematic design, budget development, design development, construction documentation, bidding (including direct negotiation and design-build), construction administration and post construction.

Mr. Lester's involvement in energy-conscious design started as far back as 1982 (on grant work researching aspects of internally loaded office buildings). In the past 15 years, he has designed over 30 LEED certified projects. Projects span the Core & Shell (CS), New Construction (NC) and Commercial Interiors (CI) rating systems as well as all four categories of certification (Certified, Silver, Gold and Platinum).

Since 2000, Mr. Lester has been the President and Principal Designer for George Vaeth Associates, Inc. (GVA) located in Columbia, MD. His emphasis on outstanding service and communication has won kudos from many of GVA's clients and along with a commitment to thoughtful, appropriate and quality design has produced a very large percentage of repeat clients.

Some of Mr. Lester's relevant project experience includes:

SELECTED PROJECTS

410,420,430 National Business Parkway, Anne Arundel County, MD.

Principal-in-Charge for a campus of three office buildings. Design included a 5 story and two 4-story office buildings set within the context of a large plaza with sculpture gardens. Mr. Lester was responsible for master planning the entire site as well as the design of each building. He oversaw and directed the A/E team through a full scope of services from concept to construction completion. All buildings achieved LEED Gold Core & Shell certification. Sustainable design features included energy saving plumbing and mechanical systems as well as a roof water collection system for landscape irrigation. Total square footage of all buildings was 385,000 s.f. The project won multiple awards from NAACP.

302,304,206 Sentinel Drive/Cedar Knolls, Anne Arundel Co., MD

Principal-in-Charge for a campus of three office buildings. Design scheme was for three 5 story office buildings, a two level parking deck and a large monumental sculpture with walking paths and tenant amenity spaces. Responsibilities included master planning for the entire development, design of all four structures and establishing the overall architectural scheme for the campus. Mr. Lester oversaw and directed the A/E team through a full scope of services from concept to construction completion. Buildings achieved both LEED Silver and Gold Core & Shell certification. Total square footage of all buildings was 487,000 s.f. The project won an award from the USGBC.

Rosedale Federal Savings & Loan Association Campus, Perry Hall, MD.

Principal-in-Charge for two projects on the same site. The first building designed was a 2 story, 7,200 s.f. branch banking facility and community room with vehicular banking lanes. The project was designed to be compatible from a scale and material standpoint with the adjacent residential neighborhood. A full ten years later, oversaw the design of a 2 story, 15,000 s.f. office building/headquarters addition with bridge connection to the existing branch. Design of the first structure was emulated closely to create a campus environment while employing a variety of dormers, gables and small scale detailing to break down the scale and mass of the facility. The headquarters addition received a LEED Gold certification for New Construction. Design work is currently underway on the design of an addition to the headquarters building.

225 and 230 Schilling Circle/Schilling Square, Hunt Valley, MD,

Designer and Principal-in-Charge for these two projects designed to create a new campus of office buildings and transform a former warehouse district to a Class A office park. The 230 Schilling building was designed as a major renovation and recladding of an existing 115,000 s.f. 4 story office building. Several years later, across the street from the first structure, Mr. Lester designed a new 5 story, 128,000 s.f. office building to act as a companion building and extend the architectural language of the first building. Both projects achieved LEED Platinum certification for Core & Shell. The two buildings received six different awards including the Associated Builders and Contractors Merit Award of Excellence as well as the USGBC's Green Project of the Year for projects over \$10 Million.



PETITIONER'S
EXHIBIT 10-2-X



PETITIONER'S
EXHIBIT 10b

PETITIONER'S
EXHIBIT 10c





PETITIONER'S
EXHIBIT ICA



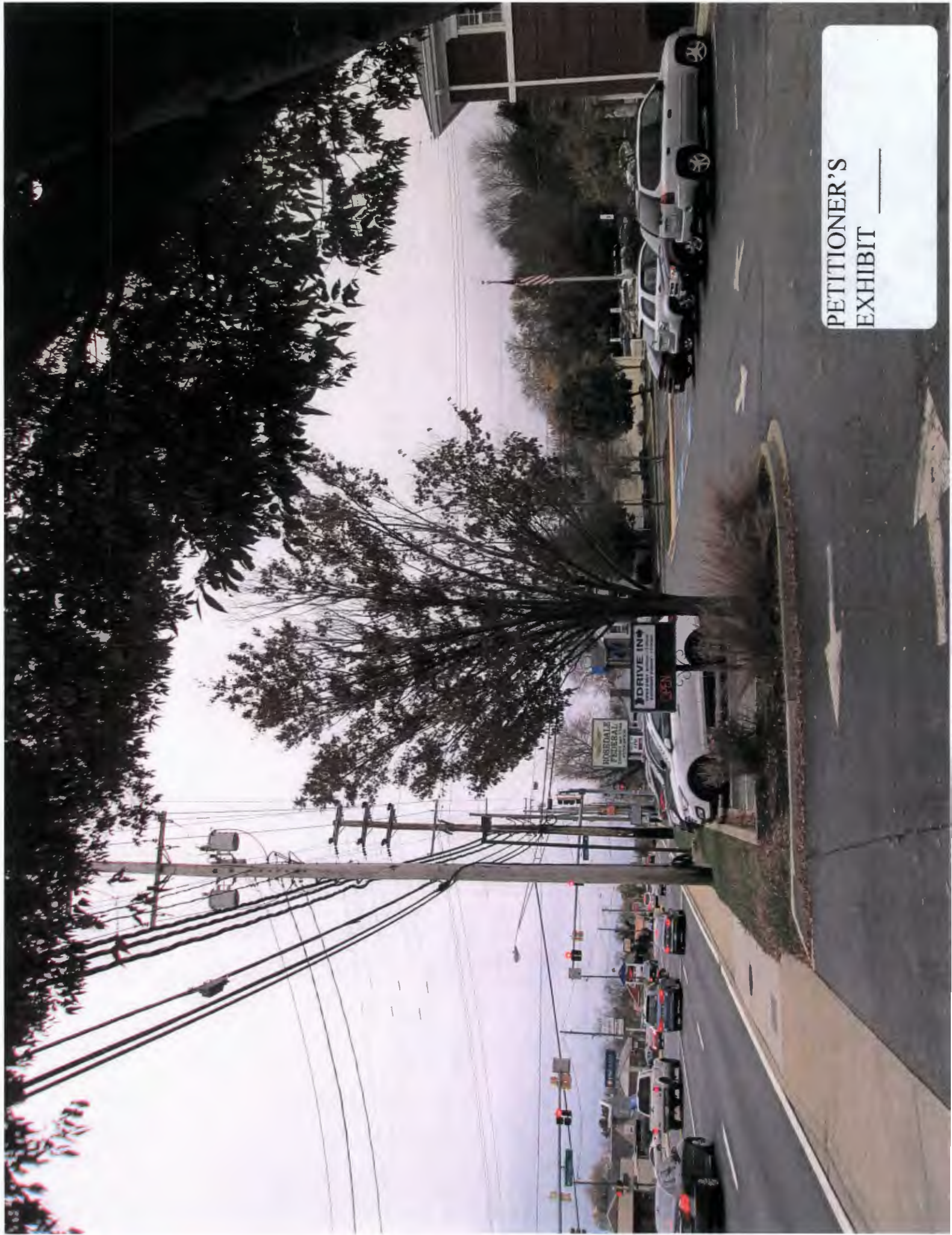
PETITIONER'S
EXHIBIT 10e

PETITIONER'S
EXHIBIT 10f





PETITIONER'S
EXHIBIT 109



PETITIONER'S
EXHIBIT _____



PETITIONER'S
EXHIBIT _____



PETITIONER'S
EXHIBIT ____

PETITIONER'S
EXHIBIT _____



PETITIONER'S
EXHIBIT _____



PETITIONER'S
EXHIBIT _____





PETITIONER'S
EXHIBIT _____

PETITIONER'S
EXHIBIT _____



PETITIONER'S
EXHIBIT _____



PETITIONER'S
EXHIBIT _____



PETITIONER'S
EXHIBIT _____



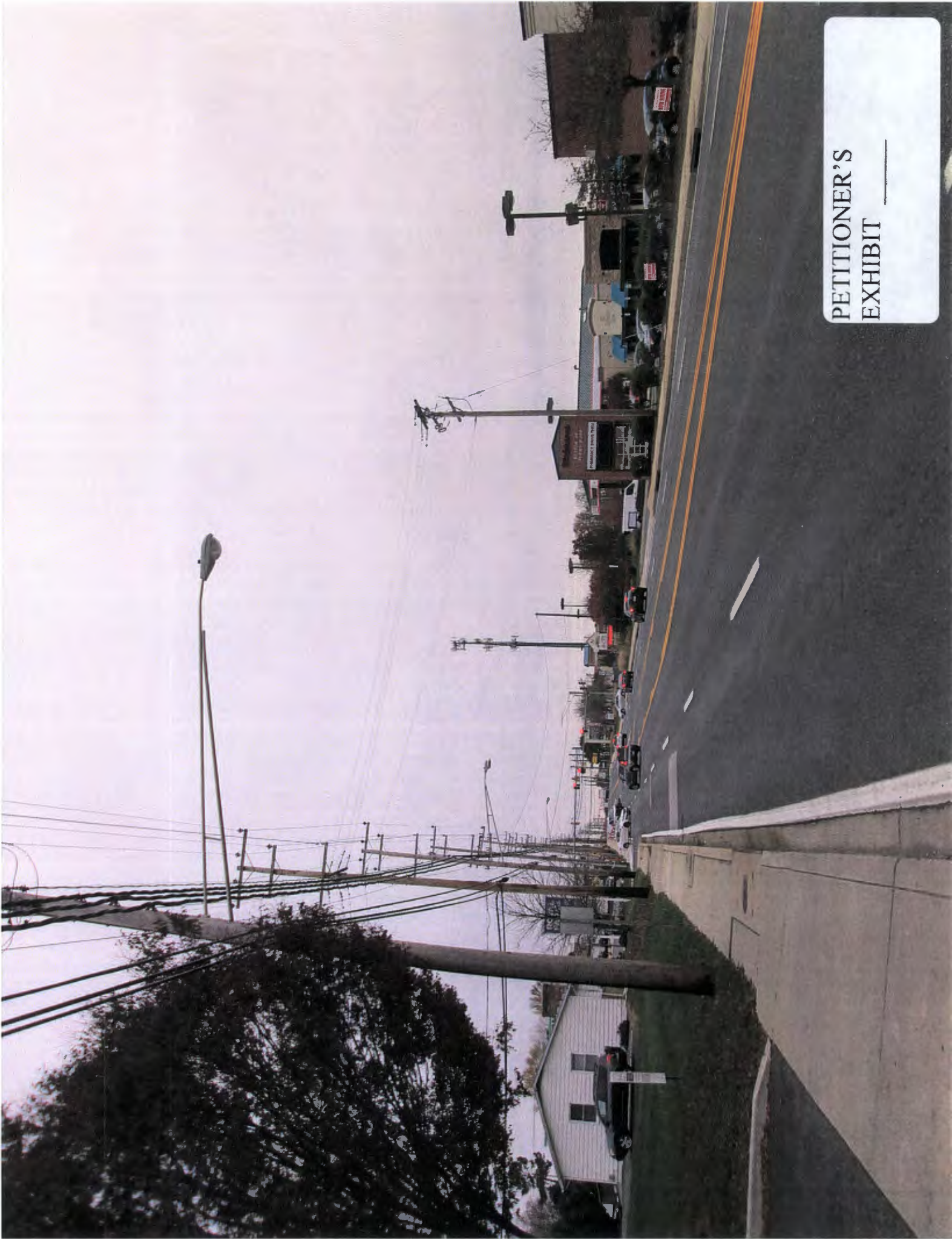


PETITIONER'S
EXHIBIT _____



PETITIONER'S
EXHIBIT _____

PETITIONER'S
EXHIBIT _____





PETITIONER'S
EXHIBIT _____



PETITIONER'S
EXHIBIT _____



PETITIONER'S
EXHIBIT _____

Untitled Map

Write a description for your map.

Legend

 9616 Belair Rd



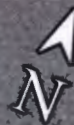
Google earth

© 2015 Google

PETITIONER'S

EXHIBIT NO. 12a

7.86 ft



Untitled Map

Write a description for your map.

Legend

📍 9616 Belair Rd



Google earth

© 2015 Google

PETITIONER'S

EXHIBIT NO. 12b

7.43 ft

Untitled Map

Write a description for your map.

Legend

 9616 Belair Rd



Google earth

© 2015 Google

PETITIONER'S

EXHIBIT NO. 12



6.29 ft

WILLIAM P. MONK

Principal

PROJECT ASSIGNMENT:

Principal, Urban/Site Planning, Expert
Witness / Project Manager

YEARS OF EXPERIENCE:

MRA: 14
Other Firms: 25

EDUCATION:

Master of Urban Planning, University
of Illinois, 1975
Bachelor of Urban Planning,
University of Illinois, 1973

PROFESSIONAL & INDUSTRY

AFFILIATIONS:

Greater Towson Committee (formerly
Towson Development Corporation)
President 1998-2000
Bd. of Directors 1994-2014
Baltimore County Design Review
Panel, 2008 - present, past
Chairman
National Association of Industrial and
Office Properties, Legislative
Committee
Baltimore Development Work Group
(member)
International Council of Shopping
Centers (ICSC)
Homebuilders Association of
Maryland, Baltimore County
Chapter

PAST MEMBERSHIPS & AFFILIATIONS:

Mayor's Transition Committee for
Economic Development, Mayor
Martin O'Malley, City of Baltimore
1999-2000
American Planning Association
National Golf Association
Citizens Planning & Housing
Association (CPHA) (past board
member)
Tomorrow's Towson Urban Design
Committee (member)

QUALIFICATIONS:

Mr. Monk is a Principal of MRA and provides site planning/design, project management, and government and community liaison services to institutional, commercial/retail, industrial, and residential clients throughout the mid-Atlantic region. Mr. Monk has worked throughout the mid-Atlantic region for over 39 years, representing commercial/retail and residential clients, as well as serving on nonprofit boards, ad hoc committees, and providing pro bono professional services.

Mr. Monk has extensive experience providing expert witness testimony. He is an approved expert witness in land planning and zoning issues in several jurisdictions throughout the mid-Atlantic region, including Annapolis, Anne Arundel County, Baltimore, Baltimore County, Carroll County, Frederick County, Harford County, Howard County, Prince George's County, and St. Charles Community in Maryland. He has testified in more than 300 zoning hearings over the past 39 years.

Sample projects managed and designed by Mr. Monk include the following:

COMMERCIAL/ RETAIL CENTERS

Bay River - Planned Business Community, Havre de Grace, Maryland - Project Manager/Chief Designer for a 76-acre mixed-use master planned business community containing over 900,000 SF of retail, office, and institutional space. Located at the interchange of I-95 and MD 155, the "Gateway" to the historic city of Havre de Grace.

Hampstead Business Park, Hampstead, Maryland - Project management and site planning for a 26-acre mixed-use (industrial, office, and retail) planned community at the crossroads of the new Hampstead By-Pass and MD Route 482.

Solo Cup Site, Owings Mills, Maryland - Project Manager and Designer in the preparation of a mixed-use (office, retail, and residential) planned community containing over 900,000 SF for this 51-acre site in Baltimore County.

Reisterstown Plaza, Baltimore, Maryland - Principal-In-Charge responsible for design/site planning studies for the reconfiguration expansion of the retail center consisting of over 100,000 SF.

Towson Commons Redevelopment Studies and Design, Towson, Maryland - Project Manager for ongoing redevelopment design studies intended to reposition the street-level retail component of a 15-year old mixed-use project that includes a proposed 20-story residential tower and an existing 10-story office tower. The Redevelopment Study process began with a survey of existing commercial real estate market opportunities in the area, and has focused on adding a strong residential

component, while reinforcing the project's strength as an office location of choice and creating new retail and restaurant opportunities with direct street level pedestrian access. Upfront project feasibility studies included surveying, site engineering, and securing government entitlement approvals.



**MORRIS & RITCHIE
ASSOCIATES, INC.**

WILLIAM P. MONK - Page 2 of 5

Fidelity Investments Office, Towson, Maryland - Principal-In-Charge of land planning for the 6,500-SF office to serve as the prototype for the national deployment of Fidelity Investments new offices. Services provided by MRA included land development engineering, surveying, landscape architecture, architecture, and structural, mechanical, and electrical engineering, and government entitlement processing.

Target Store, Owings Mills, Maryland - Provided preliminary assessment and recommendations for the proposed 100,000-SF retail store with 500 parking spaces on a 12.5-acre site.

Canton Crossing, Baltimore City, Maryland - Master planning for six square block of mixed-use development incorporating hotel, office, retail, food market, structured parking, restaurant, and marina.

Glen Burnie Super Block, Anne Arundel County, Maryland - Prepared site plan for redevelopment of key five+ acre parcel in heart of Glen Burnie Urban Renewal District. Project includes food store anchor, retail, office, residential, structured parking, and town center plaza with skating rink.

BP Amoco Oil Company, Baltimore-Washington - Site/zoning feasibility studies and civil engineering for more than 80 sites.

Hagerstown Commons, Hagerstown, Maryland - A 42-acre, 350,000-SF, phased, mixed-use center containing office, retail and a cinema-plex.

Commerce Place, Prince George's County, Maryland - A 43-acre, 480,000-SF mixed-use retail, office and cinema-plex development.

Manassas Center, Manassas, Virginia - A ten-acre mixed-use, retail strip shopping center and low-rise office development project.

Arundel Crossing East, Anne Arundel County, Maryland - Prepared a 40-acre site development plan containing both a Super K-Mart Store (190,000+ SF) and a Hechinger's Home Care Center (130,000 SF.)

Allied Signal Company, Harbor Point, Baltimore, Maryland - Prepared mixed-use master plan for a 20+ acre site strategically located at entry to Baltimore's Inner Harbor. Includes retail, office, housing, entertainment, marina, and cruise ship docking facilities.

Old Town Mall, Baltimore, Maryland - Prepared site plans for re-design of historic urban renewal project, anchored by supermarket.

Boston Street Quay, Baltimore, Maryland - Prepared site plans for three-acre mixed-use development project on Baltimore's Inner Harbor waterfront, in Canton, incorporating retail, housing, and pier restaurant, with waterfront pedestrian promenade.

Tyson's Corner, Virginia - Preparation of site plan alternatives for a two-acre, multi-story retail/office and parking project containing more than 160,000 SF with structured parking.

Light House Point, Boston Street, Canton, Maryland - Prepared master plan for large scale mixed use waterfront development in historic Canton on Baltimore's "Gold Coast." Project includes housing, marina, specialty/maritime retail, restaurants, and pedestrian waterfront promenade.

Office Condominium Site Assessments, Mid-Atlantic Region - Prepared over 75 site development plans for the development of suburban office parks. Projects range in size from 5,000 SF to over 100,000 SF.

Liberty Valley Country Club, Baltimore County, Maryland - Assisted client through the special exception and variance procedures and obtained approval for redevelopment of Liberty Valley Country Club. Prepared golf course preliminary design plan.

Landover Center Rezoning, Prince George's County, Maryland - Prepared the master plan for a 15-acre mixed-use retail, motel, and office building project. He also served as expert witness in the successful rezoning.

WILLIAM P. MONK - Page 3 of 5

Lee Property Master Plan, Frederick County, Maryland - Preparation of a 102-acre mixed-use commercial complex containing over 400,000 SF of office, research and development space, a 190,000-SF Wal-Mart Super Store, a hotel/conference center complex and open space system. A historic Guilford farmstead comprising approximately 15 acres is the centerpiece of the complex. This area is on the National Register of Historic Places. The master plan calls for the conversion of historic farmhouse into an inn/restaurant while retaining the farmstead outbuildings and incorporating them into an educational/learning center.

Arundel Delight Quarry, Baltimore County, Maryland - This 125-acre parcel in northwest Baltimore County utilizes an abandoned quarry as its centerpiece by transforming it into a 25-acre lake. The master plan calls for a mix of commercial (village center), employment (office), elderly care/retirement community and a mix of housing types (estate and carriage homes). Additionally an extensive open space system along with active recreational facilities and a Baltimore County fire station are incorporated into this unique master plan. This master plan was prepared over a period of 18 months in concert with a community and business task force that resulted in the approval of the overall master plan and securing the appropriate zoning to accommodate the mix of uses.

Patapsco Planned Community, Baltimore County, Maryland - Preparation of master plan for an 800-acre planned residential and commercial project. Plan includes country club, open space system, community shopping facilities/office, research and development park and a mix of residential housing types.

Run About Cove, Anne Arundel County, Maryland - 110-acre residential community containing over 700 housing units with a commercial village center and extensive recreational/open space amenities.

Edmondson Square Shopping Center, Baltimore, Maryland - Prepared site development plans for redevelopment of the six-acre site for new Giant Food, Hollywood Video, and Advance Auto Parts stores.

Towson Overlook, Baltimore County, Maryland - Re-development of 13-acre site to add 75,000 SF to the existing 50,000-SF shopping center.

EDUCATIONAL FACILITIES

Elementary - High School

St. Marks School, Baltimore County, Maryland - Prepared plans and assisted client in obtaining rezoning for the historic renovation and redevelopment of the former St. Marks School on Winters Lane in Catonsville.

College / University

Technology Center at University of Maryland Baltimore County, South Campus, Catonsville, Maryland - Principal-In-Charge responsible for master planning for expansion of the South Campus to include two to three new research & technology buildings and conference center ranging in size from 60,000-100,000 SF each. 2003/Not built.

University of Maryland Baltimore County, Main Campus Master Planning for the Technology Development Center (TDC) and the Technology Research Center (TRC), Catonsville, Maryland - Principal-In-Charge responsible for master planning for expansion of the TDC and TRC facilities to include research, teaching, and conferencing facilities totaling 150,000-200,000 SF.

University of Maryland Baltimore County, Technology Development Center Parking Facilities, Catonsville, Maryland - Principal-In-Charge of site planning, civil engineering, and surveying for a 330-car satellite parking facility with shuttle bus pickup.

GOLF COURSE COMMUNITY MASTER PLANNING AND GOLF COURSE PLANNING AND DESIGN

Country Club of Maryland, Towson, Maryland - An 18-hole private country club. Served as principal in charge and project manager for overall planning, design and final engineering of a 36 unit residential subdivision. Lead consultant in procuring all entitlement approvals (development plan and record plat pending). Coordinated all environmental

consultants and the golf course architect in securing waivers and environmental approvals for stream modifications and renovations to the golf course.

Lake Diamond Golf and Country Club, Pinehurst, North Carolina - Preparation of a master plan incorporating an 18-hole golf course with club facilities and a "public golf center" including driving range, chipping and pitching greens and miniature golf course. Golf course routing is through dense pine forests and sand hills indigenous to the Pinehurst area. Lake Diamond (44 acres) provides a unique natural amenity. Estate home sites, community beach and recreation area, and the golf course are situated along the lake frontage. The Lake Diamond subdivision has been modified and incorporated into the overall master plan. The plan encompasses approximately 350 acres and includes estate homesites (20,000 SF+/-) and fairway cottage sites (7,000-8,000 SF).

Baltimore County, Maryland - Preparation of a golf course routing plan on approximately 210 acres of state-owned property adjacent to the Patapsco River. This unique golf course routing plan is laid out around a number of environmentally sensitive wetland areas and is integrated with a proposed equestrian riding center and riding trails, which tie into a public open space network along the Patapsco River.

Liberty Valley Country Club, Baltimore County, Maryland - A nine-hole executive par three golf course has been laid out on a portion of the former Hidden Valley Golf Course. The course is situated in a stream valley and incorporates large teeing areas to maximize the flexibility and allow play from multiple tees. A clubhouse with banquet and dining facilities, along with an Olympic-size swimming pool and tennis courts are included.

Potomac Point Golf Links, St. Mary's County, Maryland - Prepared three alternative golf course routing plans within the context of an 800(+)-acre planned community along the Potomac River in southern Maryland. Each routing plan encompassed different areas of the overall tract. The property, which offered a unique design challenge, included heavily wooded areas, tidal and non-tidal wetlands, fresh water lakes, a reclaimed sand quarry, and Potomac River and an inland bay frontages.

Each routing plan was developed within the context of the overall planned community, which included a wide range of residential product. This included single family estate lots, attached housing, condominium, and golf village home sites along with community commercial village and marina.

The golf course routing plan considered is described below.

The Potomac Point Links will be a unique 18-hole linksland style golf course built within the reclaimed sand hills of the former quarry site. The individual holes blend with the sand hills and ponds of this environmental award winning reclamation project providing a truly unique golf experience unmatched in this region. The course, which will be open to the public, is designed to be challenging and playable for all skill levels. Emphasis is placed on strategic shot making skills rather than strength while the usage of multiple tees allows the course to play from over 6,700 yards to slightly less than 4,900 yards. The unique character of the course incorporates grass bunkers and swales, waste bunkers, mounding, a system of ponds and streams and natural vegetation and grasses all of which reinforce the linkslands style of golf course architecture. The natural setting for the course is further enhanced by broad vistas of Breton Bay from many locations on the course. A public driving range with lesson tee, practice putting and chipping greens, pro shop, and clubhouse will provide the necessary support facilities.

Hunters Green Planned Business Park, Washington County, Maryland - This golf course routing plan is integrated through an 850-acre planned unit development including residential, retail, office, and industrial uses. A series of environmentally sensitive areas and stream are utilized to enhance the natural features and playability of the course. The project also contains an inn and conference center adjacent to the golf course, both of which provide a central focus for the overall development plan.

HEALTH CARE FACILITIES/HOSPITAL / NURSING HOME PROJECTS

Hackerman Patz House, St. Joseph's Medical Center Campus, Towson, Maryland - Principal-In-Charge responsible for procuring a zoning variance, feasibility study for utilities, production of construction documents, obtaining grading and building permits and construction observation for this two-level, 13,600-SF, 20-room facility located on .85 acres. MRA worked with the project Architect and campus facilities staff to layout this overnight facility for families of hospital care

WILLIAM P. MONK - Page 5 of 5

patients. This facility was modeled after the McDonald House facilities and a similar facility on the Sinai Hospital Site in the City of Baltimore. The project design and construction was funded by a donor contribution.

HOSPITALITY

Burkeshire Marriott Feasibility Study, Towson, Maryland - Planner hired by the Baltimore County Economic Development to provide a feasibility study for the expansion of the Marriott Hotel to include conferencing facilities, structured parking, and campus retailing along the York Road street frontage. Project also included developing alternative site plans for the entire block known as the "triangle" which includes the Towson VFW hall.

HOUSING

Decatur Street Townhomes, Baltimore, Maryland - Project Manager responsible for master planning and civil engineering for 72 housing units in Locust Point.

Luzerne Street, Canton Mills, Chester Street, and Fleet Street Townhomes, Baltimore, Maryland - Project Manager responsible for master planning and civil engineering for urban in-fill residential projects in Baltimore City.

WILLIAM P. MONK
NATIONAL AND REGIONAL COMMERCIAL/RETAIL CLIENTS

CONVENIENCE STORES

7-Eleven Food Stores
High's Food Stores
Wawa Food Stores
Paceway Convenience Stores
Dash-In Food Stores
6-12 Convenience Food Marts
X-Tra Mart
Royal Farm Stores

AUTOMOTIVE SERVICE

Precision Tune
Mr. Transmission
Pit Stop, Inc.
Windshields of America
Grease Monkey
Econo Lube 'N' Tune
Midas Muffler
3 Rivers Glass
Jiffy Lube
Mr. Tire
Kimmel Tire
Midas Muffler
Grease Monkey
Salvo Auto Parts
National Tire Warehouse
Western Auto
Parts America
NTW Automotive

AUTOMOTIVE-GASOLINE

BP/Amoco Oil Co.
Arco Petroleum
Gulf Oil Company
Steuart/Agip
Shell Oil Company
Southern Maryland Oil Co.
Sunoco
Texaco/Star Enterprise
Eastern Petroleum
Quarles Petroleum, Inc.
Carroll Independent Fuel
Ewing Oil Company
Ocean Petroleum Co.

RESTAURANTS

Dunkin Donuts
Pizza Hut
Taco Bell
Hot-N-Now
Big Boys
Roy Rogers Restaurants
Checkers
Church's Fried Chicken
Hardee's
Burger King
Golden Corral
Kentucky Fried Chicken
Mr. Donut
Friendly's Restaurants
Chili's Restaurants
Subway Sub Shops
Red Hot n' Blue
McDonald's Corporation
All-In-One (Taco Bell, Pizza Hut, KFC)
East Side Marios
Chevys Mexican Restaurants
California Pizza Kitchen
Fuddruckers
Sweet Pea Café
Old Country Buffet
Cracker Barrel
Rita's Water Ice
Krispy Kreme
Wendy's
Red Robin Restaurants
Mission BBQ

MISCELLANEOUS-COMMERCIAL

Rite Aid
K-Mart
Duron Paints
Nichol's Department Store
Safeway Food Stores
Blockbusters Video
Pier One Imports
Price Warehouse
F&M Drug Stores
Roses Department Store
Town & Country Pontiac-Nissan
Klein's Supermarkets
C.J. Bonner Co.
Carteret Savings Bank
Penn Advertising
Universal Advertising
Giant Foods
Nextel Corporation
PNE Media
Enterprise Rent-A-Car
Koons Ford
ATC Communications, Inc.
Wal-Mart
Sam's Club
Hechinger's
Bluecrest North Caterers
Musselman Chevrolet
Bell Atlantic
Luby Chevrolet
Sports Authority
Revco Drugs
CVS Drugs
Weis Markets
Lamar Advertising
Hollywood Video
Food Lion
Graul's Food Markets
Jeepers, Inc.
Walgreens
Bank of America
Dollar General

WILLIAM P. MONK
JURISDICTIONS WHERE WORK HAS BEEN PERFORMED

MARYLAND

Aberdeen*
Annapolis*
Anne Arundel County*
Baltimore*
Baltimore County*
Bel Air*
Bowie
Charles County
Calvert County
Cambridge
Caroline County
Carroll County*
Cecil County
Centreville
Chesapeake Beach
College Park
Columbia
Easton
Ellicott City
Frederick
Frederick County*
Gaithersburg
Hagerstown
Hampstead
Harford County*
Havre de Grace*
Howard County*
Kent County
Laurel
Montgomery County
Ocean City
Perryville
Prince George's County*
Queen Anne's Co.

Rockville
St. Charles Community*
St. Mary's County
St. Michael's
Salisbury
Talbot County
Washington County
Westminster

DELAWARE

Dover
Kent County
Milford
Newark
Rehoboth Beach
Sussex County

**DISTRICT OF
COLUMBIA**

NEW JERSEY

Cherry Hill
Dover Township
Mountainside
Pequannock Township
Perth Amboy
Piscataway*
Wall Township*
Pompton Plains
Toms River

NORTH CAROLINA

Pinehurst

PENNSYLVANIA

Bucks County
Chester County
Montgomery County
Paoli
Shrewsbury

VIRGINIA

Alexandria
Arlington
Arlington County
Chesterfield County
(Richmond area)
Fairfax City
Fairfax County
Falls Church
Fauquier County
Henrico County
(Richmond area)
Herndon
Leesburg
Loudon County
Manassas
Manassas Park
McLean
Prince William County
Quantico
Richmond
Sterling
Vienna

WEST VIRGINIA

Martinsburg

*EXPERT WITNESS

COUNTY COUNCIL OF BALTIMORE COUNTY, MARYLAND
Legislative Session 2015, Legislative Day No. 13

Resolution No. 67-15

Mr. David Marks, Councilman

By the County Council, August 3, 2015

A RESOLUTION of the Baltimore County Council to amend the Perry Hall Community Plan.

WHEREAS, on February 22, 2011, the County Council adopted the Perry Hall Community Plan as part of the Baltimore County Master Plan 2020; and

WHEREAS, on September 4, 2012, the County Council amended the Perry Hall Community Plan in order to provide guidelines for the review by the Design Review Panel of nonresidential plans in the Perry Hall Revitalization Area (Resolution 61-12); and

WHEREAS, the County Council wishes to amend the Perry Hall Community Plan, as amended by Resolution 61-12, to provide further guidelines for Design Panel review of development plans; now, therefore

BE IT RESOLVED by the County Council of Baltimore County, Maryland, that the Perry Hall Community Plan, as amended by Resolution 61-12, is hereby amended as follows:

“Design Review Panel

Recommendation #1:

Bill No. 50-12, approved by the Council on August 6, 2012, requires the Baltimore County Design Review Panel to review nonresidential development plans proposed for the Perry Hall Revitalization Area. In reviewing such plans, the Panel shall apply the

PETITIONER' S

EXHIBIT NO. 14

guidelines set forth in the Comprehensive Manual of Development Policies and the following guidelines:

- New buildings should be predominantly designed with brick AND ORIENTED PARALLEL TO THE ROAD.
- Pedestrian amenities and landscaping are strongly encouraged. FOR NEW CONSTRUCTION, A LANDSCAPED STRIP OF NO LESS THAN EIGHT FEET WITH STREET TREES SHALL BE PROVIDED NEXT TO THE ROAD.
- Building entries should face the road. Storefront display windows should be included, if feasible.
- IF AN EXISTING BUILDING IS BEING REPURPOSED, parking bays should IDEALLY be located along the sides and rear of the lot, and parking should be minimized in the front. FOR NEW CONSTRUCTION, ANY BUILDINGS SHALL BE PLACED AS CLOSE TO THE ROAD AS POSSIBLE, WITH PARKING CONCENTRATED IN THE BACK AND NO MORE THAN ONE ROW OF PARKING ALLOWED IN THE FRONT.
- Commercial buildings that are located near a residential neighborhood should respect the scale and character of the surrounding neighborhood.
- Signage should be integrated with the building design. Freestanding signs are discouraged; groundmounted signs are encouraged. For gasoline/service stations, signage should be of a groundmounted, monument style with a brick facade. For convenience stores, signage should be of a monumental style only.
- Loading docks and delivery areas should be screened with walls that match the style of the buildings and landscaping.

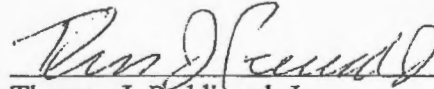
- Dumpsters and drive-thru windows should be located and positioned in a way that is the least obtrusive to the surrounding neighborhood.”

SECTION 2. AND BE IT FURTHER RESOLVED, that this Resolution shall take effect from the date of its passage by the County Council, and shall not apply to any ~~development plan reviewed by the Design Review Panel~~ project originally reviewed at a Design Review Panel meeting prior to July 31, 2015.

r06715.wpd

READ AND PASSED this 8th day of SEPTEMBER, 2015.

BY ORDER

A handwritten signature in dark ink, appearing to read "Tom J. Peddicord", is written over a horizontal line.

Thomas J. Peddicord, Jr.
Secretary

ITEM: RESOLUTION 67-15

COUNTY COUNCIL OF BALTIMORE COUNTY, MARYLAND
Legislative Session 2012, Legislative Day No. 13
Resolution No. 61-12

Mr. David Marks, Councilman

By the County Council, August 6, 2012

A RESOLUTION of the Baltimore County Council to amend the Perry Hall Community Plan.

WHEREAS, on February 22, 2011, the County Council adopted the Perry Hall Community Plan as part of the Baltimore County Master Plan 2020; and

WHEREAS, on August 6, 2012, the County Council adopted Bill 50-12 which amended Section 32-4-204 of the County Code to require the Baltimore County Design Review Panel to review nonresidential development plans proposed for the Perry Hall Revitalization Area; and

WHEREAS, the Comprehensive Manual of Development Policies provides general guidelines for the review of nonresidential developments in the areas designated by Section 32-4-204; and

WHEREAS, the Manual also provides for the use of guidelines that are set forth in a specific community plan adopted by the County Council; and

WHEREAS, the County Council wishes to amend the Perry Hall Community Plan in order to provide guidelines for the review by the Design Review Panel of nonresidential plans in the Perry Hall Revitalization Area; now, therefore

BE IT RESOLVED by the County Council of Baltimore County, Maryland, that the Perry Hall Community Plan is hereby amended as set forth on Exhibit A attached hereto.

**PROPOSED AMENDMENTS TO
THE PERRY HALL COMMUNITY PLAN
Councilman Marks**

1. Insert the following on page 21 of the Plan:

"Design Review Panel

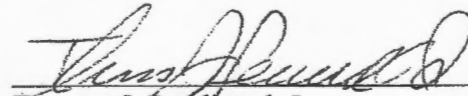
Recommendation #1:

Bill No. 50-12, approved by the Council on August 6, 2012, requires the Baltimore County Design Review Panel to review nonresidential development plans proposed for the Perry Hall Revitalization Area. In reviewing such plans, the Panel shall apply the guidelines set forth in the Comprehensive Manual of Development Policies and the following guidelines:

- New buildings should be predominantly designed with brick.
- Pedestrian amenities and landscaping are strongly encouraged.
- Building entries should face the road. Storefront display windows should be included, if feasible.
- Parking bays should be located along the sides and rear of the lot, and parking should be minimized in the front.
- Commercial buildings that are located near a residential neighborhood should respect the scale and character of the surrounding neighborhood.
- Signage should be integrated with the building design. Freestanding signs are discouraged; groundmounted signs are encouraged. For gasoline/service stations, signage should be of a groundmounted, monument style with a brick facade. FOR CONVENIENCE STORES, SIGNAGE SHOULD BE OF A MONUMENTAL STYLE ONLY.
- Loading docks and delivery areas should be screened with walls that match the style of the buildings and landscaping."
- DUMPSTERS AND DRIVE-THRU WINDOWS SHOULD BE LOCATED AND POSITIONED IN A WAY THAT IS THE LEAST OBTRUSIVE TO THE SURROUNDING NEIGHBORHOOD.

READ AND PASSED this 4th day of SEPTEMBER, 2012.

BY ORDER

A handwritten signature in dark ink, appearing to read "Thomas J. Peddicord, Jr.", is written over a horizontal line.

Thomas J. Peddicord, Jr.

Secretary

ITEM: RESOLUTION 61-12

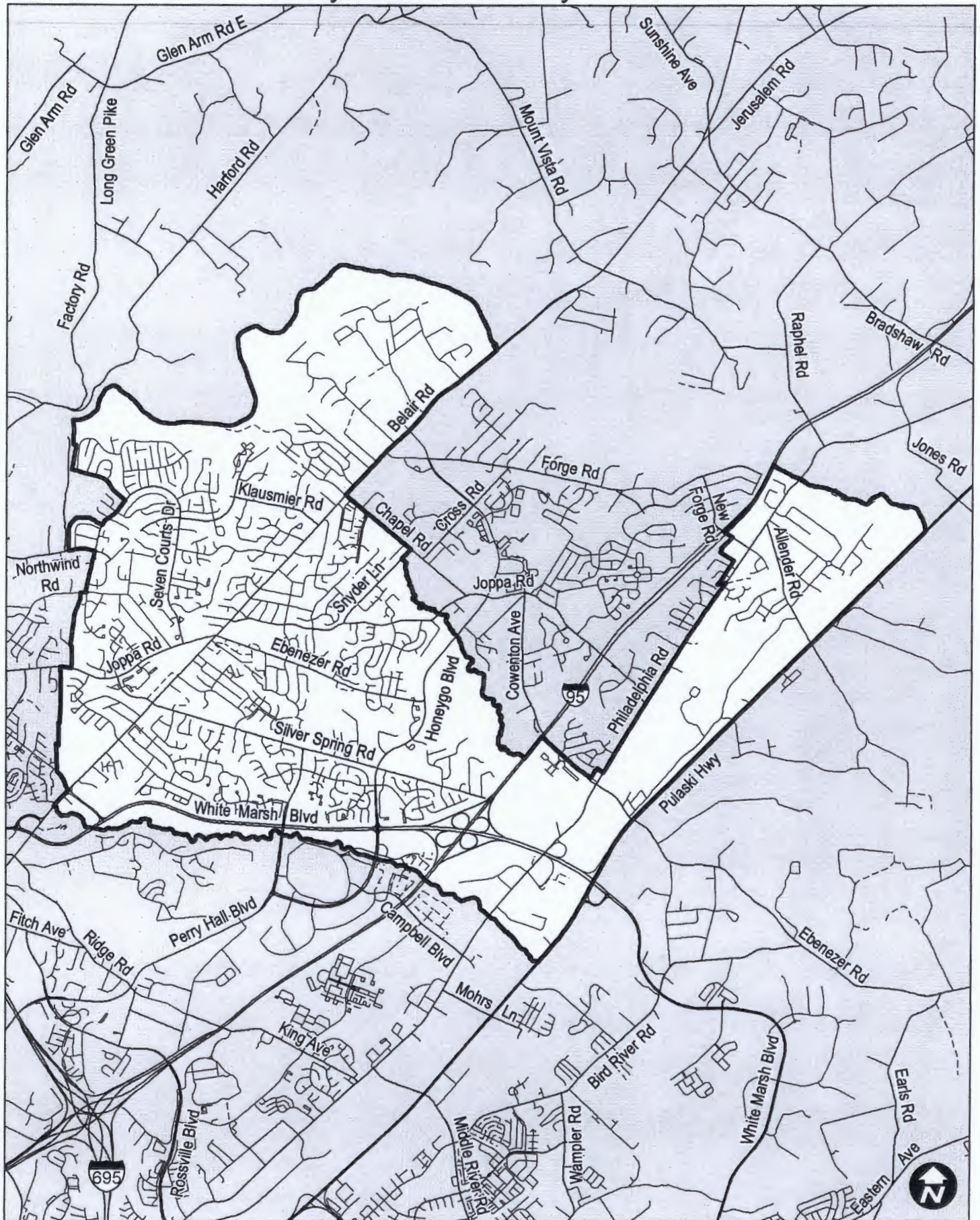


THE PERRY HALL COMMUNITY PLAN

**ADOPTED BY
THE BALTIMORE COUNTY COUNCIL**

FEBRUARY 22, 2011

Perry Hall Community Plan Area



0 4,500 9,000 13,500 Feet

COUNTY COUNCIL OF BALTIMORE COUNTY, MARYLAND
Legislative Session 2011, Legislative Day No. 3

Resolution No. 13-11

Councilmembers Marks & Bevins

By the County Council, February 7, 2011

A RESOLUTION of the Baltimore County Council to adopt the Perry Hall Community Plan as part of the Baltimore County Master Plan 2020.

WHEREAS, the Baltimore County Council adopted the Baltimore County Master Plan 2020 on November 15, 2010; and

WHEREAS, the County Council asked the Planning board to prepare a Perry Hall Community Plan (Resolution 104-08); and

WHEREAS, the Perry Hall Community Plan was prepared in close cooperation with the Perry Hall Community Plan Steering Committee; and

WHEREAS, the Plan was the subject of a public hearing by the Planning Board and was adopted by the Board on November 18, 2010; and

WHEREAS, the County Council held a public hearing on the recommended Perry Hall Community Plan on January 18, 2011.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNTY COUNCIL OF BALTIMORE COUNTY, MARYLAND, that the Perry Hall Community Plan, as amended, a copy of which is attached hereto and made a part hereof, be and it is hereby adopted and incorporated into the Baltimore County Master Plan 2020 to be a guide for the development of the Perry Hall Community area, subject to such further modifications as deemed advisable by the County Council.

**PROPOSED AMENDMENTS TO THE
PERRY HALL COMMUNITY PLAN**
Councilmembers Marks & Bevins

- (A) On page 1, in the first line of the first paragraph under "Purpose of the Plan", strike "1st" and substitute "1"; in the first line of the second paragraph, after "passed" insert a comma.
- (B) On page 1, strike the paragraph under "Background Information" and substitute the following:
"The boundaries of the Perry Hall Community Plan are Simms and Magledt Avenues on the west; the Greater Gunpowder Falls on the north; Pulaski Highway on the east, excluding the Honeygo Plan District; and White Marsh Run on the south. Honeygo is considered part of Perry Hall, but has its own Community Plan."
- (C) On page 5, strike "CCBC" and substitute "Community College of Baltimore County; and delete, in its entirety, Recommendation #3.
- (D) On page 8, strike the first sentence under "Gunpowder View Trail" and substitute the following:
"This Community Plan endorses converting the former right-of-way for the Gunview Road extension into a trail. With the acquisition of additional land, this trail would allow hikers and bicyclists to more readily access Gunpowder Falls State Park and the Seven Courts Drive area."
- (E) On page 10, strike "ADA" and substitute "Americans With Disabilities Act"; and under Recommendation #9, underline "Targeted Date for Completion"
- (F) On page 12, delete, in its entirety, Recommendation #11.
- (G) On page 17, in the first sentence of the third paragraph under Recommendation #2, after "Gough Park site", insert "or a similar location"

(H) Insert the following after line 28:

**"KEY PARTICIPANTS IN THE DEVELOPMENT OF
THE PERRY HALL COMMUNITY PLAN**

Perry Hall Community Plan Steering Committee

David Marks, Chair
Debra Beaty
Diane Brazil
Christopher A. Defeo
John Dingedahl
Nate Evans
Dee Hodges
William Libercci, Sr.
Charles L. Marks
Rani Merryman
Bill Paulshock
Pat Pudelkewicz
Dennis Robinson
Jeffrey W. Smith

Green Infrastructure Subcommittee

Diane Brazil, Chair
Delegate Joseph Boteler
Delegate Eric Bromwell
Frances Craig
Christopher A. Defeo
Glenn Ferenschak
Paul Pudelkewicz
Steve Verch

Neighborhoods and Commerce Subcommittee

Debra Beaty, Chair
Steve Amenta
Frances Craig
Suki Deaver
Jenny King
Senator Kathy Klausmeier
William Libercci
Mark Mohr
Bill Paulshock
Pat Pudelkewicz
Alfred W. Redmer, Jr.

Public and Cultural Resources Subcommittee

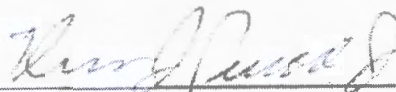
Rani Merryman, Chair
Ed Cindric
Frances Craig
Rosemarie Durkin
Glenn Ferenschak
Charles L. Marks
Norma Secoura
Jeffrey W. Smith
Howard Wille

Transportation and Infrastructure Subcommittee

Nate Evans, Chair
Roger Dunn
Jim Durkin
Dennis Eckard
Dee Hodges
Victoria Jenkins"

READ AND PASSED this 22ND day of FEBRUARY, 2011.

BY ORDER

A handwritten signature in cursive script, appearing to read "Thomas J. Peddicord, Jr.", written over a horizontal line.

Thomas J. Peddicord, Jr.
Secretary

ITEM: RESOLUTION 13-11

COUNTY COUNCIL OF BALTIMORE COUNTY, MARYLAND
Legislative Session 2008, Legislative Day No. 21

Resolution No. 104-08

Mr. Vincent J. Gardina, Councilman

By the County Council, December 1, 2008

A RESOLUTION of the Baltimore County Council requesting the Baltimore County Planning Board to prepare a community plan for the Perry Hall area of Baltimore County.

WHEREAS, the Baltimore County Council adopted the Baltimore County Master Plan 2010 on February 22, 2000; and

WHEREAS, the Master Plan places great importance upon the development of community plans for established areas of the County; and

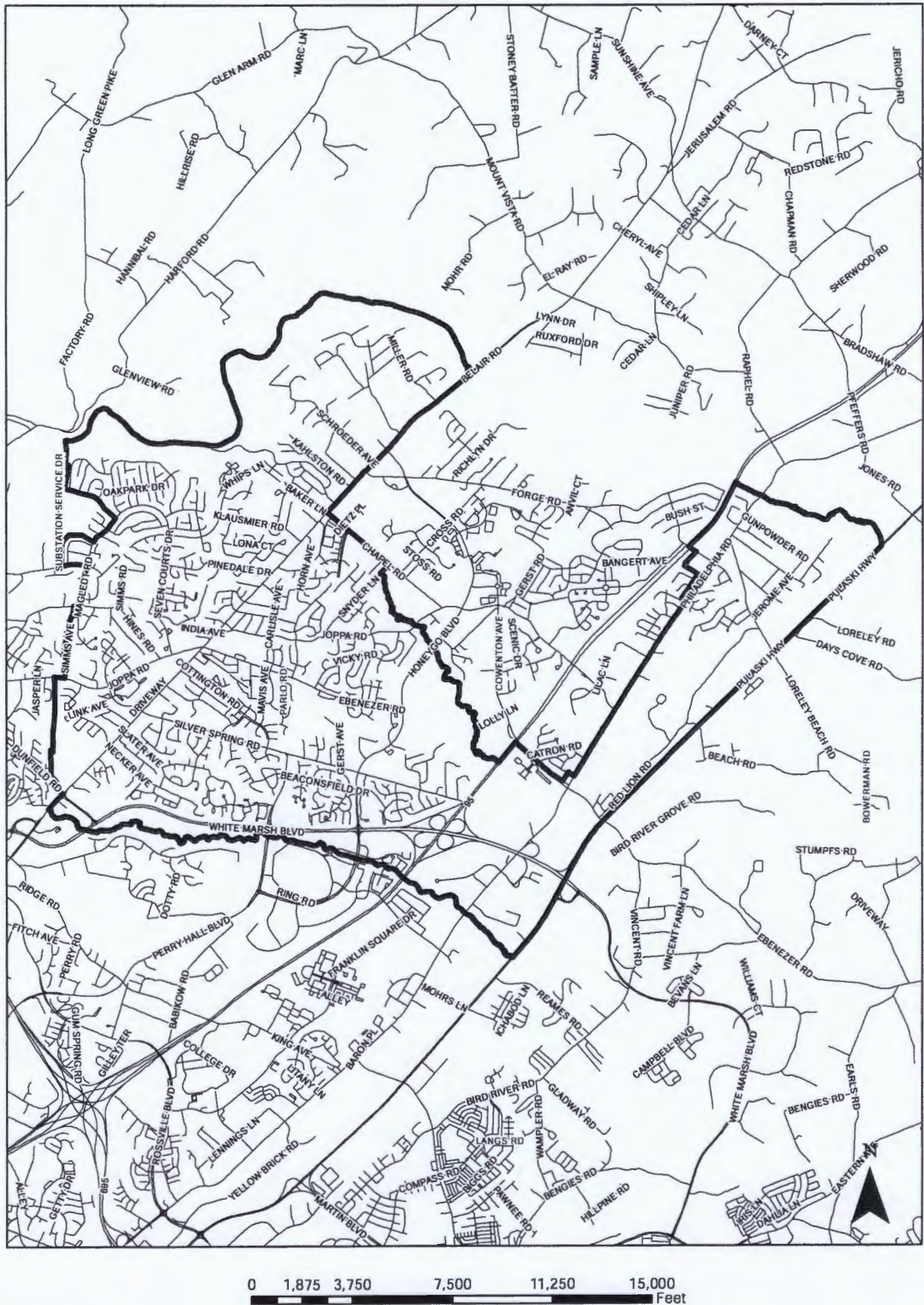
WHEREAS, the Perry Hall area of the County, as shown on the map attached hereto as Exhibit A, is a vital part of the County's Fifth Councilmanic District; and

WHEREAS, an effective community plan for the Perry Hall area will serve to promote the stabilization and improvement of the community; and

WHEREAS, the Perry Hall area has a population with the need for recreational, social, and community support requirements.

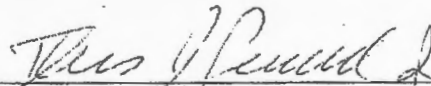
NOW, THEREFORE, BE IT RESOLVED BY THE COUNTY COUNCIL OF BALTIMORE COUNTY, MARYLAND, that the Baltimore County Planning Board is requested to conduct an assessment of community needs and issues in the Perry Hall area, with full opportunity for participation by the area's citizens, businesses, organizations and institutions, and to prepare a community plan for the area, suitable for adoption by the Planning Board and the County Council as part of and an amendment to the Master Plan.

PERRY HALL COMMUNITY PLAN



READ AND PASSED this 1ST day of DECEMBER, 2008.

BY ORDER

A handwritten signature in cursive script, appearing to read "Thomas J. Peddicord, Jr.", written over a horizontal line.

Thomas J. Peddicord, Jr.
Secretary

ITEM: RESOLUTION NO. 104-08

Table of Contents

I. INTRODUCTION.....	1
Purpose of the Plan	1
Background information	1
Vision Statement.....	1
The History of Perry Hall	2
A Vision for Perry Hall	3
II. RECOMMENDATIONS	3
Strong Neighborhoods, and a Defined Community Center	3
Greater Mobility.....	5
Environmental Stewardship	12
Outstanding Schools Learning Centers.....	14
Family Life and Recreation	15
A Sense of History and Place.....	19
III. APPENDIX	21
IV. MAPS	23

The Perry Hall Community Plan

I. INTRODUCTION

Purpose of the Plan

On December 1, 2008, Fifth District Councilman Vincent Gardina passed a Baltimore County Council Resolution requesting that the Baltimore County Planning Board prepare a community plan for the Perry Hall area. The resolution stated that this community plan would serve to promote the stabilization and improvement of a community that has a population with recreational, social, and community support requirements.

Since this resolution has passed, the community has attended multiple meetings and proposed recommendations to make Perry Hall a more vibrant place to live, work, and shop. The objectives and goals of this plan are based in part on the Urban County and Growth Area recommendations of the Baltimore County 2010 Master Plan. Encouraging community involvement in multi-modal transportation, transit oriented development, providing more open space and promoting walkability are essential components of this plan.

Background Information

The boundaries of the Perry Hall Community Plan are Simms and Magledt Avenues on the west; the Greater Gunpowder Falls on the North; Pulaski Highway on the east, excluding the Honeygo Plan District; and White Marsh Run on the south. Honeygo is considered part of Perry Hall, but has its own Community Plan.

VISION STATEMENT

On February 22, 2010, attendees at the Perry Hall Community Plan meeting unanimously adopted a Vision Statement for the report. The Vision Statement has two key purposes. First, it identifies the strengths of the Perry Hall community, and notes that the Perry Hall Community Plan would provide a blueprint for building on these strengths. Second, it establishes a series of themes that bind together the recommendations of the final report.

Perry Hall is sometimes called the "crossroads of Baltimore County," a community defined by its location along major arteries of commerce and transportation. In a broader sense, though, Perry Hall is at the crossroads of changes that are shaping our economy and society. Perry Hall is proud of its heritage, but ready for the challenges of the future.

This community is strong. Perry Hall's neighborhoods, schools, and other amenities make it a desirable place to live. Perry Hall's location—near the junction of two Interstate highways and the MARC train network—gives it convenience to major destinations and employers along the Eastern Seaboard. There are other qualities less measured, but certainly felt by its residents. After decades of growth, Perry Hall retains a small town feel. The goal of the Perry Hall Community Plan is to provide a blueprint for building on these strengths.

Although the Perry Hall Community Plan incorporates many suggestions, five overall themes are critical. First, this plan acknowledges that the period of large-scale development in Perry Hall is over. It is time to enhance older neighborhoods and—most

The Perry Hall Community Plan

importantly—anchor the aging shopping centers near Belair and Ebenezer Roads into a true core for Perry Hall. Second, every effort should be made to increase mobility, connect neighborhoods to one another, restore Perry Hall's green canopy, and improve the area's stream valleys. Third, the community should enhance opportunities for recreation and family life that attract and retain residents. Fourth, Perry Hall's schools and other resources foster a culture of lifelong learning. Finally, the community's heritage is a powerful asset, providing an important sense of place and identity.

THE HISTORY OF PERRY HALL

Perry Hall is one of the oldest communities in Baltimore County. In 1608, Captain John Smith led an expedition up the Gunpowder River Valley. Smith's journey initiated intense industrialization along the Gunpowder River, and by the Eighteenth Century, northeastern Baltimore County was the site of numerous mills, furnaces, and forges.

In 1774, Baltimore businessman Harry Dorsey Gough purchased a 1,000-acre estate called *The Adventure*. Gough renamed it Perry Hall after his family's home near Birmingham, England, and by 1775 he had completed a mansion that became known for its great gardens and distinctive architecture. Harry Dorsey Gough is considered the founder of Perry Hall. He and his wife Prudence sheltered early Methodist leaders such as Francis Asbury when their pacifist views were unpopular.

The Perry Hall estate deteriorated in the Nineteenth Century. It was sold in 1875 to Eli Slifer and William Meredith of Philadelphia, who divided the property and

sold the lots to immigrant families, many of who were from Germany. This village became known as Germantown, and it was centered at present-day Belair and Chapel Roads. A second village, Indian Rock, was located near modern-day Belair and Joppa Roads. Farmers used the Baltimore and Jerusalem Turnpike, as Belair Road was then known, to sell their vegetables in the city markets. Some of these farms became nurseries and dairies, the most famous of which was the Berg dairy on Joppa Road.



Gough Historical Marker and Park Sign

The years after the Second World War transformed Perry Hall from a farming community into a suburban hamlet. The Perry Hall Improvement Association was created in 1945 to deal with growth and change. William "Dick" Schafer built dozens of brick bungalows between Belair and Ebenezer Roads, and he constructed Perry Hall's first shopping center in 1961. Perry Hall's first public library and Perry Hall Senior High School opened in 1963. By 1981, the Berg dairy had been developed into the Seven Courts neighborhood, and White Marsh Mall opened on old quarries near Silver Spring Road.

The Perry Hall Community Plan

After public concerns about the pace of development, the area's growth was halted in the early 1990s to allow for the completion of the Honeygo Plan. This Community Plan aimed for higher-quality development in Perry Hall's northeastern quadrant. In the years after adoption of the Honeygo Plan, the county completed several long-term projects, including new parks along Honeygo Boulevard (not all of the new park sites have been acquired yet) and the opening in 2009 of a permanent Perry Hall library. The community worked to keep Perry Hall's "small town" feel by restoring the Perry Hall Mansion and organizing a town fair, community concerts, and other public events.

A VISION FOR PERRY HALL

This Community Plan endorses a vision that builds upon Perry Hall's strengths. The recommendations for the report are grouped under five overall themes. In the words of the vision statement:

This plan acknowledges that the period of large-scale development in Perry Hall is over. It is time to enhance older neighborhoods and—most importantly—anchor the aging shopping centers near Belair and Ebenezer Roads into a true core for Perry Hall. Second, every effort should be made to increase mobility, connect neighborhoods to one another, restore Perry Hall's green canopy, and improve the area's stream valleys. Third, the community should enhance opportunities for recreation and family life that attract and retain residents. Fourth, Perry Hall's schools and other resources foster a culture of lifelong learning. Finally, the community's heritage is a powerful asset, providing an important sense of place and identity.

II. RECOMMENDATIONS

Strong Neighborhoods, and a Defined Community Center

Most of Perry Hall's neighborhoods were built after the Second World War. During the 1950s and 1960s, new homes tended to be brick ranchers or colonial-style homes, such as those found near the intersection of Belair and Ebenezer Roads. Between 1970 and 1990, thousands of townhouses, condominiums, and single-family homes were constructed, primarily along Seven Courts Drive.

By the beginning of the Twenty-First Century, the era of large-scale development in Perry Hall had ended. Attention must now turn to strengthening Perry Hall's older neighborhoods, as well as its aging shopping centers. Closely related to this goal is the need to define a community core for Perry Hall.

Throughout the United States, many incorporated communities have a public square and central business district. Perry Hall is not incorporated, and there has never been a single place that can be thought of as the community's "center" over its entire history. During the Nineteenth Century, there were two villages—Germantown and Indian Rock—at either end of what is now considered Perry Hall. Over time, development blurred the distinction between these villages.

By the early Twenty First Century, Belair Road was a string of shopping centers, office buildings, and homes converted to business use. The area between Cottingham Avenue and India Avenue, however, is the

The Perry Hall Community Plan

center of much activity in Perry Hall, as well as the geographic heart of the community.

In the 1990s and 2000s, civic leaders worked to reinforce this as Perry Hall's community center. In 1990, the Perry Hall Improvement Association started an annual Christmas Tree Lighting Ceremony at Perry Hall Elementary School. In 1999, the Perry Hall Improvement Association (PHIA) renovated the Veterans Memorial at Perry Hall Elementary School. In 2001, state and county leaders dedicated a new community sign and landscaping at Belair and Joppa Roads, part of an overall beautification project for the Belair Road corridor. Finally, in 2010, the state and county completed a streetscape project between Cottingham Road and India Avenue that included new trees, landscaping, and lamp posts. The Perry Hall-White Marsh Business Association and Perry Hall Improvement Association funded seasonal banners along poles in front of Perry Hall Elementary School.

This Community Plan strongly endorses efforts to anchor the area between Cottingham Road and India Avenue as the center of Perry Hall, the geographic and economic heart of the community. This central business district would extend east to the Perry Hall Square Shopping Center and west to the Weis Market (Festival at Perry Hall Shopping Center) and Joppa Corners Shopping Center along Joppa Road.

Recommendation #1: Base future zoning decisions on consistent policies that reinforce Perry Hall's character and neighborhood appeal.

Background: This Community Plan includes a map that describes Perry Hall's

zoning as it existed after the 2008 Comprehensive Zoning Map Process. Each property has unique qualities that may be considered during future CZMP cycles, but this Community Plan urges that certain policies be generally followed so that Perry Hall's character is preserved for future generations.

- The stretch of Belair Road from Minte Drive to Chapel Road, for the most part, includes homes that have been converted to offices, with leafy lawns that provide a residential, charming look. The Community Plan recommends that no zoning more intense than Residential Office (RO) be approved. Wherever possible, parking should be limited to the sides and rear of buildings, and large trees and landscaping should be preserved.
- Silver Spring, Ebenezer, and East Joppa Roads should remain residential.
- Pulaski Highway has the most intense zoning levels within the area covered by the Perry Hall Community Plan. Pulaski Highway is a key employment corridor. The Perry Hall Community Plan endorses the development of design standards so that future growth visually enhances the corridor.

Targeted Date of Completion: Ongoing.

Recommendation #2: Provide incentives and strong support for redevelopment of the Perry Hall Square Shopping Center.

Background: The owners of the Perry Hall Square Shopping Center are strongly encouraged to renovate or redevelop this property. To further this objective, the Perry

The Perry Hall Community Plan

Hall Community Plan recommends flexible zoning options that would allow the owner to creatively develop the shopping center. Senior housing or different blends of residential and commercial development might be allowed, for example, as long as the redevelopment enhances this area as a high-end focal point for the community.

In the short term, this Community Plan offers a suggestion that honors the property owner's rights while improving current vacancies. A senior services center could be created which includes a Motor Vehicle Administration. This would double as a teen center during after school hours, or it could provide after school job training for students. During the day, Community College of Baltimore County student teachers could earn credit hours by participating in daytime student teaching - technology and other courses to senior citizens. After school teen jobs may include tutoring younger students, serving eligible seniors meals, cleaning the facility, or data entry for the MVA back office.

Targeted Date of Completion: Ongoing.



Perry Hall Shopping Center

Greater Mobility

One of Perry Hall's assets is its location. Perry Hall is located along one of the nation's oldest and busiest highways, U.S. Route 1, and only a few miles away from two Interstate highways. Thanks to the construction of the White Marsh Boulevard Extension in 2006, motorists are minutes away from Martin State Airport, the MARC train network, and the Baltimore County waterfront.

Most of Perry Hall's growth occurred after the Second World War and during the early years of the Interstate highway system. Highways were designed to move a large volume of traffic, not necessarily to accommodate pedestrians or bicyclists. As a result, many neighborhoods lack sidewalks, isolating them from one another and risking the safety of pedestrians. Furthermore, while Perry Hall is convenient for people who own an automobile, there are extremely limited opportunities for those who depend on public transportation or those who ride bicycles.

Most personal travel is done by automobile, and this will likely not change in the near future. One of the major themes of the Perry Hall Community Plan, however, is that residents should have a wide range of transportation options. This Community Plan strongly endorses the concept of an integrated, intermodal transportation network that includes highways, public transit, trails, and sidewalks. In the future, transportation projects must be planned in a way that is consistent with the character of local neighborhoods.

Perry Hall has developed from a colonial farming village to a major suburb in the

The Perry Hall Community Plan

Baltimore-Washington corridor. Most of this transformation has taken place in the past 50 years as a patchwork of inconsistent land use based on automobile accessibility. Like similar communities across the United States, Perry Hall residents are discovering the disadvantages of living in a low-density community as dependence on foreign oil, climate change, and obesity rates are major issues for today's generations. Through the following proposals, the Perry Hall of the early 21st century seeks to modify the planning and development practices of the past to create a more livable community for the future.

Recommendation #1: Implement key sidewalk and pedestrian improvements from the Walkable Perry Hall Task Force Report.

Background: In 2009, the Walkable Perry Hall Task Force identified opportunities to make Perry Hall more interconnected and accessible to all residents. The task force had three overall objectives: (1) Prioritize areas that need immediate attention to improve safety; (2) Identify sidewalk connections that can better integrate Perry Hall's neighborhoods; and (3) Identify places that could accommodate hiking and bicycling trails. The full report is included as an appendix to this Community Plan.

This Community Plan builds upon the report of the Walkable Perry Hall Task Force report. The Plan endorses the following Task Force priorities, as well as several other recommendations brought out during the Community Plan process:

- Reconstruct the pedestrian crossings at White Marsh Boulevard and Perry Hall Boulevard.
- Construct sidewalks along Silver Spring Road to better link communities to Honeygo Boulevard and Joppa View Elementary School.
- Complete several "missing" sidewalk segments along Honeygo Boulevard leading from the White Marsh Town Center to Tremper Farms.
- Construct sidewalks that allow pedestrians to safely walk between the White Marsh Mall area and Nottingham Square.
- Construct permanent pathways that connect the neighborhoods near Scone Garth to Silver Spring Road, and Silver Hall Court to the Perry Hall High School campus.
- Construct sidewalks along Ebenezer Road between the Tremper Farms and Northgate Hall neighborhoods.
- Complete sidewalks along the East Joppa Road corridor, especially in the vicinity of Chapel Road and Honeygo Boulevard.
- Construct sidewalks along Chapel Road and enforce prohibitions against truck traffic.
- Reconstruct the area in front of Joppa View Elementary School so that children and parents from the western side of Honeygo Boulevard can walk to school.
- Develop improvements that enhance safety at the intersection of Ebenezer Road and Kilbride Road.

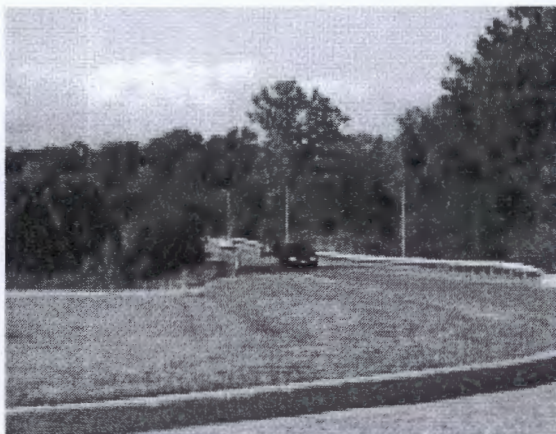
The Perry Hall Community Plan

- In western Perry Hall, construct sidewalks along Klausmier Road, Gunview Road, Hines Road, Seven Courts Drive near Northwind Road, and Pinedale Drive.
- Complete sidewalks along Darleigh Road between Dearborn and Mavis; and
- Complete sidewalks along Belair Road between Slater Avenue and the Olde Forge neighborhood and Plumber Avenue.

Targeted Date of Completion: Within three years of adoption of Plan.

Recommendation #2: Complete Phase 1 of the County-Designated Perry Hall Boulevard Trail.

Baltimore County now calls the Perry Hall Boulevard Trail. This trail would link the Beaconsfield Road area with White Marsh and Overlea. This initial segment could actually serve as "Phase 1" of a longer trail that might possibly extend to Ebenezer Road and beyond. The PHIA recommends renaming this the Northeast Trail since it is



The proposed location of the Perry Hall Trail

a regional pathway that extends beyond Perry Hall Boulevard.

Targeted Date of Completion: Within two years of adoption of Plan.

Recommendation #3: Develop an extensive system of trails throughout Perry Hall.

Background: In addition to the immediate priority of constructing Phase 1 of the Perry Hall Boulevard Trail, this Plan endorses the following long-term trail improvements, which should be accessible to both non-disabled and disabled users.

- **Phase 2 of the Perry Hall Boulevard Trail.** In 2000, Baltimore County purchased the 16-acre property east of Perry Hall High School. On March 23, 2009, the Baltimore County Department of Recreation and Parks, acting on a recommendation from the Perry Hall Improvement Association, announced designation of the property as "Indian Rock Park." This new park is an ideal location for the extension of the Perry Hall Boulevard Trail, providing a direct link between Silver Spring Road and Ebenezer Road. With neighbor support, it may be possible to develop a Phase 3 that extends the trail even further north along the abandoned right-of-way for Perry Hall Boulevard. There is a small section of privately-owned property between Silver Spring Road and Indian Rock Park that would need to be purchased; another option would be to require an easement if this land is developed.
- **Trails at the Future Joppa Trail Park and Snyder Park.** When developed, the

The Perry Hall Community Plan

future Joppa Trail Park on East Joppa Road should support the existing concept plan for the park, which includes a trail system that links to Snyder Park on Snyder Lane. New sidewalks on Snyder Lane, Chapel and Cross Roads are needed to better link these parks and adjacent neighborhoods.

- **Gunpowder View Trail.** This Community Plan endorses converting the former right-of-way for the Gunview Road extension into a trail. With the acquisition of additional land, this trail would allow hikers and bicyclists to more readily access Gunpowder Falls State Park and the Seven Courts Drive area. The trail would extend from the current terminus of Gunview Road at Red Fox Farms, move south past Schroeder Avenue, and end near Belair Road. At this point, there is an opportunity to perhaps continue the trail parallel with Belair Road, on the abandoned right-of-way for the old road, before ending the trail near the Gunpowder River. As with the other proposed trails, local homeowners associations would need to be consulted during all stages of development.
- **Shared Use Path at Community College of Baltimore County at Essex.** The county should complete a corridor plan to determine the feasibility of a shared-use path from Perry Hall to CCBC Essex.

Targeted Date of Completion: Within five years of adoption of Plan.



Gunpowder Falls Blue Trail

Recommendation #4: Maintain access at Belair and Forge Roads that accommodates both eastbound and westbound traffic.

In 2010, the Maryland State Highway Administration and Baltimore County recommended modifying the intersection at Belair and Forge Roads to accommodate the opening of Honeygo Boulevard. Plans called for a temporary closure of Forge Road to induce motorists to use Honeygo Boulevard, as well as a removal of the traffic signal. At an informational meeting in April 2010, residents and business owners expressed strong support for keeping Forge Road open and the traffic signal operational. This Community Plan recommends maintaining access at Belair and Forge Road to accommodate both eastbound and westbound traffic. Plans must conform to the Manual on Uniform Traffic Control Devices and other safety and engineering guidelines.

Additionally, this Community Plan strongly endorses traffic calming devices along the stretch of Honeygo Boulevard south of Forge Road to Joppa Road.

The Perry Hall Community Plan

Speeding is a persistent problem along this corridor.

Targeted Date for Completion: Ongoing.

Recommendation #5: Support Transit-Oriented Development at White Marsh.

Background: When the White Marsh Towne Center was developed in the early 1980s, the area was hailed as a source of economic development for the region. A quarter century later, a major anchor store is vacant and the parking lot is a vacant sea of asphalt. A state-owned park and ride facility stands isolated from the mall across White Marsh Run. By simply realigning transit routes and utilizing empty parking lots, the White Marsh Towne Center can become a transit-oriented development. Installing sidewalks between White Marsh Mall, IKEA, and The Avenue will further transform the area to be more transit and pedestrian friendly. Once the Express Toll Lanes on I-95 are complete, bus travel times between White Marsh and downtown Baltimore will dramatically decrease thus making White Marsh a more desirable shopping destination for the entire Baltimore area.

Recent changes by the Federal Transit Administration will benefit the Perry Hall/White Marsh area. The FTA will fund 90 percent construction of sidewalks ½ mile from transit facilities and 50 percent construction of bicycle facilities within three miles of transit facilities. Given these distances, sidewalk improvements will connect sidewalks from the White Marsh Towne Center to the Silver Spring corridor and bike facilities to central Perry Hall. The Maryland Transit Administration is in preliminary planning stages for the

extension of the GREEN LINE, which currently runs between Owings Mills and Johns Hopkins Hospital. The Green Line's ultimate destination will be in the White Marsh area. Having a bus-based transit facility already in place at White Marsh will only improve the opportunities if a heavy rail transit line arrives.

Targeted Date for Completion: Within seven years of adoption of Plan.

Recommendation #6: Develop a Perry Hall Circulator.

Background: Like Hampden, downtown Baltimore and Washington D.C., Perry Hall will benefit from a short-range transit program. A circular route from White Marsh to Perry Hall will help reduce single occupancy vehicle trips thus improving air quality, decreasing traffic congestion and reliance on foreign oil. A proposed route would travel, from White Marsh Mall, north on Honeygo Boulevard; south on Belair Road; south on Silver Spring Road; south on Perry Hall Boulevard; and returning to the Mall. In addition to a circulator, improvement shall be made to existing transit facilities. Bus shelters shall be installed along Belair Road and Chapel Road for the #15 bus line.

Targeted Date for Completion: Within seven years of adoption of Plan.

Recommendation #7: Consider rotary designs for several key intersections.

Background: Perry Hall has several intersections that would benefit from a conversion to a roundabout, traffic circle or rotary. Roundabouts are safer for users and move traffic more efficiently. When accidents do occur in roundabouts, the

The Perry Hall Community Plan

fatality rate is near zero and damage is greatly reduced, as vehicles are not traveling along perpendicular paths. Travel times are reduced for vehicles, especially left-turning vehicles, which reduces congestion and improve air quality. Roundabouts also provide focal points for communities.

Possible intersections for rotary conversion include Honeygo Boulevard at Perry Hall Boulevard and Honeygo Boulevard at Joppa Road.

Targeted Date for Completion: Ongoing.

Recommendation #8: Evaluate the need for potential new streetscapes.

Background: In January 2010, Perry Hall's community leaders marked the completion of a streetscape project in central Perry Hall, between Cottingham Road and India Avenue. The streetscape included widened sidewalks, Americans with Disability Act accessibility, and a brick inlay, giving Belair Road a cleaner look. With future streetscape projects, all traffic modes should be accounted for in the planning and design. Pedestrian-only phases and ample crosswalks should be included in all future streetscapes.

Two potential streetscapes include an extension of the central Perry Hall streetscape project north to Chapel and Forge Roads, and a streetscape project along East Joppa Road from Belair Road past Hines Road, as recommended by the East Joppa Road Corridor Community Plan.

Targeted Date for Completion: Within seven years of adoption of Plan.

Recommendation #9: Support Improvements to Chapel Road

Chapel Road currently lacks proper drainage, which causes flooding, and erosion problems along the street. To improve these conditions, a context sensitive design should be implemented to address erosion while providing multiple connections such as sidewalks and a shared used path. Resurfacing and any road improvements should be done in a manner that is sensitive to the character of the surrounding neighborhood, which is lightly residential and agricultural.

Targeted Date for Completion: Ongoing

Recommendation #10: Consider policy shifts to improve transportation planning.

Background: The Perry Hall Community Plan endorses several policy shifts that can improve transportation planning:

- **Parking Consolidation and Intermodal Facilities at Public Areas.** A standard practice when designing parking lot capacity is to plan as if a "Black Friday" occurs everyday. This is not only a waste of valuable suburban land, but also creates unnecessary pavement, which decreases the water quality of local streams. Within central Perry Hall, the shopping center at Seven Courts, Super Fresh, Perry Hall Square, White Marsh Mall and the surrounding strip malls are covered in asphalt for cars that are not there. Future developments must follow parking maximums instead of minimums.

For future development within Perry Hall, excessive parking must be eliminated. When alternative transportation options

The Perry Hall Community Plan

exist, fewer parking spaces are needed. Providing sidewalk connections in the central Perry Hall and White Marsh Towne Center will foster “one park shopping” and allow redevelopment to take place. Through parking consolidation, developments can share parking spaces, which will help balance parking demand. Where excessive pavement exists, encourage private and public property managers to redevelop by placing additional retail outlets on the property and through conversion of the excess to green open space.

Bike parking, whether on street or on sidewalk, should be installed in convenient locations in all shopping centers, schools and recreational facilities.

- **Mandatory Traffic Impact Studies.** Performing traffic impact studies is a common practice among municipalities worldwide to assess how site developments will impact existing traffic conditions. Requiring developers to perform traffic studies will not only help district planners to prepare accordingly, but will also inform the community on how new development will affect area traffic. Depending on the assessment of Traffic impact studies, developers shall be responsible for any future traffic mitigation.
- **Mandatory Filling of Sidewalk Gaps.** For years, developers have completed only minimum sidewalk requirements or have been granted sidewalk waivers, leaving sections of sidewalks missing between roads, communities and commercial areas. These sidewalk gaps should no longer be tolerated and sidewalk waivers should no longer be

granted since they create further fragmentation of the pedestrian network.

- **Treatment of Utilities and Lighting.** Overhead power lines and telephone poles are an unsightly feature of the urban environment. Consolidating these utilities along underground vaults will eliminate a potential hazard, improve the streetscape, reduce power outages during storms and reduce obstacles for future roadway construction. Therefore, all improvement projects where utilities are affected above ground should be relocated to subterranean corridors. Additionally, the Perry Hall Community Plan recommends that when improvements are made to streetlights, energy efficient LED bulbs be used. Areas of the community needing lighting should be studied and prioritized.
- **Reduce Speed Limit for New Neighborhood Roads.** Reducing the speed limit on residential, non-through traffic roads creates a more livable roadway. While roads have a set speed limit, the road’s design speed is often 20-30 percent higher, meaning a street designated as 25 mph could be navigated by a car traveling in excess of 35-40 mph. Reducing the design speed also reduces the size of the road, which forces cars to travel slower. Slower traffic on residential streets creates a safer environment for residents. Therefore, all new residential, non-thru traffic roads should be designed for 20 mph.
- **Community Mapping.** As part of the Perry Hall Community Plan, a community mapping project is highly recommended. By creating a map of the

The Perry Hall Community Plan

Perry Hall area based on local knowledge, little known amenities and shortcuts can be shared.

- **Possible Roadway Conversion.** During community planning process, the entire area was re-evaluated. Roadways, on the average, cover 15-25% of a suburban area. Some roadways may not be needed as much as they were in the past. The section of Beaconsfield Drive between Castlemill Circle is a wide road that acts as a short-lived speedway from the residential area to a stoplight. The curve on Beaconsfield creates a blind spot for cars exiting Castlemill Circle. This area is especially dangerous at sunset when the sun lies at the western end of Beaconsfield. Closing this section of roadway to create a park would connect two wooded areas within the Castlemill community.
- **Community Review.** To foster a more symbiotic relationship between Perry Hall residents and county planners, engineers and developers, all capital improvement projects should be reviewed by the Perry Hall Improvement Association. As other Maryland municipalities have adopted a practice of holding community meetings during the planning phase of projects to alert the public to future development, receive valuable input from residents and alleviate conflicts. As the Perry Hall Improvement Association generally meets monthly, the availability for project review can be regularly scheduled.

Community review will also help identify where adjacent improvements are needed. As water or wastewater improvements are

made, smaller projects, such as sidewalk gaps, can be incorporated into the larger projects



A sidewalk gap on Ebenezer Road

Environmental Stewardship

The natural environment has played an important role in Perry Hall's history. Perry Hall is part of a vast network of streams that leads to the Great Gunpowder Falls and ultimately to the Chesapeake Bay. The geologic resources of the Gunpowder River Valley attracted industry and settlers to the area, and the region's soil influenced the type and scale of agricultural activity.

Humans have greatly altered the Gunpowder River Valley. The construction of Loch Raven Dam weakened the Great Gunpowder Falls, and much of the area's foliage was destroyed for farms and eventually development. Streams were particularly damaged during the building boom after the Second World War; many were cemented over, and others experienced significant erosion.

Since the 1990s, there has been a greater emphasis on environmental stewardship. This not only means conserving existing resources, but correcting mistakes from the past, such as the damage done to stream

The Perry Hall Community Plan

valleys and Perry Hall's depleted green canopy. In 2008, the Perry Hall Improvement Association—with assistance from the Gunpowder Valley Conservancy—initiated the Greening of Perry Hall, which aims to plant more trees throughout the community. There is also a greater public emphasis on recycling, using alternative energy, limiting pollution, and reducing the impervious surface of developments. The Perry Hall Community Plan strongly endorses efforts that reinforce an ethic of environmental stewardship.

Recommendation #1: Encourage the adoption of new laws and regulations that enhance Perry Hall's environment.

Background: The Perry Hall Community Plan endorses the adoption of new laws and regulations that prevent developers from relocating wetlands; discourage infill development in low lying areas where there are floodplain concerns; allow homeowners to harness alternative energy; and encourage developers to build green buildings.

Targeted Date for Completion: Ongoing.

Recommendation #2: Support county environmental initiatives that improve Perry Hall's stream valleys and enhance the Chesapeake Bay.

Background: The Perry Hall Community Plan strongly supports efforts by the Department of Environmental Protection and Resource Management (DEPRM) to improve Perry Hall's stream valleys. In 1987, DEPRM created a capital environmental restoration program to assess and identify water quality problems and implement design and construction strategies for watershed restoration projects.

In addition to stream restoration, DEPRM's efforts to improve and protect waterways include stormwater retrofits, waterway dredging, and shoreline erosion control measures. We must continue these efforts so our Chesapeake Bay will stay protected.



Stream near Pulaski Highway, South of Ebenezer Road

Targeted Date for Completion: Ongoing.

Recommendation #3: Support the Baltimore County Public Schools Environmental Science Stream Study Project.

Background: Our local high school students are helping with stream restoration through the BCPS Environmental Science Stream Study Project, which is currently included in the BCPS high school curriculum. This worthwhile project was funded through the Chesapeake Bay Trust grant, but due to budget cuts, it was not funded in fiscal year 2010. The Perry Hall Community Plan endorses maintaining this important project in our schools and having it funded by Baltimore County.

Targeted Date for Completion: Ongoing.

The Perry Hall Community Plan

Recommendation #4: Remove debris at Honeygo Run Regional Park and Indian Rock Park.

Background: Before the property was purchased by Baltimore County, the area now known as Honeygo Run Regional Park was used by some residents as a landfill. Among other items, there are hundreds of tires strewn throughout a steep valley in the park. Volunteers removed some of this debris in 2007 and 2008, but much of the garbage remains. Additionally, there is debris at Indian Rock Park, including old farm equipment. Baltimore County should coordinate the removal of this debris, which is dangerous to park visitors and damaging to the environment.

Targeted Date for Completion: Within two years of adoption of Plan.



Tree Planting along Ebenezer Road

Outstanding Schools and Learning Centers

There are ten public schools that serve the Perry Hall community—seven elementary schools, two middle schools, and Perry Hall High School. These schools have historically been ranked among the strongest in Baltimore County. They also serve as centers for community life in Perry Hall, hosting concerts, sporting events, and

classes for adults. According to real estate agents, Perry Hall's reputation for outstanding schools has been a major factor for new homebuyers.

In addition to these schools, there are two other public learning centers in the community. Seven Oaks Senior Center offers programs for older residents. The Perry Hall branch of the Baltimore County Public Library system has been wildly popular since it opened at its new location in 2009.

The Perry Hall Community Plan acknowledges the importance of these schools and community resources, which contribute to a culture of lifelong learning. The Community Plan endorses efforts to modernize many of these facilities and ensure they meet the needs of a growing population.

Recommendation #1: Immediately start the process of land acquisition/banking for the future construction of an additional high school within the northeast quadrant of Baltimore County.

Background: Overcrowding at area high schools has reached unsustainable and undesirable levels. The Perry Hall Community Plan recommends that land be preserved for a new high school in northeastern Baltimore County. This new high school would incorporate a hybrid structure, with a co-located magnet program (perhaps focusing on green technology), as well as a general academic curriculum to best serve the needs of the entire community. This Community Plan recommends relaxing the acreage requirement if it accelerates the construction of a new high school, as long as there are

The Perry Hall Community Plan

sufficient opportunities for the local recreation council nearby.

Targeted Date for Completion: Acquisition of land within three years of adoption of Plan.

Recommendation #2: Implement strategies that enhance the Seven Oaks Senior Center.



Seven Oaks Senior Center

Background: The Seven Oaks Senior Center provides important resources for Perry Hall's older residents. Periodically, there have been calls for a second senior center in Perry Hall. These requests were reviewed and found to be unnecessary at this time, as long as additional resources are made available to cross-utilize existing and proposed future facilities. The Perry Hall Community Plan recommends that Baltimore County consider the amenities available at live-in retirement facilities such as Oak Crest Village in assessing the future need for senior facilities. Raw statistics may unfairly skew an inflated need for additional county facilities, since many residents would not use a facility due to the availability of programs at their own Residential Senior Living Center.

The Perry Hall Community Plan recommends the following strategies to enhance the Seven Oaks Senior Center.

First, the county should provide additional transportation assistance to facilitate greater use of the senior center, and construct additional parking to accommodate new members. Second, once the multi-use facility at Gough Park is built, the county should provide access by members of the Seven Oaks Senior Center as a way to increase senior participation—without incurring additional operational costs or paying for an additional senior center. Third, the county should use community networks to increase advertising for the Seven Oak Senior Center, boosting membership. Finally, the county should increase operating hours for the Seven Oaks Senior Center fitness facility.

Targeted Date for Completion: Within four years of adoption of Plan.

Family Life and Recreation

In the early 1970s, when the *Baltimore Sun* wanted to profile the typical Maryland suburb, they came to Perry Hall, "a great place for growing up: or old." In a January 1973 article in their Sunday magazine, the newspaper claimed that "Perry Hall has a lot to offer: plenty of open space, grass and trees, fresh air, a real small-town sense of living, and few crowds, drugs, noise and pollution to fight." One resident even called his quiet home town "perfect."

While Perry Hall community has changed, it retains a family-friendly atmosphere, with a low crime rate and many opportunities for children and families. Houses of worship offer spiritual guidance and programs for many families. The library is a center of activity, while Perry Hall's two recreation councils provide a variety of recreational programs for thousands of Perry Hall

The Perry Hall Community Plan

residents. The Perry Hall and White Marsh Recreation Councils have been recognized as among the most active in Baltimore County. The Perry Hall Community Plan strongly endorses opportunities for recreation and family life that attract and retain residents.

Recommendation #1: Coordinate any open space and park projects with the Perry Hall and White Marsh Recreation Councils.

Background: The Perry Hall Community Plan recommends that any land acquisition, planning, design, and construction associated with new projects be coordinated with the Perry Hall and White Marsh Recreation Councils. This would limit possible duplication of resources, while improving community access to parks and recreational facilities.

Targeted Date for Completion: Ongoing.



Honeygo Run Regional Park Sign

Recommendation #2: Complete Gough and Asbury Parks as the next elements of Perry Hall's recreation and parks system.

Background: Baltimore County should make every effort to complete Gough and Asbury Parks by 2014. These facilities are located on either side of Honeygo Boulevard at East Joppa Road.

Gough Park is located to the east of Honeygo Boulevard, immediately across from Camp Chapel United Methodist Church. It is named in honor of Harry Dorsey Gough, the founder of Perry Hall, and his wife Prudence. The Perry Hall Community Plan recommends that two specific elements be strongly considered for inclusion in the design of this project.

First, at the urging of the Perry Hall Recreation Council, this Community Plan recommends that a multi-use, gymnasium-like facility be developed at the Gough Park site or a similar location. If the facility is located at Gough Park, it should be located at an aesthetically appropriate location, ideally toward the far corner of the site, out of respect for the historic setting of Camp Chapel Church. Additionally, all parking at Gough Park should be located away from Camp Chapel Church. Second, there is also a desire for a "creative" children's playground modeled after "Annie's Playground" in Fallston. This Community Plan recommends that Baltimore County consider a theme for the children's playground to compliment the historic setting of Camp Chapel Church.

The Perry Hall Community Plan



Gough Park Sign

Asbury Park is located to the west of Honeygo Boulevard, across from Chapel Road. This property is named in honor of Francis Asbury, an early leader in the Methodist Church and friend of the Goughs. Asbury Park is the site of a proposed skate park. The Perry Hall Community Plan recommends that the skate park be located away from Camp Chapel Church, and that recommendations for the skate park incorporate input from the target audience to ensure best use of the facility.

During a Community Input Meeting for the development of the skate park, potential users of the skate park were questioned about their expectations for the property. They said they were looking for a simplistic bowl or ramp system to develop their skills. There seemed to be a lack of interest in the elaborate "course" that had previously been planned. The Community Plan recommends that any excess funds saved by reducing the scope of the skate park be used for the children's playground and multi-use facility.

A variety of existing funding streams are presently available to help finance these projects. Specifically, these include (1) state capital funding (a 2007 bond bill allocation of \$100,000 for the skate park); private

funding collected by the Perry Hall Recreation Council for the multi-use facility/gymnasium project; and (3) funding available through a recently adopted Planned Unit Development (PUD) resolution for the Nottingham Ridge project. The requestor of this PUD, Corporate Office Properties Trust (COPT) has committed to a Community Benefits Package that would provide funding for all planning and design work for Gough Park.



Asbury Park Location

The Perry Hall Community Plan strongly encourages that Gough and Asbury Parks advance immediately. There is concern about a potential lapse in the state capital funding approved in 2007. The Community Plan also encourages research to ascertain that there are no unfinished state or county funded projects in which funding could expire without immediate utilization of available funds. To the extent that such a situation were found to exist, any projects in jeopardy of losing funding due to expiration should be given priority.

Targeted Date for Completion: Within three years of adoption of Plan.

The Perry Hall Community Plan

Recommendation #3: Once Gough and Asbury Parks are finished, complete all other unfinished park properties in Perry Hall.

Background: In addition to Gough and Asbury Parks, the county owns three other undeveloped park properties: Joppa Trail Park in the 4700 block of Honeygo Boulevard; Forge View Park off Forge View Road; and Indian Rock Park between Ebenezer and Silver Spring Roads. The engineering and design have not been completed for the first two properties; however, the Perry Hall Community Plan endorses a connection between the future Joppa Trail Park and Honeygo Run Regional Park. Indian Rock Park should not be actively developed, but serve as a passive recreational area, with a nonmotorized hiker-biker trail that extends through the park from Ebenezer Road.



Indian Rock Park location

Targeted Date for Completion: Within six years of adoption of Plan.

Recommendation #4: Complete a new large park on the western side of Belair Road.

Background: Baltimore County should complete at least one new major park west of Belair Road to serve the densely

populated areas between Seven Courts Drive and the Gunpowder River. Potential sites include undeveloped land across from Hines Road at Joppa Road; the farmland near Holiday Manor Road; and acreage near Perry Hall Road.

Targeted Date for Completion: Within ten years of adoption of Plan.

Recommendation #5: Request that the Maryland Department of Transportation conduct an environmental study of the state-owned undeveloped land at Minte Drive on Belair Road. If the study shows that this property is not contaminated, it is recommended that this property be transferred to Baltimore County for a community park.

Background: Since 2001, the Perry Hall Improvement Association has sought to have the state-owned property at Minte Drive and Belair Road converted into a public park. The Ehrlich administration proposed selling the parcel to Baltimore County, but the county declined the offer due to concerns about underground storage tanks across Belair Road. The Perry Hall Community Plan endorses the acquisition of this property if an environmental study shows that it is not contaminated. Baltimore County's NeighborSpace funding could be a possible source for funding. Once acquired, this parcel should be named Turnpike Park in honor of the Baltimore and Jerusalem Turnpike that later became Belair Road.

Targeted Date for Completion: Within three years of adoption of Plan.

Recommendation #6: Redesignate a majority of the parking spaces on the western side of Honeygo Run Regional

The Perry Hall Community Plan

Park, across from Honeygo Boulevard, for nondisabled motorists.

Background: Currently, all of the spaces on the Kahl Avenue side of Honeygo Boulevard are designated for disabled motorists. The Perry Hall Community Plan recommends that a majority of these be reserved for nondisabled motorists and that, if necessary, disabled parking be expanded closer to the center.

Targeted Date for Completion: Within one year of adoption of Plan.

A Sense of History and Place

Perry Hall's heritage is a powerful asset, providing an important sense of place and identity. The Perry Hall Mansion is a link to the community's colonial past, and other landmarks—such as its houses of worship—provide evidence of sweeping historical changes.

Various organizations have worked hard to incorporate Perry Hall's heritage into many aspects of community life. When it opened, Perry Hall High School incorporated the Gough coat-of-arms and the Perry Hall Mansion on class rings. The Perry Hall Improvement Association has published books on the community's history; erected a series of historical markers; worked with Baltimore County to provide names for parks that reflect Perry Hall's heritage; and purchased historical photographs that were placed in the new public library. The Perry Hall/White Marsh Business Association has sponsored contests to select a community logo and motto—Perry Hall: The Spirit of Community. The Friends of the Perry Hall Mansion sponsors tours of the mansion, cleans the property, and actively supports

the renovation and refurbishment of this landmark.



Perry Hall Mansion

In the late Twentieth Century, there was concern that Perry Hall's identity might be lost with the growth of the White Marsh Town Center and the establishment of a Nottingham Post Office that included much of Perry Hall. The efforts just described, however, have anchored the Perry Hall community with an established history and identity. The Perry Hall Community Plan strongly endorses future projects that educate the public about local history and reinforce a defined setting for the community.

Recommendation #1: Support the ongoing restoration of the Perry Hall Mansion, with a goal of completing the project by 2014-2015.

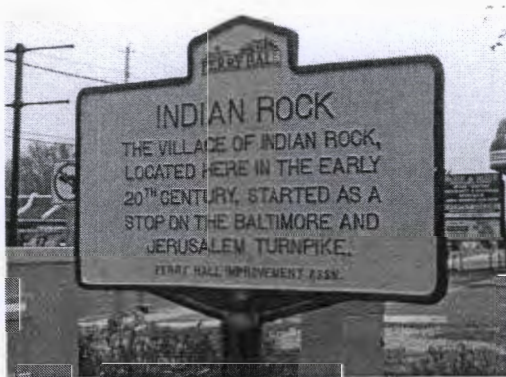
Background: Baltimore County should work collaboratively with the volunteer Friends of Perry Hall Mansion organization, in order to guide the future restoration and adaptive reuse of this important historical landmark.

The Friends of the Perry Hall Mansion will work towards obtaining a Use & Occupancy Permit for the Mansion, ideally in 2011. This will facilitate the opportunity to raise

The Perry Hall Community Plan

funds and generate operating budget capital. Optimally, a completion date sometime between 2014 and 2015 should be targeted for the Perry Hall Mansion project.

Targeted Date for Completion: Within six years of adoption of Plan.



Indian Rock Historical Marker

Recommendation #2: Erect historical markers at significant properties in Perry Hall.

Background: The Perry Hall Community Plan endorses the erection of historical markers at culturally significant locations, with the permission of property owners. These sites may include the Jacob Seddon House on East Joppa Road, the abandoned quarry at Cowenton Ridge Park, and the cemetery adjacent to Perry Hall High School's tennis courts and Indian Rock Park.

Targeted Date for Completion: Ongoing.

Recommendation #3: Continue to develop a distinct identity for Perry Hall by incorporating the logo on signs and promotional materials.

Background: The Perry Hall Community Plan encourages businesses and community institutions to use the Perry Hall logo on

signs and promotional materials. The logo may be placed at prominent places in the community, such as the two water towers.

Targeted Date for Completion: Ongoing.

The Perry Hall Community Plan

III. APPENDIX

KEY PARTICIPANTS IN THE DEVELOPMENT OF THE PERRY HALL COMMUNITY PLAN

David Marks, Chair
Debra Beaty
Diane Brazil
Christopher A. Defeo
John Dingedahl
Nate Evans
Dee Hodges
William Libercci, Sr.
Charles L. Marks
Rani Merryman
Bill Paulshock
Pat Pudelkewicz
Dennis Robinson
Jeffrey W. Smith

Green Infrastructure Subcommittee

Diane Brazil, Chair
Delegate Joseph Boteler
Delegate Eric Bromwell
Frances Craig
Christopher A. Defeo
Glenn Ferenschak
Paul Pudelkewicz
Steve Verch

Neighborhoods and Commerce Subcommittee

Debra Beaty, Chair
Steve Amenta
Frances Craig
Suki Deaver
Jenny King
Senator Kathy Klausmeier
William Libercci
Mark Mohr
Bill Paulshock
Pat Pudelkewicz
Alfred W. Redmer, Jr.

The Perry Hall Community Plan

Public and Cultural Resources Subcommittee

Rani Merryman, Chair
Ed Cindric
Frances Craig
Rosemarie Durkin
Glenn Ferenschak
Charles L. Marks
Norma Secoura
Jeffrey W. Smith
Howard Wille

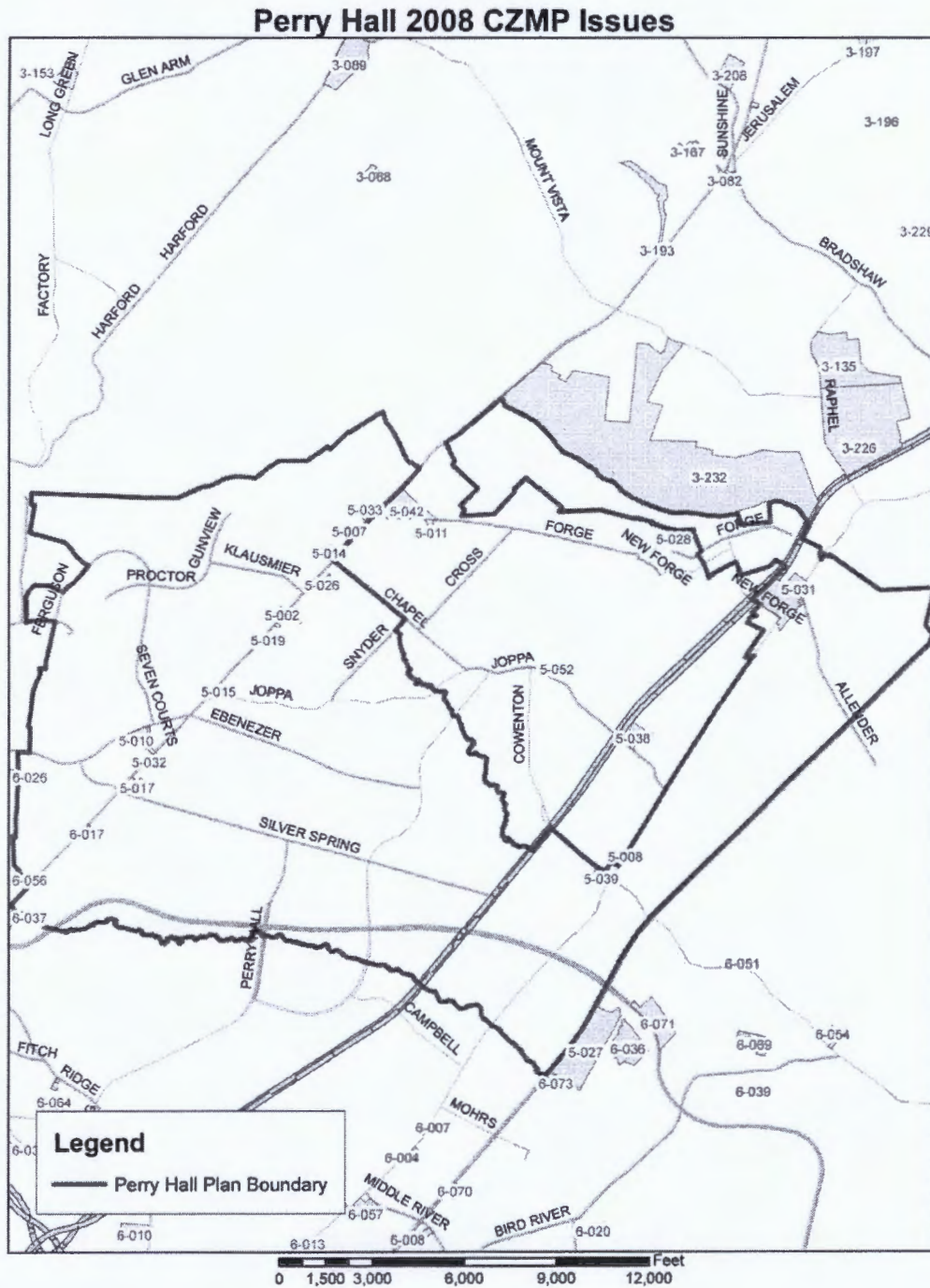
Transportation and Infrastructure Subcommittee

Nate Evans, Chair
Roger Dunn
Jim Durkin
Dennis Eckard
Dee Hodges
Victoria Jenkins

The Perry Hall Community Plan

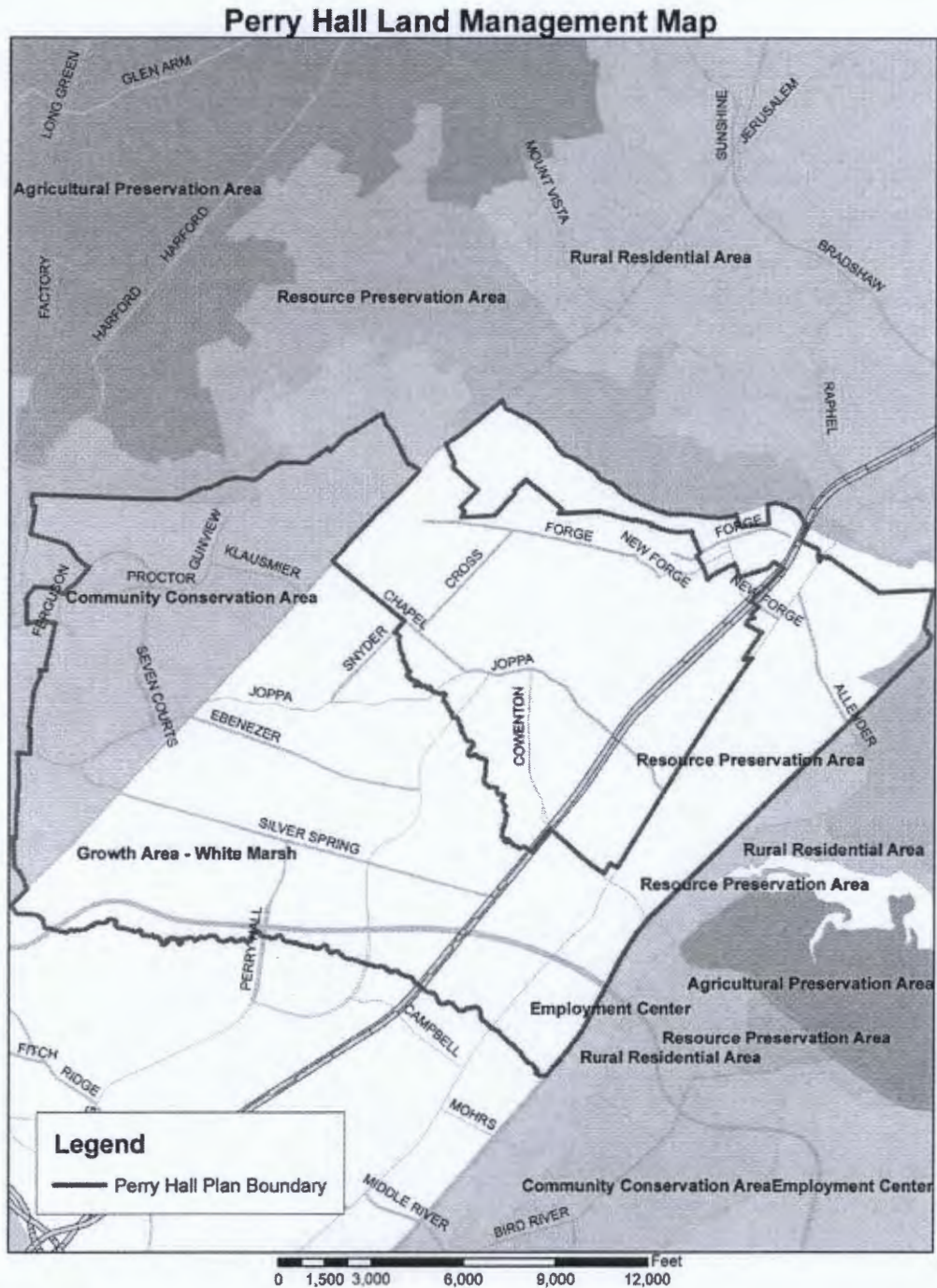
Maps

Map 1: 2008 Comprehensive Zoning Map Process



The Perry Hall Community Plan

Map 2: Perry Hall Land Management Map



The Perry Hall Community Plan

Charts

Chart 1: Perry Hall Community Plan Zoning Breakdown

Zone	Acreage	Percent of Total
BL	155.4	2.1%
BLR	28.2	0.4%
BM	126.3	1.7%
BR	71.2	1.0%
CB	7.5	0.1%
DR 1	206.0	2.8%
DR 10.5	133.9	1.8%
DR 16	414.8	5.6%
DR 2	848.8	11.5%
DR 3.5	1,386.7	18.8%
DR 5.5	2,286.4	30.9%
MH	173.7	2.4%
ML	659.1	8.9%
MLR	262.5	3.6%
O 3	6.9	0.1%
RAE 1	17.5	0.2%
RC 2	435.3	5.9%
RC 20	65.0	0.9%
RC 5	53.0	0.7%
RC 50	0.0	0.0%
RO	38.1	0.5%
ROA	14.0	0.2%
Total	7,390.5	100.0%
Total Commercial	388.6	5.3%
Total Residential	5,294.1	71.6%
Total Residential Office	52.2	0.7%
Total Manufacturing	1,102.2	14.9%
Total Resource Conservation	553.4	7.5%

Chart 2: Total Population

Total Population	
	Perry Hall Plan
Total	37,561

The Perry Hall Community Plan

Chart 3: Population Pyramid

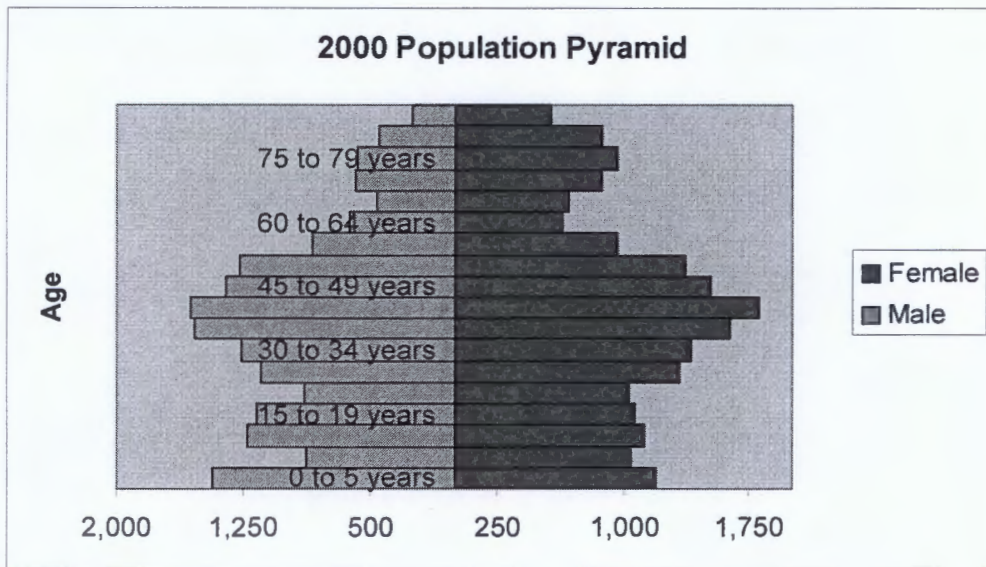


Chart 4: Median Income

Median Income	
	Perry Hall Plan
Median household income in 1999	56,063

Chart 5: Occupied Housing Units

Occupied Housing Units		
	Perry Hall Plan	Percentage
Owner occupied	11,289	72.2%
Renter occupied	4,343	27.8%
Total:	15,632	

The Perry Hall Community Plan

Chart 6: Household Size

Household Size		
	Perry Hall Plan	Percentage
1-person household	4,608	29.5%
2-person household	5,262	33.7%
3-person household	2,462	15.7%
4-person household	2,185	14.0%
5-person household or more	1,115	7.1%
Total:	15,632	

Chart 7: Employment

Employment		
	Perry Hall Plan	Percentage
In labor force:	20,785	68.8%
Employed	20,050	66.4%
Unemployed	687	2.3%
Not in labor force	9,433	31.2%
Total:	30,218	

Chart 8: Transit

Transit		
	Perry Hall Plan	Percentage
Car, truck, or van:	18,836	95.0%
Drove alone	16,813	84.8%
Carpooled	2,023	10.2%
Public transportation:	297	1.5%
Walked	134	0.7%
Total:	19,828	



Baltimore County
Office of Planning
Jefferson Building
105 W. Chesapeake Avenue, Ste 101
Towson, Maryland 21204

<http://www.baltimorecountymd.gov/go/planning>



**PERRY HALL
COMMERCIAL REVITALIZATION
DISTRICT**

 Commercial Revitalization District

Map Prepared May 14, 2015
Baltimore County Department of Planning
105 W Chesapeake Ave, Towson, MD 21204

Data Sources:
CRD - Baltimore County Dept of Planning
All Other - Baltimore County Office of Info Tech

PETITIONER'S

EXHIBIT NO. 15



Prot. 1







November 6, 2015

Neighbors,

Need your help. Rosedale Federal in my opinion is trying to get a zoning change through Baltimore County for a parking lot on Bel Air Road. The parking lot has to be approved by Baltimore County or the RF will not be able to build their giant proposed addition to the bank. The approximate location for their giant addition is where the community gardens use to be.

I have their proposed drawing which in my opinion will create all kinds of havoc in our already over run community once complete.

In my opinion RFs Architect and Civil Engineer were more concerned with sunshine coming through the new addition windows then any consideration for the neighbors. The list of poor decisions and design are too long to mention.

I have the proposed drawings for the addition and parking lot and would be more than happy to meet with anyone at any time. Please feel free to email and or call Steve Davis.

sldoc1@yahoo.com. 410-529-4575

Thank you for your help,

Stephen Davis
4147 Glen Park Road.
Baltimore, MD 21236

Public Hearing

When: Thursday November 12, 2015

Where: Rm 205 Jefferson Building Towson MD, 21204

Time: 10 AM

NO WAY ROSEDALE

KEEP PROMISES

NO BUILDING/PARKING LOT

SAVE OPEN SPACE

This letter is the opinion of Stephen Davis from my interactions with Rosedale Federal on this matter. Contact Rosedale Federal. Linda Muffoletto 410-668-4400 ext. 313 or Nancy Alperstein at 410-668-4400 ext. 336. Call them to form your own opinion.

Traffic issues ??

Prots. No. 2

My name is Stacy Byer
and I reside at 4127
Jochsomond Dr. I am
opposed to the Construction
of a new building behind
the Rosedale Federal Bank
due to the fact that it
would be too close to the
Residence of this neighbor-
hood.

Stacy Byer

RE: Rosedale Federal Bank
Case # 2016-0063-SPH
9616 & 9618 Belair Road

Baltimore County Zoning Office

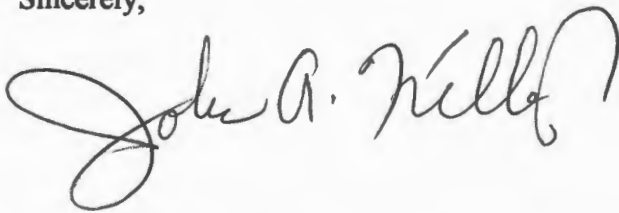
Dear Sirs:

It has come to my attention that Rosedale Federal Bank has petitioned your office for a zoning hearing (case #2016-0063-SPH) for a use permit to approve accessory parking in a residential (RO) zone. Since the year 2000, I have owned and am living at 4149 Glen Park Road just behind the bank proposed new building. In the first place, I was unaware that the bank was proposing to construct a new 2 story building with 10,300 GSF. Secondly, I was unaware of the additional parking spaces requested to accommodate bank customers. A neighbor actually informed me of this bank request on Monday, November 9, 2015.

I have admired the Rosedale Bank personnel for the way they have maintained their property and their building's appearance in our neighborhood. The bank's new proposal to construct another building with the additional parking to accommodate it would present a negative impact to the surrounding neighborhood. This area of Baltimore County has had tremendous expansion within the past ten years with new shopping centers, retirement homes, and various businesses.

With this in mind, I would have to object to the bank proposal as planned. Perhaps if the new building and new parking area locations were reversed, it would be a better fit in the community.

Sincerely,



11/10/15

John A Kelly Jr
4149 Glen Park Road 21236
410-256-2883

NOVEMBER 11, 2015

TO BALTO. CO. ZONING BOARD,
I RESIDE AT 4132 BAKER LANE
WHICH IS NEXT DOOR TO THE EXISTING
ROSEDALE FEDERAL BUILDING.

I HAVE JUST DISCOVERED THEIR
INTENTION TO BUILD ANOTHER
BUILDING AND I AM STRONGLY
OPPOSED TO A NEW STRUCTURE
BEING BUILT.

WHEN THE NEW STRUCTURE WAS
BUILT, WE WERE INFORMED THAT NO
NEW CONSTRUCTION WOULD TAKE
PLACE FOR 15 YEARS. THE NEW
EXISTING STRUCTURE WAS BUILT IN
APPROXIMATELY 2010/2011.

Delna Rodgill
410-409-7037

To: Linda Muffoletto, Nancy Alperstein,
on whom it may concern,

My name is Michael Horn and I reside
at 4145 Glen Park Rd. I am hearing
about Rosedale Federal trying to put a
grant proposed addition to the bank,
right behind where I reside at. I
want to be at the hearing but since
I can't, I am writing this letter
to tell you I am highly opposed to
the idea. As far as I am concern
Rosedale Federal has ample enough
space already. So in closing I do
not want more clutter taking up space
in my neighborhood. Have some consideration
for the residences of the neighborhood.

THANK YOU,
Michael Horn

Rosedale Federal S & L Association,

As residents of the affected area you plan to expand into, we hope you take time to re-plan how large of a structure and how much more space you intend to take up in an already crowded neighborhood. You will be detracting from the overall look of the area and potentially hurting the value of our homes, not to mention the additional noise and light pollution you will be adding.

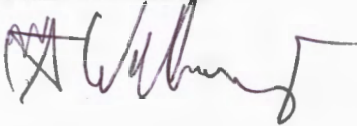
The additional space would be much better served as a community area where our kids can play. This area is already overcrowded with commercial buildings and there are many, many vacant office buildings in the White Marsh area. We do not understand the point in wasting more space, money and resources on new buildings.

Here are some suggestions we strongly recommend in the case you decide to compromise in some way:

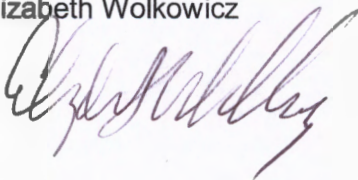
- 1) Please do not have any lighting that will point towards any of the houses. There is already too much commercial lighting and noise coming from Route 1 and the surrounding area.
- 2) Do not put any large buildings behind the existing building closer to the homes. Nothing is preferred, but a parking area is more acceptable than a building.
- 3) Surround the area with a tall tree-line so we can at least maintain a nice view of the stretch of land between the rows of homes. I am positive you would not want a bland bank building sitting directly in your own backyard.
- 4) Please ensure this neighborhood remains a safe and enjoyable place to raise our families.

Sincerely,
Residents of 4139 Loch Lomond Drive

Ethan Wolkowicz



Elizabeth Wolkowicz



11/11/15

As a resident of 4143 Glen Park Rd, I
oppose any new construction at Rosedale Federal
which is behind my property.

Pamela H Hess

RESTRICTIVE COVENANT AGREEMENT

THIS RESTRICTIVE COVENANT AGREEMENT ("Agreement"), dated May 3, 2008, is hereby made by and between ROSEDALE FEDERAL SAVINGS AND LOAN ASSOCIATION ("Rosedale") and the PERRY HALL IMPROVEMENT ASSOCIATION, INC. (the "PHIA").

WHEREAS, Rosedale is the owner in fee simple of all that property situate and lying in the 11th Election District of Baltimore County, Maryland, and more particularly described in a Deed dated February 16, 1961, and recorded in the Land Records of Baltimore County in Liber 3812, folio 1, from E. Scott Moore and Robert E. Carney, Jr. to Rosedale Federal Savings and Loan Association (the "Property").

WHEREAS, Rosedale desires to expand the existing office building located on the Property. In order to accomplish this goal, the Rosedale has petitioned to have a portion of the Property rezoned from 0.1 acres of RO and 0.9 acres of DR 5.5 to 1.0 acre of BL through the 2008 Comprehensive Zoning Map Process (the "Rosedale Application").

WHEREAS, the PHIA, has agreed to support the Rosedale Application on the condition that Rosedale will subject the Property to the restrictive covenants, hereinafter defined and set forth below, which are for the purpose of protecting the value and desirability of the Property and the surrounding area;

WHEREAS, in exchange for the support of the PHIA in connection with the Rosedale Application, Rosedale desires to subject the Property to the restrictive covenants set forth below, which are for the purpose of protecting the value and desirability of the Property and the surrounding area, for a period of fifteen (15) years from the start of construction;

WHEREAS, Rosedale hereby declares that the Property shall be held, sold, and conveyed for the next fifteen (15) years from the start of construction subject to the restrictive covenants set forth below on the condition that the Property be rezoned to BL based on the Rosedale Application.

NOW, THEREFORE, in consideration of the support of the PHIA and the benefits derived from Rosedale, its successors and assigns, Rosedale hereby declares that the Property shall be held, sold and conveyed subject to the following restrictive covenants for the period stated in this Agreement, which are for the purpose of protecting the value and desirability of the Property and the surrounding area, and agrees as follows on the condition that the Property be rezoned based on the Rosedale Application to BL:

1. Height Restriction. Any building erected on the Property shall not exceed two stories in height.
2. Building Exterior. Any building erected or any extension of an existing building on the Property shall be finished with brick.

Prot. No. 3

WITNESS the due execution of this Restrictive Covenant Agreement by the parties hereto.

ATTEST/WITNESS:

ROSEDALE FEDERAL SAVINGS AND
LOAN ASSOCIATION

[Signature]

By: [Signature] (SEAL)

Name: THOMAS C. WINTZ

Title: PRESIDENT

ATTEST/WITNESS:

PERRY HALL IMPROVEMENT
ASSOCIATION, INC.

[Signature]

By: [Signature] (SEAL)

Name: DAVID MARRAS

Title: PRESIDENT

STATE OF MARYLAND, CITY/COUNTY OF BALTIMORE, TO WIT:

I HEREBY CERTIFY, that on this 8th day of May, 2008, before me, a Notary Public in and for the State and County aforesaid, personally appeared Thomas S. Wintz, and that he/she as President, being authorized to do so, executed the foregoing Restrictive Covenant Agreement for the purposes therein contained, but signing the name of the Rosedale Federal Savings and Loan Association, Inc., by himself/herself as such President, and IN MY PRESENCE SIGNED AND SEALED THE SAME.

AS WITNESS my hand and Notarial Seal.

[Signature]
NOTARY PUBLIC

My Commission Expires:

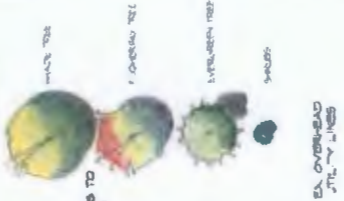
7/1/2009

MAINTENANCE CATEGORY	CALL	QTY	PLANTING 34" CROWN
ADJACENT ROADWAY	241	1	1
INTERIOR ROADWAY	242	1	1
ADJACENT PARKING	243	1	1
PARKING ADJACENT TO RESIDENTIAL	244	1	1
PARKING ADJACENT TO COMMERCIAL	245	1	1
PARKING ADJACENT TO ROAD CORNER	246	1	1
DRIVEWAY ENTRANCE	247	1	1

PROPOSED PLANTING	QTY	PLANTING 34" CROWN
241	1	1
242	1	1
243	1	1
244	1	1
245	1	1
246	1	1
247	1	1

FORMER CONSERVATION AREA

LEGEND



MAY 8, 2008
N.T.S.

ROSEDALE FEDERAL SAVINGS
& LOAN ASSOCIATION
FERRY - AL VARYLAND

BAKER LANE

MORRIS & RITCHIE ASSOCIATES, INC.
Landscape Architects
10000 W. 10th Ave., Suite 100
Denver, CO 80202
Tel: 303.733.1111
Fax: 303.733.1112





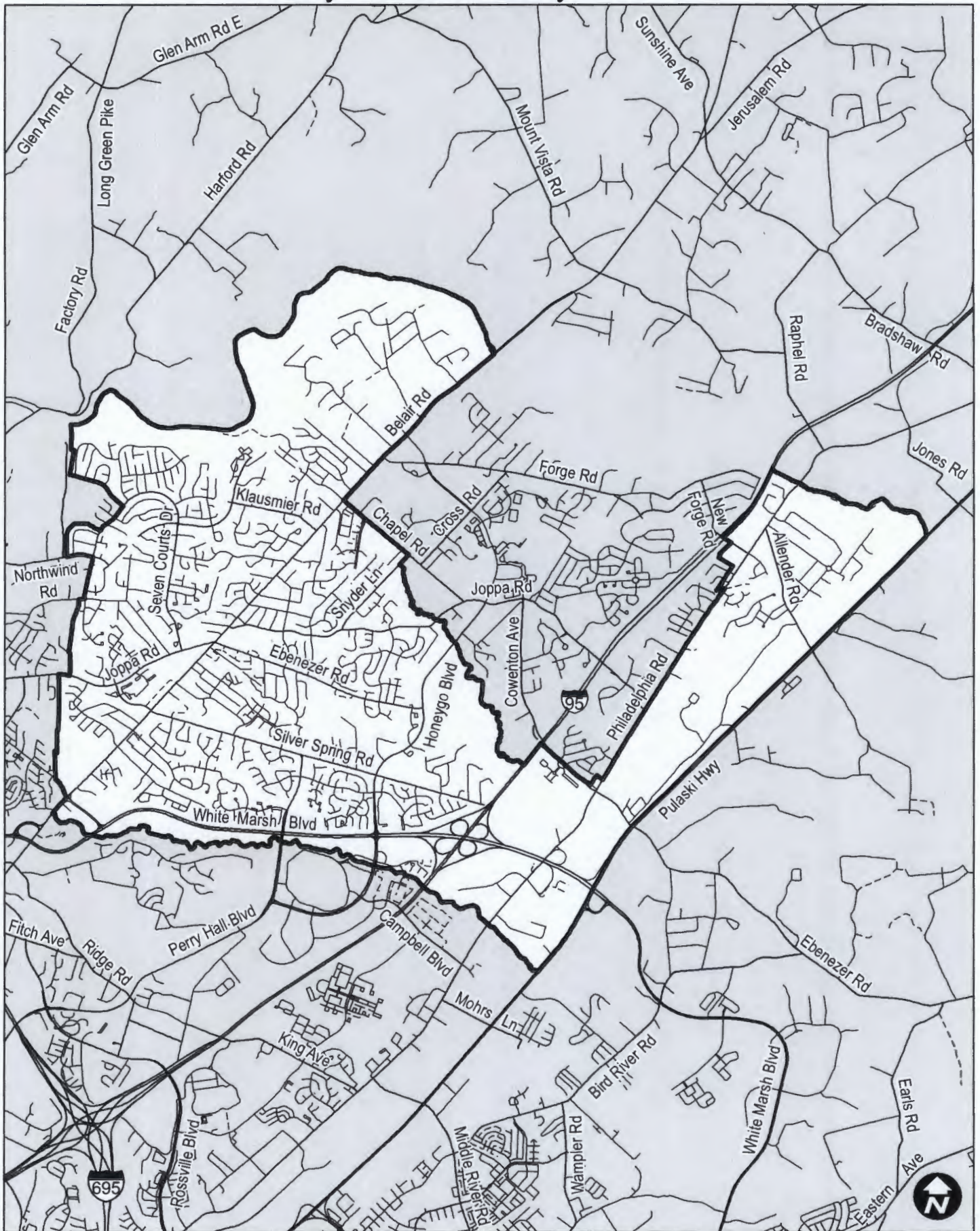


THE PERRY HALL COMMUNITY PLAN

**ADOPTED BY
THE BALTIMORE COUNTY COUNCIL**

FEBRUARY 22, 2011

Perry Hall Community Plan Area



0 4,500 9,000 13,500 Feet

COUNTY COUNCIL OF BALTIMORE COUNTY, MARYLAND
Legislative Session 2011, Legislative Day No. 3

Resolution No. 13-11

Councilmembers Marks & Bevins

By the County Council, February 7, 2011

A RESOLUTION of the Baltimore County Council to adopt the Perry Hall Community Plan as part of the Baltimore County Master Plan 2020.

WHEREAS, the Baltimore County Council adopted the Baltimore County Master Plan 2020 on November 15, 2010; and

WHEREAS, the County Council asked the Planning board to prepare a Perry Hall Community Plan (Resolution 104-08); and

WHEREAS, the Perry Hall Community Plan was prepared in close cooperation with the Perry Hall Community Plan Steering Committee; and

WHEREAS, the Plan was the subject of a public hearing by the Planning Board and was adopted by the Board on November 18, 2010; and

WHEREAS, the County Council held a public hearing on the recommended Perry Hall Community Plan on January 18, 2011.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNTY COUNCIL OF BALTIMORE COUNTY, MARYLAND, that the Perry Hall Community Plan, as amended, a copy of which is attached hereto and made a part hereof, be and it is hereby adopted and incorporated into the Baltimore County Master Plan 2020 to be a guide for the development of the Perry Hall Community area, subject to such further modifications as deemed advisable by the County Council.

**PROPOSED AMENDMENTS TO THE
PERRY HALL COMMUNITY PLAN**
Councilmembers Marks & Bevins

- (A) On page 1, in the first line of the first paragraph under "Purpose of the Plan", strike "1st" and substitute "1"; in the first line of the second paragraph, after "passed" insert a comma.
- (B) On page 1, strike the paragraph under "Background Information" and substitute the following:
"The boundaries of the Perry Hall Community Plan are Simms and Magledt Avenues on the west; the Greater Gunpowder Falls on the north; Pulaski Highway on the east, excluding the Honeygo Plan District; and White Marsh Run on the south. Honeygo is considered part of Perry Hall, but has its own Community Plan."
- (C) On page 5, strike "CCBC" and substitute "Community College of Baltimore County; and delete, in its entirety, Recommendation #3.
- (D) On page 8, strike the first sentence under "Gunpowder View Trail" and substitute the following:
"This Community Plan endorses converting the former right-of-way for the Gunview Road extension into a trail. With the acquisition of additional land, this trail would allow hikers and bicyclists to more readily access Gunpowder Falls State Park and the Seven Courts Drive area."
- (E) On page 10, strike "ADA" and substitute "Americans With Disabilities Act"; and under Recommendation #9, underline "Targeted Date for Completion"
- (F) On page 12, delete, in its entirety, Recommendation #11.
- (G) On page 17, in the first sentence of the third paragraph under Recommendation #2, after "Gough Park site", insert "or a similar location"

(H) Insert the following after line 28:

**"KEY PARTICIPANTS IN THE DEVELOPMENT OF
THE PERRY HALL COMMUNITY PLAN**

Perry Hall Community Plan Steering Committee

David Marks, Chair
Debra Beaty
Diane Brazil
Christopher A. Defeo
John Dingedahl
Nate Evans
Dee Hodges
William Libercci, Sr.
Charles L. Marks
Rani Merryman
Bill Paulshock
Pat Pudelkewicz
Dennis Robinson
Jeffrey W. Smith

Green Infrastructure Subcommittee

Diane Brazil, Chair
Delegate Joseph Boteler
Delegate Eric Bromwell
Frances Craig
Christopher A. Defeo
Glenn Ferenschak
Paul Pudelkewicz
Steve Verch

Neighborhoods and Commerce Subcommittee

Debra Beaty, Chair
Steve Amenta
Frances Craig
Suki Deaver
Jenny King
Senator Kathy Klausmeier
William Libercci
Mark Mohr
Bill Paulshock
Pat Pudelkewicz
Alfred W. Redmer, Jr.

Public and Cultural Resources Subcommittee

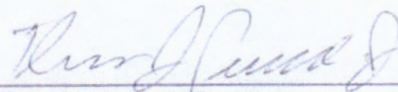
Rani Merryman, Chair
Ed Cindric
Frances Craig
Rosemarie Durkin
Glenn Ferenschak
Charles L. Marks
Norma Secoura
Jeffrey W. Smith
Howard Wille

Transportation and Infrastructure Subcommittee

Nate Evans, Chair
Roger Dunn
Jim Durkin
Dennis Eckard
Dee Hodges
Victoria Jenkins"

READ AND PASSED this 22ND day of FEBRUARY, 2011.

BY ORDER

A handwritten signature in blue ink, appearing to read "Tom Peddicord Jr.", is written over a horizontal line.

Thomas J. Peddicord, Jr.
Secretary

ITEM: RESOLUTION 13-11

COUNTY COUNCIL OF BALTIMORE COUNTY, MARYLAND
Legislative Session 2008, Legislative Day No. 21

Resolution No. 104-08

Mr. Vincent J. Gardina, Councilman

By the County Council, December 1, 2008

A RESOLUTION of the Baltimore County Council requesting the Baltimore County Planning Board to prepare a community plan for the Perry Hall area of Baltimore County.

WHEREAS, the Baltimore County Council adopted the Baltimore County Master Plan 2010 on February 22, 2000; and

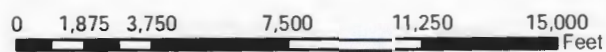
WHEREAS, the Master Plan places great importance upon the development of community plans for established areas of the County; and

WHEREAS, the Perry Hall area of the County, as shown on the map attached hereto as Exhibit A, is a vital part of the County's Fifth Councilmanic District; and

WHEREAS, an effective community plan for the Perry Hall area will serve to promote the stabilization and improvement of the community; and

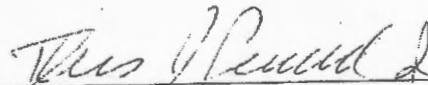
WHEREAS, the Perry Hall area has a population with the need for recreational, social, and community support requirements.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNTY COUNCIL OF BALTIMORE COUNTY, MARYLAND, that the Baltimore County Planning Board is requested to conduct an assessment of community needs and issues in the Perry Hall area, with full opportunity for participation by the area's citizens, businesses, organizations and institutions, and to prepare a community plan for the area, suitable for adoption by the Planning Board and the County Council as part of and an amendment to the Master Plan.

[illegible]

READ AND PASSED this **1ST** day of **DECEMBER**, 2008.

BY ORDER

A handwritten signature in cursive script, appearing to read "Thomas J. Peddicord, Jr.", written over a horizontal line.

Thomas J. Peddicord, Jr.
Secretary

ITEM: **RESOLUTION NO. 104-08**

Table of Contents

I. INTRODUCTION.....	1
Purpose of the Plan	1
Background information	1
Vision Statement.....	1
The History of Perry Hall	2
A Vision for Perry Hall	3
II. RECOMMENDATIONS	3
Strong Neighborhoods, and a Defined Community Center	3
Greater Mobility.....	5
Environmental Stewardship.....	12
Outstanding Schools Learning Centers.....	14
Family Life and Recreation	15
A Sense of History and Place.....	19
III. APPENDIX	21
IV. MAPS	23

The Perry Hall Community Plan

I. INTRODUCTION

Purpose of the Plan

On December 1, 2008, Fifth District Councilman Vincent Gardina passed a Baltimore County Council Resolution requesting that the Baltimore County Planning Board prepare a community plan for the Perry Hall area. The resolution stated that this community plan would serve to promote the stabilization and improvement of a community that has a population with recreational, social, and community support requirements.

Since this resolution has passed, the community has attended multiple meetings and proposed recommendations to make Perry Hall a more vibrant place to live, work, and shop. The objectives and goals of this plan are based in part on the Urban County and Growth Area recommendations of the Baltimore County 2010 Master Plan. Encouraging community involvement in multi-modal transportation, transit oriented development, providing more open space and promoting walkability are essential components of this plan.

Background Information

The boundaries of the Perry Hall Community Plan are Simms and Magleth Avenues on the west; the Greater Gunpowder Falls on the North; Pulaski Highway on the east, excluding the Honeygo Plan District; and White Marsh Run on the south. Honeygo is considered part of Perry Hall, but has its own Community Plan.

VISION STATEMENT

On February 22, 2010, attendees at the Perry Hall Community Plan meeting unanimously adopted a Vision Statement for the report. The Vision Statement has two key purposes. First, it identifies the strengths of the Perry Hall community, and notes that the Perry Hall Community Plan would provide a blueprint for building on these strengths. Second, it establishes a series of themes that bind together the recommendations of the final report.

Perry Hall is sometimes called the "crossroads of Baltimore County," a community defined by its location along major arteries of commerce and transportation. In a broader sense, though, Perry Hall is at the crossroads of changes that are shaping our economy and society. Perry Hall is proud of its heritage, but ready for the challenges of the future.

This community is strong. Perry Hall's neighborhoods, schools, and other amenities make it a desirable place to live. Perry Hall's location—near the junction of two Interstate highways and the MARC train network—gives it convenience to major destinations and employers along the Eastern Seaboard. There are other qualities less measured, but certainly felt by its residents. After decades of growth, Perry Hall retains a small town feel. The goal of the Perry Hall Community Plan is to provide a blueprint for building on these strengths.

Although the Perry Hall Community Plan incorporates many suggestions, five overall themes are critical. First, this plan acknowledges that the period of large-scale development in Perry Hall is over. It is time to enhance older neighborhoods and—most

The Perry Hall Community Plan

importantly—anchor the aging shopping centers near Belair and Ebenezer Roads into a true core for Perry Hall. Second, every effort should be made to increase mobility, connect neighborhoods to one another, restore Perry Hall's green canopy, and improve the area's stream valleys. Third, the community should enhance opportunities for recreation and family life that attract and retain residents. Fourth, Perry Hall's schools and other resources foster a culture of lifelong learning. Finally, the community's heritage is a powerful asset, providing an important sense of place and identity.

THE HISTORY OF PERRY HALL

Perry Hall is one of the oldest communities in Baltimore County. In 1608, Captain John Smith led an expedition up the Gunpowder River Valley. Smith's journey initiated intense industrialization along the Gunpowder River, and by the Eighteenth Century, northeastern Baltimore County was the site of numerous mills, furnaces, and forges.

In 1774, Baltimore businessman Harry Dorsey Gough purchased a 1,000-acre estate called *The Adventure*. Gough renamed it Perry Hall after his family's home near Birmingham, England, and by 1775 he had completed a mansion that became known for its great gardens and distinctive architecture. Harry Dorsey Gough is considered the founder of Perry Hall. He and his wife Prudence sheltered early Methodist leaders such as Francis Asbury when their pacifist views were unpopular.

The Perry Hall estate deteriorated in the Nineteenth Century. It was sold in 1875 to Eli Slifer and William Meredith of Philadelphia, who divided the property and

sold the lots to immigrant families, many of who were from Germany. This village became known as Germantown, and it was centered at present-day Belair and Chapel Roads. A second village, Indian Rock, was located near modern-day Belair and Joppa Roads. Farmers used the Baltimore and Jerusalem Turnpike, as Belair Road was then known, to sell their vegetables in the city markets. Some of these farms became nurseries and dairies, the most famous of which was the Berg dairy on Joppa Road.



Gough Historical Marker and Park Sign

The years after the Second World War transformed Perry Hall from a farming community into a suburban hamlet. The Perry Hall Improvement Association was created in 1945 to deal with growth and change. William "Dick" Schafer built dozens of brick bungalows between Belair and Ebenezer Roads, and he constructed Perry Hall's first shopping center in 1961. Perry Hall's first public library and Perry Hall Senior High School opened in 1963. By 1981, the Berg dairy had been developed into the Seven Courts neighborhood, and White Marsh Mall opened on old quarries near Silver Spring Road.

The Perry Hall Community Plan

After public concerns about the pace of development, the area's growth was halted in the early 1990s to allow for the completion of the Honeygo Plan. This Community Plan aimed for higher-quality development in Perry Hall's northeastern quadrant. In the years after adoption of the Honeygo Plan, the county completed several long-term projects, including new parks along Honeygo Boulevard (not all of the new park sites have been acquired yet) and the opening in 2009 of a permanent Perry Hall library. The community worked to keep Perry Hall's "small town" feel by restoring the Perry Hall Mansion and organizing a town fair, community concerts, and other public events.

A VISION FOR PERRY HALL

This Community Plan endorses a vision that builds upon Perry Hall's strengths. The recommendations for the report are grouped under five overall themes. In the words of the vision statement:

This plan acknowledges that the period of large-scale development in Perry Hall is over. It is time to enhance older neighborhoods and—most importantly—anchor the aging shopping centers near Belair and Ebenezer Roads into a true core for Perry Hall. Second, every effort should be made to increase mobility, connect neighborhoods to one another, restore Perry Hall's green canopy, and improve the area's stream valleys. Third, the community should enhance opportunities for recreation and family life that attract and retain residents. Fourth, Perry Hall's schools and other resources foster a culture of lifelong learning. Finally, the community's heritage is a powerful asset, providing an important sense of place and identity.

II. RECOMMENDATIONS

Strong Neighborhoods, and a Defined Community Center

Most of Perry Hall's neighborhoods were built after the Second World War. During the 1950s and 1960s, new homes tended to be brick ranchers or colonial-style homes, such as those found near the intersection of Belair and Ebenezer Roads. Between 1970 and 1990, thousands of townhouses, condominiums, and single-family homes were constructed, primarily along Seven Courts Drive.

By the beginning of the Twenty-First Century, the era of large-scale development in Perry Hall had ended. Attention must now turn to strengthening Perry Hall's older neighborhoods, as well as its aging shopping centers. Closely related to this goal is the need to define a community core for Perry Hall.

Throughout the United States, many incorporated communities have a public square and central business district. Perry Hall is not incorporated, and there has never been a single place that can be thought of as the community's "center" over its entire history. During the Nineteenth Century, there were two villages—Germantown and Indian Rock—at either end of what is now considered Perry Hall. Over time, development blurred the distinction between these villages.

By the early Twenty First Century, Belair Road was a string of shopping centers, office buildings, and homes converted to business use. The area between Cottingham Avenue and India Avenue, however, is the

The Perry Hall Community Plan

center of much activity in Perry Hall, as well as the geographic heart of the community.

In the 1990s and 2000s, civic leaders worked to reinforce this as Perry Hall's community center. In 1990, the Perry Hall Improvement Association started an annual Christmas Tree Lighting Ceremony at Perry Hall Elementary School. In 1999, the Perry Hall Improvement Association (PHIA) renovated the Veterans Memorial at Perry Hall Elementary School. In 2001, state and county leaders dedicated a new community sign and landscaping at Belair and Joppa Roads, part of an overall beautification project for the Belair Road corridor. Finally, in 2010, the state and county completed a streetscape project between Cottingham Road and India Avenue that included new trees, landscaping, and lamp posts. The Perry Hall-White Marsh Business Association and Perry Hall Improvement Association funded seasonal banners along poles in front of Perry Hall Elementary School.

This Community Plan strongly endorses efforts to anchor the area between Cottingham Road and India Avenue as the center of Perry Hall, the geographic and economic heart of the community. This central business district would extend east to the Perry Hall Square Shopping Center and west to the Weis Market (Festival at Perry Hall Shopping Center) and Joppa Corners Shopping Center along Joppa Road.

Recommendation #1: Base future zoning decisions on consistent policies that reinforce Perry Hall's character and neighborhood appeal.

Background: This Community Plan includes a map that describes Perry Hall's

zoning as it existed after the 2008 Comprehensive Zoning Map Process. Each property has unique qualities that may be considered during future CZMP cycles, but this Community Plan urges that certain policies be generally followed so that Perry Hall's character is preserved for future generations.

- The stretch of Belair Road from Minte Drive to Chapel Road, for the most part, includes homes that have been converted to offices, with leafy lawns that provide a residential, charming look. The Community Plan recommends that no zoning more intense than Residential Office (RO) be approved. Wherever possible, parking should be limited to the sides and rear of buildings, and large trees and landscaping should be preserved.
- Silver Spring, Ebenezer, and East Joppa Roads should remain residential.
- Pulaski Highway has the most intense zoning levels within the area covered by the Perry Hall Community Plan. Pulaski Highway is a key employment corridor. The Perry Hall Community Plan endorses the development of design standards so that future growth visually enhances the corridor.

Targeted Date of Completion: Ongoing.

Recommendation #2: Provide incentives and strong support for redevelopment of the Perry Hall Square Shopping Center.

Background: The owners of the Perry Hall Square Shopping Center are strongly encouraged to renovate or redevelop this property. To further this objective, the Perry

The Perry Hall Community Plan

Hall Community Plan recommends flexible zoning options that would allow the owner to creatively develop the shopping center. Senior housing or different blends of residential and commercial development might be allowed, for example, as long as the redevelopment enhances this area as a high-end focal point for the community.

In the short term, this Community Plan offers a suggestion that honors the property owner's rights while improving current vacancies. A senior services center could be created which includes a Motor Vehicle Administration. This would double as a teen center during after school hours, or it could provide after school job training for students. During the day, Community College of Baltimore County student teachers could earn credit hours by participating in daytime student teaching - technology and other courses to senior citizens. After school teen jobs may include tutoring younger students, serving eligible seniors meals, cleaning the facility, or data entry for the MVA back office.

Targeted Date of Completion: Ongoing.



Perry Hall Shopping Center

Greater Mobility

One of Perry Hall's assets is its location. Perry Hall is located along one of the nation's oldest and busiest highways, U.S. Route 1, and only a few miles away from two Interstate highways. Thanks to the construction of the White Marsh Boulevard Extension in 2006, motorists are minutes away from Martin State Airport, the MARC train network, and the Baltimore County waterfront.

Most of Perry Hall's growth occurred after the Second World War and during the early years of the Interstate highway system. Highways were designed to move a large volume of traffic, not necessarily to accommodate pedestrians or bicyclists. As a result, many neighborhoods lack sidewalks, isolating them from one another and risking the safety of pedestrians. Furthermore, while Perry Hall is convenient for people who own an automobile, there are extremely limited opportunities for those who depend on public transportation or those who ride bicycles.

Most personal travel is done by automobile, and this will likely not change in the near future. One of the major themes of the Perry Hall Community Plan, however, is that residents should have a wide range of transportation options. This Community Plan strongly endorses the concept of an integrated, intermodal transportation network that includes highways, public transit, trails, and sidewalks. In the future, transportation projects must be planned in a way that is consistent with the character of local neighborhoods.

Perry Hall has developed from a colonial farming village to a major suburb in the

The Perry Hall Community Plan

Baltimore-Washington corridor. Most of this transformation has taken place in the past 50 years as a patchwork of inconsistent land use based on automobile accessibility. Like similar communities across the United States, Perry Hall residents are discovering the disadvantages of living in a low-density community as dependence on foreign oil, climate change, and obesity rates are major issues for today's generations. Through the following proposals, the Perry Hall of the early 21st century seeks to modify the planning and development practices of the past to create a more livable community for the future.

Recommendation #1: Implement key sidewalk and pedestrian improvements from the Walkable Perry Hall Task Force Report.

Background: In 2009, the Walkable Perry Hall Task Force identified opportunities to make Perry Hall more interconnected and accessible to all residents. The task force had three overall objectives: (1) Prioritize areas that need immediate attention to improve safety; (2) Identify sidewalk connections that can better integrate Perry Hall's neighborhoods; and (3) Identify places that could accommodate hiking and bicycling trails. The full report is included as an appendix to this Community Plan.

This Community Plan builds upon the report of the Walkable Perry Hall Task Force report. The Plan endorses the following Task Force priorities, as well as several other recommendations brought out during the Community Plan process:

- Reconstruct the pedestrian crossings at White Marsh Boulevard and Perry Hall Boulevard.
- Construct sidewalks along Silver Spring Road to better link communities to Honeygo Boulevard and Joppa View Elementary School.
- Complete several "missing" sidewalk segments along Honeygo Boulevard leading from the White Marsh Town Center to Tremper Farms.
- Construct sidewalks that allow pedestrians to safely walk between the White Marsh Mall area and Nottingham Square.
- Construct permanent pathways that connect the neighborhoods near Scone Garth to Silver Spring Road, and Silver Hall Court to the Perry Hall High School campus.
- Construct sidewalks along Ebenezer Road between the Tremper Farms and Northgate Hall neighborhoods.
- Complete sidewalks along the East Joppa Road corridor, especially in the vicinity of Chapel Road and Honeygo Boulevard.
- Construct sidewalks along Chapel Road and enforce prohibitions against truck traffic.
- Reconstruct the area in front of Joppa View Elementary School so that children and parents from the western side of Honeygo Boulevard can walk to school.
- Develop improvements that enhance safety at the intersection of Ebenezer Road and Kilbride Road.

The Perry Hall Community Plan

- In western Perry Hall, construct sidewalks along Klausmier Road, Gunview Road, Hines Road, Seven Courts Drive near Northwind Road, and Pinedale Drive.
- Complete sidewalks along Darleigh Road between Dearborn and Mavis; and
- Complete sidewalks along Belair Road between Slater Avenue and the Olde Forge neighborhood and Plumber Avenue.

Targeted Date of Completion: Within three years of adoption of Plan.

Recommendation #2: Complete Phase 1 of the County-Designated Perry Hall Boulevard Trail.

Baltimore County now calls the Perry Hall Boulevard Trail. This trail would link the Beaconsfield Road area with White Marsh and Overlea. This initial segment could actually serve as "Phase 1" of a longer trail that might possibly extend to Ebenezer Road and beyond. The PHIA recommends renaming this the Northeast Trail since it is



The proposed location of the Perry Hall Trail

a regional pathway that extends beyond Perry Hall Boulevard.

Targeted Date of Completion: Within two years of adoption of Plan.

Recommendation #3: Develop an extensive system of trails throughout Perry Hall.

Background: In addition to the immediate priority of constructing Phase 1 of the Perry Hall Boulevard Trail, this Plan endorses the following long-term trail improvements, which should be accessible to both non-disabled and disabled users.

- **Phase 2 of the Perry Hall Boulevard Trail.** In 2000, Baltimore County purchased the 16-acre property east of Perry Hall High School. On March 23, 2009, the Baltimore County Department of Recreation and Parks, acting on a recommendation from the Perry Hall Improvement Association, announced designation of the property as "Indian Rock Park." This new park is an ideal location for the extension of the Perry Hall Boulevard Trail, providing a direct link between Silver Spring Road and Ebenezer Road. With neighbor support, it may be possible to develop a Phase 3 that extends the trail even further north along the abandoned right-of-way for Perry Hall Boulevard. There is a small section of privately-owned property between Silver Spring Road and Indian Rock Park that would need to be purchased; another option would be to require an easement if this land is developed.
- **Trails at the Future Joppa Trail Park and Snyder Park.** When developed, the

The Perry Hall Community Plan

future Joppa Trail Park on East Joppa Road should support the existing concept plan for the park, which includes a trail system that links to Snyder Park on Snyder Lane. New sidewalks on Snyder Lane, Chapel and Cross Roads are needed to better link these parks and adjacent neighborhoods.

- **Gunpowder View Trail.** This Community Plan endorses converting the former right-of-way for the Gunview Road extension into a trail. With the acquisition of additional land, this trail would allow hikers and bicyclists to more readily access Gunpowder Falls State Park and the Seven Courts Drive area. The trail would extend from the current terminus of Gunview Road at Red Fox Farms, move south past Schroeder Avenue, and end near Belair Road. At this point, there is an opportunity to perhaps continue the trail parallel with Belair Road, on the abandoned right-of-way for the old road, before ending the trail near the Gunpowder River. As with the other proposed trails, local homeowners associations would need to be consulted during all stages of development.
- **Shared Use Path at Community College of Baltimore County at Essex.** The county should complete a corridor plan to determine the feasibility of a shared-use path from Perry Hall to CCBC Essex.

Targeted Date of Completion: Within five years of adoption of Plan.



Gunpowder Falls Blue Trail

Recommendation #4: Maintain access at Belair and Forge Roads that accommodates both eastbound and westbound traffic.

In 2010, the Maryland State Highway Administration and Baltimore County recommended modifying the intersection at Belair and Forge Roads to accommodate the opening of Honeygo Boulevard. Plans called for a temporary closure of Forge Road to induce motorists to use Honeygo Boulevard, as well as a removal of the traffic signal. At an informational meeting in April 2010, residents and business owners expressed strong support for keeping Forge Road open and the traffic signal operational. This Community Plan recommends maintaining access at Belair and Forge Road to accommodate both eastbound and westbound traffic. Plans must conform to the Manual on Uniform Traffic Control Devices and other safety and engineering guidelines.

Additionally, this Community Plan strongly endorses traffic calming devices along the stretch of Honeygo Boulevard south of Forge Road to Joppa Road.

The Perry Hall Community Plan

Speeding is a persistent problem along this corridor.

Targeted Date for Completion: Ongoing.

Recommendation #5: Support Transit-Oriented Development at White Marsh.

Background: When the White Marsh Towne Center was developed in the early 1980s, the area was hailed as a source of economic development for the region. A quarter century later, a major anchor store is vacant and the parking lot is a vacant sea of asphalt. A state-owned park and ride facility stands isolated from the mall across White Marsh Run. By simply realigning transit routes and utilizing empty parking lots, the White Marsh Towne Center can become a transit-oriented development. Installing sidewalks between White Marsh Mall, IKEA, and The Avenue will further transform the area to be more transit and pedestrian friendly. Once the Express Toll Lanes on I-95 are complete, bus travel times between White Marsh and downtown Baltimore will dramatically decrease thus making White Marsh a more desirable shopping destination for the entire Baltimore area.

Recent changes by the Federal Transit Administration will benefit the Perry Hall/White Marsh area. The FTA will fund 90 percent construction of sidewalks ½ mile from transit facilities and 50 percent construction of bicycle facilities within three miles of transit facilities. Given these distances, sidewalk improvements will connect sidewalks from the White Marsh Towne Center to the Silver Spring corridor and bike facilities to central Perry Hall. The Maryland Transit Administration is in preliminary planning stages for the

extension of the GREEN LINE, which currently runs between Owings Mills and Johns Hopkins Hospital. The Green Line's ultimate destination will be in the White Marsh area. Having a bus-based transit facility already in place at White Marsh will only improve the opportunities if a heavy rail transit line arrives.

Targeted Date for Completion: Within seven years of adoption of Plan.

Recommendation #6: Develop a Perry Hall Circulator.

Background: Like Hampden, downtown Baltimore and Washington D.C., Perry Hall will benefit from a short-range transit program. A circular route from White Marsh to Perry Hall will help reduce single occupancy vehicle trips thus improving air quality, decreasing traffic congestion and reliance on foreign oil. A proposed route would travel, from White Marsh Mall, north on Honeygo Boulevard; south on Belair Road; south on Silver Spring Road; south on Perry Hall Boulevard; and returning to the Mall. In addition to a circulator, improvement shall be made to existing transit facilities. Bus shelters shall be installed along Belair Road and Chapel Road for the #15 bus line.

Targeted Date for Completion: Within seven years of adoption of Plan.

Recommendation #7: Consider rotary designs for several key intersections.

Background: Perry Hall has several intersections that would benefit from a conversion to a roundabout, traffic circle or rotary. Roundabouts are safer for users and move traffic more efficiently. When accidents do occur in roundabouts, the

The Perry Hall Community Plan

fatality rate is near zero and damage is greatly reduced, as vehicles are not traveling along perpendicular paths. Travel times are reduced for vehicles, especially left-turning vehicles, which reduces congestion and improve air quality. Roundabouts also provide focal points for communities.

Possible intersections for rotary conversion include Honeygo Boulevard at Perry Hall Boulevard and Honeygo Boulevard at Joppa Road.

Targeted Date for Completion: Ongoing.

Recommendation #8: Evaluate the need for potential new streetscapes.

Background: In January 2010, Perry Hall's community leaders marked the completion of a streetscape project in central Perry Hall, between Cottingham Road and India Avenue. The streetscape included widened sidewalks, Americans with Disability Act accessibility, and a brick inlay, giving Belair Road a cleaner look. With future streetscape projects, all traffic modes should be accounted for in the planning and design. Pedestrian-only phases and ample crosswalks should be included in all future streetscapes.

Two potential streetscapes include an extension of the central Perry Hall streetscape project north to Chapel and Forge Roads, and a streetscape project along East Joppa Road from Belair Road past Hines Road, as recommended by the East Joppa Road Corridor Community Plan.

Targeted Date for Completion: Within seven years of adoption of Plan.

Recommendation #9: Support Improvements to Chapel Road

Chapel Road currently lacks proper drainage, which causes flooding, and erosion problems along the street. To improve these conditions, a context sensitive design should be implemented to address erosion while providing multiple connections such as sidewalks and a shared used path. Resurfacing and any road improvements should be done in a manner that is sensitive to the character of the surrounding neighborhood, which is lightly residential and agricultural.

Targeted Date for Completion: Ongoing

Recommendation #10: Consider policy shifts to improve transportation planning.

Background: The Perry Hall Community Plan endorses several policy shifts that can improve transportation planning:

- **Parking Consolidation and Intermodal Facilities at Public Areas.** A standard practice when designing parking lot capacity is to plan as if a "Black Friday" occurs everyday. This is not only a waste of valuable suburban land, but also creates unnecessary pavement, which decreases the water quality of local streams. Within central Perry Hall, the shopping center at Seven Courts, Super Fresh, Perry Hall Square, White Marsh Mall and the surrounding strip malls are covered in asphalt for cars that are not there. Future developments must follow parking maximums instead of minimums.

For future development within Perry Hall, excessive parking must be eliminated. When alternative transportation options

The Perry Hall Community Plan

exist, fewer parking spaces are needed. Providing sidewalk connections in the central Perry Hall and White Marsh Towne Center will foster “one park shopping” and allow redevelopment to take place. Through parking consolidation, developments can share parking spaces, which will help balance parking demand. Where excessive pavement exists, encourage private and public property managers to redevelop by placing additional retail outlets on the property and through conversion of the excess to green open space.

Bike parking, whether on street or on sidewalk, should be installed in convenient locations in all shopping centers, schools and recreational facilities.

- **Mandatory Traffic Impact Studies.** Performing traffic impact studies is a common practice among municipalities worldwide to assess how site developments will impact existing traffic conditions. Requiring developers to perform traffic studies will not only help district planners to prepare accordingly, but will also inform the community on how new development will affect area traffic. Depending on the assessment of Traffic impact studies, developers shall be responsible for any future traffic mitigation.
- **Mandatory Filling of Sidewalk Gaps.** For years, developers have completed only minimum sidewalk requirements or have been granted sidewalk waivers, leaving sections of sidewalks missing between roads, communities and commercial areas. These sidewalk gaps should no longer be tolerated and sidewalk waivers should no longer be

granted since they create further fragmentation of the pedestrian network.

- **Treatment of Utilities and Lighting.** Overhead power lines and telephone poles are an unsightly feature of the urban environment. Consolidating these utilities along underground vaults will eliminate a potential hazard, improve the streetscape, reduce power outages during storms and reduce obstacles for future roadway construction. Therefore, all improvement projects where utilities are affected above ground should be relocated to subterranean corridors. Additionally, the Perry Hall Community Plan recommends that when improvements are made to streetlights, energy efficient LED bulbs be used. Areas of the community needing lighting should be studied and prioritized.
- **Reduce Speed Limit for New Neighborhood Roads.** Reducing the speed limit on residential, non-through traffic roads creates a more livable roadway. While roads have a set speed limit, the road’s design speed is often 20-30 percent higher, meaning a street designated as 25 mph could be navigated by a car traveling in excess of 35-40 mph. Reducing the design speed also reduces the size of the road, which forces cars to travel slower. Slower traffic on residential streets creates a safer environment for residents. Therefore, all new residential, non-thru traffic roads should be designed for 20 mph.
- **Community Mapping.** As part of the Perry Hall Community Plan, a community mapping project is highly recommended. By creating a map of the

The Perry Hall Community Plan

Perry Hall area based on local knowledge, little known amenities and shortcuts can be shared.

- **Possible Roadway Conversion.** During community planning process, the entire area was re-evaluated. Roadways, on the average, cover 15-25% of a suburban area. Some roadways may not be needed as much as they were in the past. The section of Beaconsfield Drive between Castlemill Circle is a wide road that acts as a short-lived speedway from the residential area to a stoplight. The curve on Beaconsfield creates a blind spot for cars exiting Castlemill Circle. This area is especially dangerous at sunset when the sun lies at the western end of Beaconsfield. Closing this section of roadway to create a park would connect two wooded areas within the Castlemill community.
- **Community Review.** To foster a more symbiotic relationship between Perry Hall residents and county planners, engineers and developers, all capital improvement projects should be reviewed by the Perry Hall Improvement Association. As other Maryland municipalities have adopted a practice of holding community meetings during the planning phase of projects to alert the public to future development, receive valuable input from residents and alleviate conflicts. As the Perry Hall Improvement Association generally meets monthly, the availability for project review can be regularly scheduled.

Community review will also help identify where adjacent improvements are needed. As water or wastewater improvements are

made, smaller projects, such as sidewalk gaps, can be incorporated into the larger projects



A sidewalk gap on Ebenezer Road

Environmental Stewardship

The natural environment has played an important role in Perry Hall's history. Perry Hall is part of a vast network of streams that leads to the Great Gunpowder Falls and ultimately to the Chesapeake Bay. The geologic resources of the Gunpowder River Valley attracted industry and settlers to the area, and the region's soil influenced the type and scale of agricultural activity.

Humans have greatly altered the Gunpowder River Valley. The construction of Loch Raven Dam weakened the Great Gunpowder Falls, and much of the area's foliage was destroyed for farms and eventually development. Streams were particularly damaged during the building boom after the Second World War; many were cemented over, and others experienced significant erosion.

Since the 1990s, there has been a greater emphasis on environmental stewardship. This not only means conserving existing resources, but correcting mistakes from the past, such as the damage done to stream

The Perry Hall Community Plan

valleys and Perry Hall's depleted green canopy. In 2008, the Perry Hall Improvement Association—with assistance from the Gunpowder Valley Conservancy—initiated the Greening of Perry Hall, which aims to plant more trees throughout the community. There is also a greater public emphasis on recycling, using alternative energy, limiting pollution, and reducing the impervious surface of developments. The Perry Hall Community Plan strongly endorses efforts that reinforce an ethic of environmental stewardship.

Recommendation #1: Encourage the adoption of new laws and regulations that enhance Perry Hall's environment.

Background: The Perry Hall Community Plan endorses the adoption of new laws and regulations that prevent developers from relocating wetlands; discourage infill development in low lying areas where there are floodplain concerns; allow homeowners to harness alternative energy; and encourage developers to build green buildings.

Targeted Date for Completion: Ongoing.

Recommendation #2: Support county environmental initiatives that improve Perry Hall's stream valleys and enhance the Chesapeake Bay.

Background: The Perry Hall Community Plan strongly supports efforts by the Department of Environmental Protection and Resource Management (DEPRM) to improve Perry Hall's stream valleys. In 1987, DEPRM created a capital environmental restoration program to assess and identify water quality problems and implement design and construction strategies for watershed restoration projects.

In addition to stream restoration, DEPRM's efforts to improve and protect waterways include stormwater retrofits, waterway dredging, and shoreline erosion control measures. We must continue these efforts so our Chesapeake Bay will stay protected.



Stream near Pulaski Highway, South of Ebenezer Road

Targeted Date for Completion: Ongoing.

Recommendation #3: Support the Baltimore County Public Schools Environmental Science Stream Study Project.

Background: Our local high school students are helping with stream restoration through the BCPS Environmental Science Stream Study Project, which is currently included in the BCPS high school curriculum. This worthwhile project was funded through the Chesapeake Bay Trust grant, but due to budget cuts, it was not funded in fiscal year 2010. The Perry Hall Community Plan endorses maintaining this important project in our schools and having it funded by Baltimore County.

Targeted Date for Completion: Ongoing.

The Perry Hall Community Plan

Recommendation #4: Remove debris at Honeygo Run Regional Park and Indian Rock Park.

Background: Before the property was purchased by Baltimore County, the area now known as Honeygo Run Regional Park was used by some residents as a landfill. Among other items, there are hundreds of tires strewn throughout a steep valley in the park. Volunteers removed some of this debris in 2007 and 2008, but much of the garbage remains. Additionally, there is debris at Indian Rock Park, including old farm equipment. Baltimore County should coordinate the removal of this debris, which is dangerous to park visitors and damaging to the environment.

Targeted Date for Completion: Within two years of adoption of Plan.



Tree Planting along Ebenezer Road

Outstanding Schools and Learning Centers

There are ten public schools that serve the Perry Hall community—seven elementary schools, two middle schools, and Perry Hall High School. These schools have historically been ranked among the strongest in Baltimore County. They also serve as centers for community life in Perry Hall, hosting concerts, sporting events, and

classes for adults. According to real estate agents, Perry Hall's reputation for outstanding schools has been a major factor for new homebuyers.

In addition to these schools, there are two other public learning centers in the community. Seven Oaks Senior Center offers programs for older residents. The Perry Hall branch of the Baltimore County Public Library system has been wildly popular since it opened at its new location in 2009.

The Perry Hall Community Plan acknowledges the importance of these schools and community resources, which contribute to a culture of lifelong learning. The Community Plan endorses efforts to modernize many of these facilities and ensure they meet the needs of a growing population.

Recommendation #1: Immediately start the process of land acquisition/banking for the future construction of an additional high school within the northeast quadrant of Baltimore County.

Background: Overcrowding at area high schools has reached unsustainable and undesirable levels. The Perry Hall Community Plan recommends that land be preserved for a new high school in northeastern Baltimore County. This new high school would incorporate a hybrid structure, with a co-located magnet program (perhaps focusing on green technology), as well as a general academic curriculum to best serve the needs of the entire community. This Community Plan recommends relaxing the acreage requirement if it accelerates the construction of a new high school, as long as there are

The Perry Hall Community Plan

sufficient opportunities for the local recreation council nearby.

Targeted Date for Completion: Acquisition of land within three years of adoption of Plan.

Recommendation #2: Implement strategies that enhance the Seven Oaks Senior Center.



Seven Oaks Senior Center

Background: The Seven Oaks Senior Center provides important resources for Perry Hall's older residents. Periodically, there have been calls for a second senior center in Perry Hall. These requests were reviewed and found to be unnecessary at this time, as long as additional resources are made available to cross-utilize existing and proposed future facilities. The Perry Hall Community Plan recommends that Baltimore County consider the amenities available at live-in retirement facilities such as Oak Crest Village in assessing the future need for senior facilities. Raw statistics may unfairly skew an inflated need for additional county facilities, since many residents would not use a facility due to the availability of programs at their own Residential Senior Living Center.

The Perry Hall Community Plan recommends the following strategies to enhance the Seven Oaks Senior Center.

First, the county should provide additional transportation assistance to facilitate greater use of the senior center, and construct additional parking to accommodate new members. Second, once the multi-use facility at Gough Park is built, the county should provide access by members of the Seven Oaks Senior Center as a way to increase senior participation—without incurring additional operational costs or paying for an additional senior center. Third, the county should use community networks to increase advertising for the Seven Oaks Senior Center, boosting membership. Finally, the county should increase operating hours for the Seven Oaks Senior Center fitness facility.

Targeted Date for Completion: Within four years of adoption of Plan.

Family Life and Recreation

In the early 1970s, when the *Baltimore Sun* wanted to profile the typical Maryland suburb, they came to Perry Hall, "a great place for growing up: or old." In a January 1973 article in their Sunday magazine, the newspaper claimed that "Perry Hall has a lot to offer: plenty of open space, grass and trees, fresh air, a real small-town sense of living, and few crowds, drugs, noise and pollution to fight." One resident even called his quiet home town "perfect."

While Perry Hall community has changed, it retains a family-friendly atmosphere, with a low crime rate and many opportunities for children and families. Houses of worship offer spiritual guidance and programs for many families. The library is a center of activity, while Perry Hall's two recreation councils provide a variety of recreational programs for thousands of Perry Hall

The Perry Hall Community Plan

residents. The Perry Hall and White Marsh Recreation Councils have been recognized as among the most active in Baltimore County. The Perry Hall Community Plan strongly endorses opportunities for recreation and family life that attract and retain residents.

Recommendation #1: Coordinate any open space and park projects with the Perry Hall and White Marsh Recreation Councils.

Background: The Perry Hall Community Plan recommends that any land acquisition, planning, design, and construction associated with new projects be coordinated with the Perry Hall and White Marsh Recreation Councils. This would limit possible duplication of resources, while improving community access to parks and recreational facilities.

Targeted Date for Completion: Ongoing.



Honeygo Run Regional Park Sign

Recommendation #2: Complete Gough and Asbury Parks as the next elements of Perry Hall's recreation and parks system.

Background: Baltimore County should make every effort to complete Gough and Asbury Parks by 2014. These facilities are located on either side of Honeygo Boulevard at East Joppa Road.

Gough Park is located to the east of Honeygo Boulevard, immediately across from Camp Chapel United Methodist Church. It is named in honor of Harry Dorsey Gough, the founder of Perry Hall, and his wife Prudence. The Perry Hall Community Plan recommends that two specific elements be strongly considered for inclusion in the design of this project.

First, at the urging of the Perry Hall Recreation Council, this Community Plan recommends that a multi-use, gymnasium-like facility be developed at the Gough Park site or a similar location. If the facility is located at Gough Park, it should be located at an aesthetically appropriate location, ideally toward the far corner of the site, out of respect for the historic setting of Camp Chapel Church. Additionally, all parking at Gough Park should be located away from Camp Chapel Church. Second, there is also a desire for a "creative" children's playground modeled after "Annie's Playground" in Fallston. This Community Plan recommends that Baltimore County consider a theme for the children's playground to compliment the historic setting of Camp Chapel Church.

The Perry Hall Community Plan



Gough Park Sign

Asbury Park is located to the west of Honeygo Boulevard, across from Chapel Road. This property is named in honor of Francis Asbury, an early leader in the Methodist Church and friend of the Goughs. Asbury Park is the site of a proposed skate park. The Perry Hall Community Plan recommends that the skate park be located away from Camp Chapel Church, and that recommendations for the skate park incorporate input from the target audience to ensure best use of the facility.

During a Community Input Meeting for the development of the skate park, potential users of the skate park were questioned about their expectations for the property. They said they were looking for a simplistic bowl or ramp system to develop their skills. There seemed to be a lack of interest in the elaborate "course" that had previously been planned. The Community Plan recommends that any excess funds saved by reducing the scope of the skate park be used for the children's playground and multi-use facility.

A variety of existing funding streams are presently available to help finance these projects. Specifically, these include (1) state capital funding (a 2007 bond bill allocation of \$100,000 for the skate park); private

funding collected by the Perry Hall Recreation Council for the multi-use facility/gymnasium project; and (3) funding available through a recently adopted Planned Unit Development (PUD) resolution for the Nottingham Ridge project. The requestor of this PUD, Corporate Office Properties Trust (COPT) has committed to a Community Benefits Package that would provide funding for all planning and design work for Gough Park.



Asbury Park Location

The Perry Hall Community Plan strongly encourages that Gough and Asbury Parks advance immediately. There is concern about a potential lapse in the state capital funding approved in 2007. The Community Plan also encourages research to ascertain that there are no unfinished state or county funded projects in which funding could expire without immediate utilization of available funds. To the extent that such a situation were found to exist, any projects in jeopardy of losing funding due to expiration should be given priority.

Targeted Date for Completion: Within three years of adoption of Plan.

The Perry Hall Community Plan

Recommendation #3: Once Gough and Asbury Parks are finished, complete all other unfinished park properties in Perry Hall.

Background: In addition to Gough and Asbury Parks, the county owns three other undeveloped park properties: Joppa Trail Park in the 4700 block of Honeygo Boulevard; Forge View Park off Forge View Road; and Indian Rock Park between Ebenezer and Silver Spring Roads. The engineering and design have not been completed for the first two properties; however, the Perry Hall Community Plan endorses a connection between the future Joppa Trail Park and Honeygo Run Regional Park. Indian Rock Park should not be actively developed, but serve as a passive recreational area, with a nonmotorized hiker-biker trail that extends through the park from Ebenezer Road.



Indian Rock Park location

Targeted Date for Completion: Within six years of adoption of Plan.

Recommendation #4: Complete a new large park on the western side of Belair Road.

Background: Baltimore County should complete at least one new major park west of Belair Road to serve the densely

populated areas between Seven Courts Drive and the Gunpowder River. Potential sites include undeveloped land across from Hines Road at Joppa Road; the farmland near Holiday Manor Road; and acreage near Perry Hall Road.

Targeted Date for Completion: Within ten years of adoption of Plan.

Recommendation #5: Request that the Maryland Department of Transportation conduct an environmental study of the state-owned undeveloped land at Minte Drive on Belair Road. If the study shows that this property is not contaminated, it is recommended that this property be transferred to Baltimore County for a community park.

Background: Since 2001, the Perry Hall Improvement Association has sought to have the state-owned property at Minte Drive and Belair Road converted into a public park. The Ehrlich administration proposed selling the parcel to Baltimore County, but the county declined the offer due to concerns about underground storage tanks across Belair Road. The Perry Hall Community Plan endorses the acquisition of this property if an environmental study shows that it is not contaminated. Baltimore County's NeighborSpace funding could be a possible source for funding. Once acquired, this parcel should be named Turnpike Park in honor of the Baltimore and Jerusalem Turnpike that later became Belair Road.

Targeted Date for Completion: Within three years of adoption of Plan.

Recommendation #6: Redesignate a majority of the parking spaces on the western side of Honeygo Run Regional

The Perry Hall Community Plan

Park, across from Honeygo Boulevard, for nondisabled motorists.

Background: Currently, all of the spaces on the Kahl Avenue side of Honeygo Boulevard are designated for disabled motorists. The Perry Hall Community Plan recommends that a majority of these be reserved for nondisabled motorists and that, if necessary, disabled parking be expanded closer to the center.

Targeted Date for Completion: Within one year of adoption of Plan.

A Sense of History and Place

Perry Hall's heritage is a powerful asset, providing an important sense of place and identity. The Perry Hall Mansion is a link to the community's colonial past, and other landmarks—such as its houses of worship—provide evidence of sweeping historical changes.

Various organizations have worked hard to incorporate Perry Hall's heritage into many aspects of community life. When it opened, Perry Hall High School incorporated the Gough coat-of-arms and the Perry Hall Mansion on class rings. The Perry Hall Improvement Association has published books on the community's history; erected a series of historical markers; worked with Baltimore County to provide names for parks that reflect Perry Hall's heritage; and purchased historical photographs that were placed in the new public library. The Perry Hall/White Marsh Business Association has sponsored contests to select a community logo and motto—Perry Hall: The Spirit of Community. The Friends of the Perry Hall Mansion sponsors tours of the mansion, cleans the property, and actively supports

the renovation and refurbishment of this landmark.



Perry Hall Mansion

In the late Twentieth Century, there was concern that Perry Hall's identity might be lost with the growth of the White Marsh Town Center and the establishment of a Nottingham Post Office that included much of Perry Hall. The efforts just described, however, have anchored the Perry Hall community with an established history and identity. The Perry Hall Community Plan strongly endorses future projects that educate the public about local history and reinforce a defined setting for the community.

Recommendation #1: Support the ongoing restoration of the Perry Hall Mansion, with a goal of completing the project by 2014-2015.

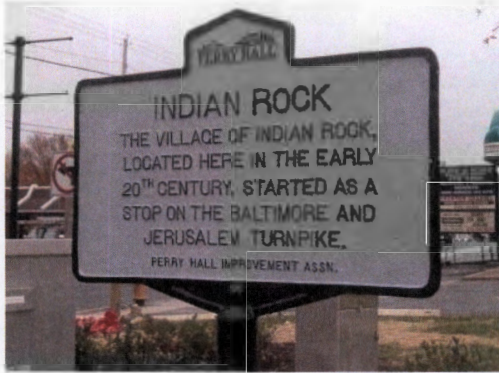
Background: Baltimore County should work collaboratively with the volunteer Friends of Perry Hall Mansion organization, in order to guide the future restoration and adaptive reuse of this important historical landmark.

The Friends of the Perry Hall Mansion will work towards obtaining a Use & Occupancy Permit for the Mansion, ideally in 2011. This will facilitate the opportunity to raise

The Perry Hall Community Plan

funds and generate operating budget capital. Optimally, a completion date sometime between 2014 and 2015 should be targeted for the Perry Hall Mansion project.

Targeted Date for Completion: Within six years of adoption of Plan.



Indian Rock Historical Marker

Recommendation #2: Erect historical markers at significant properties in Perry Hall.

Background: The Perry Hall Community Plan endorses the erection of historical markers at culturally significant locations, with the permission of property owners. These sites may include the Jacob Seddon House on East Joppa Road, the abandoned quarry at Cowenton Ridge Park, and the cemetery adjacent to Perry Hall High School's tennis courts and Indian Rock Park.

Targeted Date for Completion: Ongoing.

Recommendation #3: Continue to develop a distinct identity for Perry Hall by incorporating the logo on signs and promotional materials.

Background: The Perry Hall Community Plan encourages businesses and community institutions to use the Perry Hall logo on

signs and promotional materials. The logo may be placed at prominent places in the community, such as the two water towers.

Targeted Date for Completion: Ongoing.

The Perry Hall Community Plan

III. APPENDIX

KEY PARTICIPANTS IN THE DEVELOPMENT OF THE PERRY HALL COMMUNITY PLAN

David Marks, Chair
Debra Beaty
Diane Brazil
Christopher A. Defeo
John Dingedahl
Nate Evans
Dee Hodges
William Libercci, Sr.
Charles L. Marks
Rani Merryman
Bill Paulshock
Pat Pudelkewicz
Dennis Robinson
Jeffrey W. Smith

Green Infrastructure Subcommittee

Diane Brazil, Chair
Delegate Joseph Boteler
Delegate Eric Bromwell
Frances Craig
Christopher A. Defeo
Glenn Ferenschak
Paul Pudelkewicz
Steve Verch

Neighborhoods and Commerce Subcommittee

Debra Beaty, Chair
Steve Amenta
Frances Craig
Suki Deaver
Jenny King
Senator Kathy Klausmeier
William Libercci
Mark Mohr
Bill Paulshock
Pat Pudelkewicz
Alfred W. Redmer, Jr.

The Perry Hall Community Plan

Public and Cultural Resources Subcommittee

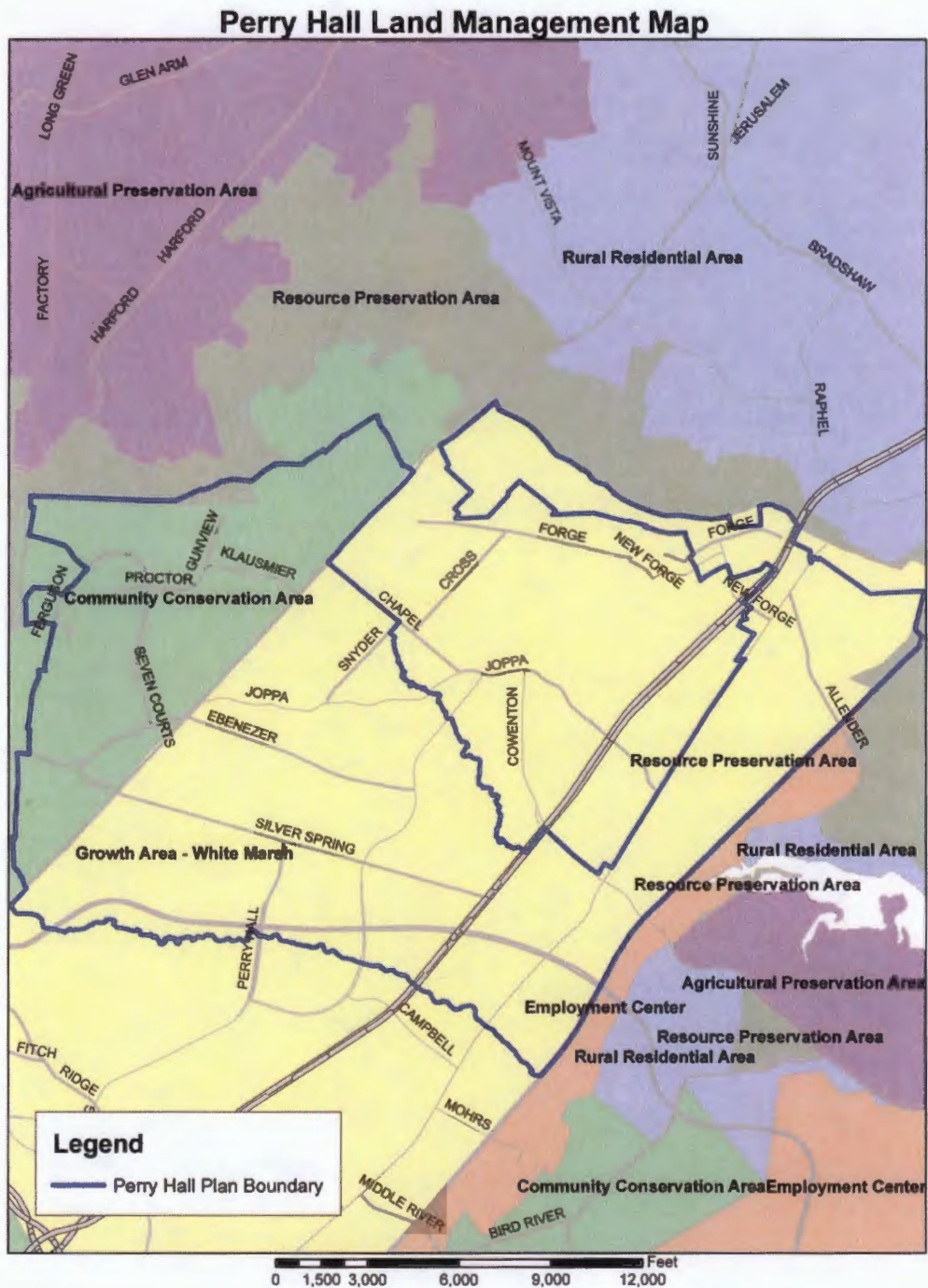
Rani Merryman, Chair
Ed Cindric
Frances Craig
Rosemarie Durkin
Glenn Ferenschak
Charles L. Marks
Norma Secoura
Jeffrey W. Smith
Howard Wille

Transportation and Infrastructure Subcommittee

Nate Evans, Chair
Roger Dunn
Jim Durkin
Dennis Eckard
Dee Hodges
Victoria Jenkins

The Perry Hall Community Plan

Map 2: Perry Hall Land Management Map



The Perry Hall Community Plan

Charts

Chart 1: Perry Hall Community Plan Zoning Breakdown

Zone	Acreage	Percent of Total
BL	155.4	2.1%
BLR	28.2	0.4%
BM	126.3	1.7%
BR	71.2	1.0%
CB	7.5	0.1%
DR 1	206.0	2.8%
DR 10.5	133.9	1.8%
DR 16	414.8	5.6%
DR 2	848.8	11.5%
DR 3.5	1,386.7	18.8%
DR 5.5	2,286.4	30.9%
MH	173.7	2.4%
ML	659.1	8.9%
MLR	262.5	3.6%
O 3	6.9	0.1%
RAE 1	17.5	0.2%
RC 2	435.3	5.9%
RC 20	65.0	0.9%
RC 5	53.0	0.7%
RC 50	0.0	0.0%
RO	38.1	0.5%
ROA	14.0	0.2%
Total	7,390.5	100.0%
Total Commercial	388.6	5.3%
Total Residential	5,294.1	71.6%
Total Residential Office	52.2	0.7%
Total Manufacturing	1,102.2	14.9%
Total Resource Conservation	553.4	7.5%

Chart 2: Total Population

Total Population	
	Perry Hall Plan
Total	37,561

The Perry Hall Community Plan

Chart 3: Population Pyramid

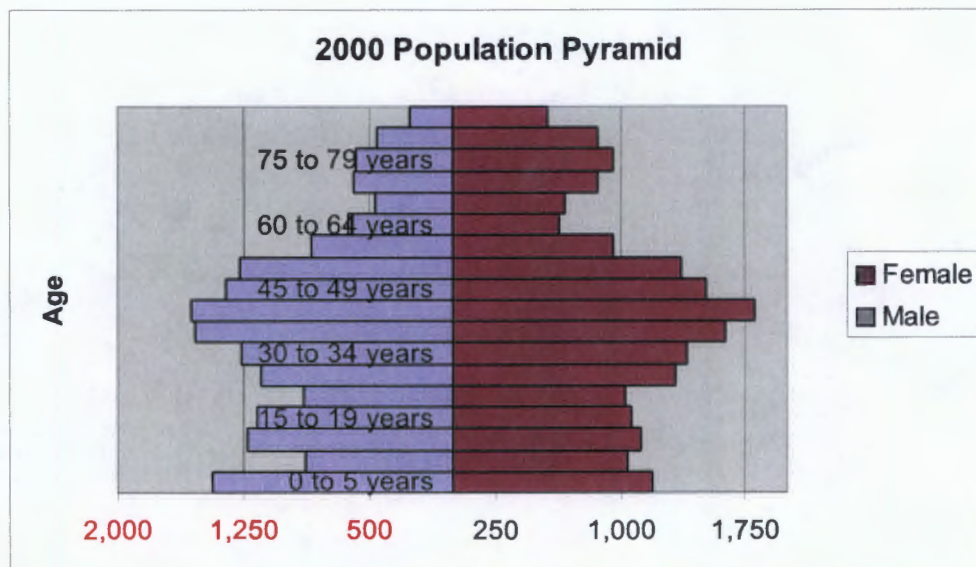


Chart 4: Median Income

Median Income	
	Perry Hall Plan
Median household income in 1999	56,063

Chart 5: Occupied Housing Units

Occupied Housing Units		
	Perry Hall Plan	Percentage
Owner occupied	11,289	72.2%
Renter occupied	4,343	27.8%
Total:	15,632	

The Perry Hall Community Plan

Chart 6: Household Size

Household Size		
	Perry Hall Plan	Percentage
1-person household	4,608	29.5%
2-person household	5,262	33.7%
3-person household	2,462	15.7%
4-person household	2,185	14.0%
5-person household or more	1,115	7.1%
Total:	15,632	

Chart 7: Employment

Employment		
	Perry Hall Plan	Percentage
In labor force:	20,785	68.8%
Employed	20,050	66.4%
Unemployed	687	2.3%
Not in labor force	9,433	31.2%
Total:	30,218	

Chart 8: Transit

Transit		
	Perry Hall Plan	Percentage
Car, truck, or van:	18,836	95.0%
Drove alone	16,813	84.8%
Carpooled	2,023	10.2%
Public transportation:	297	1.5%
Walked	134	0.7%
Total:	19,828	



**Baltimore County
Office of Planning**

Jefferson Building
105 W. Chesapeake Avenue, Ste 101
Towson, Maryland 21204

<http://www.baltimorecountymd.gov/go/planning>



**Division III
Section A**

COMMERCIAL CORRIDORS

Introduction	98
Site Context	99
Main Street	102
Freestanding	106
Shopping Center	110
Power Center	117

Introduction

Baltimore County has three major business zones (BL, BM, BR) and numerous overlay districts which are used within the URDL. Two of the districts, CT and CCC, confer additional density onto the underlying zone. The majority of the commercial zones, and therefore, the majority of the commercial development, is located along the County's radial corridors. These commercial corridors have developed dramatically over the past 40-50 years. Unfortunately, aesthetic quality has not kept pace with the quantity of development. Adoption of the commercial development design guidelines will assist the county in obtaining high quality, aesthetically pleasing development.

The purpose of this section is to provide general guidelines that will be used by the County to evaluate project design as required by the development process. These guidelines are advisory and should be used by the County, builder/developer, and residents.

This section has been divided into four major development types which include Main Street, Freestanding (single or multiple use), Shopping Center, and Power Center (wholesale-retail). Each type of development has been divided into the following elements:

- Site Planning
- Landscaping
- Open Space
- Circulation and Parking



- Signage and Lighting
- Building Features

Each of the elements has a series of objectives with examples of how these objectives might be achieved. The site context issues should also be used in project evaluation. Projects are evaluated on a case by case basis studying surrounding land use and zoning, topography and environmental constraints.

SITE CONTEXT

Evaluate surrounding development to determine appropriate building form, orientation and setbacks.

Prior to the submission of a site design, the surrounding neighborhood context should be evaluated to ascertain the appropriate building form, orientation, and setbacks. The primary purpose of this evaluation is to achieve a built project that blends into the surrounding development. For example, if surrounding buildings are located close to the road, then the proposed buildings should be located in a similar manner.

As another example, where strips of formerly residential buildings are being converted to

office and retail uses, the residential character and scale of the architecture should be retained to protect the integrity of the neighborhood. As existing buildings are modified or expanded, the use of varying architectural forms and detailing should reflect those found in the community.

The development context affects the site design proposal; the context must be considered to obtain a cohesive commercial development. In certain cases the site context will not dictate a consistent or cohesive building orientation. Site context should be also interpreted to express ideas of the place or region, including its history, culture, weather, ecology or other factors.



An example of adaptive reuse -- two existing residences were remodeled, and linked with an addition, to become a compatible, leasable commercial building.

Site Context



Existing



Proposed

In this example, two small residences were razed to make room for a larger commercial building. The new building incorporates materials and detailing commonly used in the buildings of the community.



Existing



Proposed

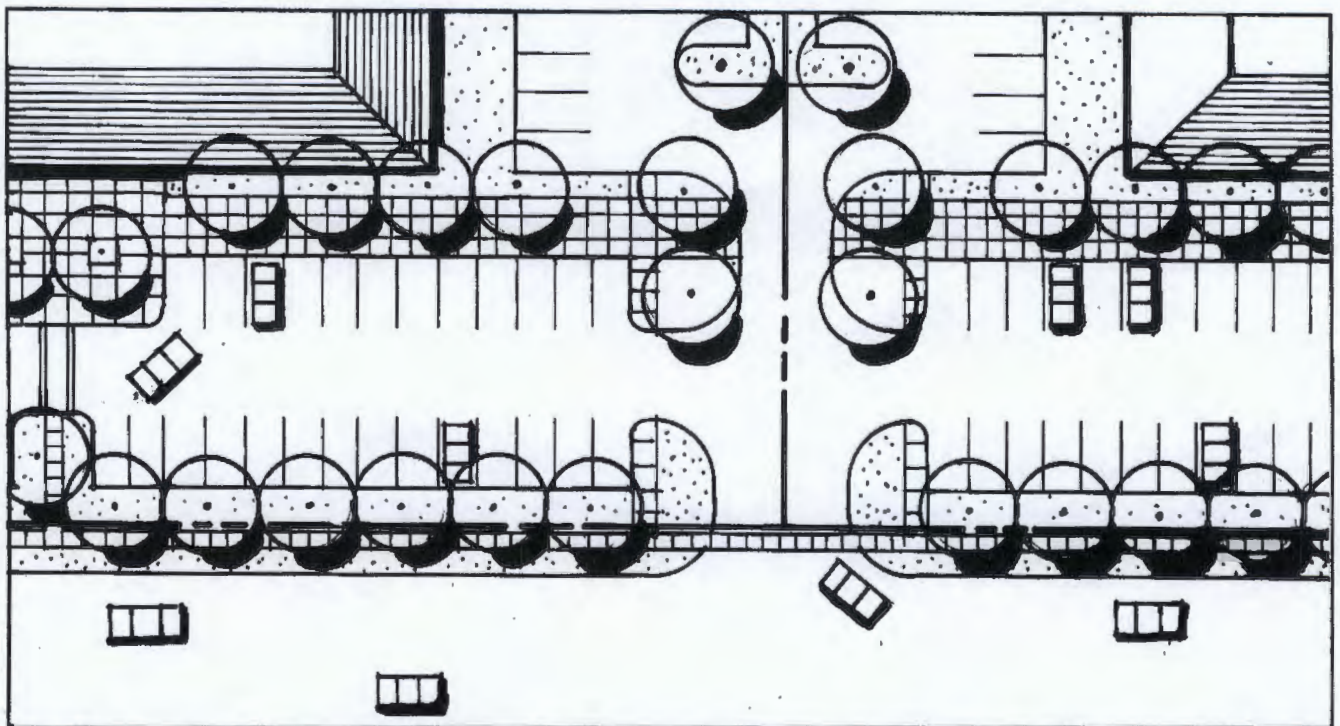
Additions to converted residential buildings should repeat its architectural features to create a larger structure of unified, compatible design.

To the extent feasible or practical, share points of egress and ingress and locate utilities underground.

Two urban features which have a significant impact upon the visual quality of development along the roadways of commercial corridors are curb cuts and utility poles. Consolidating curb cuts reduces congestion on the corridors and eliminates conflicting traffic movements. Requiring all utility lines be located underground through the development process may not always be physically possible and the cost to undertake this type of effort is beyond the financial means of the County. However, each development is encouraged to share access and place utilities underground whenever possible.

Appropriately screen and buffer commercial development from residentially zoned properties.

Adequate protection of adjoining residences is critical to maintaining stable and economically healthy residential communities.



Shared access reduces traffic congestion by consolidating ingress/egress points and allowing vehicular movement between properties without using the street.

Main Street

MAIN STREET CONCEPT

“Main Streets” have long been an integral part of Baltimore County’s urbanized areas, including York Road through Towson, Harford Road through Parkville, and Reiststertown Road through Pikesville. While each has its own character, they also have many commonalities. As a rule, Main Streets consist of gateways and a core, are commercial in nature, but contain mixed retail, office, and residential uses.

Over the decades, buildings located along such streets have undergone numerous renovations and distinct architectural features are now often hidden behind facades that are of questionable aesthetic quality.

It is the purpose of these guidelines to provide direction where the future improvement (development or redevelopment) of Main Streets is concerned and to stimulate creativity.

SITE PLANNING

Continue the existing building edge.

- Continue the existing building edge, i.e., build new structures to the sidewalk with zero setback from the property line. Large setbacks with front yard parking are not recommended.
- Incorporate elements of existing buildings into the architectural design of new structures, but do not duplicate existing forms. Construction of standardized “franchise” type structures is strongly discouraged.

- Multi-story (two/three) mixed-use developments are encouraged, but should not exceed height range of existing buildings.

CIRCULATION AND PARKING

Reinforce existing parking patterns.

- Retain curbside parking where appropriate. Consolidate rear yard parking lots and reduce the number of access drives. Clearly designate all off-site parking areas.
- Where they exist, use alleys for access and parking, but do not locate service areas on the side of buildings facing residential uses. Where loading and service areas are located at curbside, they should be designed to minimize traffic impacts and be clearly designated. Delivery times and access routes should be established.

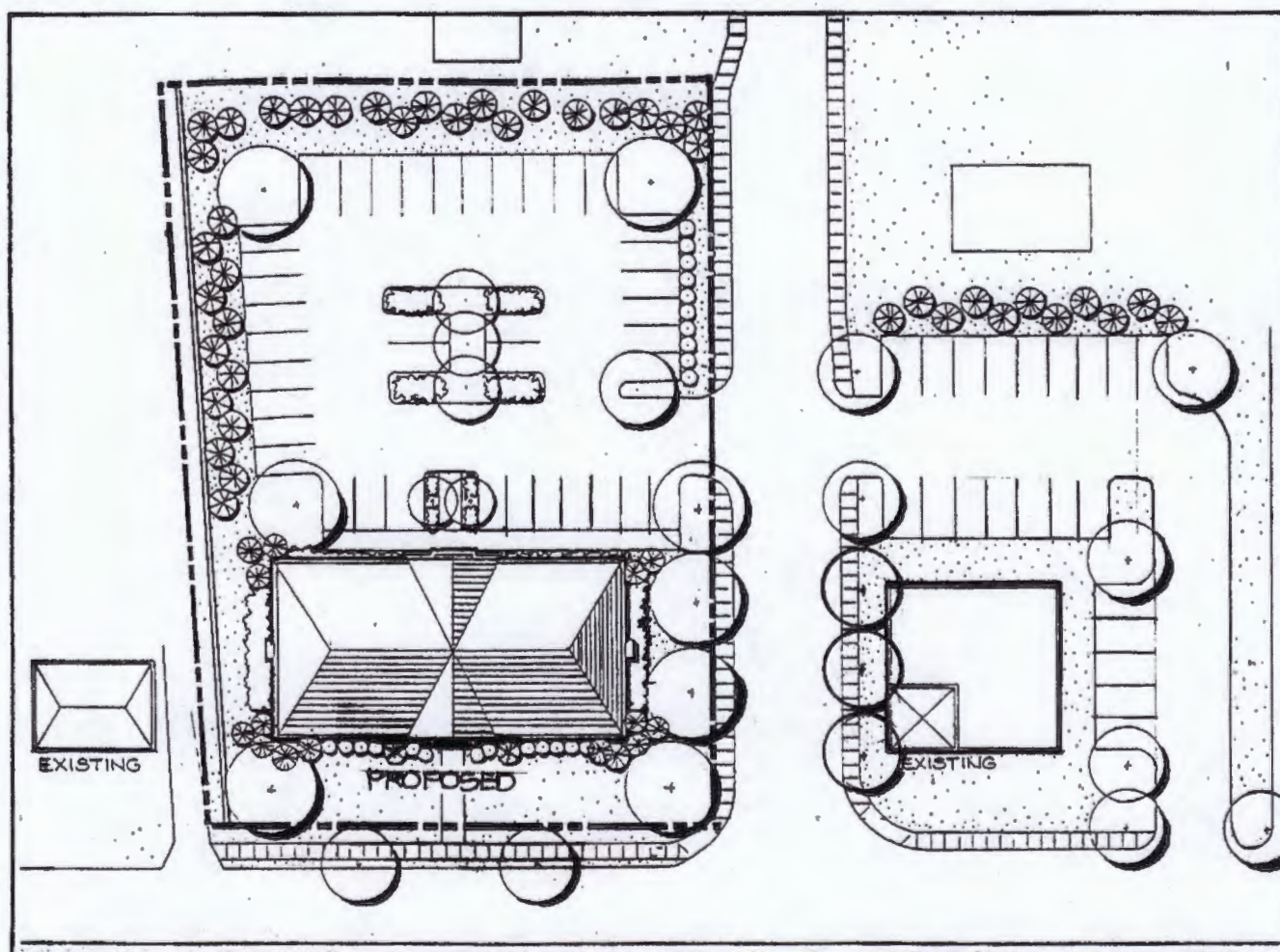


Main Street: No setback, small scale, pedestrian environment with display windows along the sidewalk.

LANDSCAPING AND OPEN SPACE

Use Main Street elements to reinforce existing character.

- Create a sense of entry to the Main Street. Identify entry points by utilizing such elements as street trees, curbed or boxed planters, lighting fixtures or combinations thereof.
- Building height should relate proportionally to street width. Where appropriate, design narrow streets with wide sidewalks, or establish islands that protrude into the street at regular intervals. Furnish such islands with street trees, boxed planters or architectural light fixtures. Landscaped central median strips also effect a visual reduction of street scale.



Building located in a similar matter to existing building. Parking is located in the rear; buffering and screening of adjoining residences is provided.

Main Street

Provide non-vehicular access.

- Establish bicycle lanes where sufficient space is available. Provide bicycle racks.
- Create a pedestrian-friendly environment. Uniform paving texture is encouraged. Identify pedestrian crosswalks clearly. Develop a system of small civic spaces that provides seating in sun and shade, as well as vandal-proof trash receptacles. Accent the walks and civic spaces with landscaping providing seasonal interest and color.
- Encourage restaurants and cafes to provide outdoor seating. Utilize awnings to protect pedestrians from inclement weather and to reinforce continuity of the built edge.

SIGNAGE AND LIGHTING

Signage should be an integral part of the building design.

- Signage should reinforce the Main Street character. Signs should be subordinate to the building and should not exceed the width of the storefront. Signs should be hung within building height. Large roof structures with perpendicular signage are not recommended.
- Utilization of durable materials, subdued colors and professionally executed graphic design is encouraged. Signs should be compatible with those of adjacent buildings in style, size, color, shape and graphic design. A proposed sign should not dominate other signs.

Light fixtures should be consistent throughout the area.

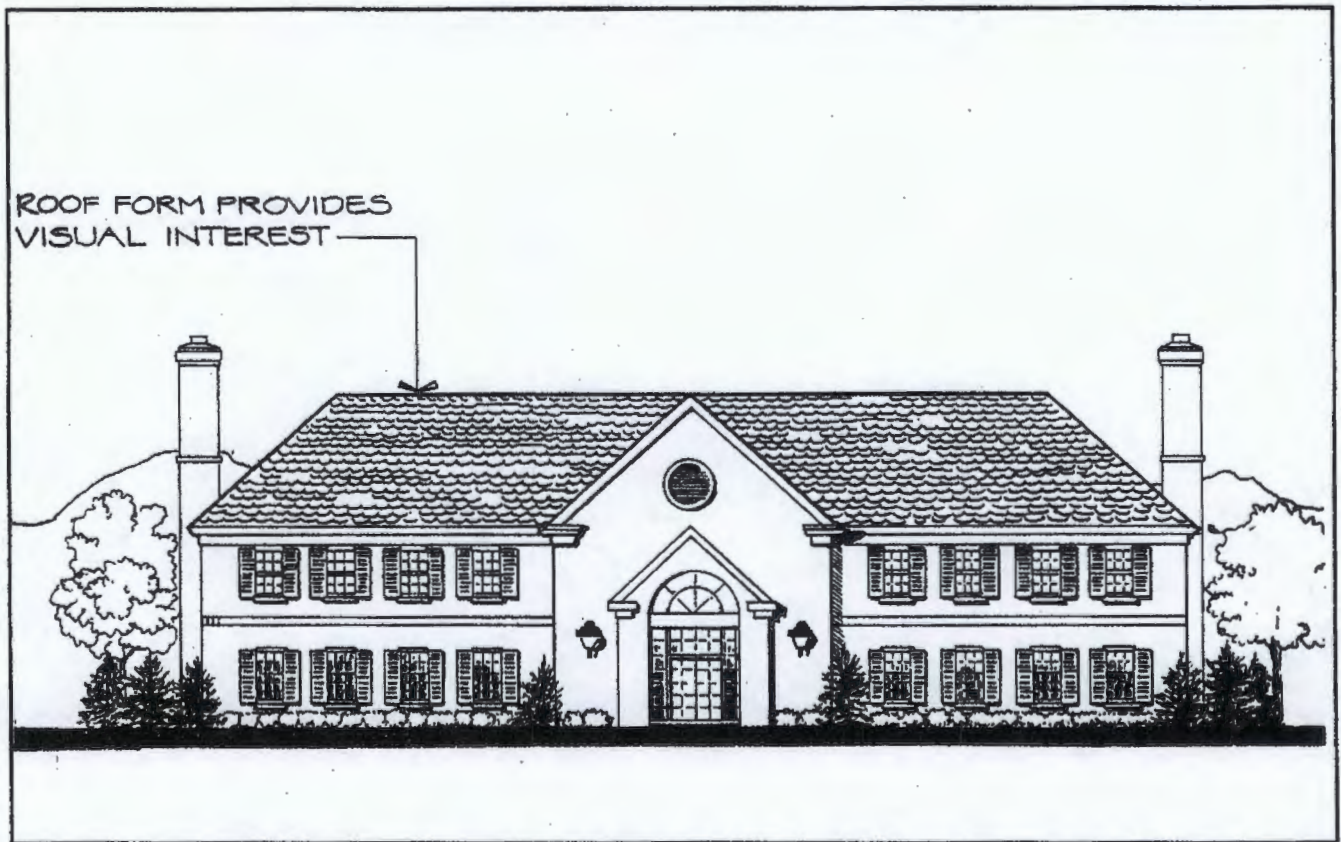
- Light fixtures should be compatible with building design and should be consistent throughout the Main Street core. They should be located in a manner that contributes to the pedestrian environment.
- Lighting should be appropriate for its location. Cut-off lighting should be provided adjacent to residences, pedestrian scale lighting should be provided along the street, site lighting should be provided along the sides and rear of buildings.

BUILDING FEATURES

Reinforce distinct architectural features.

- Utilization of natural materials, such as stone, masonry, and beveled wood siding are recommended. Facade treatments with synthetic, flimsy or highly reflective materials such as vinyl, formstone, T-111 or mirror glass are strongly discouraged.
- Incorporate subtle but distinct color schemes that create a sense of continuity and reinforce a common theme. Bright colors are appropriate as accents or trims, but are not recommended for large surface areas of buildings.

- Screen roof-mounted mechanical equipment from pedestrian view.
- Utilize roof forms to provide visual interest. Pitched roofs constructed of metal (with standing seams) or wood shakes or shingles are recommended. Exaggerated cornices, parapets or other projecting features should be considered for flat roofed buildings. Screen all mechanical equipment on roof tops.
- Retain the proportion of existing buildings, i.e., create clear separation between the first floor (storefront) and upper floor. Residential structures converted to commercial uses should select storefront and window types that are compatible with upper facade.
- Building walls facing adjoining properties should incorporate details such as windows, doors, color, texture, or landscaping to provide visual interest.



Building facades repeat architectural theme of surrounding residences. The building facade is designed with a two-story residential appearance. The chimneys, shutters, double-hung windows, and fascia board all contribute to this character.

Freestanding

FREESTANDING CONCEPT

Freestanding commercial buildings can be generally placed into two categories. The first category includes uses which have distinct operational demands generated by hours of operation, high parking requirements, or larger trip generation. Such uses include restaurants, banks and auto repair establishments. The second category includes commercial buildings which have multiple tenants but no major anchor store. Mixed office, retail, and residential uses are encouraged within these areas.

SITE PLANNING

Locate buildings and site elements to enhance surrounding uses.

- Buildings should be oriented towards the street, either parallel or perpendicular, except where deviation would create more functional and useful open space.
- Buildings should form a uniform edge or setback along the street.
- Cluster freestanding structures to provide form and enhance the visual quality of the site development.
- Minimize front setbacks.

OPEN SPACE

Provide open space to accommodate landscaping and create useable areas for employees and patrons.

- Small spaces designed for use by occupants or clients should be provided.

- Design open space to:

- 1) Screen or buffer adjoining residences;
- 2) Break up large parking lots (greater than 15 spaces);
- 3) Provide green space around buildings and adjoining commercial uses;
- 4) Allow some secure, on-site areas for sitting.

LANDSCAPING

Landscaping should be used for screening, shading, and enhancing site design.

- Landscaping should be provided to address:
 - 1) Continuous streetscape;
 - 2) Screening/buffering of adjoining residences;
 - 3) Perimeter landscaping between adjoining uses;
 - 4) Landscaping of building edges.
- When planting diamonds are provided within parking areas, they should be provided at more frequent intervals than what is required for planting islands, e.g., 1 per 6-8 spaces.

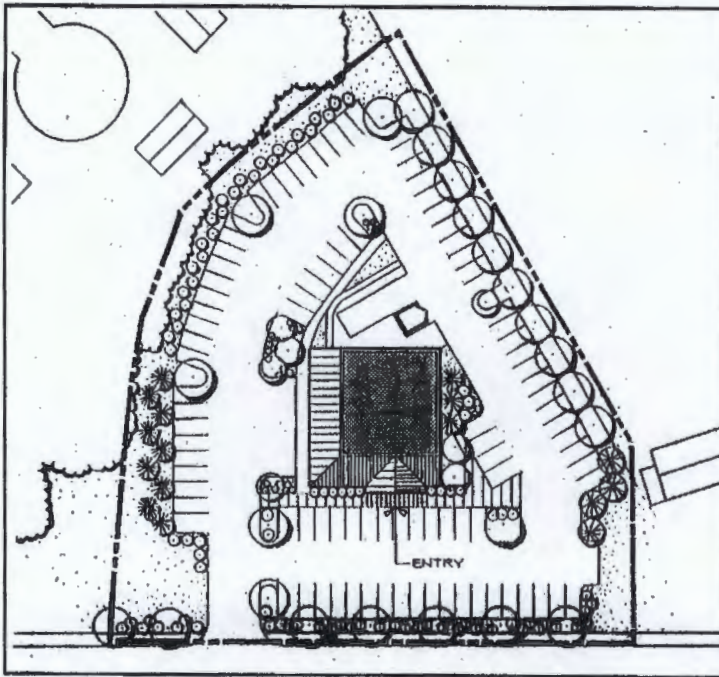
CIRCULATION AND PARKING

Provide safe and convenient parking.

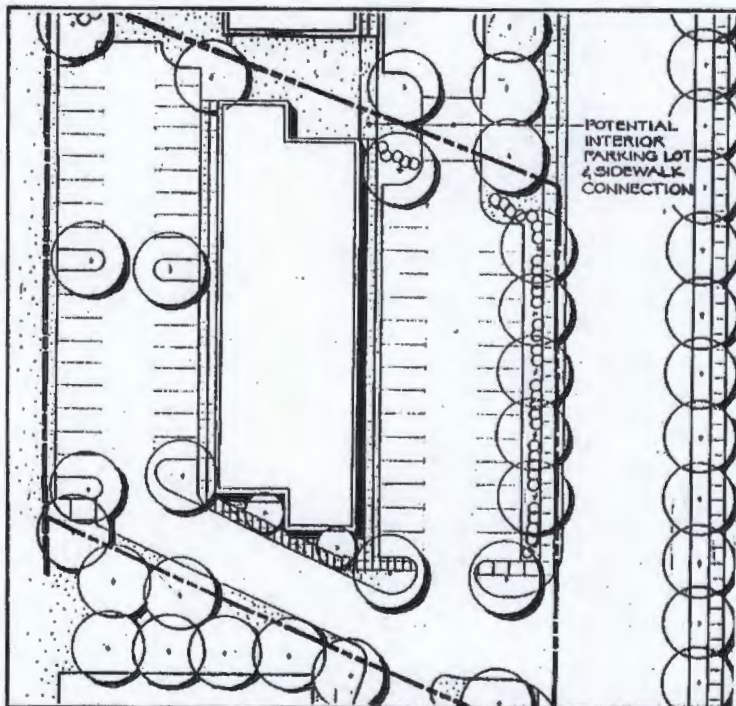
- Circulation and parking areas should include landscaped peninsulas and/or islands.



Freestanding



Parking is distributed around the building. A buffer of adjacent residences is provided and the dumpster is centrally located.



Parking is located at the front and rear. Street trees and hedges are provided, and the building setback is similar to adjoining buildings.

- Minimize the number of ingress/egress points.
- Share pedestrian and vehicular access to adjoining non-residential properties.
- Locate parking bays along the sides and rear of the lot; minimize parking areas along the front.
- Provide safe and convenient pedestrian access.
- Sidewalks/paths should be provided to adjoining residential communities.
- Provide sidewalks within the street right-of-way.
- Sidewalk or path connections to adjoining uses should be considered at the building faces.
- Secondary vehicular access to side streets is encouraged.

LIGHTING AND SIGNAGE

Lighting and signage should complement the building architecture and be appropriate for its purpose.

- Lighting should be designed to meet the specific needs of the site elements and integrated with the building design. Tall light standards which illuminate the entire site are discouraged because they lack scale.
- Lighting standards adjacent to residential areas should not exceed 18 feet in height and should be designed to prevent spillover of light onto the adjoining residences.

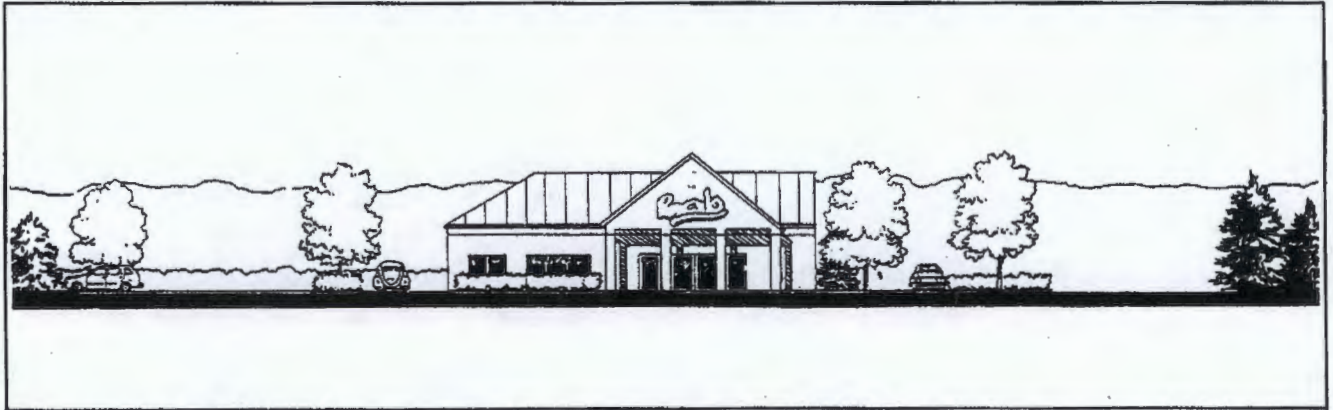
Freestanding

- Signage should be integrated with the building design.
- Freestanding identification signs should not exceed the height of the building.
- All signage should be graphically and color coordinated.
- Roofs should be an integral part of the building design and conform to a specified roof type.
- Building materials and colors should be based on their visual impact as well as their compatibility with the neighborhood.

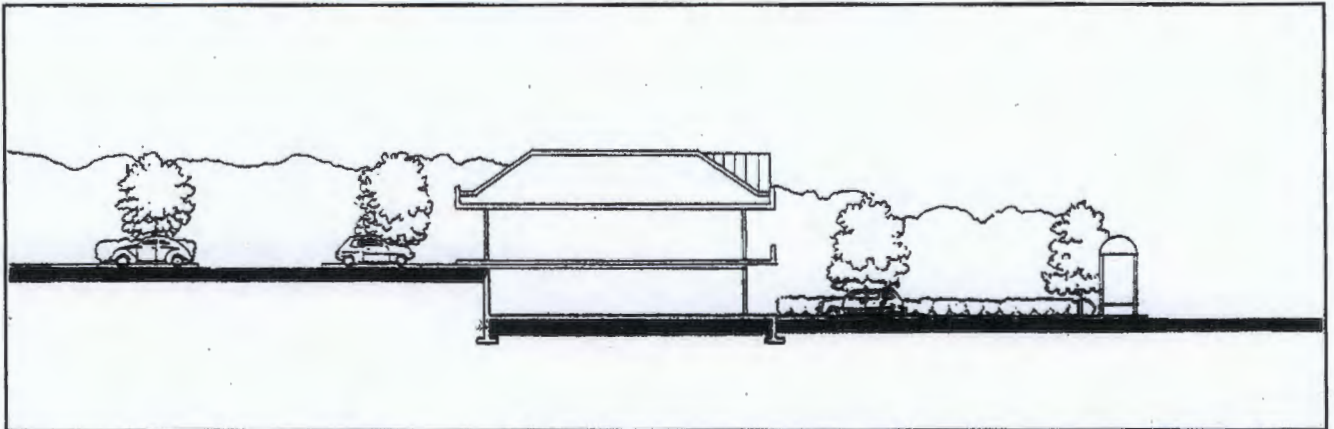
BUILDING FEATURES

Incorporate representative architectural/site characteristics.

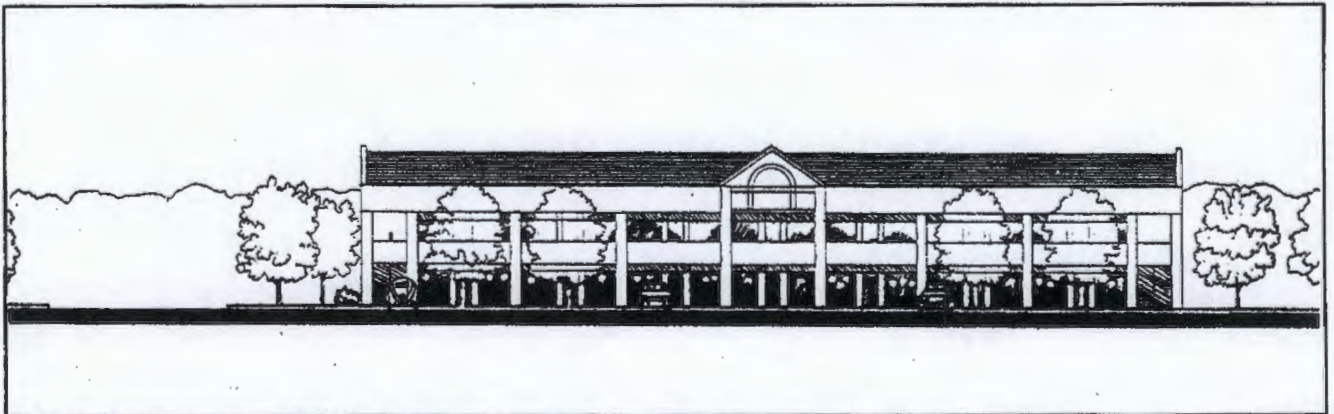
- The proposed use should incorporate attractive representative characteristics of surrounding areas. Transitional treatment may include matching cornice lines, continuing a colonnade, or using similar materials and building proportions. Consistency of scale, volume and details is more important than materials or colors.
- The proposed design should respect existing historic structures or districts in the immediate area. A vernacular style is preferred over “franchise” type structures.
- Nonresidential buildings sharing street frontage with residentially developed properties should maintain the basic design elements characteristic of the residential uses.
- Blank walls facing streets should be avoided.
- Exterior building elevations should be consistent on all sides in regard to roof style, materials, form and detailing.



Buildings should be oriented on the street, with parking to the sides and rear.



Efficient site design uses existing topography to provide at-grade access to multiple levels.



The building facade is designed with a balcony, columns, and an arcade to provide interest and scale.

Shopping Center

SHOPPING CENTER CONCEPT

Excluding major regional shopping malls, Baltimore County's shopping centers have developed as linear strip centers along commercial corridors. These centers are characterized by large setbacks, acres of parking in the front, and high-mast, automobile-oriented signage. There is little streetwall remaining along these portions of the corridor. The corridors themselves are wide, carrying high traffic volumes at fast speeds. Pedestrian traffic is rare.

The design goals for these centers include developing a sense of street edge, respecting the character of adjacent residential areas, creating a visually attractive commercial environment and providing safe circulation for pedestrians.

SITE PLANNING

Develop a sense of street edge.

- If located at the intersection of two arterial streets, the site development should incorporate a special feature or focal point at the corner of the site.
- If not at an intersection, a special feature should be considered in conjunction with a transit stop or at the primary access point to the site.
- Large sites should allow for smaller out-parcel development of pad sites close to the street, particularly at corners.
- New development should provide parking areas that are beside and behind, as well as in front of buildings. This would allow the

placement of buildings closer to the street and expanses of parking to be broken up.

Provide pedestrian accessibility.

- Buildings should be located to facilitate safe and comfortable pedestrian movement between them. If the adjacent site is developed, locate the building to facilitate pedestrian and vehicular connections to the developed sites.

Protect adjacent residential areas by appropriate placement of commercial buildings.

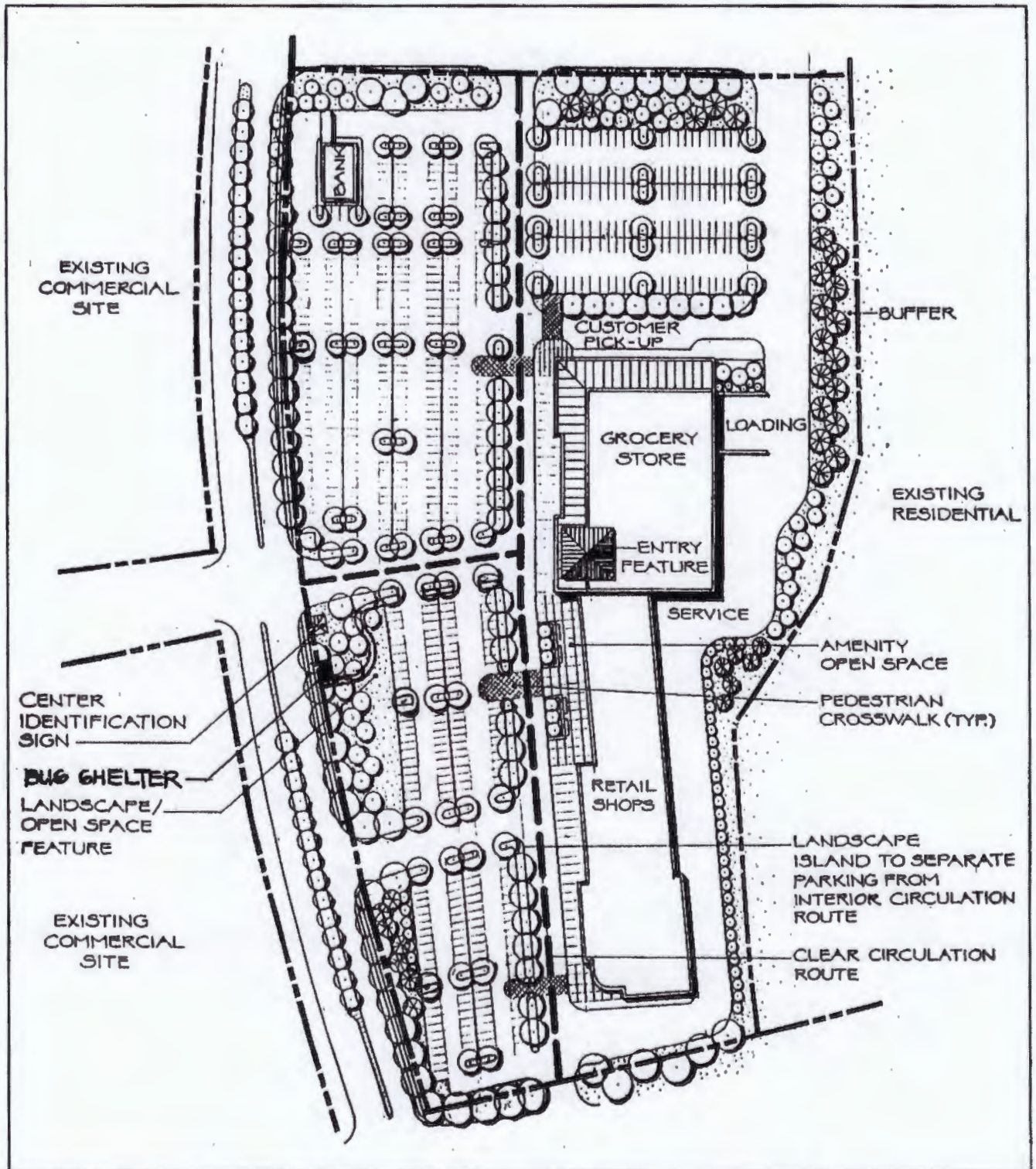
- Buildings should be arranged to reduce the effects of noise, odors, trash, light spillage, and circulation on the adjoining residences.

LANDSCAPING AND OPEN SPACE

Create an attractively landscaped right-of-way and maintain sense of streetwall.

- Following existing grades changes between different sections of a parking lot is an excellent way to break the uniformity and expanse. Avoid level grading of the entire lot. Use of retaining walls which allow the maintenance of existing slope areas is preferred over graded artificial slopes.
- Landscaped islands in the parking lot with curb cuts and shade trees are required by zoning and will help break the parking lot into more attractive, smaller scale areas as well as provide shade and areas for snow removal.

Shopping Center



This shopping center is set back from the street to provide parking for patrons, however, extensive landscaping, an entry kiosk, and a pad site are used to strengthen the street edge.

Shopping Center

- Coordinate placement of landscaping, benches, telephones, and lighting with the location of out-parcel development to improve the streetscape.
- Combine seating areas with seasonal color planting areas, and sculpture or water features to serve as a focal point.
- Landscape areas should be provided to integrate pad sites with surrounding land uses.

Provide buffers and screens for adjacent streets and residential areas.

- Plant evergreen trees where topography lessens the screening effect of a fence or wall.
- Screening should be an extension of the development's architectural treatment and consistent in color and design. Walls should be constructed of quality materials consistent with the building facade material.
- Screen service facilities from the remainder of the project, adjacent land uses and roads.
- Dumpsters should be clustered and screened on all sides, especially when they are visible from neighboring properties or streets.
- Utility metering should be located within a designated service area and screened from the project and adjacent land uses.

CIRCULATION AND PARKING

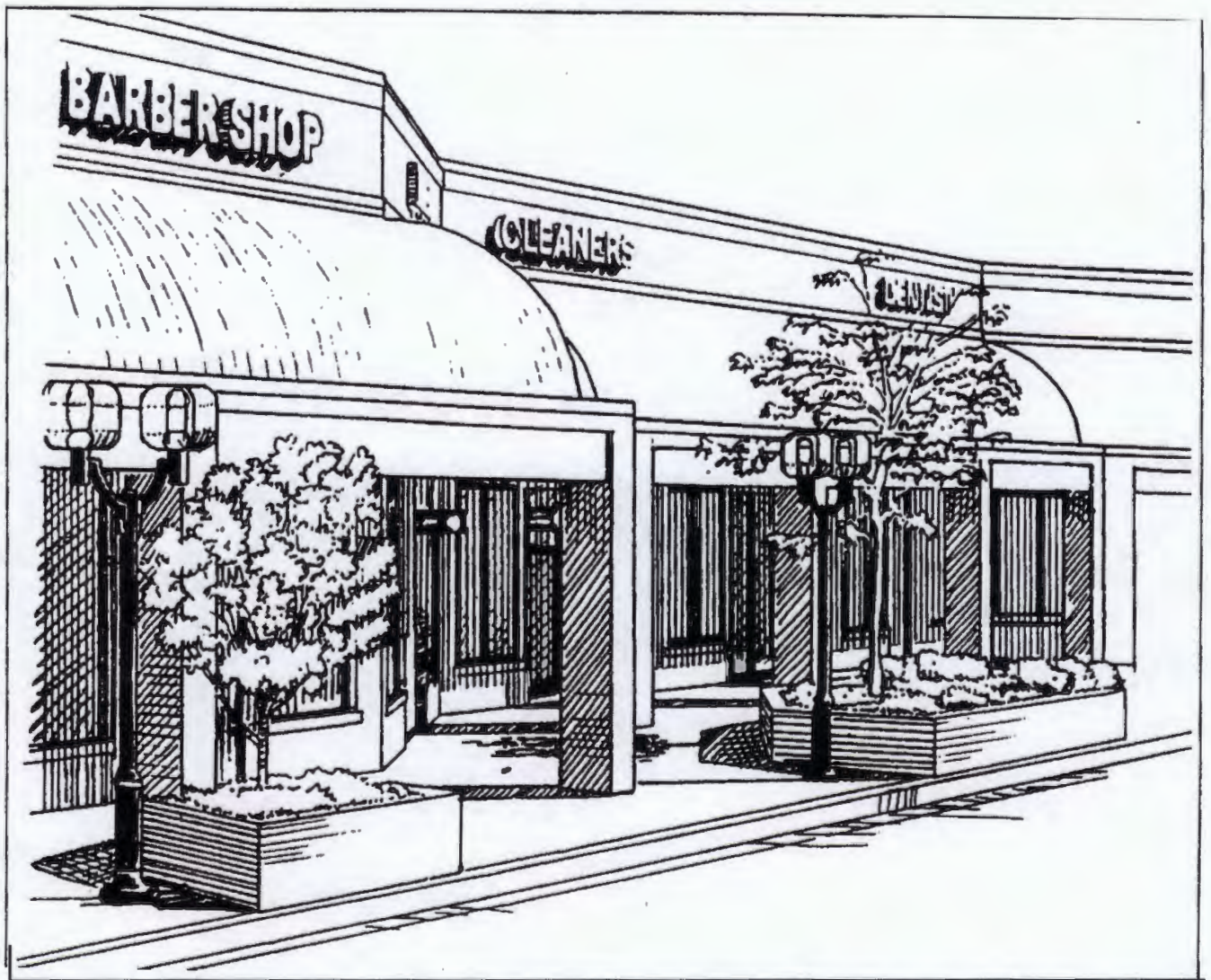
Promote pedestrian accessibility.

- On the sides of the building which provide public access into the building, walkways should be wide enough to allow for sidewalk seating area as well as pedestrian travel. Weather protection should be provided at the entrance area and, if appropriate, along the entire building walkway.
- Internal walkway surfaces should be designed to be visually attractive and enhance pedestrian comfort and safety. They should be distinguishable from driving surfaces through the use of contrasting materials such as pavers, bricks or scored concrete.
- A pedestrian network should be provided within the parking lot to transit stops, to out-parcel development and to neighboring developments to increase accessibility from surrounding uses.
- Sidewalks along the front of commercial developments should be connected to the sidewalk along the street. At a minimum, walkways should connect focal points of pedestrian activity such as transit stops and street crossings to the major building entry points. The sidewalk system should be developed to avoid making customers walk across a sea of asphalt.
- Walkways should be provided along the full length of the building on any side which provides building access to the public or where public parking is available.

Shopping Center

Minimize vehicular conflicts.

- Where feasible and desirable, consolidate curb cuts with a principal curb cut located at a mid-block location.
- No more than one curb cut per side street for secondary entrances should be provided.
- The driveway should be at least 200 feet from the intersection of major thoroughfares (arterials) unless a one-way traffic flow is used.
- Locate service facilities in a central area to be used by several retail establishments, separate from the main circulation and parking functions.



The signs for individual stores are located within the same area of the building. This band allows for variation but maintains building uniformity.

Shopping Center

LIGHTING

Create a safe environment, reduce glare and spillage of light to adjoining properties and streets and provide attractive site elements.

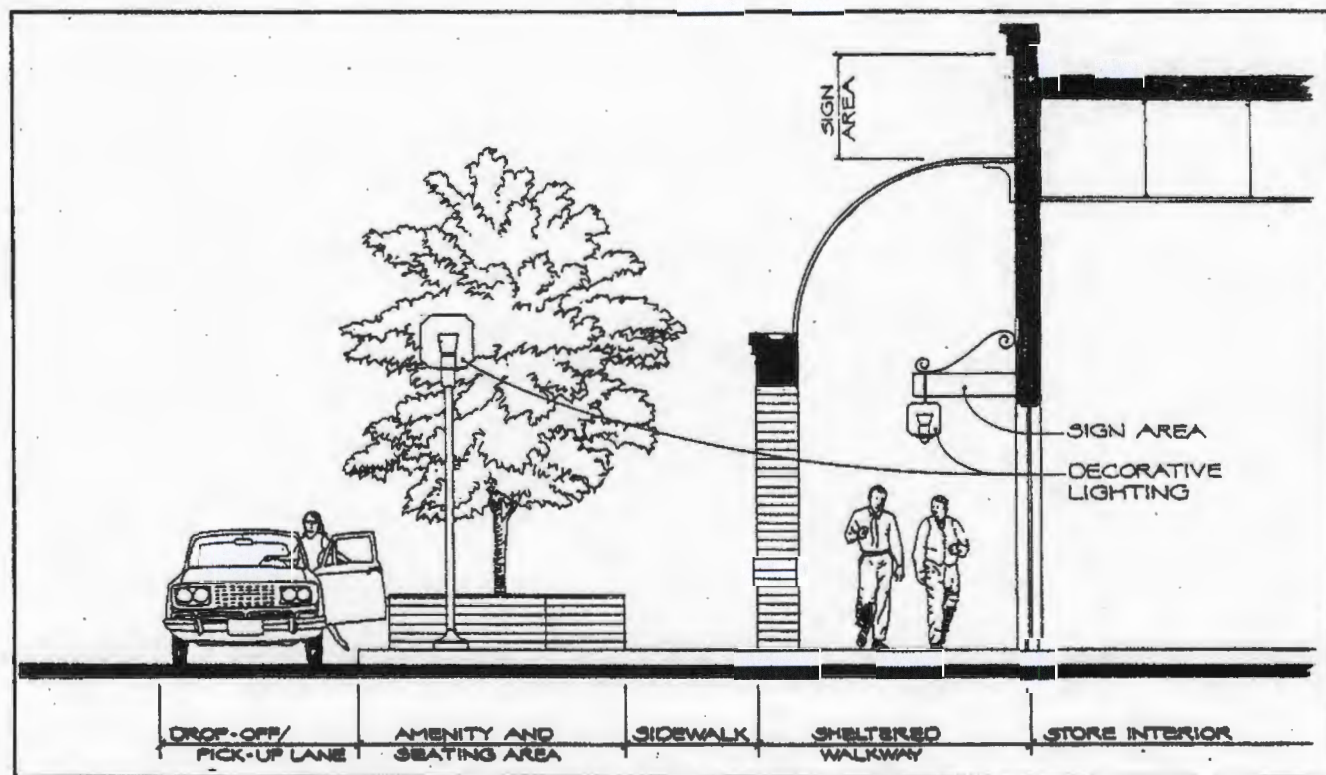
- All lighting fixtures should incorporate cut-off shields to prevent the spillover of light to adjoining properties.
- Place utility poles evenly and plumb.
- Consider special lighting to emphasize landscape such as uplighting or special lights in trees.
- Light fixtures should be consistent with building designs of a uniform design throughout the development.

- Provide special lighting for pedestrians or for ambience as needed, on poles not to exceed 18 feet.

SIGNAGE

Create a consistent line of vision through the placement and orientation of signage.

- Development projects should include a plan that specifies location, size, materials and lighting for all shopping center and individual signs.
- Signage should be consistent in size, location, material, and graphic design throughout the project.



Shopping center with landscaping along the drop-off lane and an arcade along the shops.

- Outdoor advertising (billboard) is inappropriate in shopping center parking lots.
- One freestanding sign should be used to identify the shopping center, rather than several signs.

Develop a sense of street edge.

- Signs should be placed at the property line to promote a streetwall appearance.

Signage should be integrated with the building design.

- Signage should incorporate the architectural elements of the commercial development to bring identity of the building to the streetwall.

BUILDING FEATURES

Develop a sense of street edge.

- Encourage vertical elements higher than the typical one-story building through mixed uses on the site such as a second floor for offices or residences. This gives the building a stronger presence on the street and adds variety to the architecture.
- Main entrances to parking lots should provide architectural elements such as a gateway, arch or tower to create identity and sense of streetwall.
- Storefronts along walkways are encouraged.

Respect the character of the adjacent area in the design of buildings.

- Buildings within a multi-building complex should exhibit a unity of design through the use of similar elements such as rooflines, materials, window arrangement, sign location and details which respect neighboring residential areas.

- Roof lines, overhangs, and the front fascia should be extended to the rear of the building.

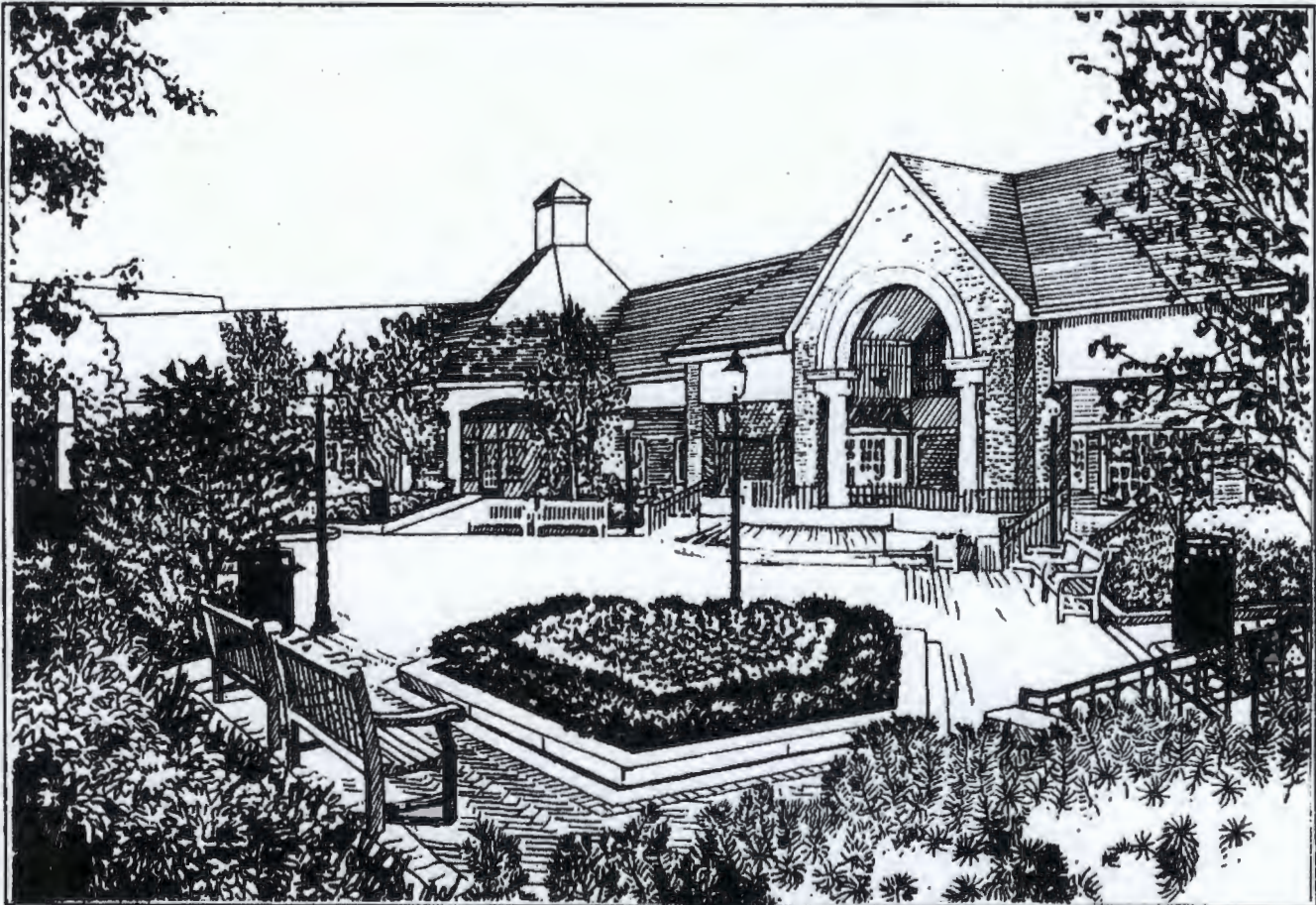
- Rear and side facades should be of finished quality and of the same color and materials as the front of the building.

Promote visual interest.

- New or remodeled buildings should incorporate bold architectural forms such as off-sets, exaggerated parapets, and highly articulated entrances. Interesting materials, colors and details are strongly encouraged.
- Long, flat faces are strongly discouraged. Buildings over 100 feet in length should incorporate recesses/off-sets, angular forms or other features to provide a visually interesting shape. A single uninterrupted length of facade should not exceed 100 feet.
- Large expanses of flat monotonous material should be minimized through the use of bands of accent color, recessed or protruding belt courses, wide reveals or combinations thereof.

Shopping Center

- Colors are encouraged for trim as accents, but are discouraged for the main portions of the buildings.
- Mechanical equipment, if located on the building, shall be located within the roof form of the building or enclosed within a screening structure, the design of which is consistent with the design of the building.



Amenity areas are incorporated into site design. Long building facades are divided into visually scalable sections with a variety of architectural details and roof forms.

POWER CENTER CONCEPT

A Power Center is a destination, single-story shopping area, that is automobile oriented with no interior mall space and is often occupied by discount retailers (wholesale with membership and subject to sales tax). Generally, the largest user has a floor area over 100,000 square feet, but there may be two users with 40,000 to 80,000 square feet, and there may be additional strip retail uses and pad sites. Developers generally provide more than 5 parking spaces per 1,000 square feet of building area. These centers can be characterized as large buildings with large amounts of parking.

- Design the site circulation system as a hierarchical system. The entry should feed a collector road which feeds the parking areas. The entry design should include a landscaped median to separate incoming and outgoing traffic and provide visual relief from the width of the paving.
- Design all sidewalks as a continuous circulation system and connect the sidewalks with the pedestrian ways in the vicinity.
- Screen mechanical and utility equipment, trash dumpsters and other similar items from view.

SITE PLANNING

Site elements should develop a sense of street edge.

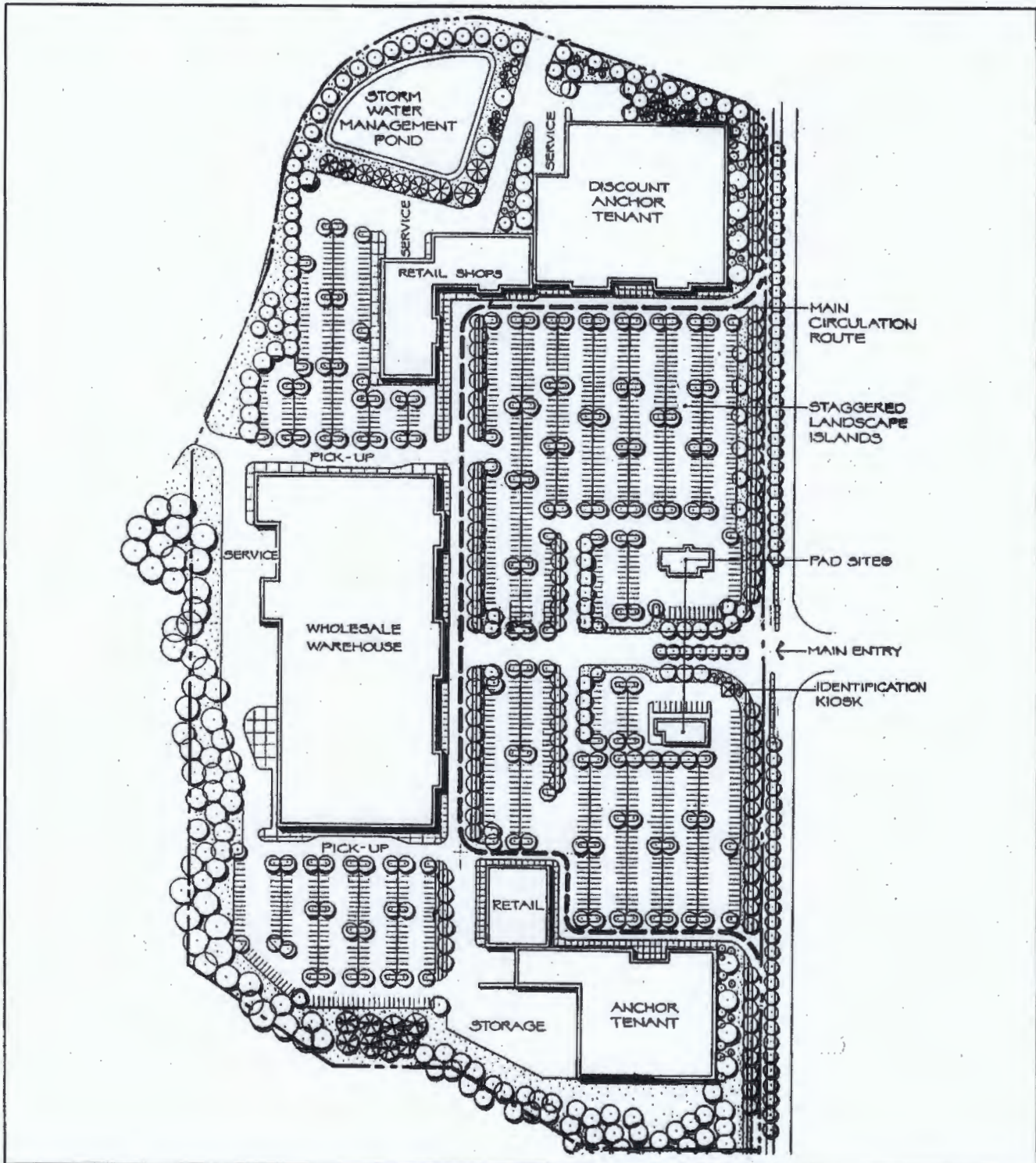
- Locate or center the largest user on the site to provide a focal point for design.
- Group buildings together to form a unified complex. Buildings may be organized to form a campus-like setting that are surrounded by attractively landscaped parking areas.
- If located at the intersection of two arterial streets, the site development should incorporate a special feature or focal point at the corner of the site.
- Locate pad sites close to the street to provide a sense of street edge.
- The furthest parking lot space should generally not be more than 300 feet from the building facade and no more than 500 feet from a building entrance.

LANDSCAPING

Landscaping should be used to provide visual orientation, define circulation, and shade parking lots.

- Provide landscaping between the building facade and sidewalk where possible. Landscaping along the building will provide additional visual interest.
- Plant the strip between the major road and the site development with materials that continue the overall streetscape design.
- Locate street trees and other landscape features along the sidewalk system.
- If planting islands are staggered within the parking lots, then only one island break for every 14 parking spaces will be required. Islands should have a minimum of two trees.

Power Center



The building complex is organized with the largest tenant at the center of the site. Anchor tenants and pad sites are located close to the right-of-way to provide a street edge. Service, loading and storage are at the rears of the buildings and screened by extensive landscaping. The parking lots are lined with trees to identify the main vehicular routes. A single identification kiosk is located at the main entry close to the major arterial.

- If tree-lined medians (minimum width of 9 feet) are used to separate parking aisles or the internal collector street, then island breaks will not be required.

OPEN SPACE

Provide open space for employees and patrons.

- Provide an outdoor, landscaped area for employees to take a break, eat lunch, wait for a ride, or meet someone.
- In projects where undeveloped land remains, use these areas as passive open space and provide pedestrian access.

CIRCULATION AND PARKING

Circulation patterns and parking should reinforce safe and efficient pedestrian and vehicular movement.

- Design an internal collector street which fronts a majority of the building entrances. This concept will have buildings on one side of the street and parking areas on the other.
- Use landscaped islands and medians to help separate and define the roadway network.
- Provide sidewalks along the parking lot side of the collector street. The extensive use of sidewalks is not required, but should be adequate to ensure a safe pedestrian environment.

- Provide sidewalks and curbs along the entire length of the front building facade. Include sidewalks along the sides of the building when facing a parking lot.

SIGNAGE AND LIGHTING

Signage should provide visual relief from the building facade(s).

- Signs should be wall-mounted and not extend above the building facade(s).
- The building signs should have a consistent color pallet (three colors or fewer, including background) and lettering style.
- One freestanding project identification sign that identifies the development may be up to 25 feet in height; if the development is on more than one major arterial or boulevard, then the other freestanding signs may not exceed 8 feet in height.
- The design of a freestanding sign may be kiosk-like to become part of the overall streetscape and use similar architectural elements included on the main building design.
- Architecturally compatible, low-level light fixtures are preferred. Lighting adjacent to residential areas should not exceed 18 feet in height.

Power Center

BUILDING FEATURES

Large buildings should incorporate architectural elements that visually segment the structures.

- Buildings should be architecturally related with design and materials.
- Provide windows along the sidewalk edge to aid visual interest, give scale and provide a sense of “window shopping” and information about what is sold in the centers.
- A consistent, uniform architectural theme is desired for the development. Centers are often designed as a tall, one-story box. Provide some scale relief by offsetting the building entry or providing a canopy above the sidewalk.
- Avoid designing long unadorned facades. Provide repetition of shapes or forms along the building facade.
- Building heights may be varied to avoid long monotonous facades.
- The rear facades and loading areas should not be visible from the major street. Loading and service areas should be completely screened with the use of landscaping, decorative fencing or walls.
- Avoid large, flat roofs without using accents in the parapet line. Height differentiation provides visual relief of otherwise straight boxes.

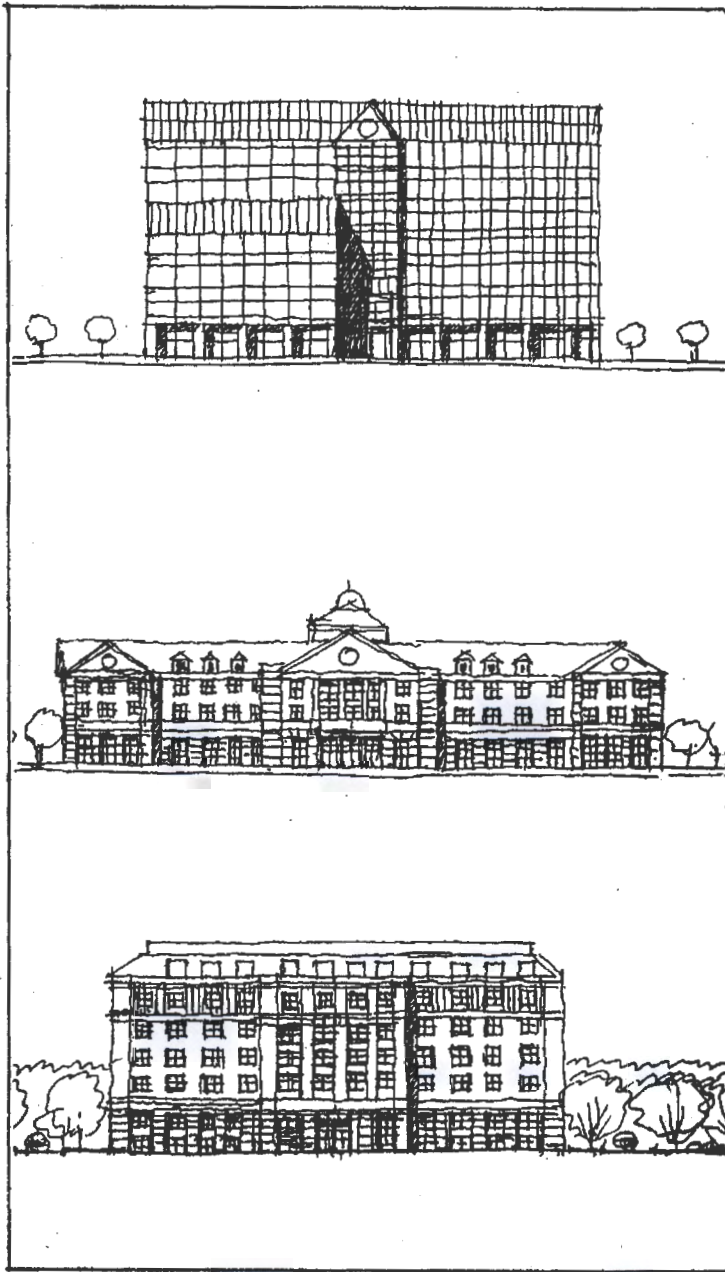


Division III
Section B

OFFICE GUIDELINES

Introduction	123
Site Planning	124
Landscaping	129
Open Space	131
Circulation and Parking	133
Signage and Lighting	135
Building Features	137

Introduction



The majority of non-residential zones within Baltimore County allow for the construction of new office buildings. The RO, O-1, O-2, and OT are specifically designated for office use. In addition, the industrial zones (ML, MLR, MR, MH, SE) and business zones (BL, BM, or BR) also allow for the construction of new office buildings.

The purpose of this section is to provide general guidelines that will be used by the County to evaluate project design as required by the development review process. These guidelines were established to review office and flex warehouse type uses. The guidelines are advisory and should be used by the County, developer/builder, and residents.

This section has been divided into six elements which include the following:

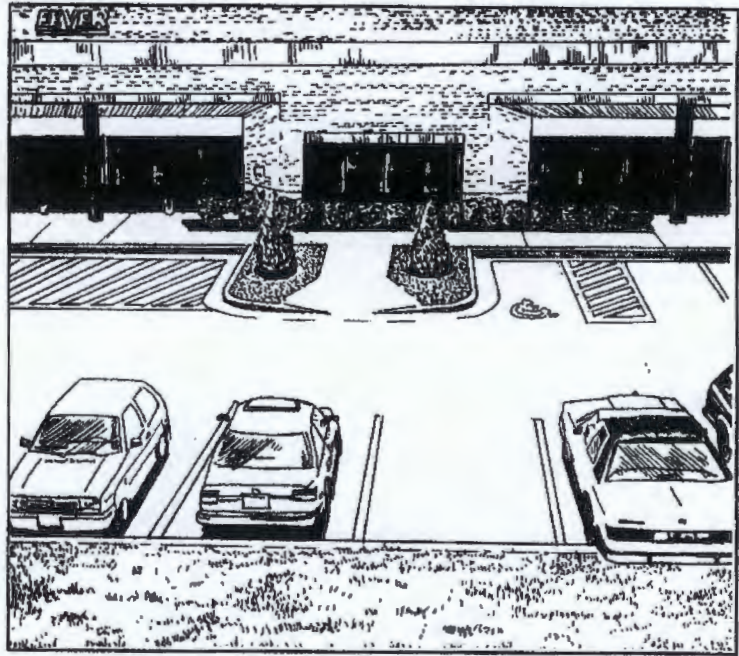
- Site Planning
- Landscaping
- Open Space
- Circulation and Parking
- Signage and Lighting
- Building Features

Site Planning

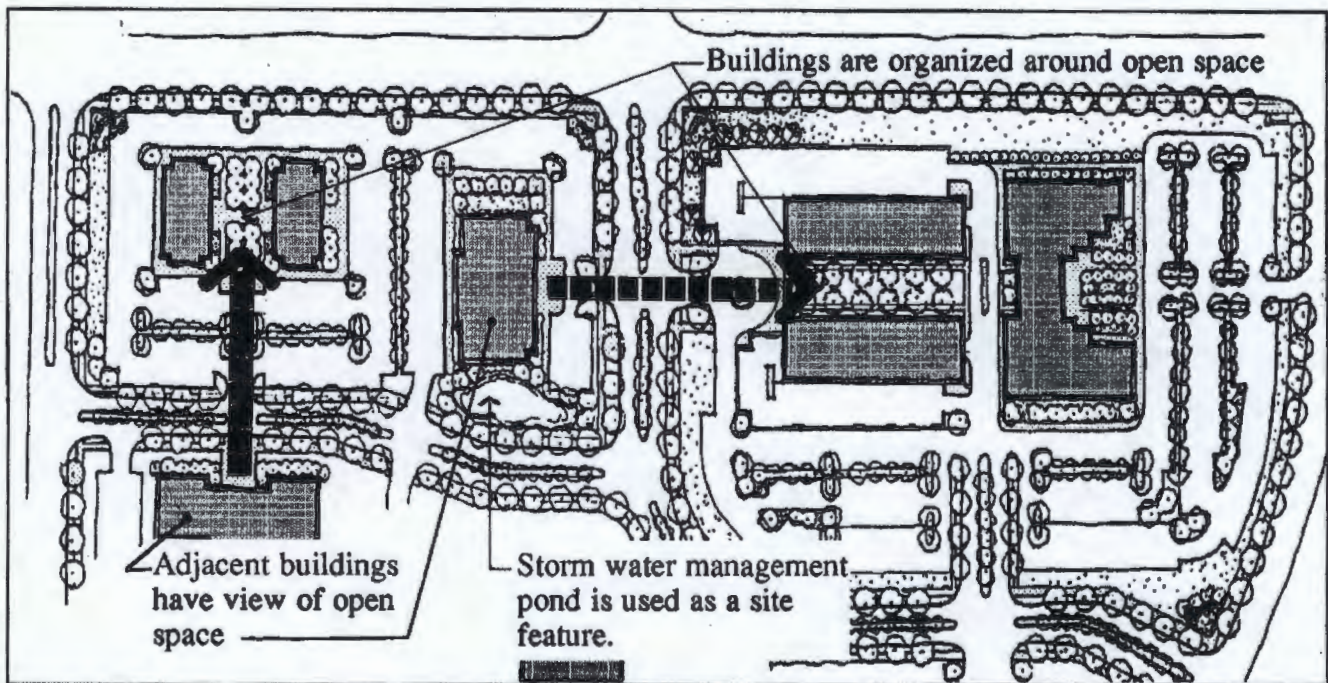
SITE PLANNING

Locate the buildings, parking facilities, and accessory structures to utilize the existing topography and slopes.

- a) The site plan design should take advantage of views, natural site drainage, preserve striking land forms and water features, and incorporate existing vegetation to the fullest extent possible.
- b) The placements of buildings on a site should conform to the undisturbed land form. Use the existing vegetation on site to enhance the building locations or parking areas.
- c) Organize buildings around natural or man made open space features.



The sloping terrain screens the parking area from adjacent uses.



Site Planning

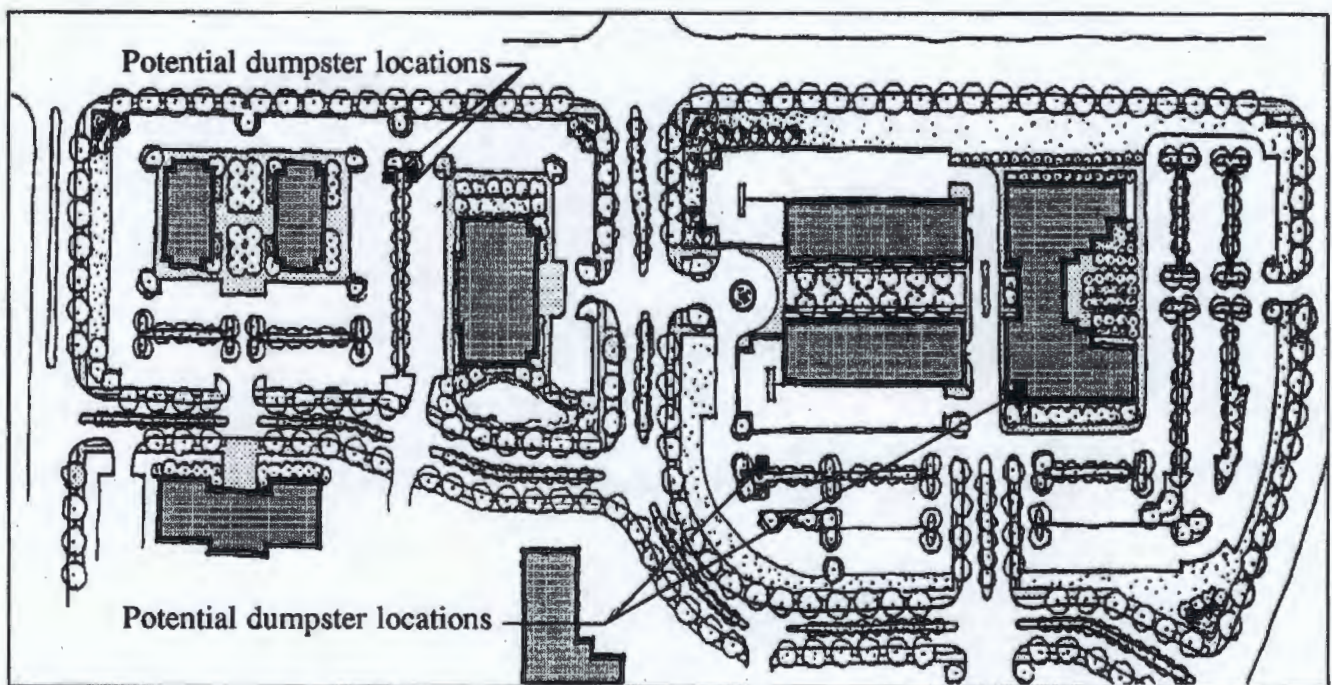


Each service area is located at the building's side yard to form a court so that the building and wing wall screen such areas from adjacent sites.

Accessory structures, service areas and mechanical equipment should be designed as integral components of the site.

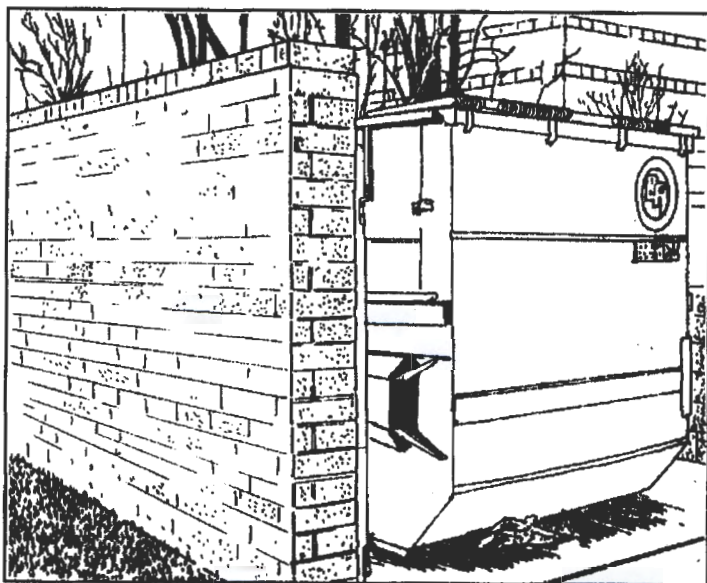
a) Screen and fence trash dumpsters, sheds and mechanical equipment with materials and design features that are the same as or complementary to the building. Landscape treatment at these locations should act as a visual buffer.

b) Dumpsters should be located in areas that are functional, but not visually imposing from streets or residential areas.

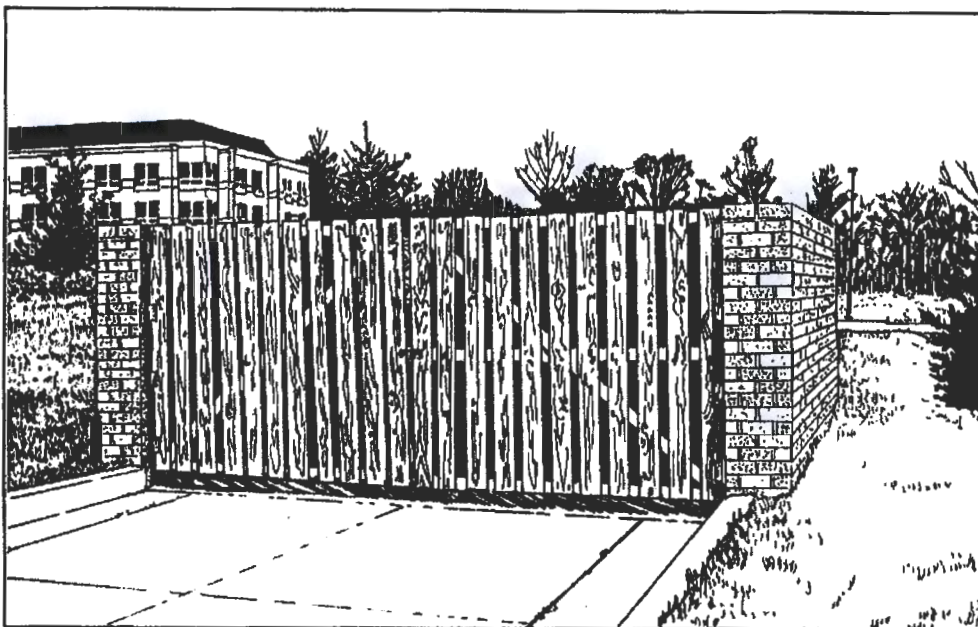


Dumpsters should be screened from view with fencing and landscaping.

Site Planning

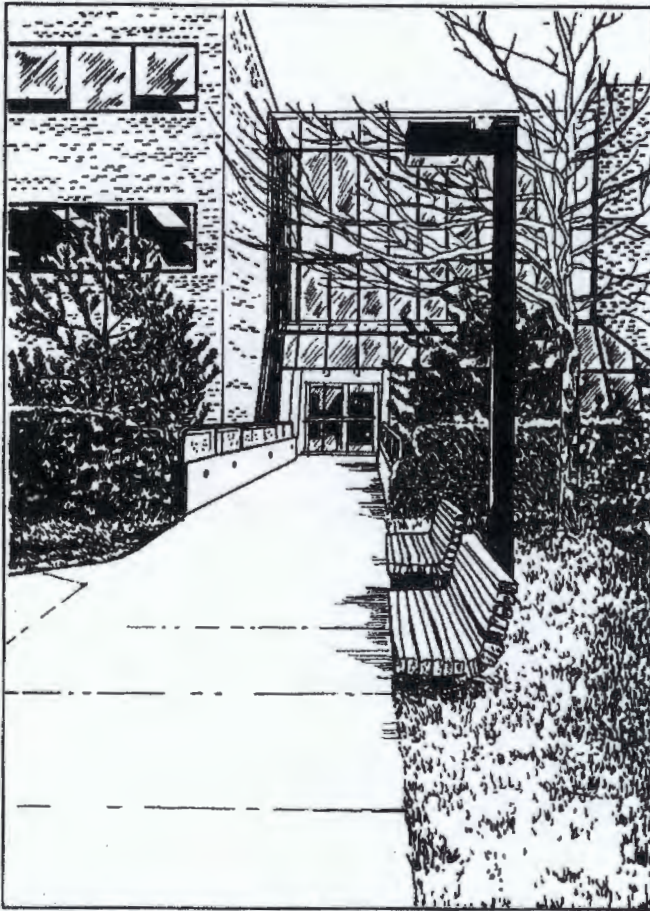


Trash dumpster with some screening and no landscaping.

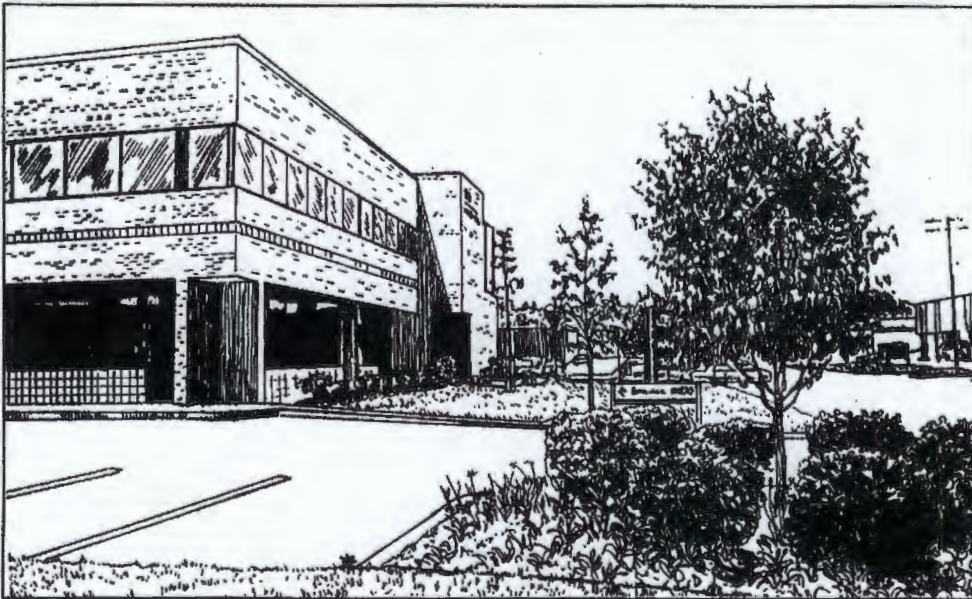


Screened trash dumpster in need of landscaping treatment.

Site Planning



Landscaped sidewalk connection from parking lot to building entrance.



The front building facade is located near the public right-of-way to reinforce the street as a center of activity.

The location of buildings should reinforce the street as a center of activity.

a) Locate the longest side of a building parallel to the public right-of-way. The front yard setback should not substantially (+5%) deviate from adjacent structures unless such structures do not conform to the overall area character.

b) The building orientation and design should reflect and contribute to the neighborhood character.

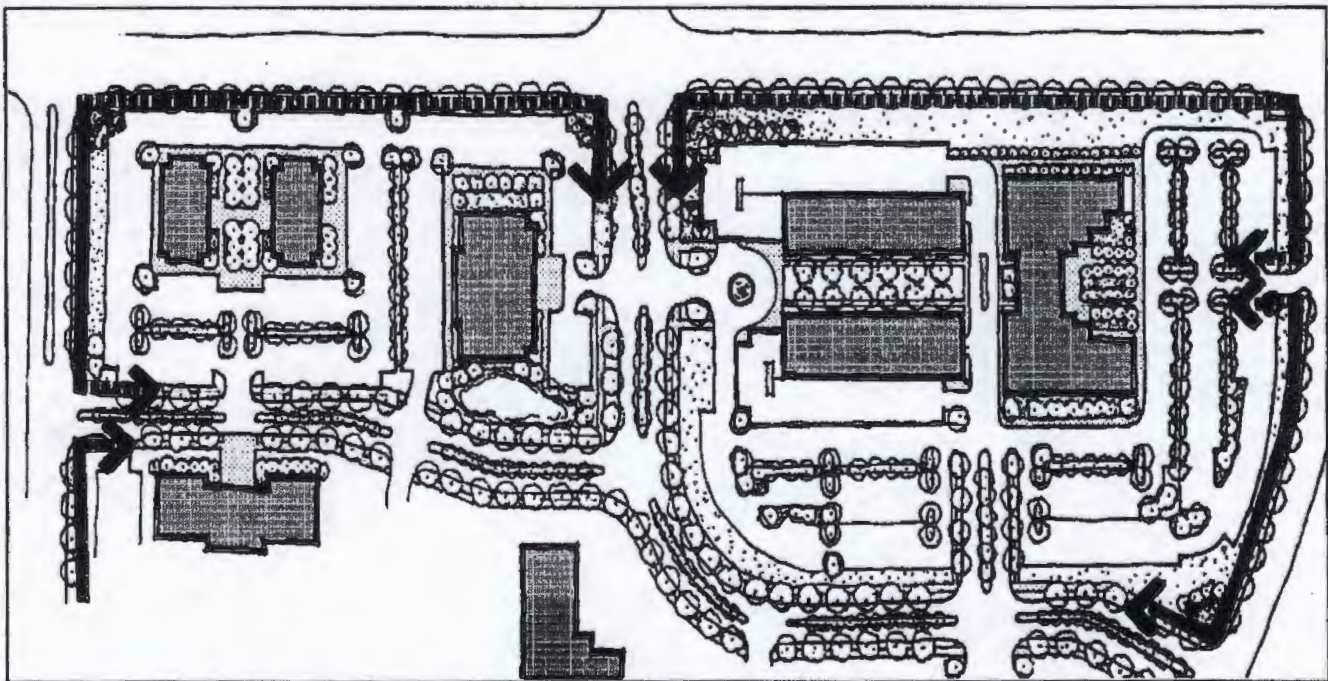
Site Planning

Provide and incorporate pedestrian access into the site and building design.

- a) Landscaped, tree-lined walkways should be used as connections between buildings, buildings to streets or building to parking areas.
- b) Incorporate recessed sitting areas into the walk or pathway system.

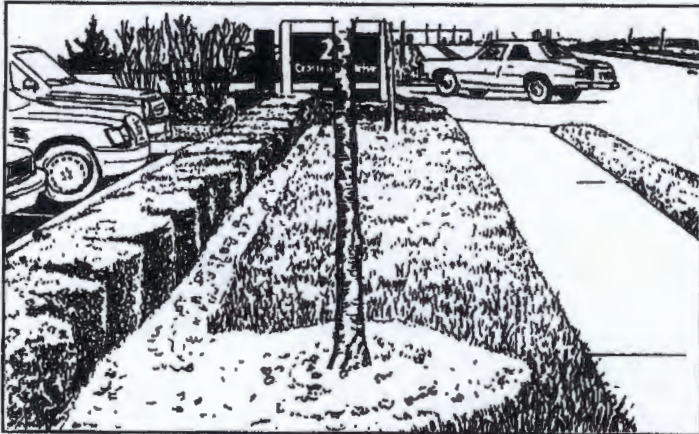


Tree-lined, lighted walkways connect parking area to building entrance.

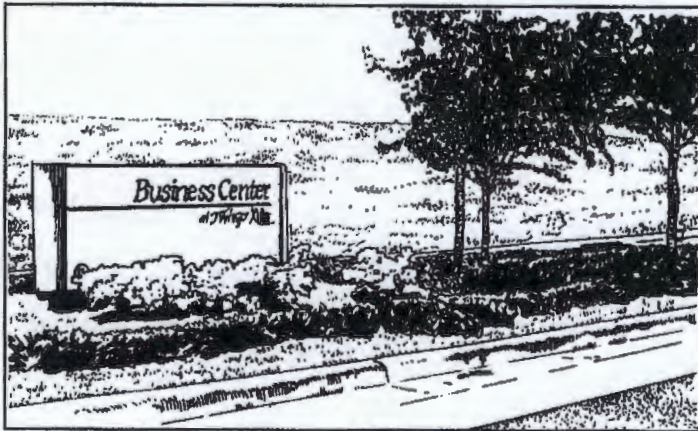


Pedestrian access around perimeter of site provides access to interior site circulation.

Landscaping



Landscaped right-of-way with sidewalk between parking lot and street pavement.



Landscaped entrance median with monument sign.



Fenced and landscaped buffer area between residential and nonresidential uses.

LANDSCAPING

Landscaping should create and define street image, entranceways, screen storage and loading areas, provide buffers adjacent to residential uses, shade parking lots and integrate the building design with the site design.

a) Street trees, streetscape furnishings, and details should be used for continuity between project sites and for pedestrian access along streets.

b) Plantings at points of entry define and accent building and site access (pedestrian as well as vehicular).

c) Use vegetation to provide a natural screen and buffer commercial use from residential neighborhoods.

d) Plant shade trees along walkways through parking lots to visually interrupt the parking bays. Shade trees will also reduce heat and glare and help to define traffic patterns and movements.

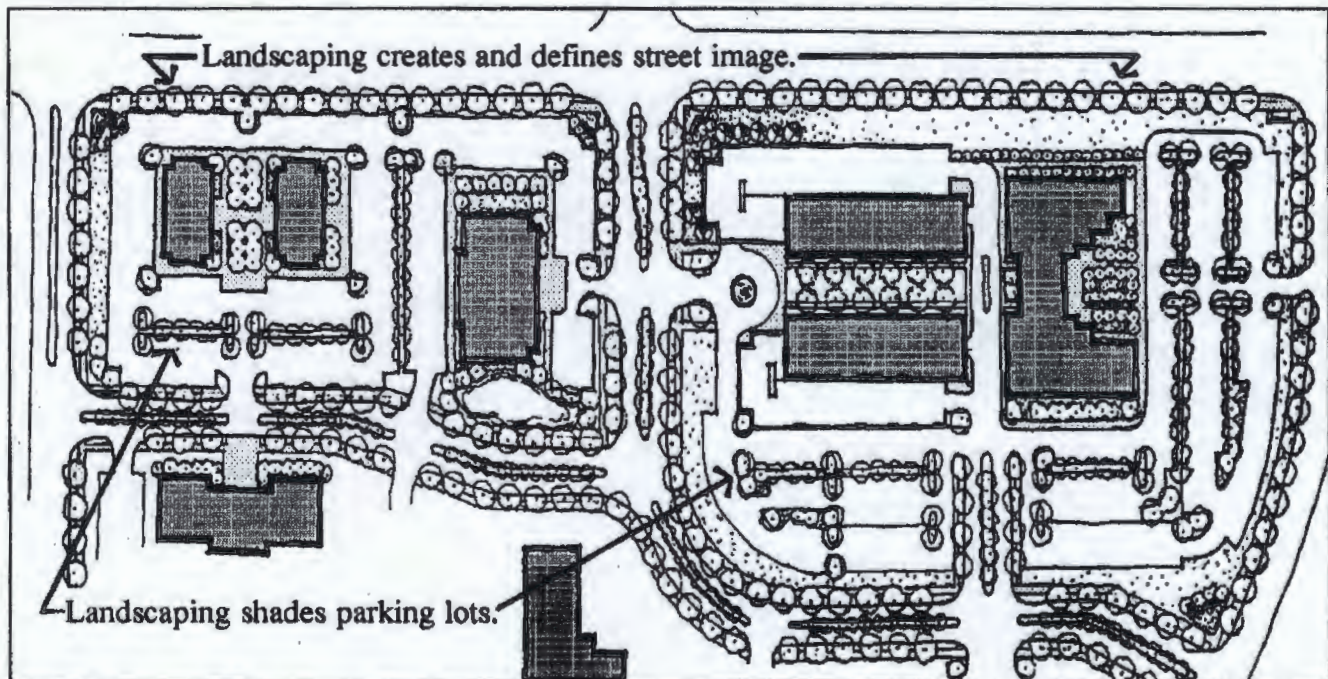
Landscaping



Use planting diamonds in parking lots when medians between bays are not possible.



Landscaped median between parking bays.



OPEN SPACE

Design the open space network and amenities as an integral part of the overall site plan to take advantage of landscaping features and undevelopable areas.

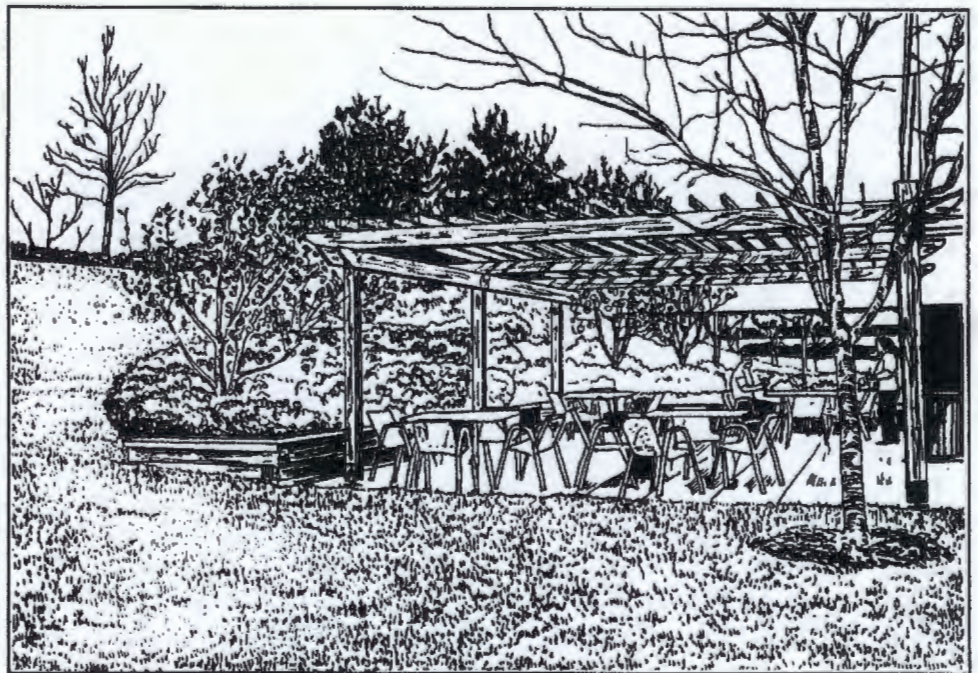
a) Provide small areas for active or passive use by employees such as picnic tables, benches, and other areas for sitting, eating or meeting.

b) Provide access to and views of the open space network. Take advantage of the space between buildings to include a courtyard or site feature.

c) Use undevelopable areas as open space features or as buffers between uses.

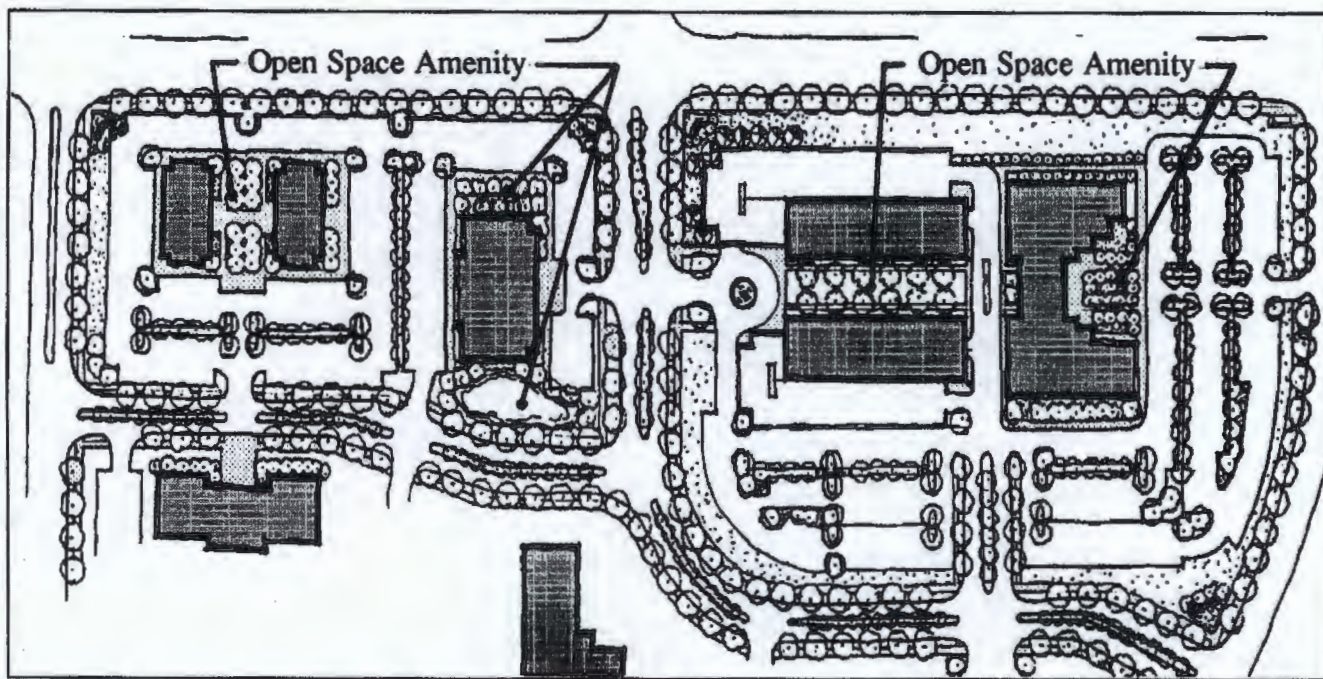


Bench along landscaped walkway.

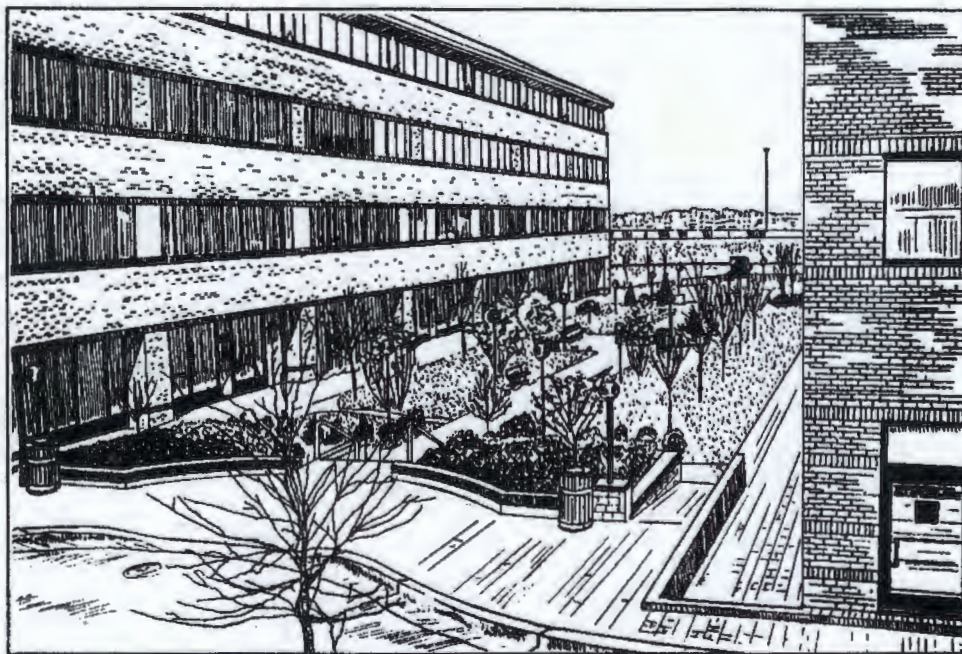


Landscaped employee gathering area with tables and chairs.

Open Space



Open space amenities are an integral part of the overall site plan.



Landscaped courtyard between buildings.

Circulation and Parking

CIRCULATION AND PARKING

Circulation and parking should reinforce safe and efficient pedestrian and vehicular movement.

a) The main entrance serves as the dominant ingress and egress point into a development.

b) Curb cuts should be consolidated to the extent feasible or practical.

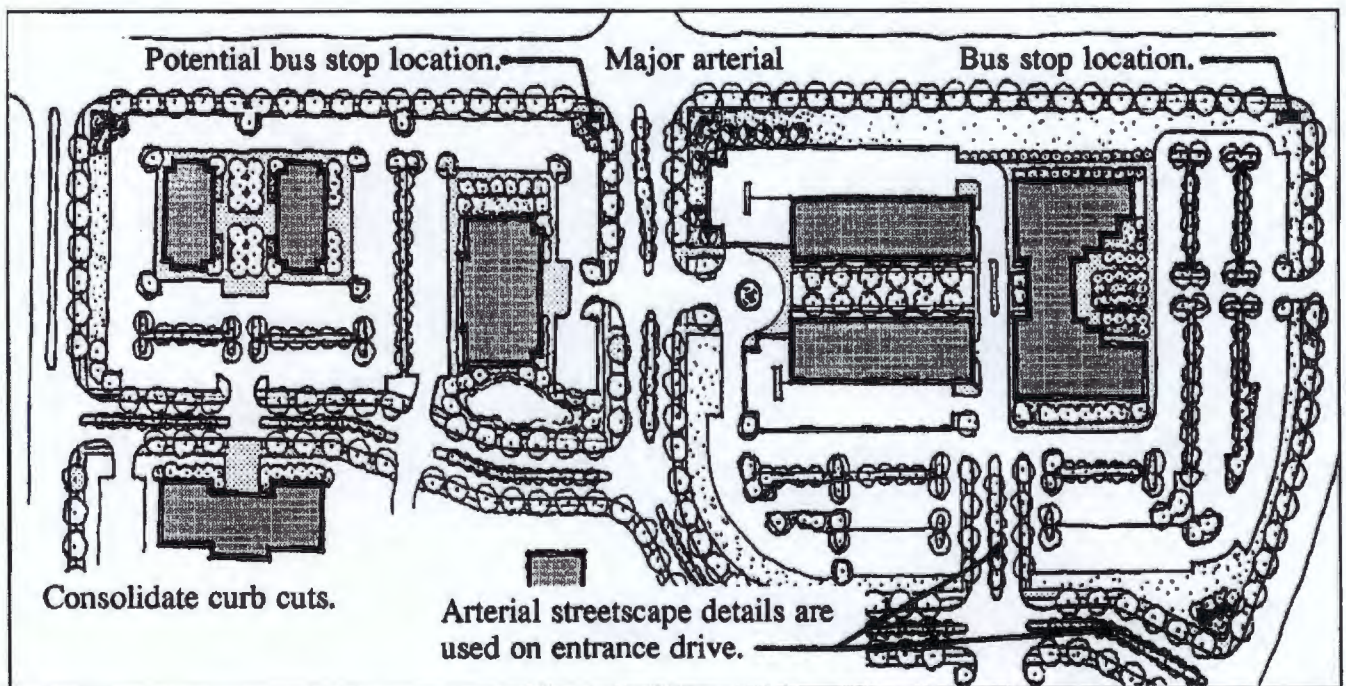
c) Access points into a development site should be located to minimize the impact on adjoining residential communities.

d) The vehicular access points should facilitate traffic movement through the site.

Transit should be an integral part of project circulation.

a) Where directed by the Maryland Transit Administration, Access by Design should be incorporated into the development.

b) The provision of bus shelters, or signs and pathways should be incorporated into the development.



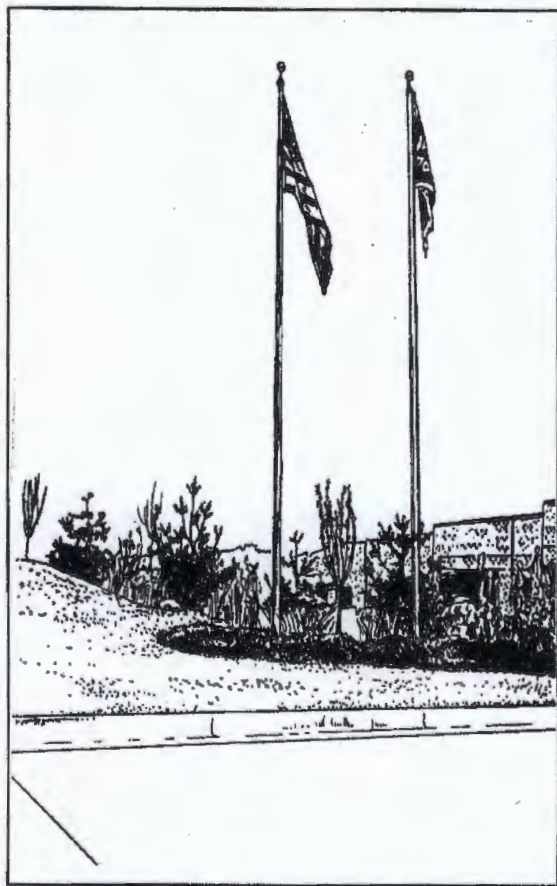
The vehicular and pedestrian environment is improved with convenient sidewalk access to alternative transportation and the internal streets are lined with landscaping to delineate the circulation system.

Circulation and Parking

The landscaping and paving dimensions within the street rights-of-way provide a sense of identity and orientation.

a) The streetscape design and features should reflect those of the surrounding community. For example, boulevards should contain tall compact trees, commercial corridors should have tall canopy trees, and urban areas should have appropriate sidewalk furniture and tree placements.

b) Street widths should be designed to reflect existing patterns and hierarchy.



Flagpoles identify vehicular entrance point and site identification.



Plant trees within medians.

Signage and Lighting



The sign provides clear, concise information.

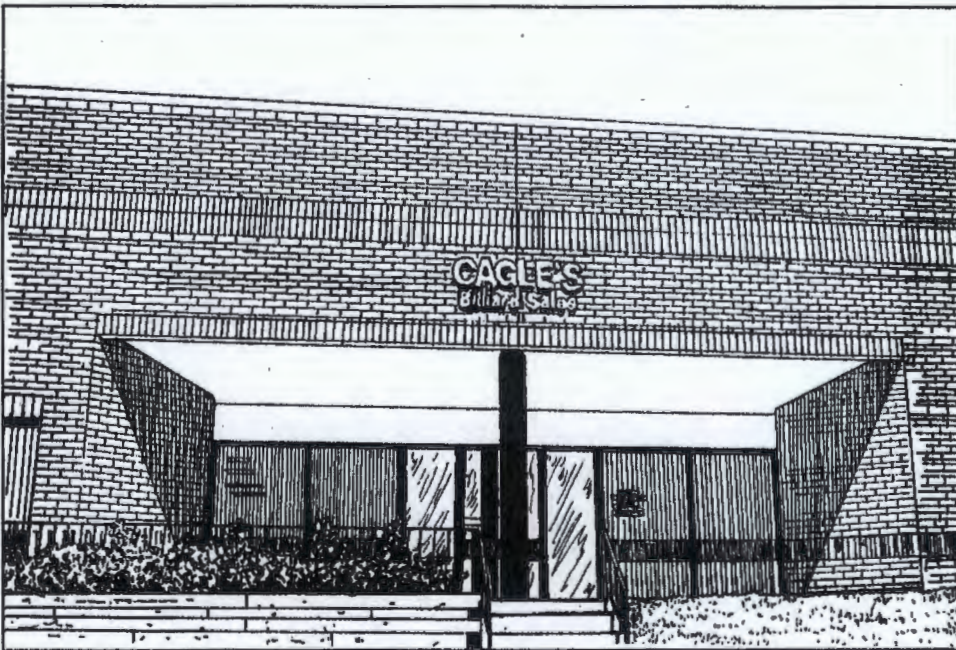
SIGNAGE AND LIGHTING

Signage serves as a focal point for information to identify the location and nature of a business.

a) Signage design should improve the visual continuity of the area; it should not serve as a distraction.

b) Illuminated signs will be allowed. External lighting should only be applied to the sign face.

c) The design and materials of a sign should complement and be similar to those used for the building.



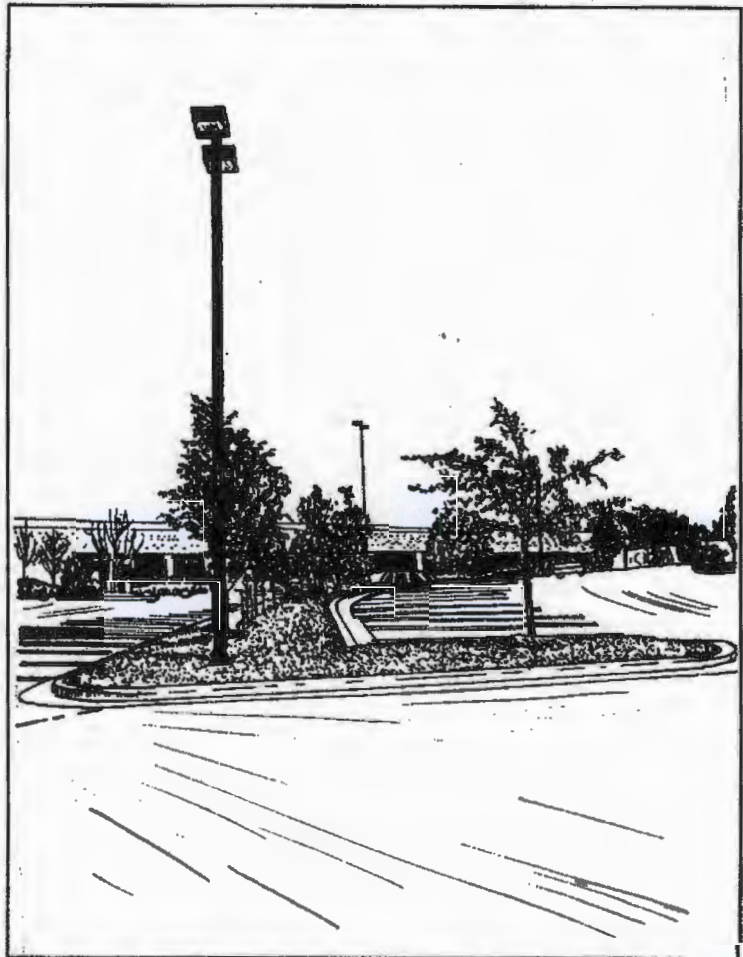
The sign should be in scale with the facade and along a uniform band across the building.

Signage and Lighting

Lighting fixtures should be designed to provide continuity within the project as well as with the surrounding community.

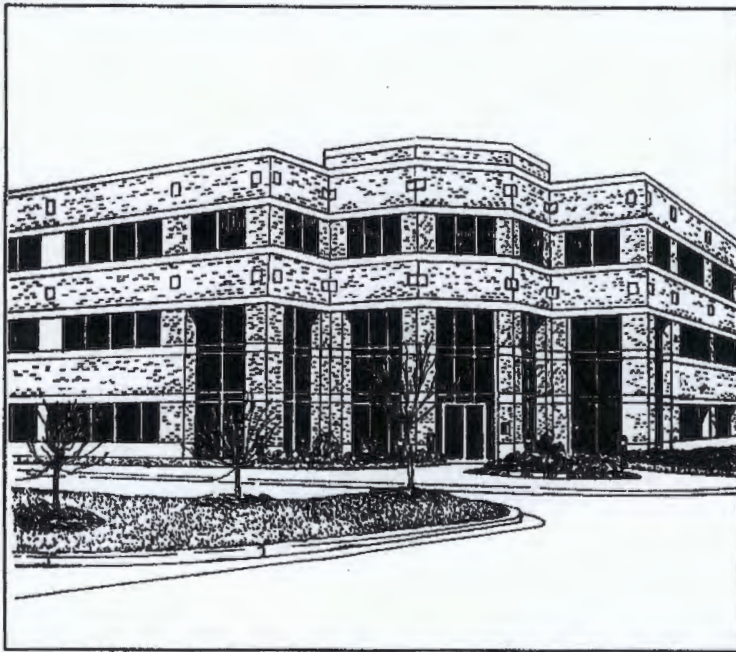
a) Lighting standards adjacent to residential areas should not exceed 18 feet in height and should be designed to prevent spillover of light onto the adjoining residences.

b) The footcandles produced should be appropriate for the use proposed. The illumination of the building and site features (parking lots, walkways or entrances, etc.) should not exceed the needed level and appropriately sized for its purpose.

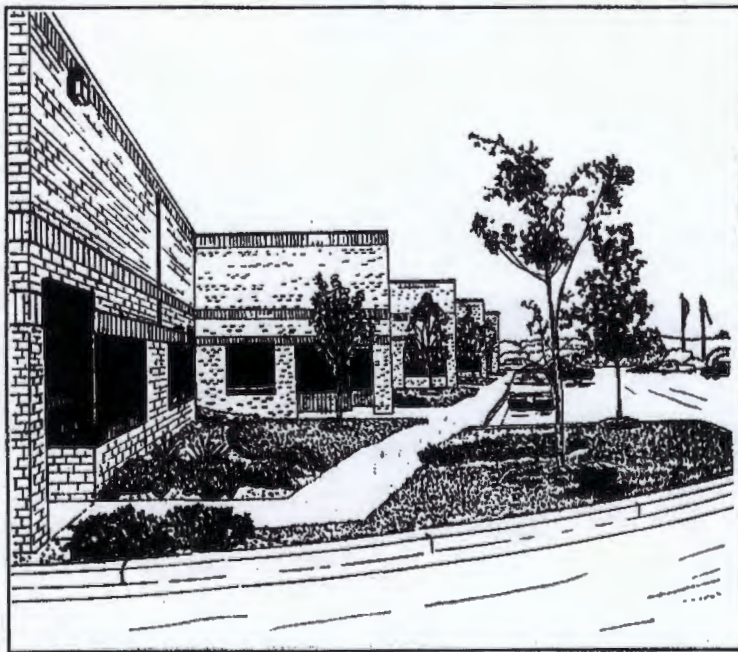


The parking area lighting fixtures are designed to only illuminate the parking lot area.

Building Features



The building mass is diminished by the change of materials, patterns and colors.



The building's length is reduced by the setbacks designed into the front facade.

BUILDING FEATURES

Encourage architectural style of the building or buildings to be highly articulate and the design should complement existing residential uses and/or adjacent buildings.

Proportion:

Buildings designed to express the base, shaft and crown provide a sense of proportion and appear visually interesting.

Mass:

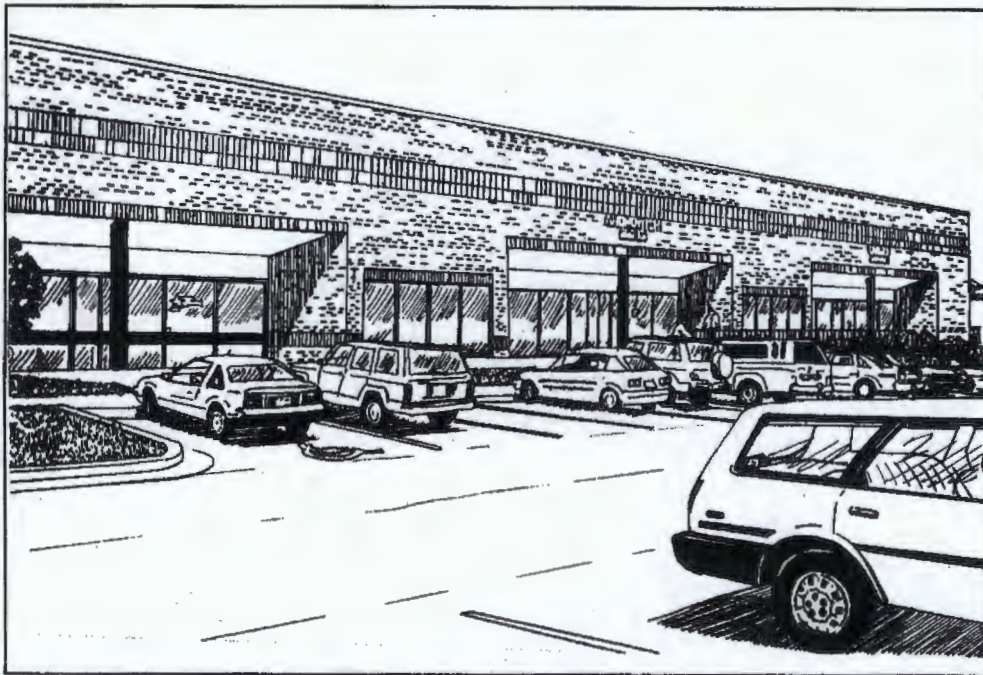
Vary and articulate building elements to visually and dimensionally interrupt the bulk of the building. Two ways to do this include highlighting entranceways and establishing focal points.

The bulk and general massing of a building should not significantly exceed the horizontal and vertical dimensions and volume of adjacent buildings in the surrounding area.

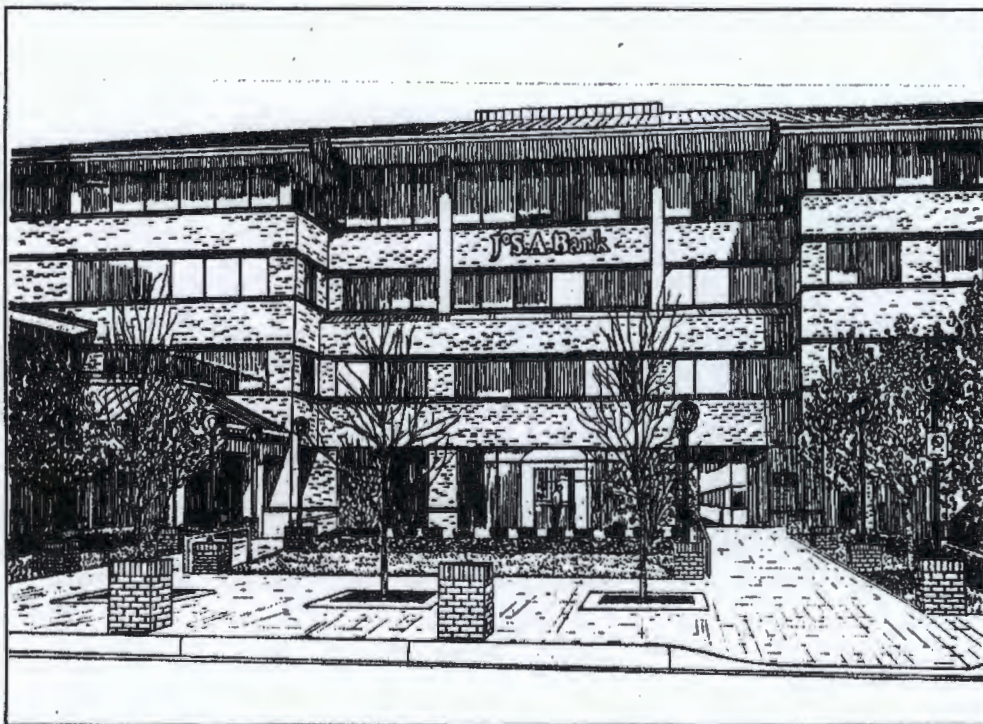
Scale:

Buildings should relate to surrounding development by designing tapering heights and setbacks, repeating established patterns and modules and siting the building with similar setbacks.

Building Features

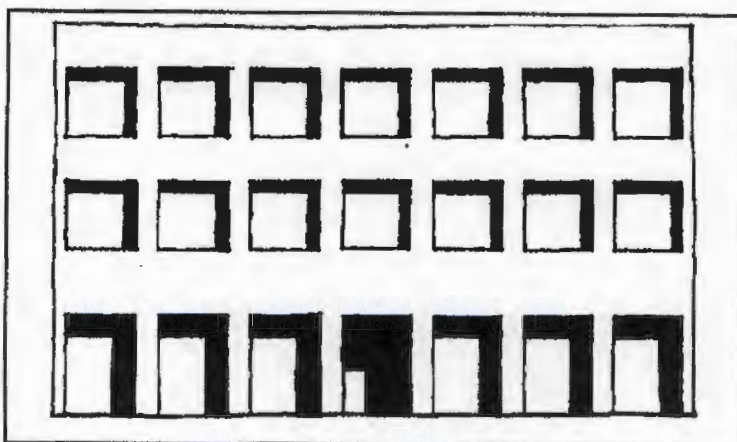


The scale of the building is reduced by the repetition of patterns and modules at each bay.

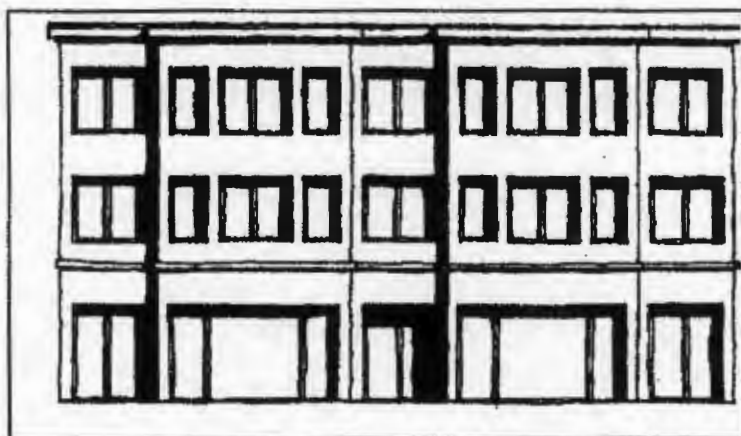


The roof is an integral part of the building design and is used to screen mechanical equipment.

Building Features



The limited articulation of this building mass provides minimal visual interest.



Vary and articulate the building elements to dimensionally interrupt the bulk and add visual interest.

Encourage intriguing design character through the creative use of materials and design details. Building elements create focal points and establish hierarchy.

Pattern:

Vary the window and wall relationship to reflect existing patterns prevalent within the community.

Detail:

The architectural character and stylistic features should be derived from examples of surrounding development and regional patterns.

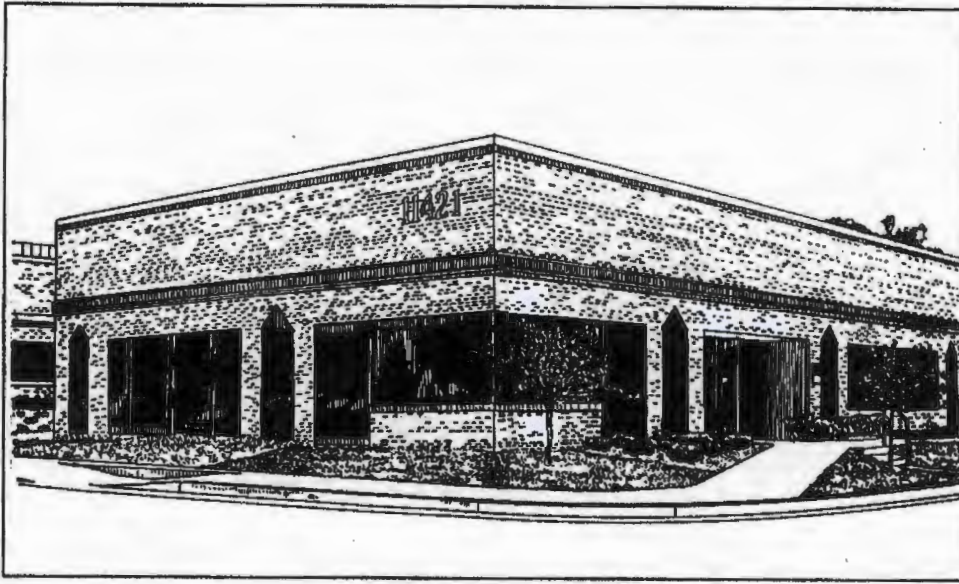
The building entrance, base and window pattern are opportunities for special detail and accent.

Roof:

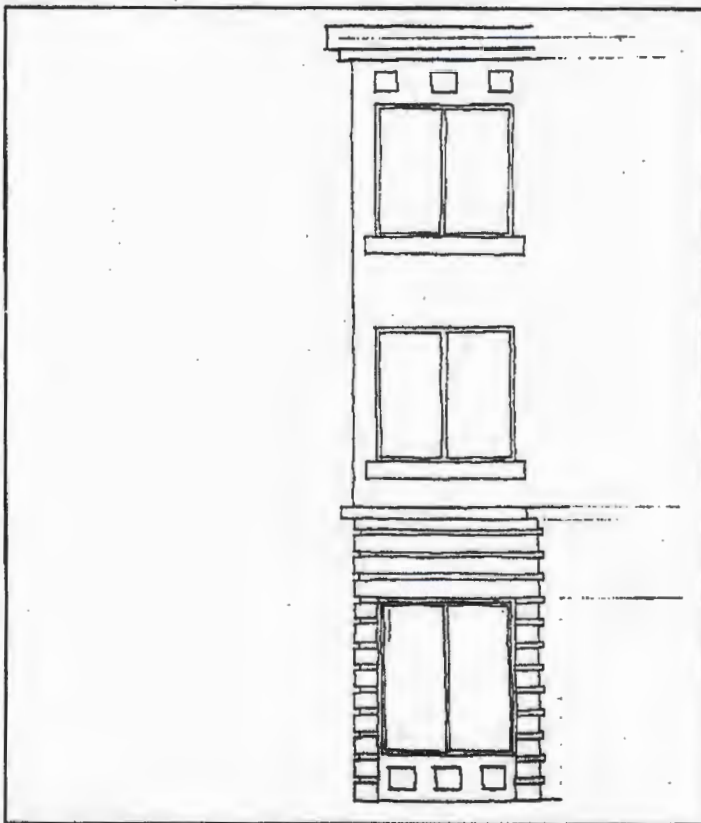
The roof treatment is an integral part of the building design and the design should incorporate the style and pitch of roofs found in the surrounding community.

Screen rooftop mechanical equipment or locate the equipment so that it is not visible.

Building Features

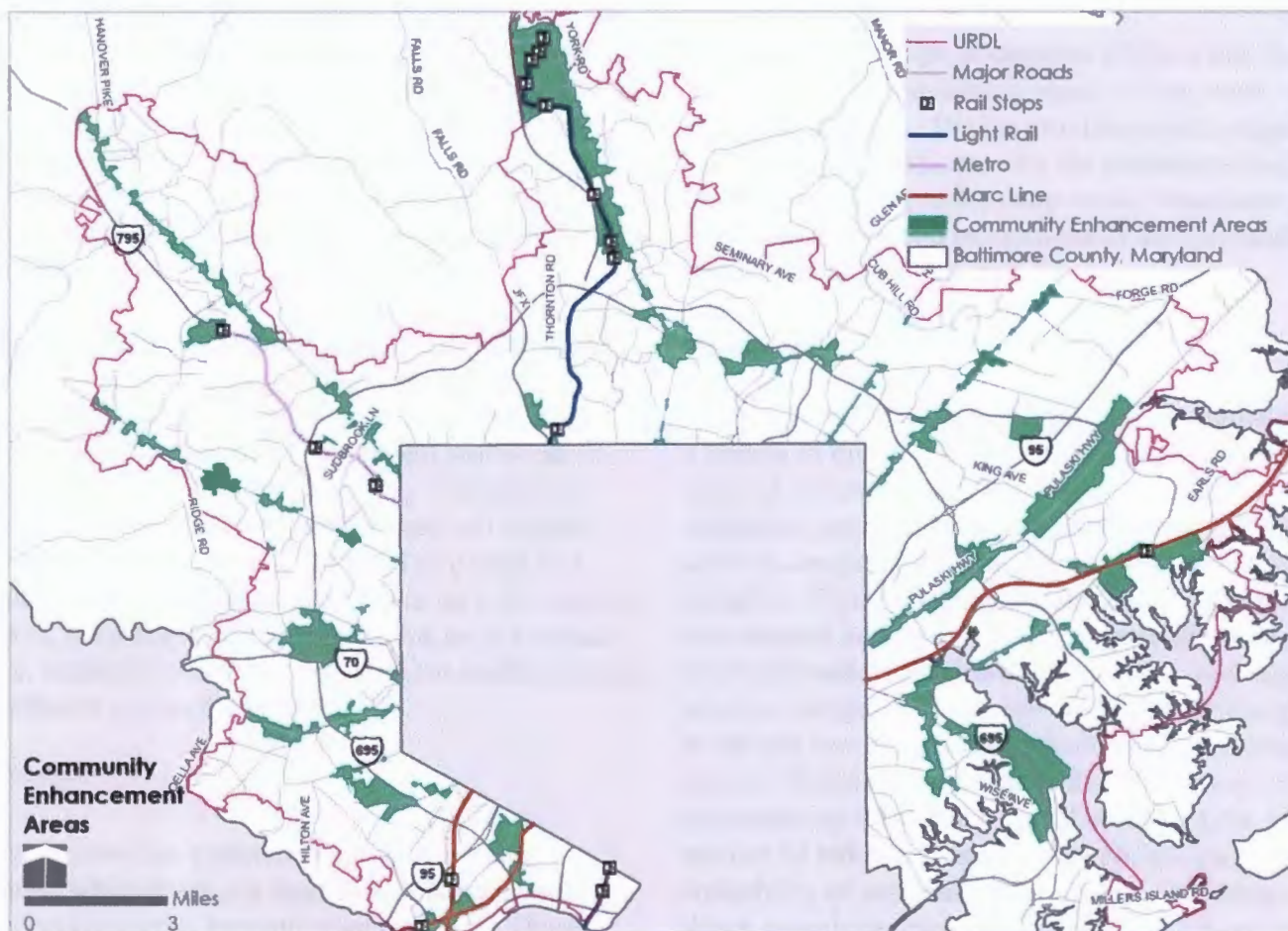


The wall and window relationships are varied.



The stylistic features of a building add detail and establish hierarchy.

Map 6: Community Enhancement Areas



Community Enhancement Areas

Community Enhancement Areas (CEAs) are areas suitable for sustainable redevelopments that are compact, mixed-use, and walkable (Map 6). An area with mixed-use buildings containing retail and/or office use on the lower floors and residential units above attracts new investment, provides a vibrant atmosphere, and offers diversity of housing. Environmental Site Design and conversion of existing impervious surfaces to green spaces such as parks,

greenways and public squares enhances the social and cultural life of the neighborhood and improves quality of stormwater runoff. These compact, mixed-use walkable communities have excellent, sustainable design, using the latest technologies in energy savings and environmental protection, and will focus on walkability and pedestrian access.



growth in a well-planned, efficient manner, and aid in protecting and restoring our natural water resources.

Walkability

Walkable design is very important to these developments. Redevelopment with more compact communities, increased road connectivity including shorter blocks and larger sidewalks, will allow residents to walk to work, school, shopping and other destinations. Buildings should align with each other along the streets with parking behind them to maximize the commercial frontage on the street. Roads must be carefully designed to allow safety for walkers, along with various transportation modes, such as bicycles, transit vehicles, and automobiles. Walkable connections to the existing nearby communities help create a healthier, more vibrant, pedestrian-friendly place to live. It must be easy and inviting for residents to walk to their destinations. If safe and convenient, all residents, from children to senior citizens, will enjoy the many health benefits of walking.

Transportation

Potential redevelopment sites located close to existing or proposed public transit systems are the highest priority (Map 7). Transit Oriented Developments (TODs) present several benefits towards achieving a sustainable society. Residents can easily use the transit to go to many destinations outside of their neighborhoods. Mass transit options should be available and convenient to these areas and must

provide a safe, convenient, and comfortable means of transportation for residents to make longer commutes. Another benefit of mass transit availability is the resultant decrease in ownership of vehicles due to less need for multiple cars per household. Fewer vehicles on the roads means that streets can be more walkable, transportation costs will be reduced, and there will be less pollution. However, all modes of transportation must be included, with strong emphasis and the highest priority on walkability, bicycling, and mass transit.

Public Infrastructure and Services

The ideal areas for redevelopment include adequate public water, sewer, roads, schools and other public facilities and services. Items to be analyzed in determining suitability of an area to accommodate population growth are the adequacy of existing and proposed infrastructure. When there is not enough water and sewer capacity, or schools and roads are overcrowded, corrections must be made, or other opportunity sites chosen. In some cases, redevelopment may bring new or improved services to the area. Redevelopment should not overburden infrastructure.

Providing appropriate open spaces and recreational activities for new residents living within these areas and visitors is critical. Appropriate open spaces may consist of areas for gathering, meeting, and relaxing. The County will develop new standards suitable for these types of developments, some of which may consist of public squares and some which may include private facilities for more active recreation.

Environmental Constraints

One of the main reasons to redevelop in CEAs is to improve the environment. Determining what the existing environmental constraints are on a property is undertaken at the beginning of the development process. Often, streams, wetlands, floodplains, steep slopes or other natural features are located on the site and must be protected.

Baltimore County is now approaching build-out, which means that the more easily developed land



**Division III
Section D**

OFFICE COMPATIBILITY

Introduction	153
RO Compatibility	156
RO Urban Site	156
RO Suburban Site	160
O-1/O-2 Compatibility	164
OT Compatibility	168

DEFINITION

Design **compatibility** is a similar relationship between the surrounding neighborhood's dominant design elements—site, landscape, and architectural features—and a proposed office development.

INTENT

Development proposals will be evaluated according to each objective. However, variations from the objectives may be considered when compensated by design improvements which contribute to and benefit the overall environment. The examples are illustrative and not regulatory. Creative design solutions and alternatives are encouraged.

OBJECTIVES (Sec. 32-4-402.(d))

1. **Context:** "The arrangement and orientation of the proposed buildings and site improvements are patterned in a similar manner to those in the neighborhood."
2. **Building Placement:** "The building and parking layouts reinforce existing building and streetscape patterns and assure that the placement of buildings and parking lots have no adverse impact on the neighborhood."
3. **Site Circulation:** "The proposed streets are connected with the existing neighborhood road network wherever possible and the proposed sidewalks are located to support the functional patterns of the neighborhood."
4. **Open Space:** "The open spaces of the proposed development reinforce the open space patterns of the neighborhood in form and siting and complement existing open space systems."

The first six objectives are illustrated with site plans for each zone.

5. **Site Features:** "Locally significant features of the site such as distinctive buildings or vistas are integrated into the site design."

6. **Landscaping:** "The proposed landscape design complements the neighborhood's landscape patterns and reinforces its functional qualities."

7. **Accessory Structures:** "The exterior signs, site lighting and accessory structures support a uniform architectural theme and present a harmonious visual relationship with the surrounding neighborhood."

8. **Building Detail:** "The scale, proportions, massing and detailing of the proposed buildings are in proportion to those existing in the neighborhood."

NOTE: Objectives 7 and 8 are more challenging considerations and more difficult to succinctly illustrate. Scale, proportion and massing are key to proposing an acceptable solution. There is an understanding that the floor plate area and the floor to floor dimensions for commercial office development differs from typical single family detached construction. If such a site is adjacent to a residential neighborhood, then the main concern is with the reduction of apparent size and bulk. The architectural treatment of the facades can be manipulated to reduce the overall bulk. The accessory features of the site should be designed to blend in with the overall design theme.

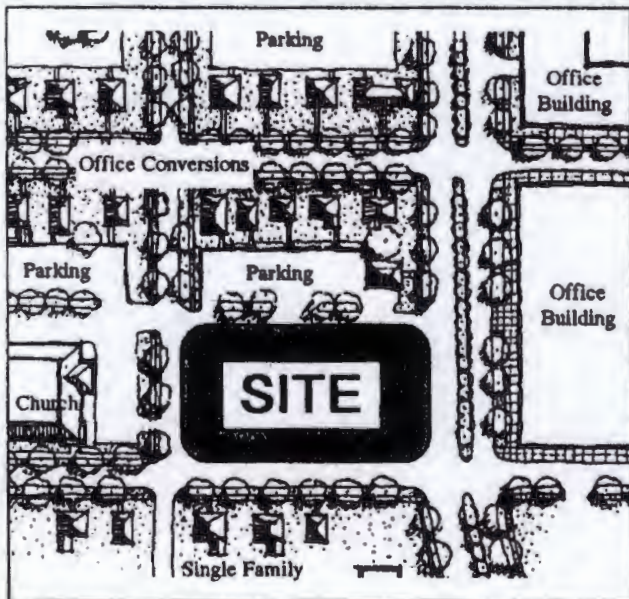
The last two objectives are illustrated with site sections for each zone.

Introduction

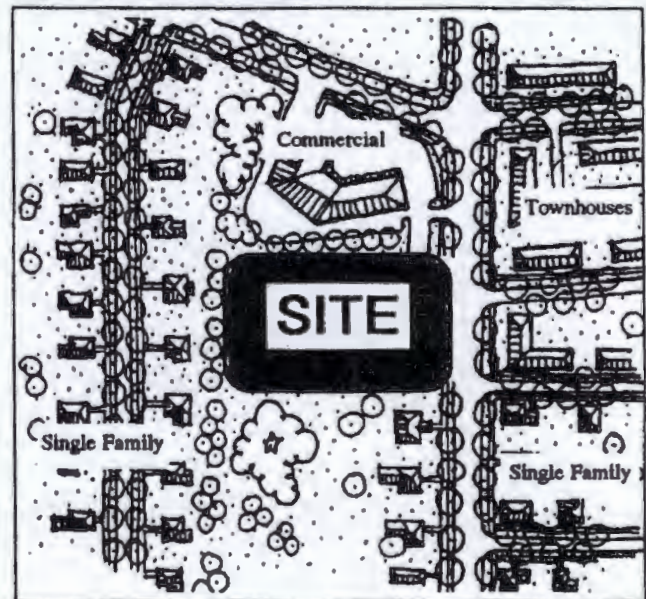
LOCATIONS and CONTEXT for each SITE EXAMPLE

Each office site is located along a major arterial adjacent to commercial uses with neighborhoods to the rear and side of each example. Generally, each context is similar to many sites zoned for office uses in Baltimore County. Each site and design is hypothetical; any resemblance to an existing or proposed development is coincidence.

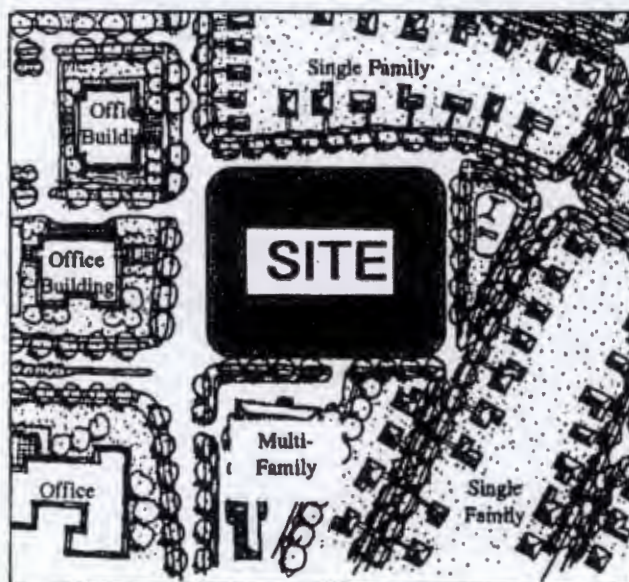
- RO 'URBAN' SITE



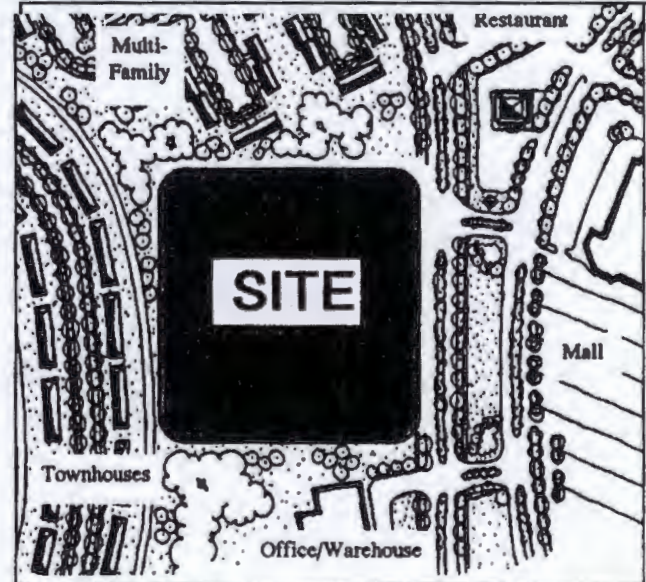
- RO 'SUBURBAN' SITE



- O-1/O-2 SITE



- OT SITE

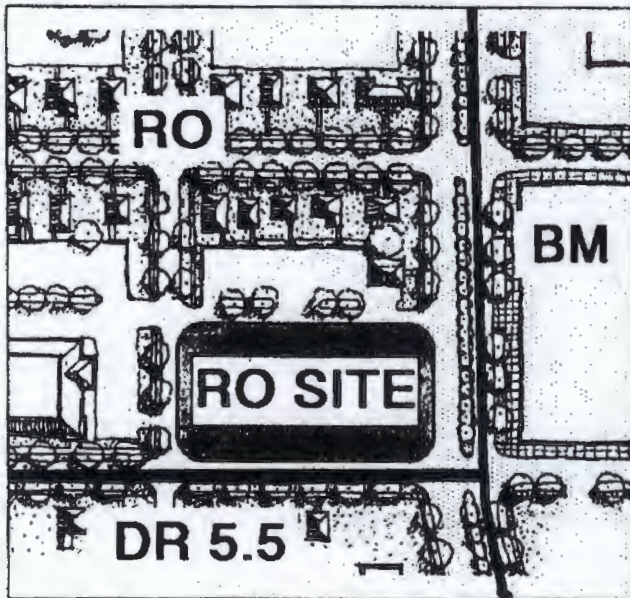


Introduction

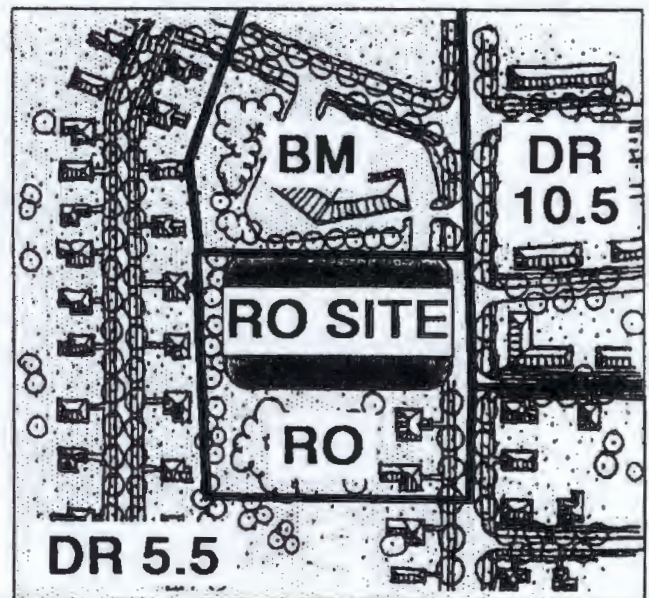
ZONING CONTEXT for each SITE EXAMPLE

Each site is located adjacent to a Density Residential zone and a Business and/or Office zone. Generally, each zoning pattern is consistent with many sites zoned for office uses in Baltimore County.

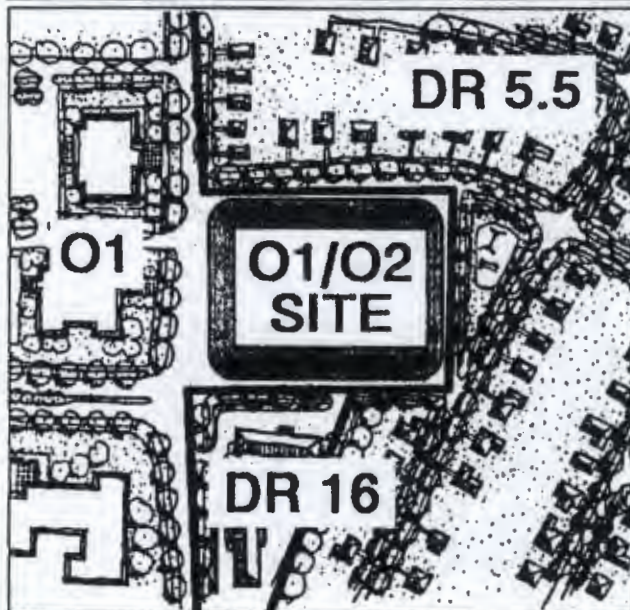
- RO 'URBAN' SITE



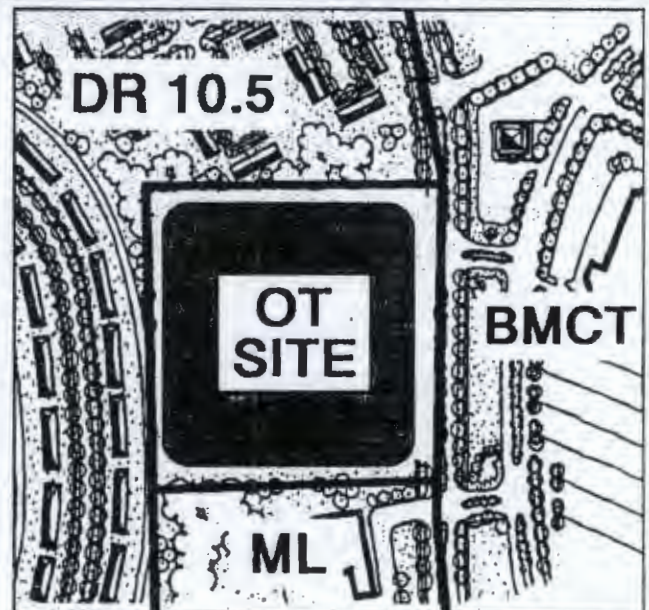
- RO 'SUBURBAN' SITE



- O-1/O-2 SITE



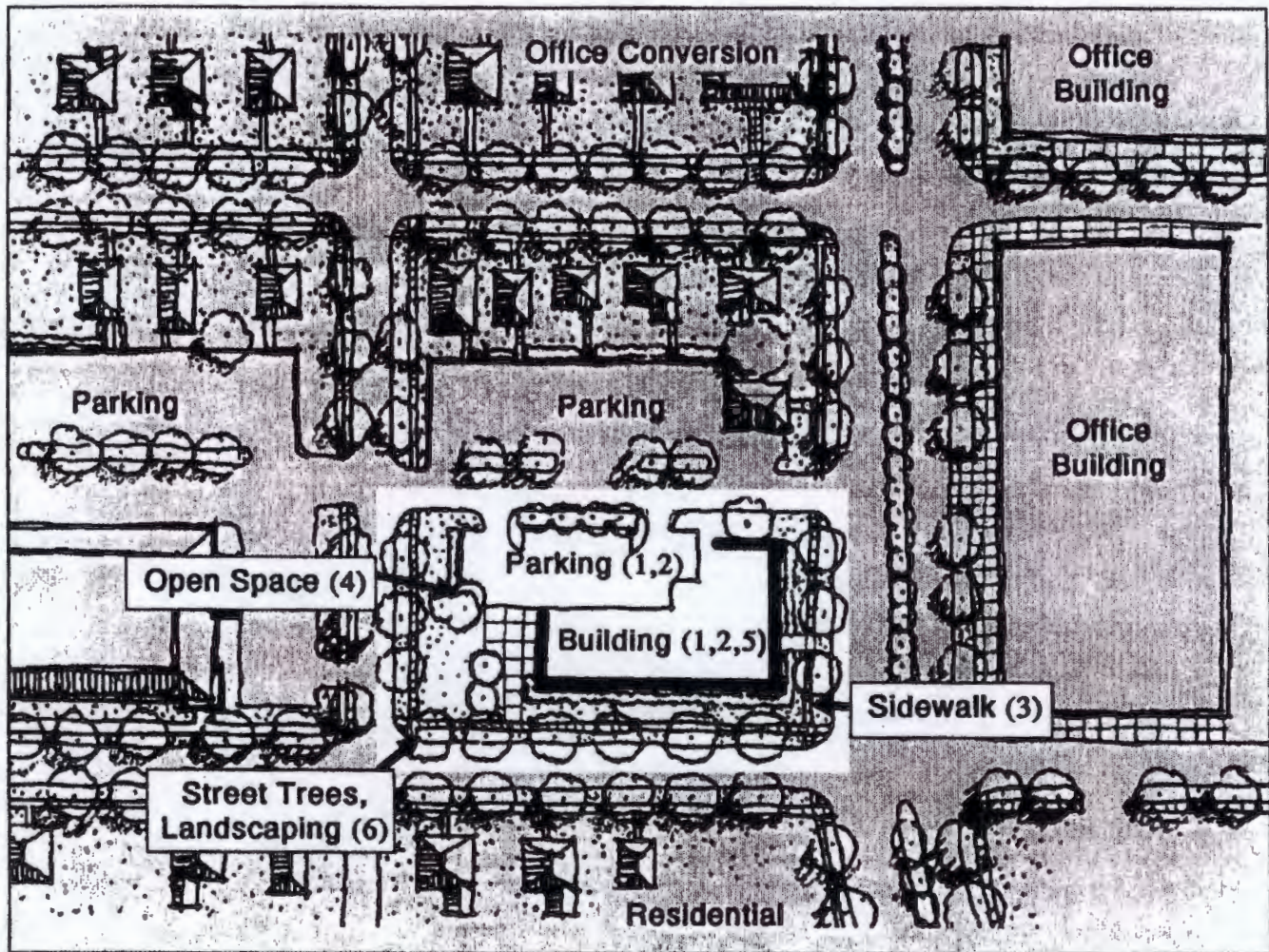
- OT SITE



RO Compatibility

• RO 'URBAN' SITE

COMPATIBLE



1. The building location and entry, parking, open space, and access points are patterned after those in the surrounding blocks.

2. The building is located near the street and faces the front of the site and the major arterial, while the parking area is near the alley with access along the rear yard. This pattern is repeated on the adjacent blocks.

3. The street pattern remains unchanged; vehicular access is maintained along the alley so that no curb cut fronts a single family house. The sidewalks ring the site as is found on the adjacent blocks.

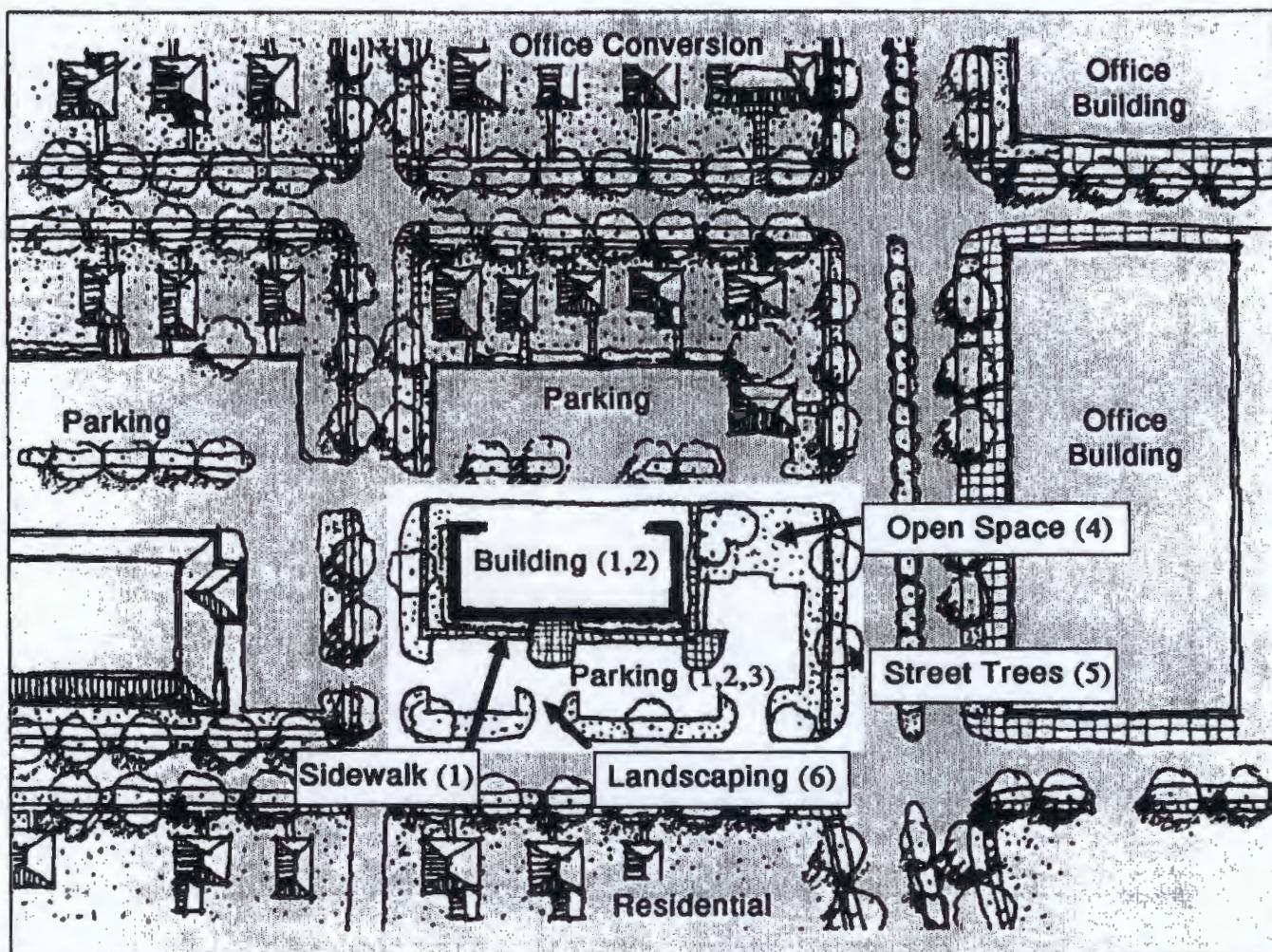
4. The open space is accessible to the office building at the front and the residential neighborhood at the side of the site. The open space takes advantage of a corner to screen the parking area and buffer the building.

5. The significant features of this site, the alley, and the urban context are maintained and utilized. The building location reinforces the street wall along the major arterial and along the front of the site with a similar front yard setback as the single family houses.

6. The street trees reinforce the neighborhoods principal landscape design component. The landscaping in the front yard reinforces the landscaping across the street.

• RO 'URBAN' SITE

NOT COMPATIBLE



1. The building, parking and sidewalk locations are arranged in a dissimilar order from the other sites in the neighborhood.

2. The parking area located in front of the building directly faces the neighborhood. The building, located at the rear of the site, does not maintain a similar setback to the other buildings on the surrounding blocks.

3. The proposed development does change the existing street hierarchy. The parking area has all of its access locations along the principal street frontage instead of at the rear of the site along the alley.

4. The available open space at the side and rear yards is isolated from the building entrance and the neighborhood.

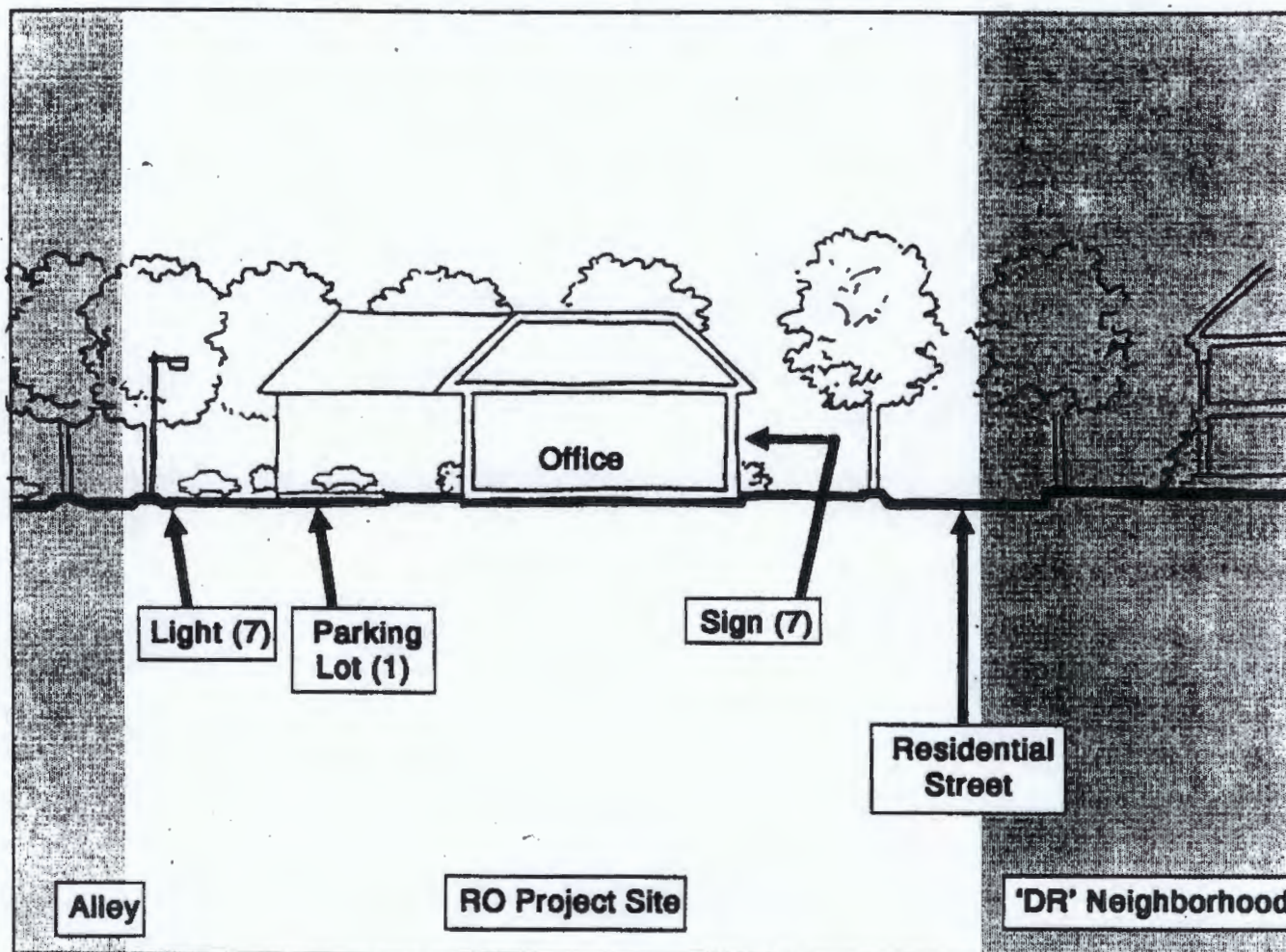
5. The significant features of this site, the alley and the urban context, are not utilized nor reinforced in this site design.

6. The few street trees do not reinforce the street tree pattern of the neighborhood. The parking area in the front yard does not allow for landscaping similar to the landscaped front yards of the adjacent buildings.

RO Compatibility

• RO 'URBAN' SITE

COMPATIBLE



7. The identification sign for this building is wall-mounted. No freestanding signs are placed along the street, across from the single family houses.

Site lighting for the parking lot is at the rear of the site—not facing the adjacent residential uses. The height of the light standard does not exceed the top of the roof line.

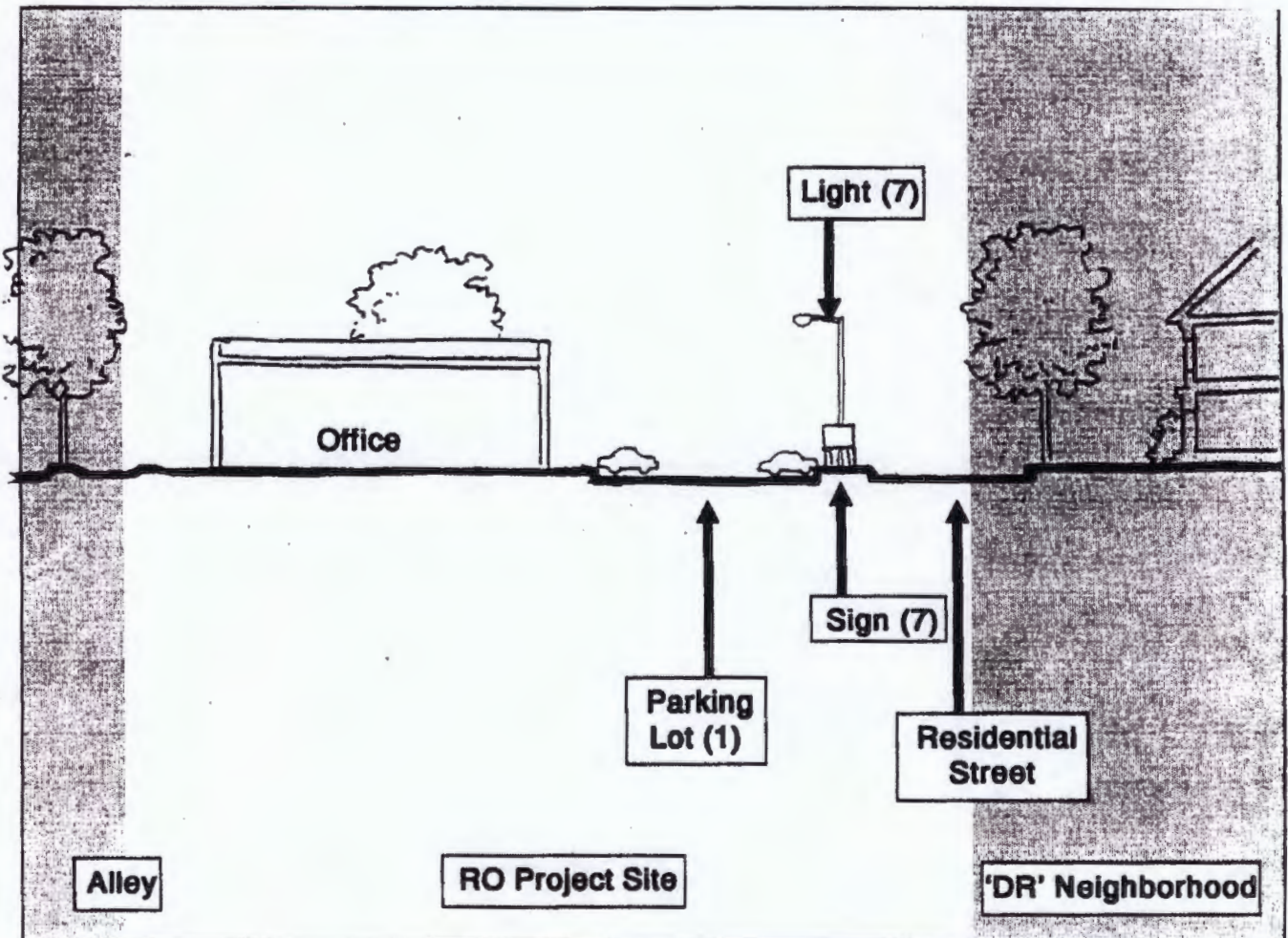
8. The building's one story does not exceed the height of the two-story houses and the design of the building includes a hip roof.

Although not illustrated, if all the adjacent houses have brick facades, the use of brick as part of the building design is strongly encouraged so that the design is more in "character" with the neighborhood.

As a general rule, repeating similar details or materials is advantageous if the overall neighborhood attractively uses a consistent design detail or building material, for example: a roof overhang or windows with panes.

• RO 'URBAN' SITE

NOT COMPATIBLE



7. The freestanding sign along the right-of-way that is shared with the houses is not desirable for achieving compatibility.

The light standard in the parking area faces away from the neighborhood, however, a shorter standard may be more appropriate.

Any accessory structure, such as an enclosure for a trash dumpster, should be located along the alley, out of view from the neighborhood.

8. The roof design is not in keeping with the design treatment of the neighborhood. Even if a pitched roof is not desired, a sloped parapet or detailed cornice along the building perimeter is strongly encouraged for compatibility.

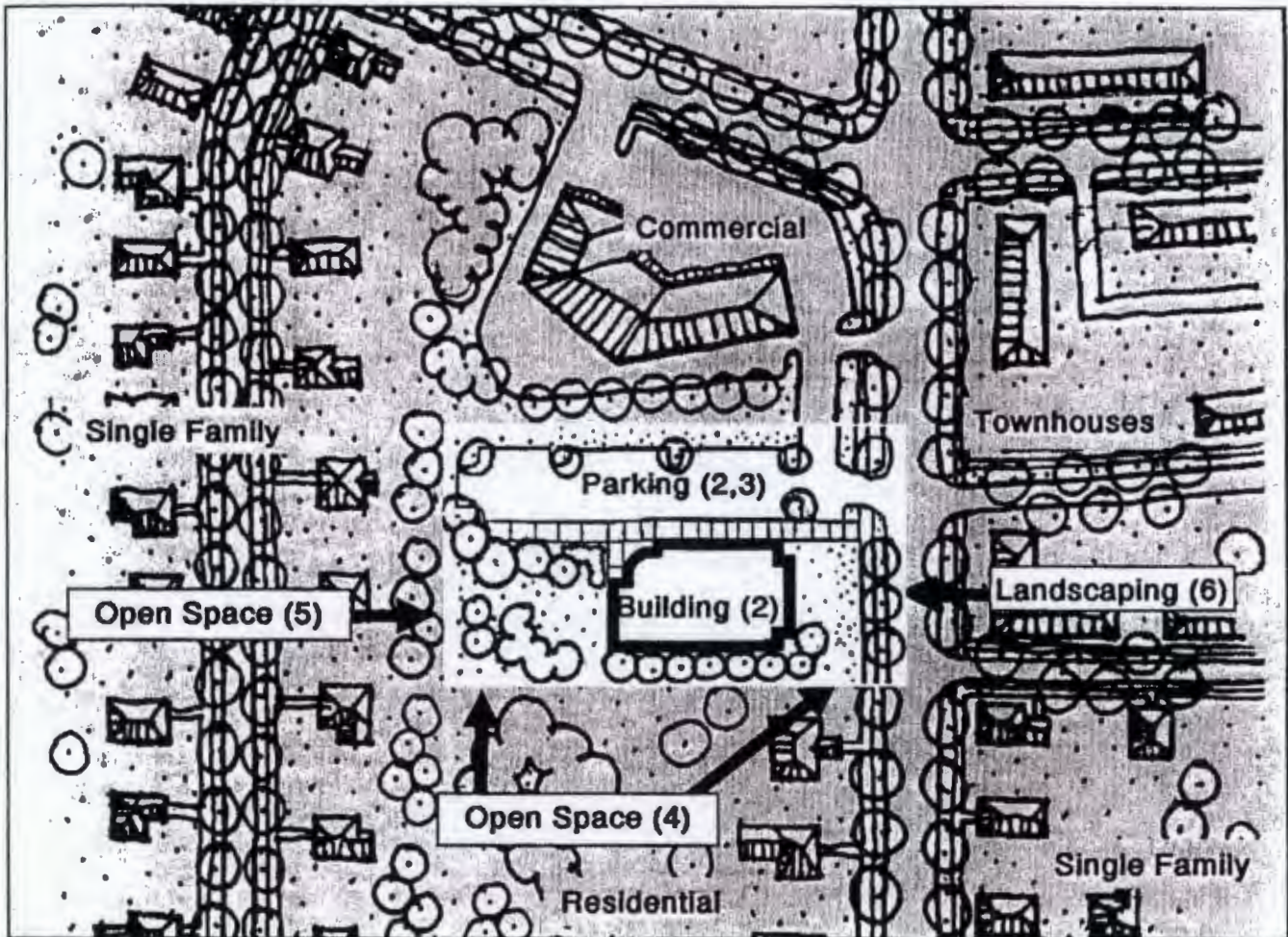
Compatibility can be achieved by use of similar window styles, wall materials, color, and building textures.

As a guideline, reduce the building bulk by avoiding long continuous, uninterrupted facades, particularly when adjacent to detached housing.

RO Compatibility

• RO 'SUBURBAN' SITE

COMPATIBLE



1. The building location, open space, sidewalk, and front yard setback are patterned similar to the development in the surrounding neighborhood.

2. The building is located at the front of the site facing the major arterial as found in the neighborhood and unlike the adjacent commercial structure. The parking lot is screened from the neighborhood by the building and the open space. The parking lot is also connected to the adjacent commercial lot to limit the number of curb cuts along the major arterial.

3. The street pattern remains the same; the proposed site development does not alter the existing vehicular

pattern. The vehicular entry lines up with the existing street across the way.

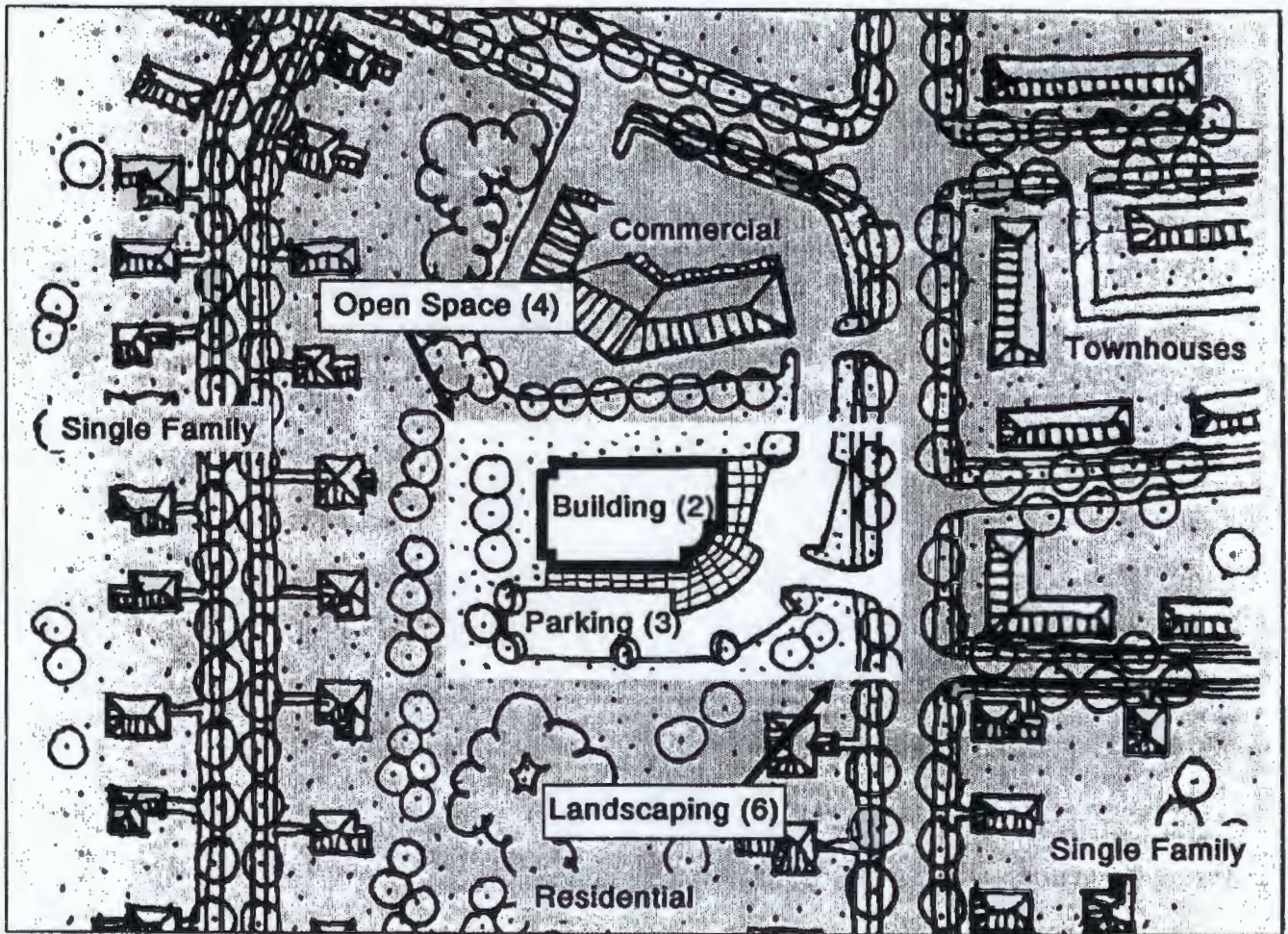
4. The open space is at the rear of the site and becomes part of the overall rear yard open area within the neighborhood.

5. The significant feature of this site, the rear yard open space, is preserved.

6. The front yard is landscaped with street trees as found along the major arterial and the sidewalk connects the neighborhood to the office and commercial sites. The building and parking lot are landscaped to buffer the uses from the neighborhood.

• RO 'SUBURBAN' SITE

NOT COMPATIBLE



1. The building and parking area locations are arranged in a dissimilar order from the existing neighborhood pattern.

2. The building is located in a similar manner as the commercial development which is unrelated to the surrounding neighborhoods. The parking lot design locates all of the spaces in the front yard which disrupts the continuity of the buildings located at the front of the lots along the street.

3. The parking lot is connected to the adjacent site. The street pattern remains essentially the same; however, the one curb cut does not line up with

the street across the way.

4. The open space is located around the perimeter of the site which does not reinforce the significant open space along the rear yards of the adjacent neighborhood.

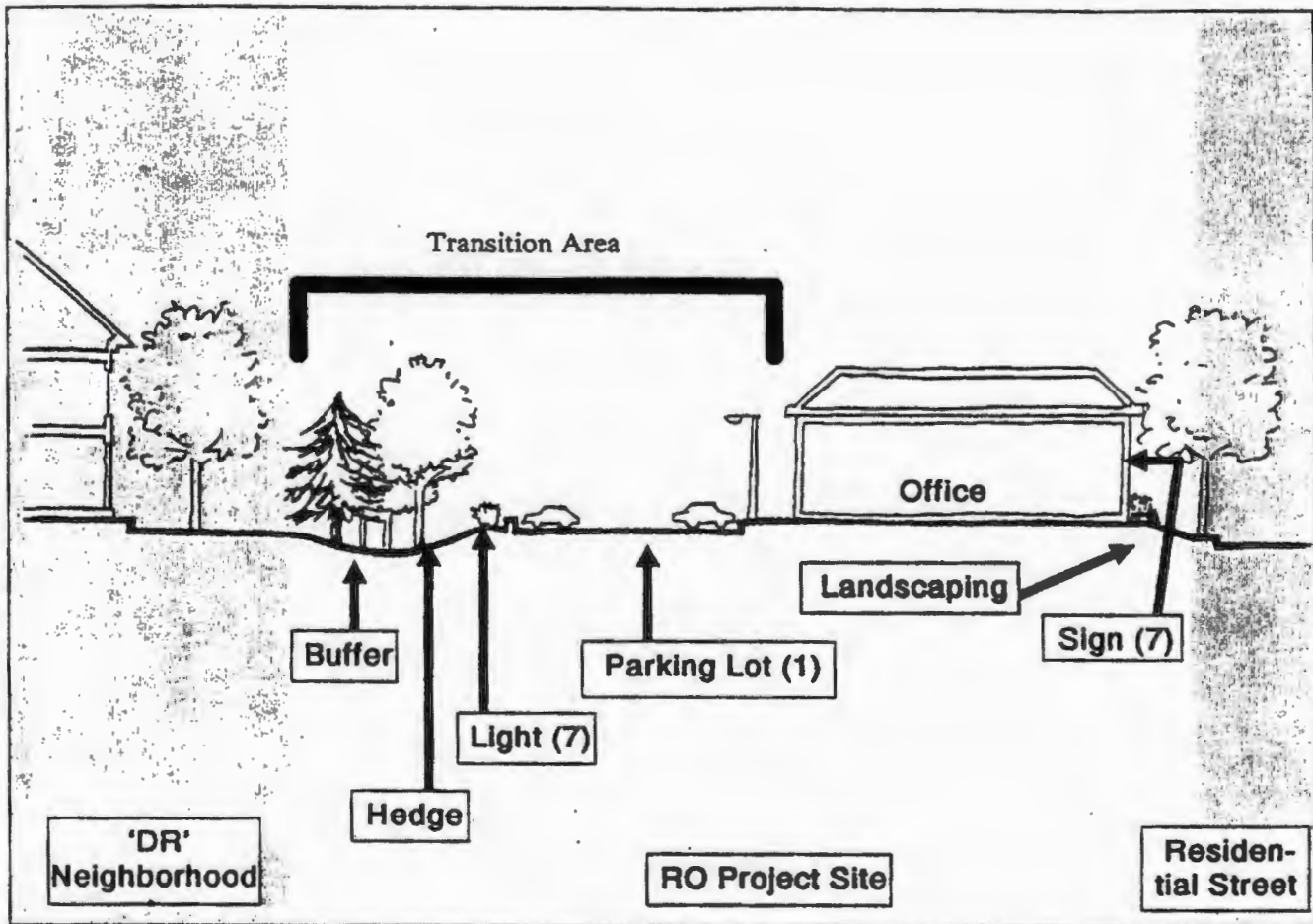
5. The significant feature of this site, the rear yard open space, has been reduced in this scheme.

6. The street trees do maintain the neighborhood pattern, however, additional landscaping would help to buffer the building and parking area from the neighborhood.

RO Compatibility

• RO 'SUBURBAN' SITE

COMPATIBLE



7. A wall-mounted sign is located on the building facade facing the street to identify the project. Free-standing signs are not used on this project site.

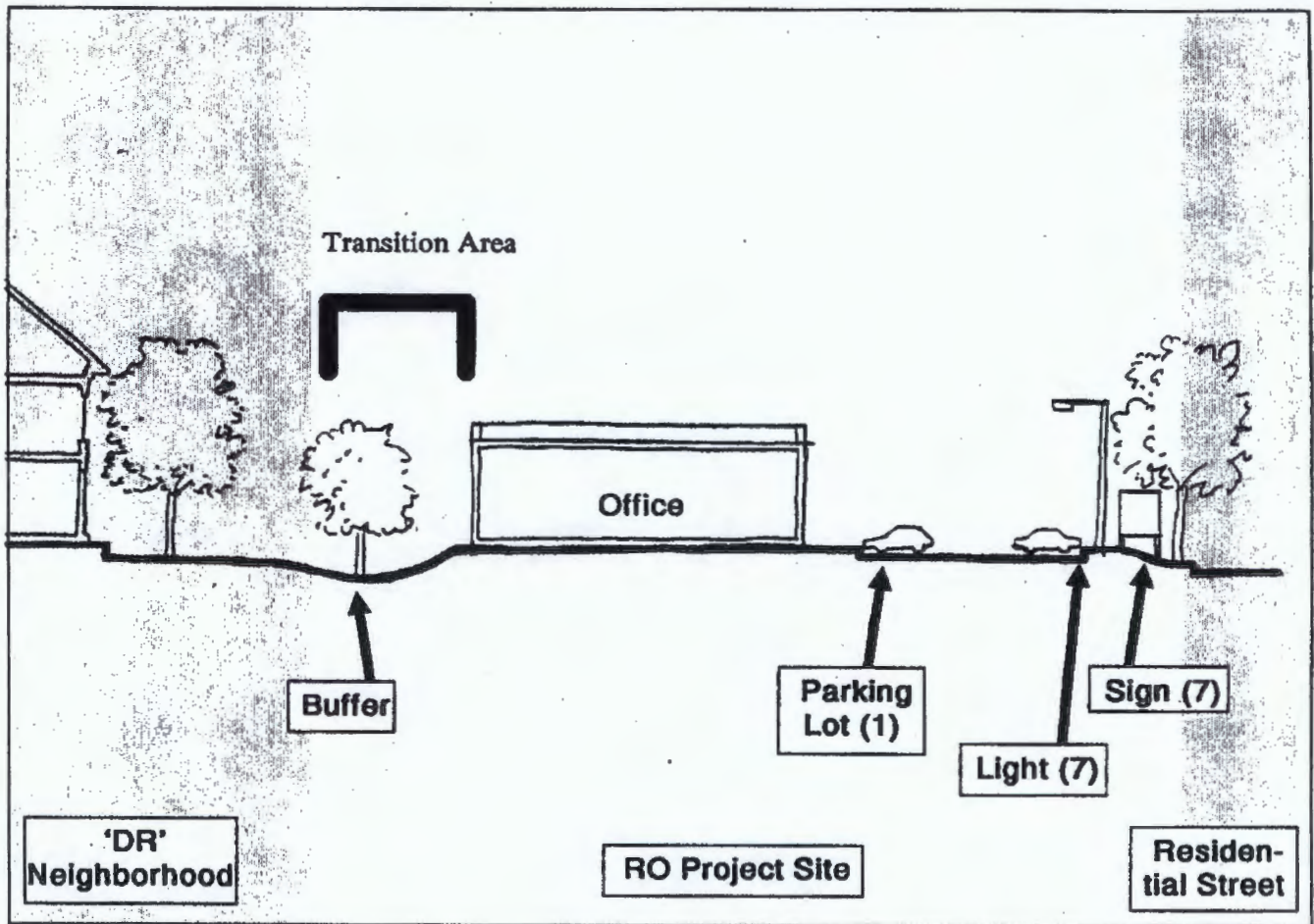
The light standards for the parking lot are located to face the building to avoid glare into the neighborhood.

8. The building scale is visually reduced with the setbacks at the corners and the generous front yard setback. Also, by locating the short side of the building along the street, which is a similar building placement as the adjacent single family detached houses, the placement repeats the pattern previously established.

RO Compatibility

- RO 'SUBURBAN' SITE

NOT COMPATIBLE



7. The freestanding exterior sign is in view of the adjacent residential uses and townhouses across the street; signage should be limited to the building wall. The parking lot light fixtures should be low level fixtures and located near the building to avoid glare into the neighborhood.

8. The building roof design does not utilize a dominant design detail within the adjacent neighborhoods.

Restraint should be used in the number of different building materials selected for the project. Building materials similar to those in predominant use on the street are encouraged.

**MATTHEW A. BISHOP, PLA,
LEED AP**

Associate

PROJECT ASSIGNMENT:

Expert Witness, Landscape Architect

YEARS OF EXPERIENCE:

MRA:	9
Other Firms:	5

EDUCATION:B.S. Landscape Architecture / 2001 /
University of ConnecticutM.S. Plant Science / 2005 / University
of Connecticut**ACTIVE REGISTRATION:**

Landscape Architect:

Maryland, 2006, #3365

North Dakota, 2013, #80

L.E.E.D. Accredited Professional
(2008)**PROFESSIONAL AFFILIATIONS:**American Society of Landscape
Architects (ASLA)U.S. Green Building Council
(USGBC), Maryland ChapterHomebuilders Association of
Maryland, Baltimore County
Chapter**QUALIFICATIONS:**

Mr. Bishop is an Associate with MRA's Towson office. His experience includes a variety of projects ranging in scale from site specific to regional planning including streetscapes, neighborhood parks, mixed-use and residential development. The scope of Mr. Bishop's project involvement includes site analysis through construction documents; applications and permitting; graphic renderings; grading; and cost estimating. His experience also includes working with various government agencies, private interest groups, and project related consultants including: architects; civil engineers; traffic engineers; and City, State, and County environmental and planning agencies.

Sample projects managed by Mr. Bishop include the following:

Firestone Auto Care Center, Baltimore County, Maryland - Located in Perry Hall on the east side of Belair Road, this commercial auto care facility included 5,000 sf of service and retail space with associated parking, signage, and landscape improvements. Served as project manager in the preparation of all Baltimore County required plans including a Special Exception Plan, Development Plan, Grading Plan, Site Plan, ESC Plan, Utility Plans, and Landscape Plans. Served as expert witness at the Special Exception hearing.

Gunpowder Overlook, Baltimore County, Maryland - Located in Perry Hall on the east side of Belair Road, this residential community includes 48 single family detached residential homes with associated open space, stormwater management facilities, environmental conservation areas, public roads and utilities. Served as project manager in the preparation of Concept Plans, a Development Plan, a Pattern Book, and coordination of a Community Input Meeting. Provided expert witness testimony at the Administrative Law Judge Hearing.

5737 Allender Road, Baltimore County, Maryland - Located on the east side of Baltimore County in White Marsh this development incorporates 121 homes situated around an extensive network of community open spaces. Served as project landscape architect in the design and preparation of planning related design products including Concept Plan, Development Plan, Pattern Book, and Final Development Plan. Also provided expert witness testimony for a Variance hearing to reduce side and rear yard building setbacks.

Red Lion Farm, Baltimore County, Maryland - Located on the east side of Baltimore County in White Marsh this development incorporates 61 homes. Provided expert witness testimony for a variance hearing to reduce rear yard building setbacks.

Windlass Run, Baltimore County, Maryland - Located on the east side of Baltimore County south of White Marsh Boulevard this Planned Unit Development incorporates 424 homes situated around an extensive network of community open spaces including a clubhouse, pool, and children's play equipment. Served as project landscape architect in the design and preparation of planning related design products including Concept Plan, Development Plan, Pattern Book, and Final Development Plan. Also designed and prepared detailed landscape architecture related design products including Active Open Space areas, Passive Open Space areas, Entry features, and Club house/pool area.

Towson Manor, Towson, Maryland - Located south of downtown Towson, on the east side of York Road, this Planned Unit Development incorporates 109 townhouses and an assisted living facility on ±8.22 acres. The project is a redevelopment of an existing single family residential community which had fallen into disrepair. Served as project


**MORRIS & RITCHIE
ASSOCIATES, INC.**

MATTHEW A. BISHOP, PLA, LEED AP- Page 2 of 2

landscape architect in the design and preparation of Baltimore County required Concept Plan, Development Plan, Pattern Book, Final Development Plan, Grading Plan, Landscape Plan / Cost Estimates, and Stormwater Management Plan. Also designed and prepared landscape construction drawings for a highly visible centrally located Bio-Retention facility that will be used not only as a functional stormwater treatment facility but also as a visually appealing community open space. The design incorporated native plant species chosen for both functional and aesthetic qualities while also meeting the strict specifications of Baltimore County DEPS and the Maryland Stormwater Design Manual



CHRISTOPHER R. LESTER, AIA , LEED AP BD+C

PROJECT FUNCTION President and Design Principal

EDUCATION Bachelor of Architecture / 1983 / Kent State University

PROFESSIONAL REGISTRATIONS Architectural Registration / Maryland #7636 / 1987
LEED Accredited Professional / 2009 / BD+C Specialty

YEARS EXPERIENCE WITH THIS FIRM 32

YEARS EXPERIENCE WITH OTHER FIRMS 0.5

RELEVANT EXPERIENCE Mr. Lester has over 32 years of experience as a designer for a wide variety of architectural and interior projects. He has a particular expertise in the following building types: corporate/office buildings, financial institutions, commercial and retail, educational (Pre-K thru University), religious, residential and historic.

His work has won a number of awards from local and regional organizations including the United States Green Building Council (USGBC), Masonry Institute of Maryland (MIMI), Associated Builders and Contractors (ABC), National Association for Industrial and Office Parks (NAIOP) and the Building Owners and Managers Association (BOMA).

He has worked in all aspects of project development including master planning, programming, conceptual and schematic design, budget development, design development, construction documentation, bidding (including direct negotiation and design-build), construction administration and post construction.

Mr. Lester's involvement in energy-conscious design started as far back as 1982 (on grant work researching aspects of internally loaded office buildings). In the past 15 years, he has designed over 30 LEED certified projects. Projects span the Core & Shell (CS), New Construction (NC) and Commercial Interiors (Ci) rating systems as well as all four categories of certification (Certified, Silver, Gold and Platinum).

Since 2000, Mr. Lester has been the President and Principal Designer for George Vaeth Associates, Inc. (GVA) located in Columbia, MD. His emphasis on outstanding service and communication has won kudos from many of GVA's clients and along with a commitment to thoughtful, appropriate and quality design has produced a very large percentage of repeat clients.

Some of Mr. Lester's relevant project experience includes:

SELECTED PROJECTS

410,420,430 National Business Parkway, Anne Arundel County, MD.

Principal-in-Charge for a campus of three office buildings. Design included a 5 story and two 4-story office buildings set within the context of a large plaza with sculpture gardens. Mr. Lester was responsible for master planning the entire site as well as the design of each building. He oversaw and directed the A/E team through a full scope of services from concept to construction completion. All buildings achieved LEED Gold Core & Shell certification. Sustainable design features included energy saving plumbing and mechanical systems as well as a roof water collection system for landscape irrigation. Total square footage of all buildings was 385,000 s.f. The project won multiple awards from NAIOP.

302,304,206 Sentinel Drive/Cedar Knolls, Anne Arundel Co., MD Principal-

in-Charge for a campus of three office buildings. Design scheme was for three 5 story office buildings, a two level parking deck and a large monumental sculpture with walking paths and tenant amenity spaces. Responsibilities included master planning for the entire development, design of all four structures and establishing the overall architectural scheme for the campus. Mr. Lester oversaw and directed the A/E team through a full scope of services from concept to construction completion. Buildings achieved both LEED Silver and Gold Core & Shell certification. Total square footage of all buildings was 487,000 s.f. The project won an award from the USGBC.

Rosedale Federal Savings & Loan Association Campus, Perry Hall, MD.

Principal-in-Charge for two projects on the same site. The first building designed was a 2 story, 7,200 s.f. branch banking facility and community room with vehicular banking lanes. The project was designed to be compatible from a scale and material standpoint with the adjacent residential neighborhood. A full ten years later, oversaw the design of a 2 story, 15,000 s.f. office building/headquarters addition with bridge connection to the existing branch. Design of the first structure was emulated closely to create a campus environment while employing a variety of dormers, gables and small scale detailing to break down the scale and mass of the facility. The headquarters addition received a LEED Gold certification for New Construction. Design work is currently underway on the design of an addition to the headquarters building.

225 and 230 Schilling Circle/Schilling Square, Hunt Valley, MD,

Designer and Principal-in-Charge for these two projects designed to create a new campus of office buildings and transform a former warehouse district to a Class A office park. The 230 Schilling building was designed as a major renovation and recladding of an existing 115,000 s.f. 4 story office building. Several years later, across the street from the first structure, Mr. Lester designed a new 5 story, 128,000 s.f. office building to act as a companion building and extend the architectural language of the first building. Both projects achieved LEED Platinum certification for Core & Shell. The two buildings received six different awards including the Associated Builders and Contractors Merit Award of Excellence as well as the USGBC's Green Project of the Year for projects over \$10 Million.



VIEW FROM SOUTHEAST



VIEW FROM NORTHEAST

Krysundra Cannington

From: Baker, Adam D <ABaker@wtplaw.com>
Sent: Monday, October 03, 2016 4:08 PM
To: Krysundra Cannington
Subject: Rosedale Federal
Attachments: 0502 ROSEDALE ANNEX - proposed views from BelAir Rd-s.pdf

Sunny,

Attached please find Petitioner's Exhibit No. 2 from our hearing before the Board in Rosedale. We only had a full sized mounted copy of this at the hearing and I promised the Board I would provide them with an unmounted copy. If you need anything further, please let me know. Thanks.

Adam D. Baker

Whiteford, Taylor & Preston, L.L.P.
8830 Stanford Boulevard, Suite 400 | Columbia, Maryland 21045
T: 410.832.2052 | F: 410.339.4028
abaker@wtplaw.com | [Bio](#) | [vCard](#) | www.wtplaw.com

This transmission contains information from the law firm of Whiteford, Taylor & Preston LLP which may be confidential and/or privileged. The information is intended to be for the exclusive use of the planned recipient. If you are not the intended recipient, be advised that any disclosure, copying, distribution or other use of this information is strictly prohibited. If you have received this transmission in error, please notify the sender immediately.



CHRISTOPHER R. LESTER, AIA , LEED AP BD+C

PROJECT FUNCTION	President and Design Principal
EDUCATION	Bachelor of Architecture / 1983 / Kent State University
PROFESSIONAL REGISTRATIONS	Architectural Registration / Maryland #7636 / 1987 LEED Accredited Professional / 2009 / BD+C Specialty
YEARS EXPERIENCE WITH THIS FIRM	32
YEARS EXPERIENCE WITH OTHER FIRMS	0.5
RELEVANT EXPERIENCE	Mr. Lester has over 32 years of experience as a designer for a wide variety of architectural and interior projects. He has a particular expertise in the following building types: corporate/office buildings, financial institutions, commercial and retail, educational (Pre-K thru University), religious, residential and historic. His work has won a number of awards from local and regional organizations including the United States Green Building Council (USGBC), Masonry Institute of Maryland (MIMI), Associated Builders and Contractors (ABC), National Association for Industrial and Office Parks (NAIOP) and the Building Owners and Managers Association (BOMA). He has worked in all aspects of project development including master planning, programming, conceptual and schematic design, budget development, design development, construction documentation, bidding (including direct negotiation and design-build), construction administration and post construction. Mr. Lester's involvement in energy-conscious design started as far back as 1982 (on grant work researching aspects of internally loaded office buildings). In the past 15 years, he has designed over 30 LEED certified projects. Projects span the Core & Shell (CS), New Construction (NC) and Commercial Interiors (Ci) rating systems as well as all four categories of certification (Certified, Silver, Gold and Platinum). Since 2000, Mr. Lester has been the President and Principal Designer for George Vaeth Associates, Inc. (GVA) located in Columbia, MD. His emphasis on outstanding service and communication has won kudos from many of GVA's clients and along with a commitment to thoughtful, appropriate and quality design has produced a very large percentage of repeat clients. Some of Mr. Lester's relevant project experience includes:

SELECTED PROJECTS

410,420,430 National Business Parkway, Anne Arundel County, MD.

Principal-in-Charge for a campus of three office buildings. Design included a 5 story and two 4-story office buildings set within the context of a large plaza with sculpture gardens. Mr. Lester was responsible for master planning the entire site as well as the design of each building. He oversaw and directed the A/E team through a full scope of services from concept to construction completion. All buildings achieved LEED Gold Core & Shell certification. Sustainable design features included energy saving plumbing and mechanical systems as well as a roof water collection system for landscape irrigation. Total square footage of all buildings was 385,000 s.f. The project won multiple awards from NA.IOP.

302,304,206 Sentinel Drive/Cedar Knolls, Anne Arundel Co., MD Principal-

in-Charge for a campus of three office buildings. Design scheme was for three 5 story office buildings, a two level parking deck and a large monumental sculpture with walking paths and tenant amenity spaces. Responsibilities included master planning for the entire development, design of all four structures and establishing the overall architectural scheme for the campus. Mr. Lester oversaw and directed the A/E team through a full scope of services from concept to construction completion. Buildings achieved both LEED Silver and Gold Core & Shell certification. Total square footage of all buildings was 487,000 s.f. The project won an award from the USGBC.

Rosedale Federal Savings & Loan Association Campus, Perry Hall, MD.

Principal-in-Charge for two projects on the same site. The first building designed was a 2 story, 7,200 s.f. branch banking facility and community room with vehicular banking lanes. The project was designed to be compatible from a scale and material standpoint with the adjacent residential neighborhood. A full ten years later, oversaw the design of a 2 story, 15,000 s.f. office building/headquarters addition with bridge connection to the existing branch. Design of the first structure was emulated closely to create a campus environment while employing a variety of dormers, gables and small scale detailing to break down the scale and mass of the facility. The headquarters addition received a LEED Gold certification for New Construction. Design work is currently underway on the design of an addition to the headquarters building.

225 and 230 Schilling Circle/Schilling Square, Hunt Valley, MD.

Designer and Principal-in-Charge for these two projects designed to create a new campus of office buildings and transform a former warehouse district to a Class A office park. The 230 Schilling building was designed as a major renovation and recladding of an existing 115,000 s.f. 4 story office building. Several years later, across the street from the first structure, Mr. Lester designed a new 5 story, 128,000 s.f. office building to act as a companion building and extend the architectural language of the first building. Both projects achieved LEED Platinum certification for Core & Shell. The two buildings received six different awards including the Associated Builders and Contractors Merit Award of Excellence as well as the USGBC's Green Project of the Year for projects over \$10 Million.



PETITIONER'S
EXHIBIT 10a-x



PETITIONER'S
EXHIBIT 10b







PETITIONER'S
EXHIBIT 10e



PETITIONER'S
EXHIBIT 10f



PETITIONER'S
EXHIBIT 109



PETITIONER'S
EXHIBIT _____



PETITIONER'S
EXHIBIT _____

PETITIONER'S
EXHIBIT _____



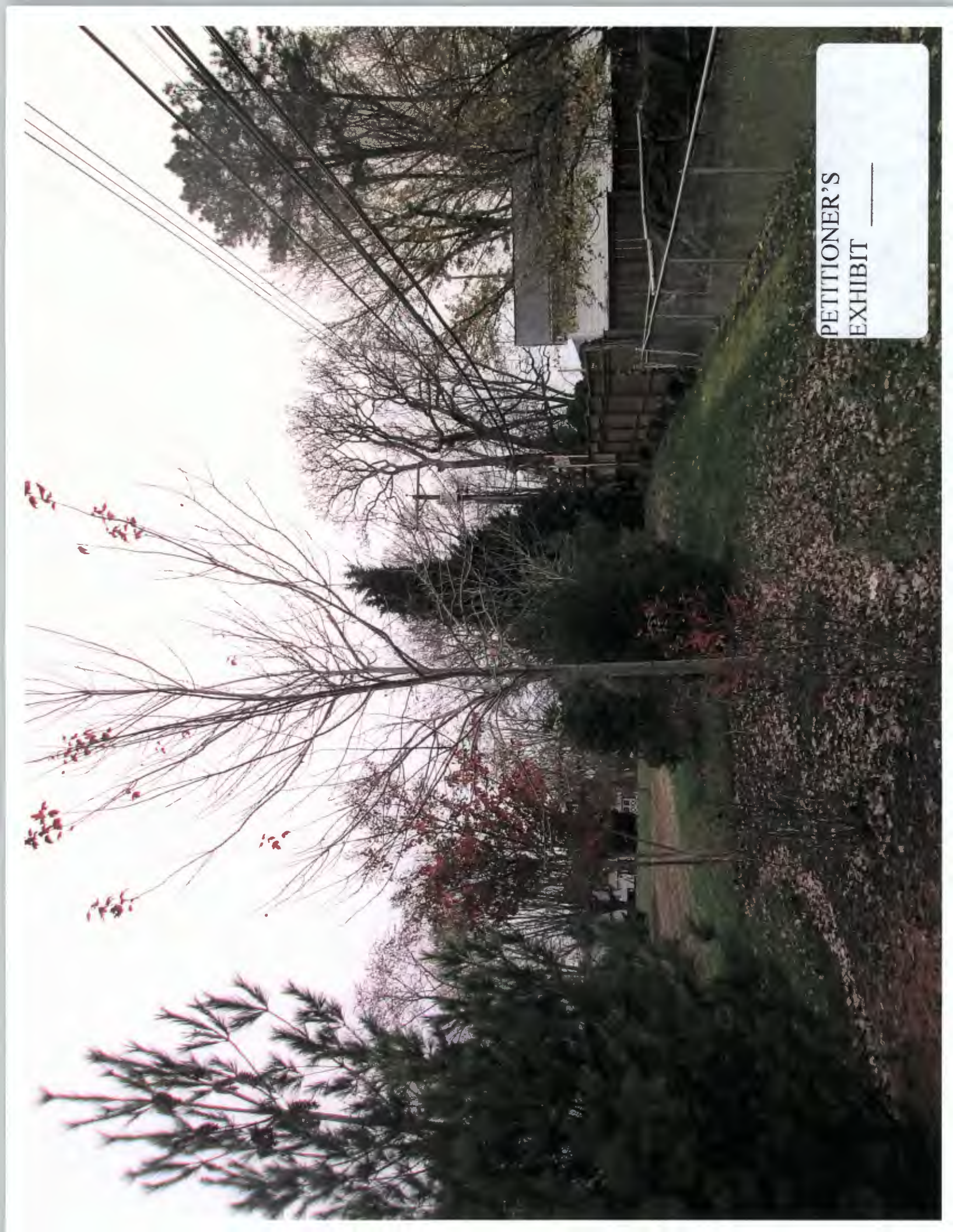


PETITIONER'S
EXHIBIT _____

PETITIONER'S
EXHIBIT _____



PETITIONER'S
EXHIBIT _____





PETITIONER'S
EXHIBIT _____

PETITIONER'S
EXHIBIT _____



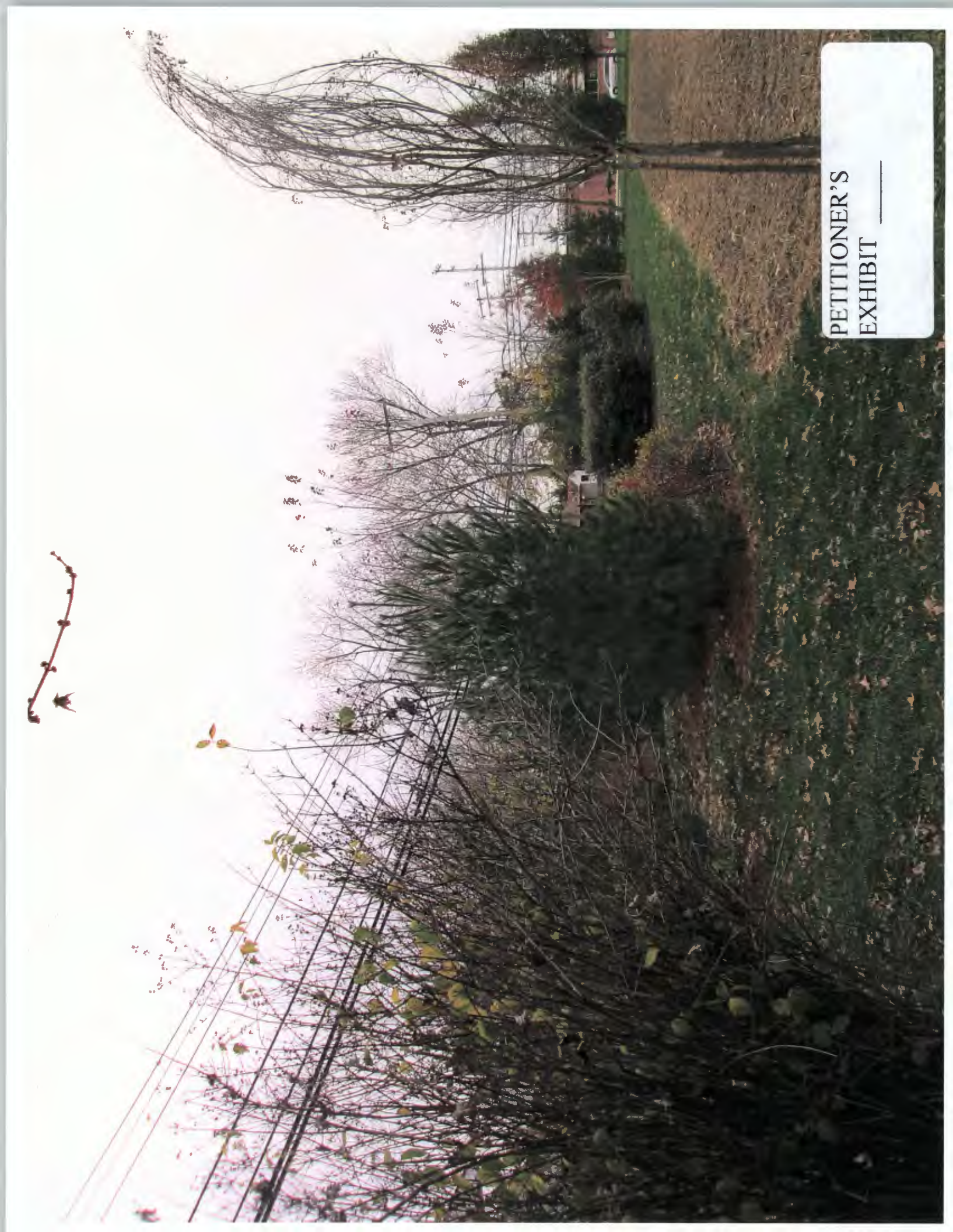
PETITIONER'S
EXHIBIT _____



PETITIONER'S
EXHIBIT _____



PETITIONER'S
EXHIBIT _____

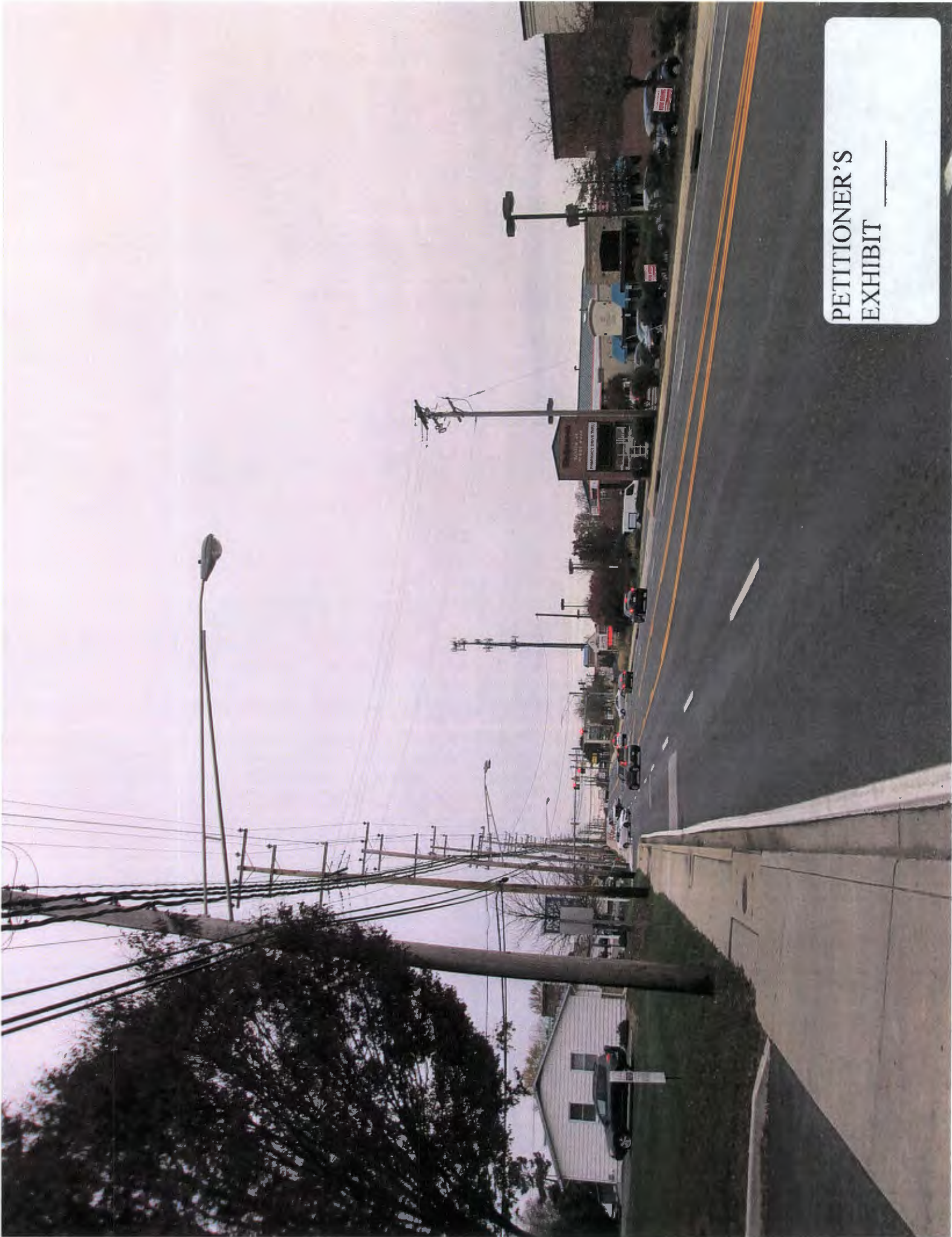


PETITIONER'S
EXHIBIT _____





PETITIONER'S
EXHIBIT _____



PETITIONER'S
EXHIBIT _____



PETITIONER'S
EXHIBIT _____



PETITIONER'S
EXHIBIT _____



PETITIONER'S
EXHIBIT _____

Untitled Map

Write a description for your map.

Legend

 9616 Belair Rd



Google earth

© 2015 Google

Untitled Map

Write a description for your map.

Legend

📍 9616 Belair Rd



Google earth

© 2015 Google

PETITIONER' S

EXHIBIT NO. 12b

7.43 ft

Untitled Map

Write a description for your map.

Legend

 9616 Belair Rd



PETITIONER'S

EXHIBIT NO. 12



6.29 ft

PETITIONER'S

EXHIBIT NO. 13

WILLIAM P. MONK

Principal

PROJECT ASSIGNMENT:

Principal, Urban/Site Planning, Expert
Witness / Project Manager

YEARS OF EXPERIENCE:

MRA: 14
Other Firms: 25

EDUCATION:

Master of Urban Planning, University
of Illinois, 1975
Bachelor of Urban Planning,
University of Illinois, 1973

PROFESSIONAL & INDUSTRY

AFFILIATIONS:

Greater Towson Committee (formerly
Towson Development Corporation)
President 1998-2000
Bd. of Directors 1994-2014
Baltimore County Design Review
Panel, 2008 - present, past
Chairman
National Association of Industrial and
Office Properties, Legislative
Committee
Baltimore Development Work Group
(member)
International Council of Shopping
Centers (ICSC)
Homebuilders Association of
Maryland, Baltimore County
Chapter

PAST MEMBERSHIPS & AFFILIATIONS:

Mayor's Transition Committee for
Economic Development, Mayor
Martin O'Malley, City of Baltimore
1999-2000
American Planning Association
National Golf Association
Citizens Planning & Housing
Association (CPHA) (past board
member)
Tomorrow's Towson Urban Design
Committee (member)

QUALIFICATIONS:

Mr. Monk is a Principal of MRA and provides site planning/design, project management, and government and community liaison services to institutional, commercial/retail, industrial, and residential clients throughout the mid-Atlantic region. Mr. Monk has worked throughout the mid-Atlantic region for over 39 years, representing commercial/retail and residential clients, as well as serving on nonprofit boards, ad hoc committees, and providing pro bono professional services.

Mr. Monk has extensive experience providing expert witness testimony. He is an approved expert witness in land planning and zoning issues in several jurisdictions throughout the mid-Atlantic region, including Annapolis, Anne Arundel County, Baltimore, Baltimore County, Carroll County, Frederick County, Harford County, Howard County, Prince George's County, and St. Charles Community in Maryland. He has testified in more than 300 zoning hearings over the past 39 years.

Sample projects managed and designed by Mr. Monk include the following:

COMMERCIAL/RETAIL CENTERS

Bay River -- Planned Business Community, Havre de Grace, Maryland - Project Manager/Chief Designer for a 76-acre mixed-use master planned business community containing over 900,000 SF of retail, office, and institutional space. Located at the interchange of I-95 and MD 155, the "Gateway" to the historic city of Havre de Grace.

Hampstead Business Park, Hampstead, Maryland - Project management and site planning for a 26-acre mixed-use (industrial, office, and retail) planned community at the crossroads of the new Hampstead By-Pass and MD Route 482.

Solo Cup Site, Owings Mills, Maryland - Project Manager and Designer in the preparation of a mixed-use (office, retail, and residential) planned community containing over 900,000 SF for this 51-acre site in Baltimore County.

Reisterstown Plaza, Baltimore, Maryland - Principal-In-Charge responsible for design/site planning studies for the reconfiguration expansion of the retail center consisting of over 100,000 SF.

Towson Commons Redevelopment Studies and Design, Towson, Maryland - Project Manager for ongoing redevelopment design studies intended to reposition the street-level retail component of a 15-year old mixed-use project that includes a proposed 20-story residential tower and an existing 10-story office tower. The Redevelopment Study process began with a survey of existing commercial real estate market opportunities in the area, and has focused on adding a strong residential

component, while reinforcing the project's strength as an office location of choice and creating new retail and restaurant opportunities with direct street level pedestrian access. Upfront project feasibility studies included surveying, site engineering, and securing government entitlement approvals.



**MORRIS & RITCHIE
ASSOCIATES, INC.**

WILLIAM P. MONK - Page 2 of 5

Fidelity Investments Office, Towson, Maryland - Principal-In-Charge of land planning for the 6,500-SF office to serve as the prototype for the national deployment of Fidelity Investments new offices. Services provided by MRA included land development engineering, surveying, landscape architecture, architecture, and structural, mechanical, and electrical engineering, and government entitlement processing.

Target Store, Owings Mills, Maryland - Provided preliminary assessment and recommendations for the proposed 100,000-SF retail store with 500 parking spaces on a 12.5-acre site.

Canton Crossing, Baltimore City, Maryland - Master planning for six square block of mixed-use development incorporating hotel, office, retail, food market, structured parking, restaurant, and marina.

Glen Burnie Super Block, Anne Arundel County, Maryland - Prepared site plan for redevelopment of key five+ acre parcel in heart of Glen Burnie Urban Renewal District. Project includes food store anchor, retail, office, residential, structured parking, and town center plaza with skating rink.

BP Amoco Oil Company, Baltimore-Washington - Site/zoning feasibility studies and civil engineering for more than 80 sites.

Hagerstown Commons, Hagerstown, Maryland - A 42-acre, 350,000-SF, phased, mixed-use center containing office, retail and a cinema-plex.

Commerce Place, Prince George's County, Maryland - A 43-acre, 480,000-SF mixed-use retail, office and cinema-plex development.

Manassas Center, Manassas, Virginia - A ten-acre mixed-use, retail strip shopping center and low-rise office development project.

Arundel Crossing East, Anne Arundel County, Maryland - Prepared a 40-acre site development plan containing both a Super K-Mart Store (190,000+ SF) and a Hechinger's Home Care Center (130,000 SF.)

Allied Signal Company, Harbor Point, Baltimore, Maryland - Prepared mixed-use master plan for a 20+ acre site strategically located at entry to Baltimore's Inner Harbor. Includes retail, office, housing, entertainment, marina, and cruise ship docking facilities.

Old Town Mall, Baltimore, Maryland - Prepared site plans for re-design of historic urban renewal project, anchored by supermarket.

Boston Street Quay, Baltimore, Maryland - Prepared site plans for three-acre mixed-use development project on Baltimore's Inner Harbor waterfront, in Canton, incorporating retail, housing, and pier restaurant, with waterfront pedestrian promenade.

Tyson's Corner, Virginia - Preparation of site plan alternatives for a two-acre, multi-story retail/office and parking project containing more than 160,000 SF with structured parking.

Light House Point, Boston Street, Canton, Maryland - Prepared master plan for large scale mixed use waterfront development in historic Canton on Baltimore's "Gold Coast." Project includes housing, marina, specialty/maritime retail, restaurants, and pedestrian waterfront promenade.

Office Condominium Site Assessments, Mid-Atlantic Region - Prepared over 75 site development plans for the development of suburban office parks. Projects range in size from 5,000 SF to over 100,000 SF.

Liberty Valley Country Club, Baltimore County, Maryland - Assisted client through the special exception and variance procedures and obtained approval for redevelopment of Liberty Valley Country Club. Prepared golf course preliminary design plan.

Landover Center Rezoning, Prince George's County, Maryland - Prepared the master plan for a 15-acre mixed-use retail, motel, and office building project. He also served as expert witness in the successful rezoning.

Lee Property Master Plan, Frederick County, Maryland - Preparation of a 102-acre mixed-use commercial complex containing over 400,000 SF of office, research and development space, a 190,000-SF Wal-Mart Super Store, a hotel/conference center complex and open space system. A historic Guilford farmstead comprising approximately 15 acres is the centerpiece of the complex. This area is on the National Register of Historic Places. The master plan calls for the conversion of historic farmhouse into an inn/restaurant while retaining the farmstead outbuildings and incorporating them into an educational/learning center.

Arundel Delight Quarry, Baltimore County, Maryland - This 125-acre parcel in northwest Baltimore County utilizes an abandoned quarry as its centerpiece by transforming it into a 25-acre lake. The master plan calls for a mix of commercial (village center), employment (office), elderly care/retirement community and a mix of housing types (estate and carriage homes). Additionally an extensive open space system along with active recreational facilities and a Baltimore County fire station are incorporated into this unique master plan. This master plan was prepared over a period of 18 months in concert with a community and business task force that resulted in the approval of the overall master plan and securing the appropriate zoning to accommodate the mix of uses.

Patapsco Planned Community, Baltimore County, Maryland - Preparation of master plan for an 800-acre planned residential and commercial project. Plan includes country club, open space system, community shopping facilities/office, research and development park and a mix of residential housing types.

Run About Cove, Anne Arundel County, Maryland - 110-acre residential community containing over 700 housing units with a commercial village center and extensive recreational/open space amenities.

Edmondson Square Shopping Center, Baltimore, Maryland - Prepared site development plans for redevelopment of the six-acre site for new Giant Food, Hollywood Video, and Advance Auto Parts stores.

Towson Overlook, Baltimore County, Maryland - Re-development of 13-acre site to add 75,000 SF to the existing 50,000-SF shopping center.

EDUCATIONAL FACILITIES

Elementary - High School

St. Marks School, Baltimore County, Maryland - Prepared plans and assisted client in obtaining rezoning for the historic renovation and redevelopment of the former St. Marks School on Winters Lane in Catonsville.

College / University

Technology Center at University of Maryland Baltimore County, South Campus, Catonsville, Maryland - Principal-In-Charge responsible for master planning for expansion of the South Campus to include two to three new research & technology buildings and conference center ranging in size from 60,000-100,000 SF each. 2003/Not built.

University of Maryland Baltimore County, Main Campus Master Planning for the Technology Development Center (TDC) and the Technology Research Center (TRC), Catonsville, Maryland - Principal-In-Charge responsible for master planning for expansion of the TDC and TRC facilities to include research, teaching, and conferencing facilities totaling 150,000-200,000 SF.

University of Maryland Baltimore County, Technology Development Center Parking Facilities, Catonsville, Maryland - Principal-In-Charge of site planning, civil engineering, and surveying for a 330-car satellite parking facility with shuttle bus pickup.

GOLF COURSE COMMUNITY MASTER PLANNING AND GOLF COURSE PLANNING AND DESIGN

Country Club of Maryland, Towson, Maryland - An 18-hole private country club. Served as principal in charge and project manager for overall planning, design and final engineering of a 36 unit residential subdivision. Lead consultant in procuring all entitlement approvals (development plan and record plat pending). Coordinated all environmental

consultants and the golf course architect in securing waivers and environmental approvals for stream modifications and renovations to the golf course.

Lake Diamond Golf and Country Club, Pinehurst, North Carolina - Preparation of a master plan incorporating an 18-hole golf course with club facilities and a "public golf center" including driving range, chipping and pitching greens and miniature golf course. Golf course routing is through dense pine forests and sand hills indigenous to the Pinehurst area. Lake Diamond (44 acres) provides a unique natural amenity. Estate home sites, community beach and recreation area, and the golf course are situated along the lake frontage. The Lake Diamond subdivision has been modified and incorporated into the overall master plan. The plan encompasses approximately 350 acres and includes estate homesites (20,000 SF+/-) and fairway cottage sites (7,000-8,000 SF).

Baltimore County, Maryland - Preparation of a golf course routing plan on approximately 210 acres of state-owned property adjacent to the Patapsco River. This unique golf course routing plan is laid out around a number of environmentally sensitive wetland areas and is integrated with a proposed equestrian riding center and riding trails, which tie into a public open space network along the Patapsco River.

Liberty Valley Country Club, Baltimore County, Maryland - A nine-hole executive par three golf course has been laid out on a portion of the former Hidden Valley Golf Course. The course is situated in a stream valley and incorporates large teeing areas to maximize the flexibility and allow play from multiple tees. A clubhouse with banquet and dining facilities, along with an Olympic-size swimming pool and tennis courts are included.

Potomac Point Golf Links, St. Mary's County, Maryland - Prepared three alternative golf course routing plans within the context of an 800(+)-acre planned community along the Potomac River in southern Maryland. Each routing plan encompassed different areas of the overall tract. The property, which offered a unique design challenge, included heavily wooded areas, tidal and non-tidal wetlands, fresh water lakes, a reclaimed sand quarry, and Potomac River and an inland bay frontages.

Each routing plan was developed within the context of the overall planned community, which included a wide range of residential product. This included single family estate lots, attached housing, condominium, and golf village home sites along with community commercial village and marina.

The golf course routing plan considered is described below.

The Potomac Point Links will be a unique 18-hole linksland style golf course built within the reclaimed sand hills of the former quarry site. The individual holes blend with the sand hills and ponds of this environmental award winning reclamation project providing a truly unique golf experience unmatched in this region. The course, which will be open to the public, is designed to be challenging and playable for all skill levels. Emphasis is placed on strategic shot making skills rather than strength while the usage of multiple tees allows the course to play from over 6,700 yards to slightly less than 4,900 yards. The unique character of the course incorporates grass bunkers and swales, waste bunkers, mounding, a system of ponds and streams and natural vegetation and grasses all of which reinforce the linkslands style of golf course architecture. The natural setting for the course is further enhanced by broad vistas of Breton Bay from many locations on the course. A public driving range with lesson tee, practice putting and chipping greens, pro shop, and clubhouse will provide the necessary support facilities.

Hunters Green Planned Business Park, Washington County, Maryland - This golf course routing plan is integrated through an 850-acre planned unit development including residential, retail, office, and industrial uses. A series of environmentally sensitive areas and stream are utilized to enhance the natural features and playability of the course. The project also contains an inn and conference center adjacent to the golf course, both of which provide a central focus for the overall development plan.

HEALTH CARE FACILITIES/HOSPITAL / NURSING HOME PROJECTS

Hackerman Patz House, St. Joseph's Medical Center Campus, Towson, Maryland - Principal-In-Charge responsible for procuring a zoning variance, feasibility study for utilities, production of construction documents, obtaining grading and building permits and construction observation for this two-level, 13,600-SF, 20-room facility located on .85 acres. MRA worked with the project Architect and campus facilities staff to layout this overnight facility for families of hospital care

WILLIAM P. MONK - Page 5 of 5

patients. This facility was modeled after the McDonald House facilities and a similar facility on the Sinai Hospital Site in the City of Baltimore. The project design and construction was funded by a donor contribution.

HOSPITALITY

Burkeshire Marriott Feasibility Study, Towson, Maryland - Planner hired by the Baltimore County Economic Development to provide a feasibility study for the expansion of the Marriott Hotel to include conferencing facilities, structured parking, and campus retailing along the York Road street frontage. Project also included developing alternative site plans for the entire block known as the "triangle" which includes the Towson VFW hall.

HOUSING

Decatur Street Townhomes, Baltimore, Maryland - Project Manager responsible for master planning and civil engineering for 72 housing units in Locust Point.

Luzerne Street, Canton Mills, Chester Street, and Fleet Street Townhomes, Baltimore, Maryland - Project Manager responsible for master planning and civil engineering for urban in-fill residential projects in Baltimore City.

WILLIAM P. MONK
NATIONAL AND REGIONAL COMMERCIAL/RETAIL CLIENTS

CONVENIENCE STORES

7-Eleven Food Stores
High's Food Stores
Wawa Food Stores
Paceway Convenience Stores
Dash-In Food Stores
6-12 Convenience Food Marts
X-Tra Mart
Royal Farm Stores

AUTOMOTIVE SERVICE

Precision Tune
Mr. Transmission
Pit Stop, Inc.
Windshields of America
Grease Monkey
Econo Lube 'N' Tune
Midas Muffler
3 Rivers Glass
Jiffy Lube
Mr. Tire
Kimmel Tire
Midas Muffler
Grease Monkey
Salvo Auto Parts
National Tire Warehouse
Western Auto
Parts America
NTW Automotive

AUTOMOTIVE-GASOLINE

BP/Amoco Oil Co.
Arco Petroleum
Gulf Oil Company
Steuart/Agip
Shell Oil Company
Southern Maryland Oil Co.
Sunoco
Texaco/Star Enterprise
Eastern Petroleum
Quarles Petroleum, Inc.
Carroll Independent Fuel
Ewing Oil Company
Ocean Petroleum Co.

RESTAURANTS

Dunkin Donuts
Pizza Hut
Taco Bell
Hot-N-Now
Big Boys
Roy Rogers Restaurants
Checkers
Church's Fried Chicken
Hardee's
Burger King
Golden Corral
Kentucky Fried Chicken
Mr. Donut
Friendly's Restaurants
Chili's Restaurants
Subway Sub Shops
Red Hot n' Blue
McDonald's Corporation
All-In-One (Taco Bell, Pizza Hut, KFC)
East Side Marios
Chevys Mexican Restaurants
California Pizza Kitchen
Fuddruckers
Sweet Pea Café
Old Country Buffet
Cracker Barrel
Rita's Water Ice
Krispy Kreme
Wendy's
Red Robin Restaurants
Mission BBQ

MISCELLANEOUS-COMMERCIAL

Rite Aid
K-Mart
Duron Paints
Nichol's Department Store
Safeway Food Stores
Blockbusters Video
Pier One Imports
Price Warehouse
F&M Drug Stores
Roses Department Store
Town & Country Pontiac-Nissan
Klein's Supermarkets
C.J. Bonner Co.
Carteret Savings Bank
Penn Advertising
Universal Advertising
Giant Foods
Nextel Corporation
PNE Media
Enterprise Rent-A-Car
Koons Ford
ATC Communications, Inc.
Wal-Mart
Sam's Club
Hechinger's
Bluecrest North Caterers
Musselman Chevrolet
Bell Atlantic
Luby Chevrolet
Sports Authority
Revco Drugs
CVS Drugs
Weis Markets
Lamar Advertising
Hollywood Video
Food Lion
Graul's Food Markets
Jeepers, Inc.
Walgreens
Bank of America
Dollar General

WILLIAM P. MONK
JURISDICTIONS WHERE WORK HAS BEEN PERFORMED

MARYLAND

Aberdeen*
Annapolis*
Anne Arundel County*
Baltimore*
Baltimore County*
Bel Air*
Bowie
Charles County
Calvert County
Cambridge
Caroline County
Carroll County*
Cecil County
Centreville
Chesapeake Beach
College Park
Columbia
Easton
Ellicott City
Frederick
Frederick County*
Gaithersburg
Hagerstown
Hampstead
Harford County*
Havre de Grace*
Howard County*
Kent County
Laurel
Montgomery County
Ocean City
Perryville
Prince George's County*
Queen Anne's Co.

Rockville
St. Charles Community*
St. Mary's County
St. Michael's
Salisbury
Talbot County
Washington County
Westminster

DELAWARE

Dover
Kent County
Milford
Newark
Rehoboth Beach
Sussex County

**DISTRICT OF
COLUMBIA**

NEW JERSEY

Cherry Hill
Dover Township
Mountainside
Pequannock Township
Perth Amboy
Piscataway*
Wall Township*
Pompton Plains
Toms River

NORTH CAROLINA
Pinehurst

PENNSYLVANIA

Bucks County
Chester County
Montgomery County
Paoli
Shrewsbury

VIRGINIA

Alexandria
Arlington
Arlington County
Chesterfield County
(Richmond area)
Fairfax City
Fairfax County
Falls Church
Fauquier County
Henrico County
(Richmond area)
Herndon
Leesburg
Loudon County
Manassas
Manassas Park
McLean
Prince William County
Quantico
Richmond
Sterling
Vienna

WEST VIRGINIA
Martinsburg

***EXPERT WITNESS**

COUNTY COUNCIL OF BALTIMORE COUNTY, MARYLAND
Legislative Session 2015, Legislative Day No. 13

Resolution No. 67-15

Mr. David Marks, Councilman

By the County Council, August 3, 2015

A RESOLUTION of the Baltimore County Council to amend the Perry Hall Community Plan.

WHEREAS, on February 22, 2011, the County Council adopted the Perry Hall Community Plan as part of the Baltimore County Master Plan 2020; and

WHEREAS, on September 4, 2012, the County Council amended the Perry Hall Community Plan in order to provide guidelines for the review by the Design Review Panel of nonresidential plans in the Perry Hall Revitalization Area (Resolution 61-12); and

WHEREAS, the County Council wishes to amend the Perry Hall Community Plan, as amended by Resolution 61-12, to provide further guidelines for Design Panel review of development plans; now, therefore

BE IT RESOLVED by the County Council of Baltimore County, Maryland, that the Perry Hall Community Plan, as amended by Resolution 61-12, is hereby amended as follows:

"Design Review Panel

Recommendation #1:

Bill No. 50-12, approved by the Council on August 6, 2012, requires the Baltimore County Design Review Panel to review nonresidential development plans proposed for the Perry Hall Revitalization Area. In reviewing such plans, the Panel shall apply the

PETITIONER' S

EXHIBIT NO. 14

guidelines set forth in the Comprehensive Manual of Development Policies and the following guidelines:

- New buildings should be predominantly designed with brick AND ORIENTED PARALLEL TO THE ROAD.
- Pedestrian amenities and landscaping are strongly encouraged. FOR NEW CONSTRUCTION, A LANDSCAPED STRIP OF NO LESS THAN EIGHT FEET WITH STREET TREES SHALL BE PROVIDED NEXT TO THE ROAD.
- Building entries should face the road. Storefront display windows should be included, if feasible.
- IF AN EXISTING BUILDING IS BEING REPURPOSED, parking bays should IDEALLY be located along the sides and rear of the lot, and parking should be minimized in the front. FOR NEW CONSTRUCTION, ANY BUILDINGS SHALL BE PLACED AS CLOSE TO THE ROAD AS POSSIBLE, WITH PARKING CONCENTRATED IN THE BACK AND NO MORE THAN ONE ROW OF PARKING ALLOWED IN THE FRONT.
- Commercial buildings that are located near a residential neighborhood should respect the scale and character of the surrounding neighborhood.
- Signage should be integrated with the building design. Freestanding signs are discouraged; groundmounted signs are encouraged. For gasoline/service stations, signage should be of a groundmounted, monument style with a brick facade. For convenience stores, signage should be of a monumental style only.
- Loading docks and delivery areas should be screened with walls that match the style of the buildings and landscaping.

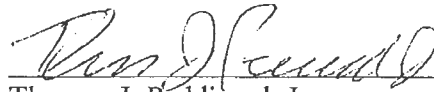
- Dumpsters and drive-thru windows should be located and positioned in a way that is the least obtrusive to the surrounding neighborhood.”

SECTION 2. AND BE IT FURTHER RESOLVED, that this Resolution shall take effect from the date of its passage by the County Council, and shall not apply to any ~~development plan reviewed by the Design Review Panel~~ project originally reviewed at a Design Review Panel meeting prior to July 31, 2015.

r06715.wpd

READ AND PASSED this 8th day of SEPTEMBER, 2015.

BY ORDER

A handwritten signature in dark ink, appearing to read "Tom J. Peddicord, Jr.", is written over a horizontal line.

Thomas J. Peddicord, Jr.
Secretary

ITEM: RESOLUTION 67-15

COUNTY COUNCIL OF BALTIMORE COUNTY, MARYLAND
Legislative Session 2012, Legislative Day No. 13
Resolution No. 61-12

Mr. David Marks, Councilman

By the County Council, August 6, 2012

A RESOLUTION of the Baltimore County Council to amend the Perry Hall Community Plan.

WHEREAS, on February 22, 2011, the County Council adopted the Perry Hall Community Plan as part of the Baltimore County Master Plan 2020; and

WHEREAS, on August 6, 2012, the County Council adopted Bill 50-12 which amended Section 32-4-204 of the County Code to require the Baltimore County Design Review Panel to review nonresidential development plans proposed for the Perry Hall Revitalization Area; and

WHEREAS, the Comprehensive Manual of Development Policies provides general guidelines for the review of nonresidential developments in the areas designated by Section 32-4-204; and

WHEREAS, the Manual also provides for the use of guidelines that are set forth in a specific community plan adopted by the County Council; and

WHEREAS, the County Council wishes to amend the Perry Hall Community Plan in order to provide guidelines for the review by the Design Review Panel of nonresidential plans in the Perry Hall Revitalization Area; now, therefore

BE IT RESOLVED by the County Council of Baltimore County, Maryland, that the Perry Hall Community Plan is hereby amended as set forth on Exhibit A attached hereto.

**PROPOSED AMENDMENTS TO
THE PERRY HALL COMMUNITY PLAN
Councilman Marks**

1. Insert the following on page 21 of the Plan:

“Design Review Panel

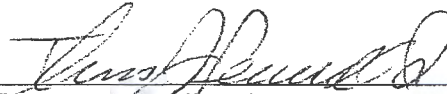
Recommendation #1:

Bill No. 50-12, approved by the Council on August 6, 2012, requires the Baltimore County Design Review Panel to review nonresidential development plans proposed for the Perry Hall Revitalization Area. In reviewing such plans, the Panel shall apply the guidelines set forth in the Comprehensive Manual of Development Policies and the following guidelines:

- New buildings should be predominantly designed with brick.
- Pedestrian amenities and landscaping are strongly encouraged.
- Building entries should face the road. Storefront display windows should be included, if feasible.
- Parking bays should be located along the sides and rear of the lot, and parking should be minimized in the front.
- Commercial buildings that are located near a residential neighborhood should respect the scale and character of the surrounding neighborhood.
- Signage should be integrated with the building design. Freestanding signs are discouraged; groundmounted signs are encouraged. For gasoline/service stations, signage should be of a groundmounted, monument style with a brick facade.
FOR CONVENIENCE STORES, SIGNAGE SHOULD BE OF A MONUMENTAL STYLE ONLY.
- Loading docks and delivery areas should be screened with walls that match the style of the buildings and landscaping.”
- DUMPSTERS AND DRIVE-THRU WINDOWS SHOULD BE LOCATED AND POSITIONED IN A WAY THAT IS THE LEAST OBTRUSIVE TO THE SURROUNDING NEIGHBORHOOD.

READ AND PASSED this 4th day of SEPTEMBER, 2012.

BY ORDER

A handwritten signature in dark ink, appearing to read "Tom Peddicord", is written over a horizontal line.

Thomas J. Peddicord, Jr.

Secretary

ITEM: RESOLUTION 61-12

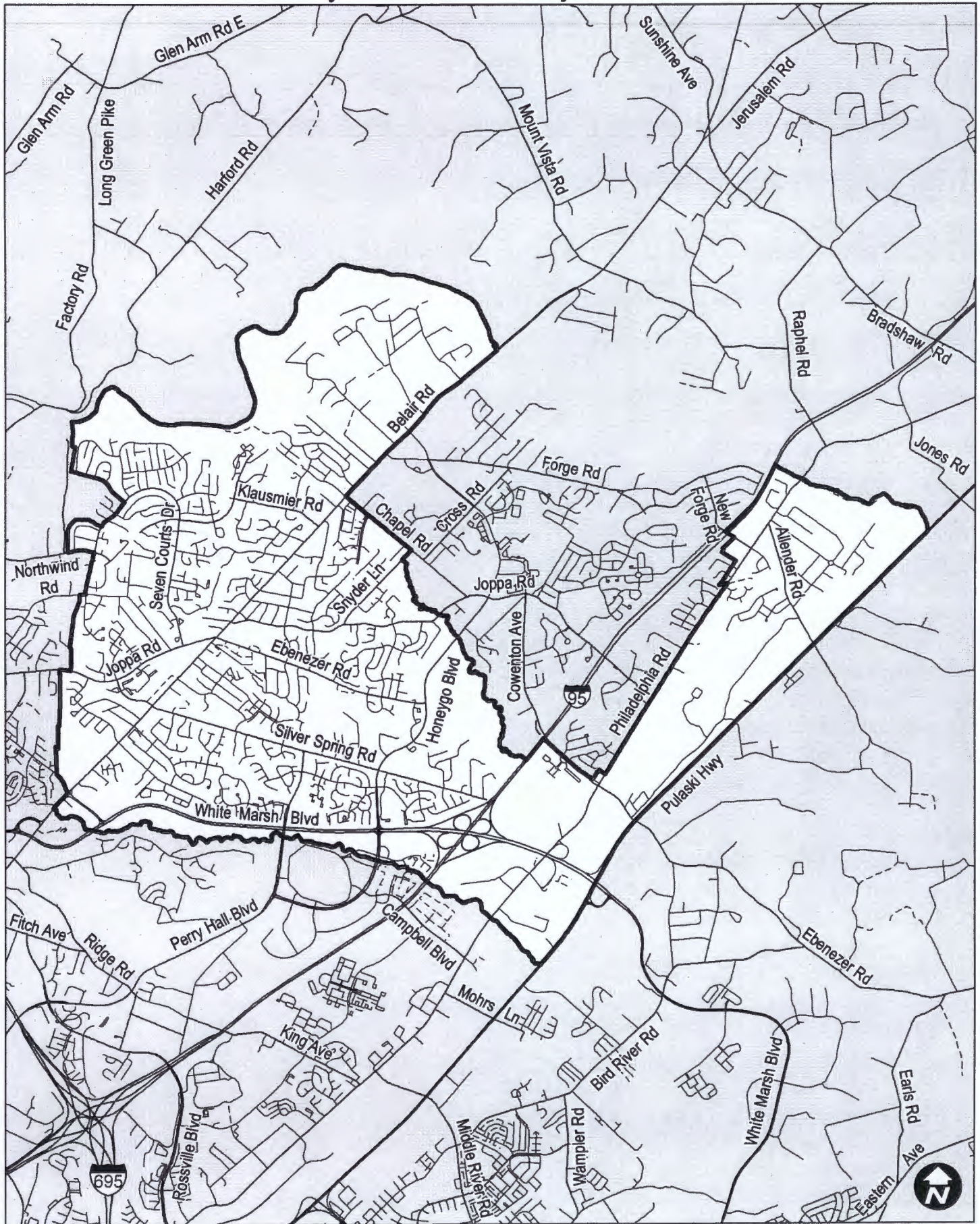


THE PERRY HALL COMMUNITY PLAN

**ADOPTED BY
THE BALTIMORE COUNTY COUNCIL**

FEBRUARY 22, 2011

Perry Hall Community Plan Area



0 4,500 9,000 13,500 Feet

COUNTY COUNCIL OF BALTIMORE COUNTY, MARYLAND
Legislative Session 2011, Legislative Day No. 3

Resolution No. 13-11

Councilmembers Marks & Bevins

By the County Council, February 7, 2011

A RESOLUTION of the Baltimore County Council to adopt the Perry Hall Community Plan as part of the Baltimore County Master Plan 2020.

WHEREAS, the Baltimore County Council adopted the Baltimore County Master Plan 2020 on November 15, 2010; and

WHEREAS, the County Council asked the Planning board to prepare a Perry Hall Community Plan (Resolution 104-08); and

WHEREAS, the Perry Hall Community Plan was prepared in close cooperation with the Perry Hall Community Plan Steering Committee; and

WHEREAS, the Plan was the subject of a public hearing by the Planning Board and was adopted by the Board on November 18, 2010; and

WHEREAS, the County Council held a public hearing on the recommended Perry Hall Community Plan on January 18, 2011.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNTY COUNCIL OF BALTIMORE COUNTY, MARYLAND, that the Perry Hall Community Plan, as amended, a copy of which is attached hereto and made a part hereof, be and it is hereby adopted and incorporated into the Baltimore County Master Plan 2020 to be a guide for the development of the Perry Hall Community area, subject to such further modifications as deemed advisable by the County Council.

**PROPOSED AMENDMENTS TO THE
PERRY HALL COMMUNITY PLAN**
Councilmembers Marks & Bevins

- (A) On page 1, in the first line of the first paragraph under "Purpose of the Plan", strike "I'" and substitute "I"; in the first line of the second paragraph, after "passed" insert a comma.
- (B) On page 1, strike the paragraph under "Background Information" and substitute the following:
"The boundaries of the Perry Hall Community Plan are Simms and Magleth Avenues on the west; the Greater Gunpowder Falls on the north; Pulaski Highway on the east, excluding the Honeygo Plan District; and White Marsh Run on the south. Honeygo is considered part of Perry Hall, but has its own Community Plan."
- (C) On page 5, strike "CCBC" and substitute "Community College of Baltimore County; and delete, in its entirety, Recommendation #3.
- (D) On page 8, strike the first sentence under "Gunpowder View Trail" and substitute the following:
"This Community Plan endorses converting the former right-of-way for the Gunview Road extension into a trail. With the acquisition of additional land, this trail would allow hikers and bicyclists to more readily access Gunpowder Falls State Park and the Seven Courts Drive area."
- (E) On page 10, strike "ADA" and substitute "Americans With Disabilities Act"; and under Recommendation #9, underline "Targeted Date for Completion"
- (F) On page 12, delete, in its entirety, Recommendation #11.
- (G) On page 17, in the first sentence of the third paragraph under Recommendation #2, after "Gough Park site", insert "or a similar location"

- (H) Insert the following after line 28:
"KEY PARTICIPANTS IN THE DEVELOPMENT OF
THE PERRY HALL COMMUNITY PLAN

Perry Hall Community Plan Steering Committee

David Marks, Chair
Debra Beaty
Diane Brazil
Christopher A. Defeo
John Dingedahl
Nate Evans
Dee Hodges
William Libercci, Sr
Charles L. Marks
Rani Merryman
Bill Paulshock
Pat Pudelkewicz
Dennis Robinson
Jeffrey W. Smith

Green Infrastructure Subcommittee

Diane Brazil, Chair
Delegate Joseph Boteler
Delegate Eric Bromwell
Frances Craig
Christopher A. Defeo
Glenn Ferenschak
Paul Pudelkewicz
Steve Verch

Neighborhoods and Commerce Subcommittee

Debra Beaty, Chair
Steve Amenta
Frances Craig
Suki Deaver
Jenny King
Senator Kathy Klausmeier
William Libercci
Mark Mohr
Bill Paulshock
Pat Pudelkewicz
Alfred W. Redmer, Jr.

Public and Cultural Resources Subcommittee

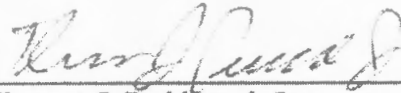
Rani Merryman, Chair
Ed Cindric
Frances Craig
Rosemarie Durkin
Glenn Ferenschak
Charles L. Marks
Norma Secoura
Jeffrey W. Smith
Howard Wille

Transportation and Infrastructure Subcommittee

Nate Evans, Chair
Roger Dunn
Jim Durkin
Dennis Eckard
Dee Hodges
Victoria Jenkins"

READ AND PASSED this 22ND day of FEBRUARY, 2011.

BY ORDER

A handwritten signature in cursive script, appearing to read "Thomas J. Peddicord, Jr.", written over a horizontal line.

Thomas J. Peddicord, Jr.
Secretary

ITEM: RESOLUTION 13-11

COUNTY COUNCIL OF BALTIMORE COUNTY, MARYLAND
Legislative Session 2008, Legislative Day No. 21

Resolution No. 104-08

Mr. Vincent J. Gardina, Councilman

By the County Council, December 1, 2008

A RESOLUTION of the Baltimore County Council requesting the Baltimore County Planning Board to prepare a community plan for the Perry Hall area of Baltimore County.

WHEREAS, the Baltimore County Council adopted the Baltimore County Master Plan 2010 on February 22, 2000; and

WHEREAS, the Master Plan places great importance upon the development of community plans for established areas of the County; and

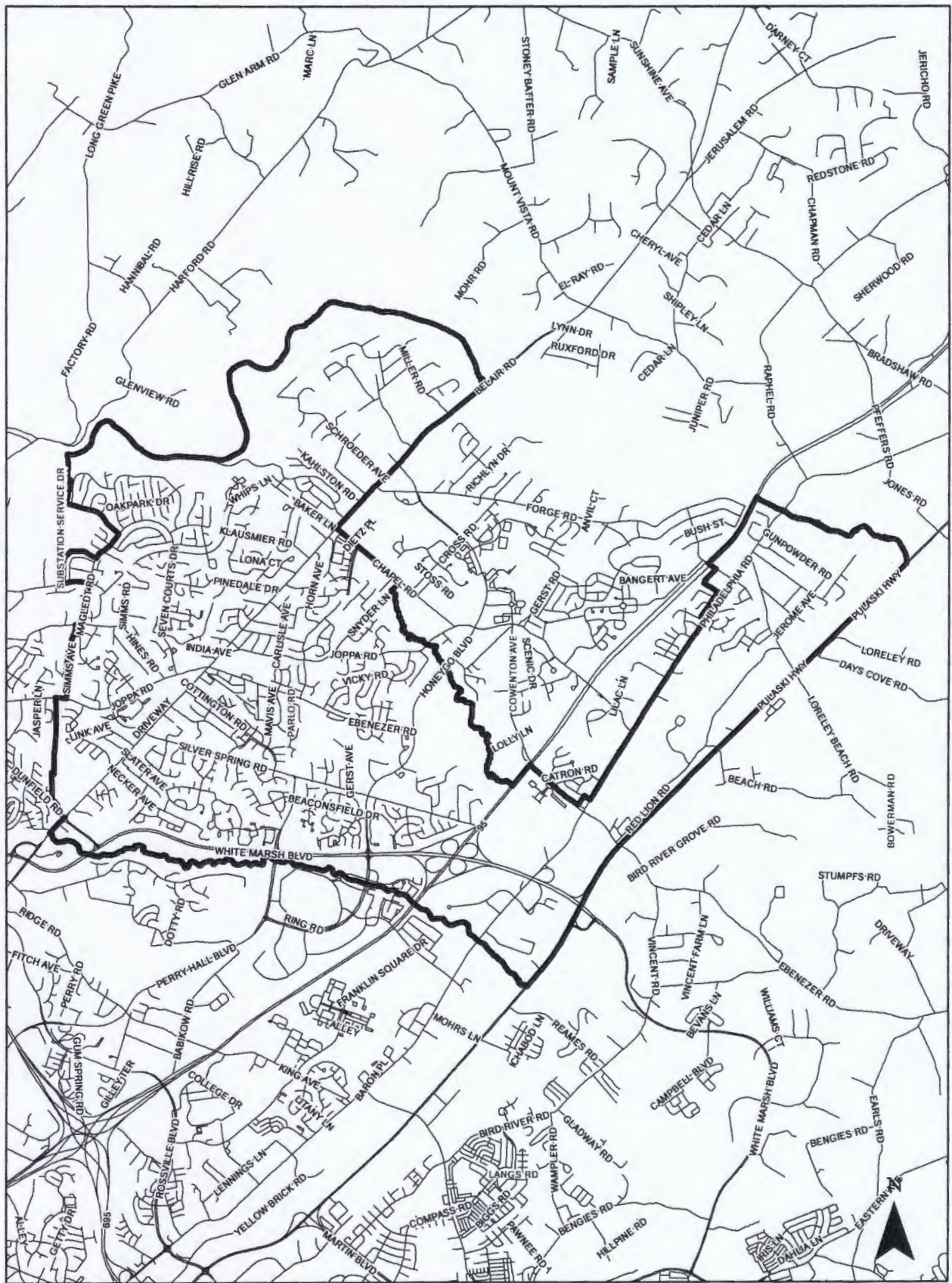
WHEREAS, the Perry Hall area of the County, as shown on the map attached hereto as Exhibit A, is a vital part of the County's Fifth Councilmanic District; and

WHEREAS, an effective community plan for the Perry Hall area will serve to promote the stabilization and improvement of the community; and

WHEREAS, the Perry Hall area has a population with the need for recreational, social, and community support requirements.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNTY COUNCIL OF BALTIMORE COUNTY, MARYLAND, that the Baltimore County Planning Board is requested to conduct an assessment of community needs and issues in the Perry Hall area, with full opportunity for participation by the area's citizens, businesses, organizations and institutions, and to prepare a community plan for the area, suitable for adoption by the Planning Board and the County Council as part of and an amendment to the Master Plan.

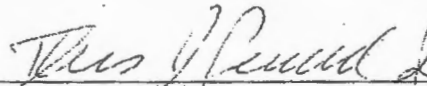
PERRY HALL COMMUNITY PLAN



0 1,875 3,750 7,500 11,250 15,000 Feet

READ AND PASSED this 1ST day of DECEMBER, 2008.

BY ORDER

A handwritten signature in cursive script, appearing to read "Thos J Peddicord Jr", written over a horizontal line.

Thomas J. Peddicord, Jr.
Secretary

ITEM: RESOLUTION NO. 104-08

Table of Contents

I. INTRODUCTION.....	1
Purpose of the Plan	1
Background information	1
Vision Statement.....	1
The History of Perry Hall	2
A Vision for Perry Hall	3
II. RECOMMENDATIONS	3
Strong Neighborhoods, and a Defined Community Center	3
Greater Mobility.....	5
Environmental Stewardship	12
Outstanding Schools Learning Centers.....	14
Family Life and Recreation	15
A Sense of History and Place.....	19
III. APPENDIX	21
IV. MAPS	23

The Perry Hall Community Plan

I. INTRODUCTION

Purpose of the Plan

On December 1, 2008, Fifth District Councilman Vincent Gardina passed a Baltimore County Council Resolution requesting that the Baltimore County Planning Board prepare a community plan for the Perry Hall area. The resolution stated that this community plan would serve to promote the stabilization and improvement of a community that has a population with recreational, social, and community support requirements.

Since this resolution has passed, the community has attended multiple meetings and proposed recommendations to make Perry Hall a more vibrant place to live, work, and shop. The objectives and goals of this plan are based in part on the Urban County and Growth Area recommendations of the Baltimore County 2010 Master Plan. Encouraging community involvement in multi-modal transportation, transit oriented development, providing more open space and promoting walkability are essential components of this plan.

Background Information

The boundaries of the Perry Hall Community Plan are Simms and Magledt Avenues on the west; the Greater Gunpowder Falls on the North; Pulaski Highway on the east, excluding the Honeygo Plan District; and White Marsh Run on the south. Honeygo is considered part of Perry Hall, but has its own Community Plan.

VISION STATEMENT

On February 22, 2010, attendees at the Perry Hall Community Plan meeting unanimously adopted a Vision Statement for the report. The Vision Statement has two key purposes. First, it identifies the strengths of the Perry Hall community, and notes that the Perry Hall Community Plan would provide a blueprint for building on these strengths. Second, it establishes a series of themes that bind together the recommendations of the final report.

Perry Hall is sometimes called the "crossroads of Baltimore County," a community defined by its location along major arteries of commerce and transportation. In a broader sense, though, Perry Hall is at the crossroads of changes that are shaping our economy and society. Perry Hall is proud of its heritage, but ready for the challenges of the future.

This community is strong. Perry Hall's neighborhoods, schools, and other amenities make it a desirable place to live. Perry Hall's location—near the junction of two Interstate highways and the MARC train network—gives it convenience to major destinations and employers along the Eastern Seaboard. There are other qualities less measured, but certainly felt by its residents. After decades of growth, Perry Hall retains a small town feel. The goal of the Perry Hall Community Plan is to provide a blueprint for building on these strengths.

Although the Perry Hall Community Plan incorporates many suggestions, five overall themes are critical. First, this plan acknowledges that the period of large-scale development in Perry Hall is over. It is time to enhance older neighborhoods and—most

The Perry Hall Community Plan

importantly—anchor the aging shopping centers near Belair and Ebenezer Roads into a true core for Perry Hall. Second, every effort should be made to increase mobility, connect neighborhoods to one another, restore Perry Hall's green canopy, and improve the area's stream valleys. Third, the community should enhance opportunities for recreation and family life that attract and retain residents. Fourth, Perry Hall's schools and other resources foster a culture of lifelong learning. Finally, the community's heritage is a powerful asset, providing an important sense of place and identity.

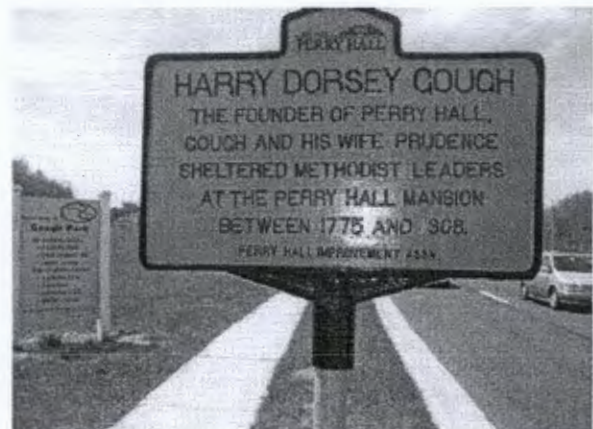
THE HISTORY OF PERRY HALL

Perry Hall is one of the oldest communities in Baltimore County. In 1608, Captain John Smith led an expedition up the Gunpowder River Valley. Smith's journey initiated intense industrialization along the Gunpowder River, and by the Eighteenth Century, northeastern Baltimore County was the site of numerous mills, furnaces, and forges.

In 1774, Baltimore businessman Harry Dorsey Gough purchased a 1,000-acre estate called *The Adventure*. Gough renamed it Perry Hall after his family's home near Birmingham, England, and by 1775 he had completed a mansion that became known for its great gardens and distinctive architecture. Harry Dorsey Gough is considered the founder of Perry Hall. He and his wife Prudence sheltered early Methodist leaders such as Francis Asbury when their pacifist views were unpopular.

The Perry Hall estate deteriorated in the Nineteenth Century. It was sold in 1875 to Eli Slifer and William Meredith of Philadelphia, who divided the property and

sold the lots to immigrant families, many of who were from Germany. This village became known as Germantown, and it was centered at present-day Belair and Chapel Roads. A second village, Indian Rock, was located near modern-day Belair and Joppa Roads. Farmers used the Baltimore and Jerusalem Turnpike, as Belair Road was then known, to sell their vegetables in the city markets. Some of these farms became nurseries and dairies, the most famous of which was the Berg dairy on Joppa Road.



Gough Historical Marker and Park Sign

The years after the Second World War transformed Perry Hall from a farming community into a suburban hamlet. The Perry Hall Improvement Association was created in 1945 to deal with growth and change. William "Dick" Schafer built dozens of brick bungalows between Belair and Ebenezer Roads, and he constructed Perry Hall's first shopping center in 1961. Perry Hall's first public library and Perry Hall Senior High School opened in 1963. By 1981, the Berg dairy had been developed into the Seven Courts neighborhood, and White Marsh Mall opened on old quarries near Silver Spring Road.

The Perry Hall Community Plan

After public concerns about the pace of development, the area's growth was halted in the early 1990s to allow for the completion of the Honeygo Plan. This Community Plan aimed for higher-quality development in Perry Hall's northeastern quadrant. In the years after adoption of the Honeygo Plan, the county completed several long-term projects, including new parks along Honeygo Boulevard (not all of the new park sites have been acquired yet) and the opening in 2009 of a permanent Perry Hall library. The community worked to keep Perry Hall's "small town" feel by restoring the Perry Hall Mansion and organizing a town fair, community concerts, and other public events.

A VISION FOR PERRY HALL

This Community Plan endorses a vision that builds upon Perry Hall's strengths. The recommendations for the report are grouped under five overall themes. In the words of the vision statement:

This plan acknowledges that the period of large-scale development in Perry Hall is over. It is time to enhance older neighborhoods and—most importantly—anchor the aging shopping centers near Belair and Ebenezer Roads into a true core for Perry Hall. Second, every effort should be made to increase mobility, connect neighborhoods to one another, restore Perry Hall's green canopy, and improve the area's stream valleys. Third, the community should enhance opportunities for recreation and family life that attract and retain residents. Fourth, Perry Hall's schools and other resources foster a culture of lifelong learning. Finally, the community's heritage is a powerful asset, providing an important sense of place and identity.

II. RECOMMENDATIONS

Strong Neighborhoods, and a Defined Community Center

Most of Perry Hall's neighborhoods were built after the Second World War. During the 1950s and 1960s, new homes tended to be brick ranchers or colonial-style homes, such as those found near the intersection of Belair and Ebenezer Roads. Between 1970 and 1990, thousands of townhouses, condominiums, and single-family homes were constructed, primarily along Seven Courts Drive.

By the beginning of the Twenty-First Century, the era of large-scale development in Perry Hall had ended. Attention must now turn to strengthening Perry Hall's older neighborhoods, as well as its aging shopping centers. Closely related to this goal is the need to define a community core for Perry Hall.

Throughout the United States, many incorporated communities have a public square and central business district. Perry Hall is not incorporated, and there has never been a single place that can be thought of as the community's "center" over its entire history. During the Nineteenth Century, there were two villages—Germantown and Indian Rock—at either end of what is now considered Perry Hall. Over time, development blurred the distinction between these villages.

By the early Twenty First Century, Belair Road was a string of shopping centers, office buildings, and homes converted to business use. The area between Cottingham Avenue and India Avenue, however, is the

The Perry Hall Community Plan

center of much activity in Perry Hall, as well as the geographic heart of the community.

In the 1990s and 2000s, civic leaders worked to reinforce this as Perry Hall's community center. In 1990, the Perry Hall Improvement Association started an annual Christmas Tree Lighting Ceremony at Perry Hall Elementary School. In 1999, the Perry Hall Improvement Association (PHIA) renovated the Veterans Memorial at Perry Hall Elementary School. In 2001, state and county leaders dedicated a new community sign and landscaping at Belair and Joppa Roads, part of an overall beautification project for the Belair Road corridor. Finally, in 2010, the state and county completed a streetscape project between Cottingham Road and India Avenue that included new trees, landscaping, and lamp posts. The Perry Hall-White Marsh Business Association and Perry Hall Improvement Association funded seasonal banners along poles in front of Perry Hall Elementary School.

This Community Plan strongly endorses efforts to anchor the area between Cottingham Road and India Avenue as the center of Perry Hall, the geographic and economic heart of the community. This central business district would extend east to the Perry Hall Square Shopping Center and west to the Weis Market (Festival at Perry Hall Shopping Center) and Joppa Corners Shopping Center along Joppa Road.

Recommendation #1: Base future zoning decisions on consistent policies that reinforce Perry Hall's character and neighborhood appeal.

Background: This Community Plan includes a map that describes Perry Hall's

zoning as it existed after the 2008 Comprehensive Zoning Map Process. Each property has unique qualities that may be considered during future CZMP cycles, but this Community Plan urges that certain policies be generally followed so that Perry Hall's character is preserved for future generations.

- The stretch of Belair Road from Minte Drive to Chapel Road, for the most part, includes homes that have been converted to offices, with leafy lawns that provide a residential, charming look. The Community Plan recommends that no zoning more intense than Residential Office (RO) be approved. Wherever possible, parking should be limited to the sides and rear of buildings, and large trees and landscaping should be preserved.
- Silver Spring, Ebenezer, and East Joppa Roads should remain residential.
- Pulaski Highway has the most intense zoning levels within the area covered by the Perry Hall Community Plan. Pulaski Highway is a key employment corridor. The Perry Hall Community Plan endorses the development of design standards so that future growth visually enhances the corridor.

Targeted Date of Completion: Ongoing.

Recommendation #2: Provide incentives and strong support for redevelopment of the Perry Hall Square Shopping Center.

Background: The owners of the Perry Hall Square Shopping Center are strongly encouraged to renovate or redevelop this property. To further this objective, the Perry

The Perry Hall Community Plan

Hall Community Plan recommends flexible zoning options that would allow the owner to creatively develop the shopping center. Senior housing or different blends of residential and commercial development might be allowed, for example, as long as the redevelopment enhances this area as a high-end focal point for the community.

In the short term, this Community Plan offers a suggestion that honors the property owner's rights while improving current vacancies. A senior services center could be created which includes a Motor Vehicle Administration. This would double as a teen center during after school hours, or it could provide after school job training for students. During the day, Community College of Baltimore County student teachers could earn credit hours by participating in daytime student teaching - technology and other courses to senior citizens. After school teen jobs may include tutoring younger students, serving eligible seniors meals, cleaning the facility, or data entry for the MVA back office.

Targeted Date of Completion: Ongoing.



Perry Hall Shopping Center

Greater Mobility

One of Perry Hall's assets is its location. Perry Hall is located along one of the nation's oldest and busiest highways, U.S. Route 1, and only a few miles away from two Interstate highways. Thanks to the construction of the White Marsh Boulevard Extension in 2006, motorists are minutes away from Martin State Airport, the MARC train network, and the Baltimore County waterfront.

Most of Perry Hall's growth occurred after the Second World War and during the early years of the Interstate highway system. Highways were designed to move a large volume of traffic, not necessarily to accommodate pedestrians or bicyclists. As a result, many neighborhoods lack sidewalks, isolating them from one another and risking the safety of pedestrians. Furthermore, while Perry Hall is convenient for people who own an automobile, there are extremely limited opportunities for those who depend on public transportation or those who ride bicycles.

Most personal travel is done by automobile, and this will likely not change in the near future. One of the major themes of the Perry Hall Community Plan, however, is that residents should have a wide range of transportation options. This Community Plan strongly endorses the concept of an integrated, intermodal transportation network that includes highways, public transit, trails, and sidewalks. In the future, transportation projects must be planned in a way that is consistent with the character of local neighborhoods.

Perry Hall has developed from a colonial farming village to a major suburb in the

The Perry Hall Community Plan

Baltimore-Washington corridor. Most of this transformation has taken place in the past 50 years as a patchwork of inconsistent land use based on automobile accessibility. Like similar communities across the United States, Perry Hall residents are discovering the disadvantages of living in a low-density community as dependence on foreign oil, climate change, and obesity rates are major issues for today's generations. Through the following proposals, the Perry Hall of the early 21st century seeks to modify the planning and development practices of the past to create a more livable community for the future.

Recommendation #1: Implement key sidewalk and pedestrian improvements from the Walkable Perry Hall Task Force Report.

Background: In 2009, the Walkable Perry Hall Task Force identified opportunities to make Perry Hall more interconnected and accessible to all residents. The task force had three overall objectives: (1) Prioritize areas that need immediate attention to improve safety; (2) Identify sidewalk connections that can better integrate Perry Hall's neighborhoods; and (3) Identify places that could accommodate hiking and bicycling trails. The full report is included as an appendix to this Community Plan.

This Community Plan builds upon the report of the Walkable Perry Hall Task Force report. The Plan endorses the following Task Force priorities, as well as several other recommendations brought out during the Community Plan process:

- Reconstruct the pedestrian crossings at White Marsh Boulevard and Perry Hall Boulevard.
- Construct sidewalks along Silver Spring Road to better link communities to Honeygo Boulevard and Joppa View Elementary School.
- Complete several "missing" sidewalk segments along Honeygo Boulevard leading from the White Marsh Town Center to Tremper Farms.
- Construct sidewalks that allow pedestrians to safely walk between the White Marsh Mall area and Nottingham Square.
- Construct permanent pathways that connect the neighborhoods near Scone Garth to Silver Spring Road, and Silver Hall Court to the Perry Hall High School campus.
- Construct sidewalks along Ebenezer Road between the Tremper Farms and Northgate Hall neighborhoods.
- Complete sidewalks along the East Joppa Road corridor, especially in the vicinity of Chapel Road and Honeygo Boulevard.
- Construct sidewalks along Chapel Road and enforce prohibitions against truck traffic.
- Reconstruct the area in front of Joppa View Elementary School so that children and parents from the western side of Honeygo Boulevard can walk to school.
- Develop improvements that enhance safety at the intersection of Ebenezer Road and Kilbride Road.

The Perry Hall Community Plan

- In western Perry Hall, construct sidewalks along Klausmier Road, Gunview Road, Hines Road, Seven Courts Drive near Northwind Road, and Pinedale Drive.
- Complete sidewalks along Darleigh Road between Dearborn and Mavis; and
- Complete sidewalks along Belair Road between Slater Avenue and the Olde Forge neighborhood and Plumber Avenue.

Targeted Date of Completion: Within three years of adoption of Plan.

Recommendation #2: Complete Phase 1 of the County-Designated Perry Hall Boulevard Trail.

Baltimore County now calls the Perry Hall Boulevard Trail. This trail would link the Beaconsfield Road area with White Marsh and Overlea. This initial segment could actually serve as "Phase 1" of a longer trail that might possibly extend to Ebenezer Road and beyond. The PHIA recommends renaming this the Northeast Trail since it is



The proposed location of the Perry Hall Trail

a regional pathway that extends beyond Perry Hall Boulevard.

Targeted Date of Completion: Within two years of adoption of Plan.

Recommendation #3: Develop an extensive system of trails throughout Perry Hall.

Background: In addition to the immediate priority of constructing Phase 1 of the Perry Hall Boulevard Trail, this Plan endorses the following long-term trail improvements, which should be accessible to both non-disabled and disabled users.

- **Phase 2 of the Perry Hall Boulevard Trail.** In 2000, Baltimore County purchased the 16-acre property east of Perry Hall High School. On March 23, 2009, the Baltimore County Department of Recreation and Parks, acting on a recommendation from the Perry Hall Improvement Association, announced designation of the property as "Indian Rock Park." This new park is an ideal location for the extension of the Perry Hall Boulevard Trail, providing a direct link between Silver Spring Road and Ebenezer Road. With neighbor support, it may be possible to develop a Phase 3 that extends the trail even further north along the abandoned right-of-way for Perry Hall Boulevard. There is a small section of privately-owned property between Silver Spring Road and Indian Rock Park that would need to be purchased; another option would be to require an easement if this land is developed.
- **Trails at the Future Joppa Trail Park and Snyder Park.** When developed, the

The Perry Hall Community Plan

future Joppa Trail Park on East Joppa Road should support the existing concept plan for the park, which includes a trail system that links to Snyder Park on Snyder Lane. New sidewalks on Snyder Lane, Chapel and Cross Roads are needed to better link these parks and adjacent neighborhoods.

- **Gunpowder View Trail.** This Community Plan endorses converting the former right-of-way for the Gunview Road extension into a trail. With the acquisition of additional land, this trail would allow hikers and bicyclists to more readily access Gunpowder Falls State Park and the Seven Courts Drive area. The trail would extend from the current terminus of Gunview Road at Red Fox Farms, move south past Schroeder Avenue, and end near Belair Road. At this point, there is an opportunity to perhaps continue the trail parallel with Belair Road, on the abandoned right-of-way for the old road, before ending the trail near the Gunpowder River. As with the other proposed trails, local homeowners associations would need to be consulted during all stages of development.
- **Shared Use Path at Community College of Baltimore County at Essex.** The county should complete a corridor plan to determine the feasibility of a shared-use path from Perry Hall to CCBC Essex.

Targeted Date of Completion: Within five years of adoption of Plan.



Gunpowder Falls Blue Trail

Recommendation #4: Maintain access at Belair and Forge Roads that accommodates both eastbound and westbound traffic.

In 2010, the Maryland State Highway Administration and Baltimore County recommended modifying the intersection at Belair and Forge Roads to accommodate the opening of Honeygo Boulevard. Plans called for a temporary closure of Forge Road to induce motorists to use Honeygo Boulevard, as well as a removal of the traffic signal. At an informational meeting in April 2010, residents and business owners expressed strong support for keeping Forge Road open and the traffic signal operational. This Community Plan recommends maintaining access at Belair and Forge Road to accommodate both eastbound and westbound traffic. Plans must conform to the Manual on Uniform Traffic Control Devices and other safety and engineering guidelines.

Additionally, this Community Plan strongly endorses traffic calming devices along the stretch of Honeygo Boulevard south of Forge Road to Joppa Road.

The Perry Hall Community Plan

Speeding is a persistent problem along this corridor.

Targeted Date for Completion: Ongoing.

Recommendation #5: Support Transit-Oriented Development at White Marsh.

Background: When the White Marsh Towne Center was developed in the early 1980s, the area was hailed as a source of economic development for the region. A quarter century later, a major anchor store is vacant and the parking lot is a vacant sea of asphalt. A state-owned park and ride facility stands isolated from the mall across White Marsh Run. By simply realigning transit routes and utilizing empty parking lots, the White Marsh Towne Center can become a transit-oriented development. Installing sidewalks between White Marsh Mall, IKEA, and The Avenue will further transform the area to be more transit and pedestrian friendly. Once the Express Toll Lanes on I-95 are complete, bus travel times between White Marsh and downtown Baltimore will dramatically decrease thus making White Marsh a more desirable shopping destination for the entire Baltimore area.

Recent changes by the Federal Transit Administration will benefit the Perry Hall/White Marsh area. The FTA will fund 90 percent construction of sidewalks ½ mile from transit facilities and 50 percent construction of bicycle facilities within three miles of transit facilities. Given these distances, sidewalk improvements will connect sidewalks from the White Marsh Towne Center to the Silver Spring corridor and bike facilities to central Perry Hall. The Maryland Transit Administration is in preliminary planning stages for the

extension of the GREEN LINE, which currently runs between Owings Mills and Johns Hopkins Hospital. The Green Line's ultimate destination will be in the White Marsh area. Having a bus-based transit facility already in place at White Marsh will only improve the opportunities if a heavy rail transit line arrives.

Targeted Date for Completion: Within seven years of adoption of Plan.

Recommendation #6: Develop a Perry Hall Circulator.

Background: Like Hampden, downtown Baltimore and Washington D.C., Perry Hall will benefit from a short-range transit program. A circular route from White Marsh to Perry Hall will help reduce single occupancy vehicle trips thus improving air quality, decreasing traffic congestion and reliance on foreign oil. A proposed route would travel, from White Marsh Mall, north on Honeygo Boulevard; south on Belair Road; south on Silver Spring Road; south on Perry Hall Boulevard; and returning to the Mall. In addition to a circulator, improvement shall be made to existing transit facilities. Bus shelters shall be installed along Belair Road and Chapel Road for the #15 bus line.

Targeted Date for Completion: Within seven years of adoption of Plan.

Recommendation #7: Consider rotary designs for several key intersections.

Background: Perry Hall has several intersections that would benefit from a conversion to a roundabout, traffic circle or rotary. Roundabouts are safer for users and move traffic more efficiently. When accidents do occur in roundabouts, the

The Perry Hall Community Plan

fatality rate is near zero and damage is greatly reduced, as vehicles are not traveling along perpendicular paths. Travel times are reduced for vehicles, especially left-turning vehicles, which reduces congestion and improve air quality. Roundabouts also provide focal points for communities.

Possible intersections for rotary conversion include Honeygo Boulevard at Perry Hall Boulevard and Honeygo Boulevard at Joppa Road.

Targeted Date for Completion: Ongoing.

Recommendation #8: Evaluate the need for potential new streetscapes.

Background: In January 2010, Perry Hall's community leaders marked the completion of a streetscape project in central Perry Hall, between Cottingham Road and India Avenue. The streetscape included widened sidewalks, Americans with Disability Act accessibility, and a brick inlay, giving Belair Road a cleaner look. With future streetscape projects, all traffic modes should be accounted for in the planning and design. Pedestrian-only phases and ample crosswalks should be included in all future streetscapes.

Two potential streetscapes include an extension of the central Perry Hall streetscape project north to Chapel and Forge Roads, and a streetscape project along East Joppa Road from Belair Road past Hines Road, as recommended by the East Joppa Road Corridor Community Plan.

Targeted Date for Completion: Within seven years of adoption of Plan.

Recommendation #9: Support Improvements to Chapel Road

Chapel Road currently lacks proper drainage, which causes flooding, and erosion problems along the street. To improve these conditions, a context sensitive design should be implemented to address erosion while providing multiple connections such as sidewalks and a shared used path. Resurfacing and any road improvements should be done in a manner that is sensitive to the character of the surrounding neighborhood, which is lightly residential and agricultural.

Targeted Date for Completion: Ongoing

Recommendation #10: Consider policy shifts to improve transportation planning.

Background: The Perry Hall Community Plan endorses several policy shifts that can improve transportation planning:

- **Parking Consolidation and Intermodal Facilities at Public Areas.** A standard practice when designing parking lot capacity is to plan as if a "Black Friday" occurs everyday. This is not only a waste of valuable suburban land, but also creates unnecessary pavement, which decreases the water quality of local streams. Within central Perry Hall, the shopping center at Seven Courts, Super Fresh, Perry Hall Square, White Marsh Mall and the surrounding strip malls are covered in asphalt for cars that are not there. Future developments must follow parking maximums instead of minimums.

For future development within Perry Hall, excessive parking must be eliminated. When alternative transportation options

The Perry Hall Community Plan

exist, fewer parking spaces are needed. Providing sidewalk connections in the central Perry Hall and White Marsh Towne Center will foster “one park shopping” and allow redevelopment to take place. Through parking consolidation, developments can share parking spaces, which will help balance parking demand. Where excessive pavement exists, encourage private and public property managers to redevelop by placing additional retail outlets on the property and through conversion of the excess to green open space.

Bike parking, whether on street or on sidewalk, should be installed in convenient locations in all shopping centers, schools and recreational facilities.

- **Mandatory Traffic Impact Studies.** Performing traffic impact studies is a common practice among municipalities worldwide to assess how site developments will impact existing traffic conditions. Requiring developers to perform traffic studies will not only help district planners to prepare accordingly, but will also inform the community on how new development will affect area traffic. Depending on the assessment of Traffic impact studies, developers shall be responsible for any future traffic mitigation.
- **Mandatory Filling of Sidewalk Gaps.** For years, developers have completed only minimum sidewalk requirements or have been granted sidewalk waivers, leaving sections of sidewalks missing between roads, communities and commercial areas. These sidewalk gaps should no longer be tolerated and sidewalk waivers should no longer be

granted since they create further fragmentation of the pedestrian network.

- **Treatment of Utilities and Lighting.** Overhead power lines and telephone poles are an unsightly feature of the urban environment. Consolidating these utilities along underground vaults will eliminate a potential hazard, improve the streetscape, reduce power outages during storms and reduce obstacles for future roadway construction. Therefore, all improvement projects where utilities are affected above ground should be relocated to subterranean corridors. Additionally, the Perry Hall Community Plan recommends that when improvements are made to streetlights, energy efficient LED bulbs be used. Areas of the community needing lighting should be studied and prioritized.
- **Reduce Speed Limit for New Neighborhood Roads.** Reducing the speed limit on residential, non-through traffic roads creates a more livable roadway. While roads have a set speed limit, the road’s design speed is often 20-30 percent higher, meaning a street designated as 25 mph could be navigated by a car traveling in excess of 35-40 mph. Reducing the design speed also reduces the size of the road, which forces cars to travel slower. Slower traffic on residential streets creates a safer environment for residents. Therefore, all new residential, non-thru traffic roads should be designed for 20 mph.
- **Community Mapping.** As part of the Perry Hall Community Plan, a community mapping project is highly recommended. By creating a map of the

The Perry Hall Community Plan

Perry Hall area based on local knowledge, little known amenities and shortcuts can be shared.

- **Possible Roadway Conversion.** During community planning process, the entire area was re-evaluated. Roadways, on the average, cover 15-25% of a suburban area. Some roadways may not be needed as much as they were in the past. The section of Beaconsfield Drive between Castlemill Circle is a wide road that acts as a short-lived speedway from the residential area to a stoplight. The curve on Beaconsfield creates a blind spot for cars exiting Castlemill Circle. This area is especially dangerous at sunset when the sun lies at the western end of Beaconsfield. Closing this section of roadway to create a park would connect two wooded areas within the Castlemill community.
- **Community Review.** To foster a more symbiotic relationship between Perry Hall residents and county planners, engineers and developers, all capital improvement projects should be reviewed by the Perry Hall Improvement Association. As other Maryland municipalities have adopted a practice of holding community meetings during the planning phase of projects to alert the public to future development, receive valuable input from residents and alleviate conflicts. As the Perry Hall Improvement Association generally meets monthly, the availability for project review can be regularly scheduled.

Community review will also help identify where adjacent improvements are needed. As water or wastewater improvements are

made, smaller projects, such as sidewalk gaps, can be incorporated into the larger projects



A sidewalk gap on Ebenezer Road

Environmental Stewardship

The natural environment has played an important role in Perry Hall's history. Perry Hall is part of a vast network of streams that leads to the Great Gunpowder Falls and ultimately to the Chesapeake Bay. The geologic resources of the Gunpowder River Valley attracted industry and settlers to the area, and the region's soil influenced the type and scale of agricultural activity.

Humans have greatly altered the Gunpowder River Valley. The construction of Loch Raven Dam weakened the Great Gunpowder Falls, and much of the area's foliage was destroyed for farms and eventually development. Streams were particularly damaged during the building boom after the Second World War; many were cemented over, and others experienced significant erosion.

Since the 1990s, there has been a greater emphasis on environmental stewardship. This not only means conserving existing resources, but correcting mistakes from the past, such as the damage done to stream

The Perry Hall Community Plan

valleys and Perry Hall's depleted green canopy. In 2008, the Perry Hall Improvement Association—with assistance from the Gunpowder Valley Conservancy—initiated the Greening of Perry Hall, which aims to plant more trees throughout the community. There is also a greater public emphasis on recycling, using alternative energy, limiting pollution, and reducing the impervious surface of developments. The Perry Hall Community Plan strongly endorses efforts that reinforce an ethic of environmental stewardship.

Recommendation #1: Encourage the adoption of new laws and regulations that enhance Perry Hall's environment.

Background: The Perry Hall Community Plan endorses the adoption of new laws and regulations that prevent developers from relocating wetlands; discourage infill development in low lying areas where there are floodplain concerns; allow homeowners to harness alternative energy; and encourage developers to build green buildings.

Targeted Date for Completion: Ongoing.

Recommendation #2: Support county environmental initiatives that improve Perry Hall's stream valleys and enhance the Chesapeake Bay.

Background: The Perry Hall Community Plan strongly supports efforts by the Department of Environmental Protection and Resource Management (DEPRM) to improve Perry Hall's stream valleys. In 1987, DEPRM created a capital environmental restoration program to assess and identify water quality problems and implement design and construction strategies for watershed restoration projects.

In addition to stream restoration, DEPRM's efforts to improve and protect waterways include stormwater retrofits, waterway dredging, and shoreline erosion control measures. We must continue these efforts so our Chesapeake Bay will stay protected.



Stream near Pulaski Highway, South of Ebenezer Road

Targeted Date for Completion: Ongoing.

Recommendation #3: Support the Baltimore County Public Schools Environmental Science Stream Study Project.

Background: Our local high school students are helping with stream restoration through the BCPS Environmental Science Stream Study Project, which is currently included in the BCPS high school curriculum. This worthwhile project was funded through the Chesapeake Bay Trust grant, but due to budget cuts, it was not funded in fiscal year 2010. The Perry Hall Community Plan endorses maintaining this important project in our schools and having it funded by Baltimore County.

Targeted Date for Completion: Ongoing.

The Perry Hall Community Plan

Recommendation #4: Remove debris at Honeygo Run Regional Park and Indian Rock Park.

Background: Before the property was purchased by Baltimore County, the area now known as Honeygo Run Regional Park was used by some residents as a landfill. Among other items, there are hundreds of tires strewn throughout a steep valley in the park. Volunteers removed some of this debris in 2007 and 2008, but much of the garbage remains. Additionally, there is debris at Indian Rock Park, including old farm equipment. Baltimore County should coordinate the removal of this debris, which is dangerous to park visitors and damaging to the environment.

Targeted Date for Completion: Within two years of adoption of Plan.



Tree Planting along Ebenezer Road

Outstanding Schools and Learning Centers

There are ten public schools that serve the Perry Hall community—seven elementary schools, two middle schools, and Perry Hall High School. These schools have historically been ranked among the strongest in Baltimore County. They also serve as centers for community life in Perry Hall, hosting concerts, sporting events, and

classes for adults. According to real estate agents, Perry Hall's reputation for outstanding schools has been a major factor for new homebuyers.

In addition to these schools, there are two other public learning centers in the community. Seven Oaks Senior Center offers programs for older residents. The Perry Hall branch of the Baltimore County Public Library system has been wildly popular since it opened at its new location in 2009.

The Perry Hall Community Plan acknowledges the importance of these schools and community resources, which contribute to a culture of lifelong learning. The Community Plan endorses efforts to modernize many of these facilities and ensure they meet the needs of a growing population.

Recommendation #1: Immediately start the process of land acquisition/banking for the future construction of an additional high school within the northeast quadrant of Baltimore County.

Background: Overcrowding at area high schools has reached unsustainable and undesirable levels. The Perry Hall Community Plan recommends that land be preserved for a new high school in northeastern Baltimore County. This new high school would incorporate a hybrid structure, with a co-located magnet program (perhaps focusing on green technology), as well as a general academic curriculum to best serve the needs of the entire community. This Community Plan recommends relaxing the acreage requirement if it accelerates the construction of a new high school, as long as there are

The Perry Hall Community Plan

sufficient opportunities for the local recreation council nearby.

Targeted Date for Completion: Acquisition of land within three years of adoption of Plan.

Recommendation #2: Implement strategies that enhance the Seven Oaks Senior Center.



Seven Oaks Senior Center

Background: The Seven Oaks Senior Center provides important resources for Perry Hall's older residents. Periodically, there have been calls for a second senior center in Perry Hall. These requests were reviewed and found to be unnecessary at this time, as long as additional resources are made available to cross-utilize existing and proposed future facilities. The Perry Hall Community Plan recommends that Baltimore County consider the amenities available at live-in retirement facilities such as Oak Crest Village in assessing the future need for senior facilities. Raw statistics may unfairly skew an inflated need for additional county facilities, since many residents would not use a facility due to the availability of programs at their own Residential Senior Living Center.

The Perry Hall Community Plan recommends the following strategies to enhance the Seven Oaks Senior Center.

First, the county should provide additional transportation assistance to facilitate greater use of the senior center, and construct additional parking to accommodate new members. Second, once the multi-use facility at Gough Park is built, the county should provide access by members of the Seven Oaks Senior Center as a way to increase senior participation—without incurring additional operational costs or paying for an additional senior center. Third, the county should use community networks to increase advertising for the Seven Oak Senior Center, boosting membership. Finally, the county should increase operating hours for the Seven Oaks Senior Center fitness facility.

Targeted Date for Completion: Within four years of adoption of Plan.

Family Life and Recreation

In the early 1970s, when the *Baltimore Sun* wanted to profile the typical Maryland suburb, they came to Perry Hall, "a great place for growing up: or old." In a January 1973 article in their Sunday magazine, the newspaper claimed that "Perry Hall has a lot to offer: plenty of open space, grass and trees, fresh air, a real small-town sense of living, and few crowds, drugs, noise and pollution to fight." One resident even called his quiet home town "perfect."

While Perry Hall community has changed, it retains a family-friendly atmosphere, with a low crime rate and many opportunities for children and families. Houses of worship offer spiritual guidance and programs for many families. The library is a center of activity, while Perry Hall's two recreation councils provide a variety of recreational programs for thousands of Perry Hall

The Perry Hall Community Plan

residents. The Perry Hall and White Marsh Recreation Councils have been recognized as among the most active in Baltimore County. The Perry Hall Community Plan strongly endorses opportunities for recreation and family life that attract and retain residents.

Recommendation #1: Coordinate any open space and park projects with the Perry Hall and White Marsh Recreation Councils.

Background: The Perry Hall Community Plan recommends that any land acquisition, planning, design, and construction associated with new projects be coordinated with the Perry Hall and White Marsh Recreation Councils. This would limit possible duplication of resources, while improving community access to parks and recreational facilities.

Targeted Date for Completion: Ongoing.



Honeygo Run Regional Park Sign

Recommendation #2: Complete Gough and Asbury Parks as the next elements of Perry Hall's recreation and parks system.

Background: Baltimore County should make every effort to complete Gough and Asbury Parks by 2014. These facilities are located on either side of Honeygo Boulevard at East Joppa Road.

Gough Park is located to the east of Honeygo Boulevard, immediately across from Camp Chapel United Methodist Church. It is named in honor of Harry Dorsey Gough, the founder of Perry Hall, and his wife Prudence. The Perry Hall Community Plan recommends that two specific elements be strongly considered for inclusion in the design of this project.

First, at the urging of the Perry Hall Recreation Council, this Community Plan recommends that a multi-use, gymnasium-like facility be developed at the Gough Park site or a similar location. If the facility is located at Gough Park, it should be located at an aesthetically appropriate location, ideally toward the far corner of the site, out of respect for the historic setting of Camp Chapel Church. Additionally, all parking at Gough Park should be located away from Camp Chapel Church. Second, there is also a desire for a "creative" children's playground modeled after "Annie's Playground" in Fallston. This Community Plan recommends that Baltimore County consider a theme for the children's playground to compliment the historic setting of Camp Chapel Church.

The Perry Hall Community Plan



Gough Park Sign

Asbury Park is located to the west of Honeygo Boulevard, across from Chapel Road. This property is named in honor of Francis Asbury, an early leader in the Methodist Church and friend of the Goughs. Asbury Park is the site of a proposed skate park. The Perry Hall Community Plan recommends that the skate park be located away from Camp Chapel Church, and that recommendations for the skate park incorporate input from the target audience to ensure best use of the facility.

During a Community Input Meeting for the development of the skate park, potential users of the skate park were questioned about their expectations for the property. They said they were looking for a simplistic bowl or ramp system to develop their skills. There seemed to be a lack of interest in the elaborate "course" that had previously been planned. The Community Plan recommends that any excess funds saved by reducing the scope of the skate park be used for the children's playground and multi-use facility.

A variety of existing funding streams are presently available to help finance these projects. Specifically, these include (1) state capital funding (a 2007 bond bill allocation of \$100,000 for the skate park); private

funding collected by the Perry Hall Recreation Council for the multi-use facility/gymnasium project; and (3) funding available through a recently adopted Planned Unit Development (PUD) resolution for the Nottingham Ridge project. The requestor of this PUD, Corporate Office Properties Trust (COPT) has committed to a Community Benefits Package that would provide funding for all planning and design work for Gough Park.



Asbury Park Location

The Perry Hall Community Plan strongly encourages that Gough and Asbury Parks advance immediately. There is concern about a potential lapse in the state capital funding approved in 2007. The Community Plan also encourages research to ascertain that there are no unfinished state or county funded projects in which funding could expire without immediate utilization of available funds. To the extent that such a situation were found to exist, any projects in jeopardy of losing funding due to expiration should be given priority.

Targeted Date for Completion: Within three years of adoption of Plan.

The Perry Hall Community Plan

Recommendation #3: Once Gough and Asbury Parks are finished, complete all other unfinished park properties in Perry Hall.

Background: In addition to Gough and Asbury Parks, the county owns three other undeveloped park properties: Joppa Trail Park in the 4700 block of Honeygo Boulevard; Forge View Park off Forge View Road; and Indian Rock Park between Ebenezer and Silver Spring Roads. The engineering and design have not been completed for the first two properties; however, the Perry Hall Community Plan endorses a connection between the future Joppa Trail Park and Honeygo Run Regional Park. Indian Rock Park should not be actively developed, but serve as a passive recreational area, with a nonmotorized hiker-biker trail that extends through the park from Ebenezer Road.



Indian Rock Park location

Targeted Date for Completion: Within six years of adoption of Plan.

Recommendation #4: Complete a new large park on the western side of Belair Road.

Background: Baltimore County should complete at least one new major park west of Belair Road to serve the densely

populated areas between Seven Courts Drive and the Gunpowder River. Potential sites include undeveloped land across from Hines Road at Joppa Road; the farmland near Holiday Manor Road; and acreage near Perry Hall Road.

Targeted Date for Completion: Within ten years of adoption of Plan.

Recommendation #5: Request that the Maryland Department of Transportation conduct an environmental study of the state-owned undeveloped land at Minte Drive on Belair Road. If the study shows that this property is not contaminated, it is recommended that this property be transferred to Baltimore County for a community park.

Background: Since 2001, the Perry Hall Improvement Association has sought to have the state-owned property at Minte Drive and Belair Road converted into a public park. The Ehrlich administration proposed selling the parcel to Baltimore County, but the county declined the offer due to concerns about underground storage tanks across Belair Road. The Perry Hall Community Plan endorses the acquisition of this property if an environmental study shows that it is not contaminated. Baltimore County's NeighborSpace funding could be a possible source for funding. Once acquired, this parcel should be named Turnpike Park in honor of the Baltimore and Jerusalem Turnpike that later became Belair Road.

Targeted Date for Completion: Within three years of adoption of Plan.

Recommendation #6: Redesignate a majority of the parking spaces on the western side of Honeygo Run Regional

The Perry Hall Community Plan

Park, across from Honeygo Boulevard, for nondisabled motorists.

Background: Currently, all of the spaces on the Kahl Avenue side of Honeygo Boulevard are designated for disabled motorists. The Perry Hall Community Plan recommends that a majority of these be reserved for nondisabled motorists and that, if necessary, disabled parking be expanded closer to the center.

Targeted Date for Completion: Within one year of adoption of Plan.

A Sense of History and Place

Perry Hall's heritage is a powerful asset, providing an important sense of place and identity. The Perry Hall Mansion is a link to the community's colonial past, and other landmarks—such as its houses of worship—provide evidence of sweeping historical changes.

Various organizations have worked hard to incorporate Perry Hall's heritage into many aspects of community life. When it opened, Perry Hall High School incorporated the Gough coat-of-arms and the Perry Hall Mansion on class rings. The Perry Hall Improvement Association has published books on the community's history; erected a series of historical markers; worked with Baltimore County to provide names for parks that reflect Perry Hall's heritage; and purchased historical photographs that were placed in the new public library. The Perry Hall/White Marsh Business Association has sponsored contests to select a community logo and motto—Perry Hall: The Spirit of Community. The Friends of the Perry Hall Mansion sponsors tours of the mansion, cleans the property, and actively supports

the renovation and refurbishment of this landmark.



Perry Hall Mansion

In the late Twentieth Century, there was concern that Perry Hall's identity might be lost with the growth of the White Marsh Town Center and the establishment of a Nottingham Post Office that included much of Perry Hall. The efforts just described, however, have anchored the Perry Hall community with an established history and identity. The Perry Hall Community Plan strongly endorses future projects that educate the public about local history and reinforce a defined setting for the community.

Recommendation #1: Support the ongoing restoration of the Perry Hall Mansion, with a goal of completing the project by 2014-2015.

Background: Baltimore County should work collaboratively with the volunteer Friends of Perry Hall Mansion organization, in order to guide the future restoration and adaptive reuse of this important historical landmark.

The Friends of the Perry Hall Mansion will work towards obtaining a Use & Occupancy Permit for the Mansion, ideally in 2011. This will facilitate the opportunity to raise

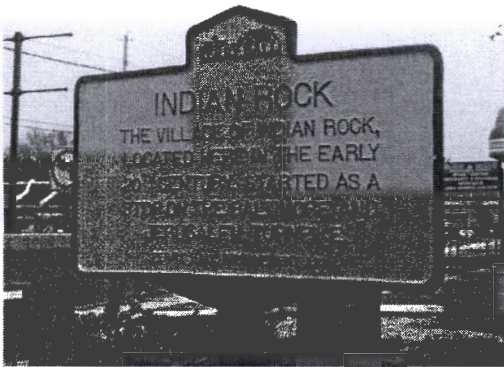
The Perry Hall Community Plan

funds and generate operating budget capital. Optimally, a completion date sometime between 2014 and 2015 should be targeted for the Perry Hall Mansion project.

Targeted Date for Completion: Within six years of adoption of Plan.

signs and promotional materials. The logo may be placed at prominent places in the community, such as the two water towers.

Targeted Date for Completion: Ongoing.



Indian Rock Historical Marker

Recommendation #2: Erect historical markers at significant properties in Perry Hall.

Background: The Perry Hall Community Plan endorses the erection of historical markers at culturally significant locations, with the permission of property owners. These sites may include the Jacob Seddon House on East Joppa Road, the abandoned quarry at Cowenton Ridge Park, and the cemetery adjacent to Perry Hall High School's tennis courts and Indian Rock Park.

Targeted Date for Completion: Ongoing.

Recommendation #3: Continue to develop a distinct identity for Perry Hall by incorporating the logo on signs and promotional materials.

Background: The Perry Hall Community Plan encourages businesses and community institutions to use the Perry Hall logo on

III. APPENDIX

KEY PARTICIPANTS IN THE DEVELOPMENT OF THE PERRY HALL COMMUNITY PLAN

David Marks, Chair
Debra Beaty
Diane Brazil
Christopher A. Defeo
John Dingedahl
Nate Evans
Dee Hodges
William Libercci, Sr.
Charles L. Marks
Rani Merryman
Bill Paulshock
Pat Pudelkewicz
Dennis Robinson
Jeffrey W. Smith

Green Infrastructure Subcommittee

Diane Brazil, Chair
Delegate Joseph Boteler
Delegate Eric Bromwell
Frances Craig
Christopher A. Defeo
Glenn Ferenschak
Paul Pudelkewicz
Steve Verch

Neighborhoods and Commerce Subcommittee

Debra Beaty, Chair
Steve Amenta
Frances Craig
Suki Deaver
Jenny King
Senator Kathy Klausmeier
William Libercci
Mark Mohr
Bill Paulshock
Pat Pudelkewicz
Alfred W. Redmer, Jr.

The Perry Hall Community Plan

Public and Cultural Resources Subcommittee

Rani Merryman, Chair
Ed Cindric
Frances Craig
Rosemarie Durkin
Glenn Ferenschak
Charles L. Marks
Norma Secoura
Jeffrey W. Smith
Howard Wille

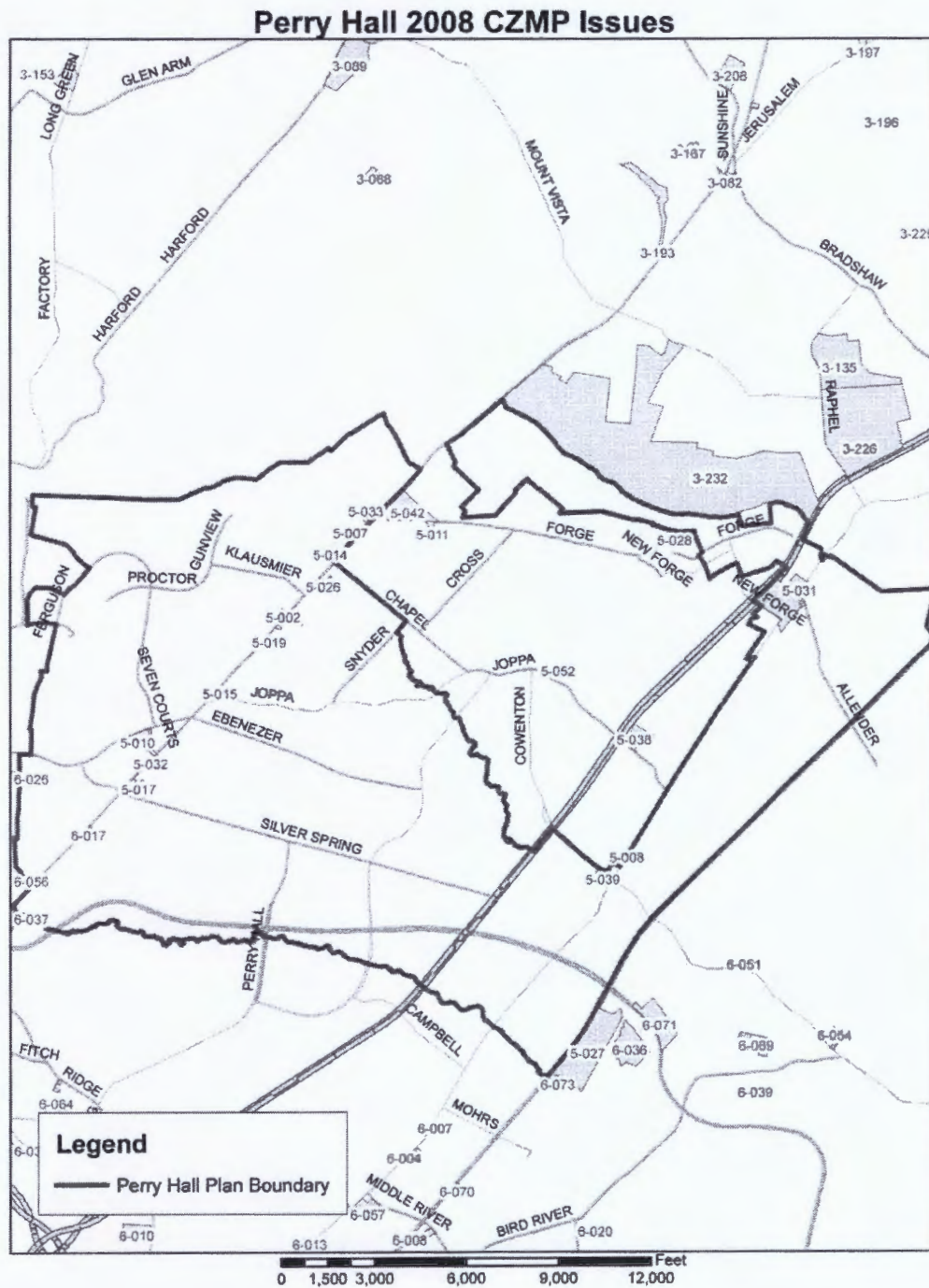
Transportation and Infrastructure Subcommittee

Nate Evans, Chair
Roger Dunn
Jim Durkin
Dennis Eckard
Dee Hodges
Victoria Jenkins

The Perry Hall Community Plan

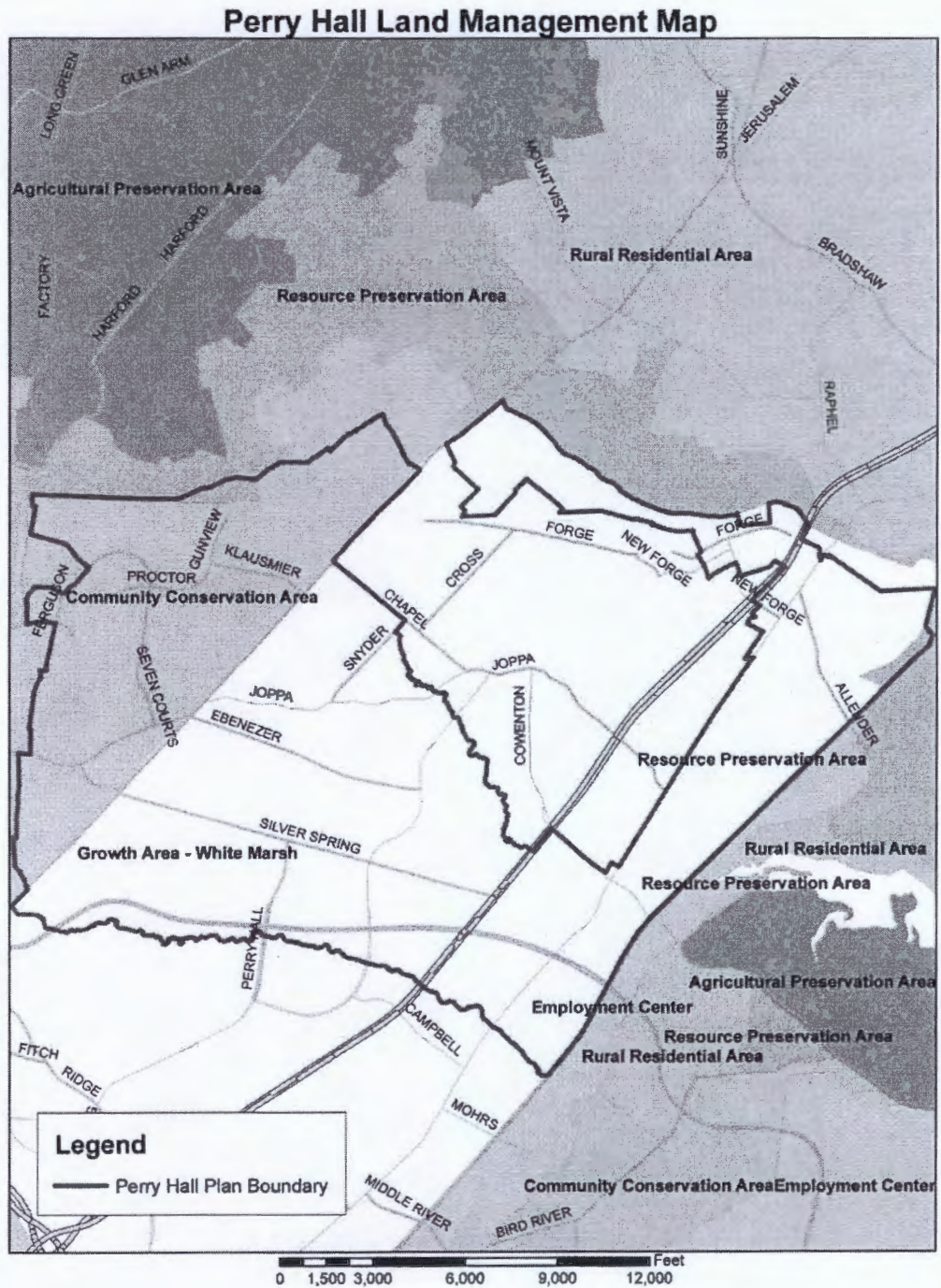
Maps

Map 1: 2008 Comprehensive Zoning Map Process



The Perry Hall Community Plan

Map 2: Perry Hall Land Management Map



The Perry Hall Community Plan

Charts

Chart 1: Perry Hall Community Plan Zoning Breakdown

Zone	Acreage	Percent of Total
BL	155.4	2.1%
BLR	28.2	0.4%
BM	126.3	1.7%
BR	71.2	1.0%
CB	7.5	0.1%
DR 1	206.0	2.8%
DR 10.5	133.9	1.8%
DR 16	414.8	5.6%
DR 2	848.8	11.5%
DR 3.5	1,386.7	18.8%
DR 5.5	2,286.4	30.9%
MH	173.7	2.4%
ML	659.1	8.9%
MLR	262.5	3.6%
O 3	6.9	0.1%
RAE 1	17.5	0.2%
RC 2	435.3	5.9%
RC 20	65.0	0.9%
RC 5	53.0	0.7%
RC 50	0.0	0.0%
RO	38.1	0.5%
ROA	14.0	0.2%
Total	7,390.5	100.0%
Total Commercial	388.6	5.3%
Total Residential	5,294.1	71.6%
Total Residential Office	52.2	0.7%
Total Manufacturing	1,102.2	14.9%
Total Resource Conservation	553.4	7.5%

Chart 2: Total Population

Total Population	
	Perry Hall Plan
Total	37,561

The Perry Hall Community Plan

Chart 3: Population Pyramid

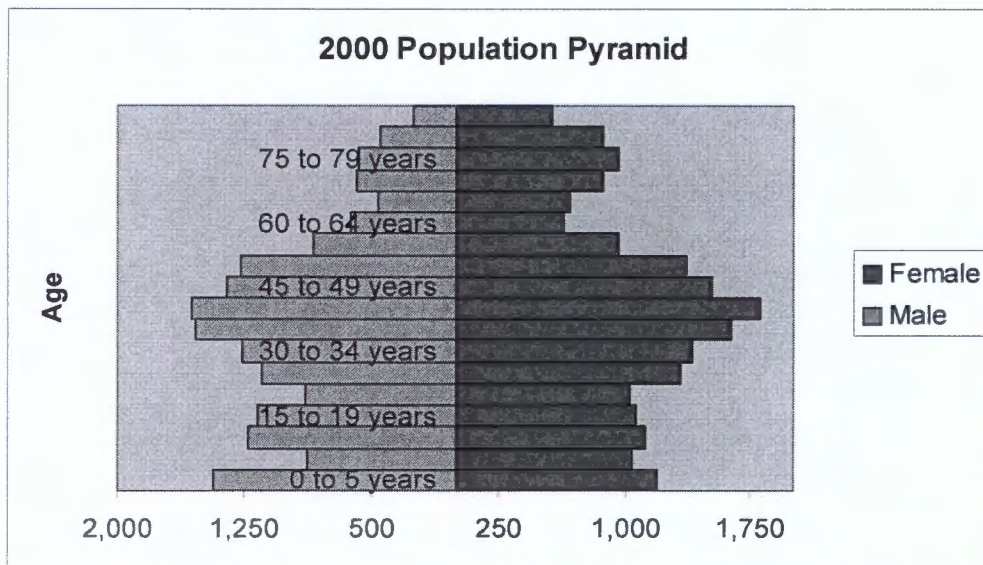


Chart 4: Median Income

Median Income	
	Perry Hall Plan
Median household income in 1999	56,063

Chart 5: Occupied Housing Units

Occupied Housing Units		
	Perry Hall Plan	Percentage
Owner occupied	11,289	72.2%
Renter occupied	4,343	27.8%
Total:	15,632	

The Perry Hall Community Plan

Chart 6: Household Size

Household Size		
	Perry Hall Plan	Percentage
1-person household	4,608	29.5%
2-person household	5,262	33.7%
3-person household	2,462	15.7%
4-person household	2,185	14.0%
5-person household or more	1,115	7.1%
Total:	15,632	

Chart 7: Employment

Employment		
	Perry Hall Plan	Percentage
In labor force:	20,785	68.8%
Employed	20,050	66.4%
Unemployed	687	2.3%
Not in labor force	9,433	31.2%
Total:	30,218	

Chart 8: Transit

Transit		
	Perry Hall Plan	Percentage
Car, truck, or van:	18,836	95.0%
Drove alone	16,813	84.8%
Carpooled	2,023	10.2%
Public transportation:	297	1.5%
Walked	134	0.7%
Total:	19,828	



**Baltimore County
Office of Planning**

Jefferson Building
105 W. Chesapeake Avenue, Ste 101
Towson, Maryland 21204

<http://www.baltimorecountymd.gov/go/planning>



PERRY HALL
COMMERCIAL REVITALIZATION
DISTRICT

Commercial Revitalization District

Map Prepared May 14, 2015
Baltimore County Department of Planning
105 W Chesapeake Ave, Towson, MD 21204

Data Sources
CRD - Baltimore County Dept of Planning
All Other - Baltimore County Office of Info Tech

PETITIONER'S

EXHIBIT NO. 15



Plot. 1







November 6, 2015

Neighbors,

Need your help. Rosedale Federal in my opinion is trying to get a zoning change through Baltimore County for a parking lot on Bel Air Road. The parking lot has to be approved by Baltimore County or the RF will not be able to build their giant proposed addition to the bank. The approximate location for their giant addition is where the community gardens use to be.

I have their proposed drawing which in my opinion will create all kinds of havoc in our already over run community once complete.

In my opinion RFs Architect and Civil Engineer were more concerned with sunshine coming through the new addition windows then any consideration for the neighbors. The list of poor decisions and design are too long to mention.

I have the proposed drawings for the addition and parking lot and would be more than happy to meet with anyone at any time. Please feel free to email and or call Steve Davis.

sldoc1@yahoo.com. 410-529-4575

Thank you for your help,

Stephen Davis
4147 Glen Park Road.
Baltimore, MD 21236

Public Hearing

When: Thursday November 12, 2015

Where: Rm 205 Jefferson Building Towson MD, 21204

Time: 10 AM

NO WAY ROSEDALE

KEEP PROMISES

NO BUILDING/PARKING LOT

SAVE OPEN SPACE

This letter is the opinion of Stephen Davis from my interactions with Rosedale Federal on this matter. Contact Rosedale Federal. Linda Muffoletto 410-668-4400 ext. 313 or Nancy Alperstein at 410-668-4400 ext. 336. Call them to form your own opinion.

Traffic issues ??

Prots. No. 2

My name is Stacy Byer
and I reside at 4127
Joch Diamond Dr. I am
opposed to the construction
of a new building behind
the Rosedale Federal Bank
due to the fact that it
would be too close to the
residence of this neighbor-
hood.

Stacy Byer

RE: Rosedale Federal Bank
Case # 2016-0063-SPH
9616 & 9618 Belair Road

Baltimore County Zoning Office

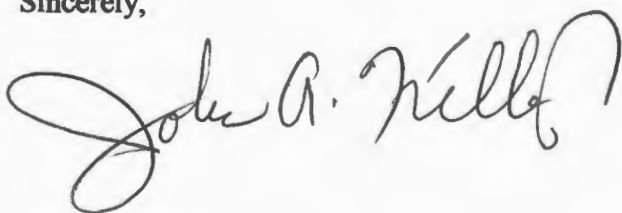
Dear Sirs:

It has come to my attention that Rosedale Federal Bank has petitioned your office for a zoning hearing (case #2016-0063-SPH) for a use permit to approve accessory parking in a residential (RO) zone. Since the year 2000, I have owned and am living at 4149 Glen Park Road just behind the bank proposed new building. In the first place, I was unaware that the bank was proposing to construct a new 2 story building with 10,300 GSF. Secondly, I was unaware of the additional parking spaces requested to accommodate bank customers. A neighbor actually informed me of this bank request on Monday, November 9, 2015.

I have admired the Rosedale Bank personnel for the way they have maintained their property and their building's appearance in our neighborhood. The bank's new proposal to construct another building with the additional parking to accommodate it would present a negative impact to the surrounding neighborhood. This area of Baltimore County has had tremendous expansion within the past ten years with new shopping centers, retirement homes, and various businesses.

With this in mind, I would have to object to the bank proposal as planned. Perhaps if the new building and new parking area locations were reversed, it would be a better fit in the community.

Sincerely,



11/10/15

John A Kelly Jr
4149 Glen Park Road 21236
410-256-2883

NOVEMBER 11, 2015

TO BALTO. CO. ZONING BOARD,
I RESIDE AT 4132 BAKER LANE
WHICH IS NEXT DOOR TO THE EXISTING
ROSEDALE FEDERAL BUILDING.

I HAVE JUST DISCOVERED THEIR
INTENTION TO BUILD ANOTHER
BUILDING AND I AM STRONGLY
OPPOSED TO A NEW STRUCTURE
BEING BUILT.

WHEN THE NEW STRUCTURE WAS
BUILT, WE WERE INFORMED THAT NO
NEW CONSTRUCTION WOULD TAKE
PLACE FOR 15 YEARS. THE NEW
EXISTING STRUCTURE WAS BUILT IN
APPROXIMATELY 2010/2011.

Delna Dodge Hale
410-409-7037

To: Linda Muffoletto, Nancy Alperstein,
on whom it may concern,

My name is Michael Horn and I reside
at 4145 Glen Park Rd. I am hearing
about Rosedale Federal trying to put a
grant proposed addition to the bank,
right behind where I reside at. I
want to be at the hearing but since
I can't, I am writing this letter
to tell you I am highly opposed to
the idea. As far as I am concern
Rosedale Federal has ample enough
space already. So in closing I do
not want more clutter taking up space
in my neighborhood. Have some consideration
for the residences of the neighborhood.

THANK YOU,
Michael Horn

Rosedale Federal S & L Association,

As residents of the affected area you plan to expand into, we hope you take time to re-plan how large of a structure and how much more space you intend to take up in an already crowded neighborhood. You will be detracting from the overall look of the area and potentially hurting the value of our homes, not to mention the additional noise and light pollution you will be adding.

The additional space would be much better served as a community area where our kids can play. This area is already overcrowded with commercial buildings and there are many, many vacant office buildings in the White Marsh area. We do not understand the point in wasting more space, money and resources on new buildings.

Here are some suggestions we strongly recommend in the case you decide to compromise in some way:

- 1) Please do not have any lighting that will point towards any of the houses. There is already too much commercial lighting and noise coming from Route 1 and the surrounding area.
- 2) Do not put any large buildings behind the existing building closer to the homes. Nothing is preferred, but a parking area is more acceptable than a building.
- 3) Surround the area with a tall tree-line so we can at least maintain a nice view of the stretch of land between the rows of homes. I am positive you would not want a bland bank building sitting directly in your own backyard.
- 4) Please ensure this neighborhood remains a safe and enjoyable place to raise our families.

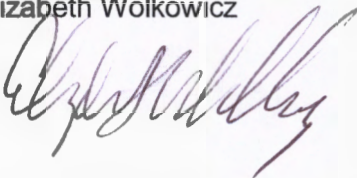
Sincerely,

Residents of 4139 Loch Lomond Drive

Ethan Wolkowicz



Elizabeth Wolkowicz



11/11/15

As a resident of 4143 Glen Park Rd, I
oppose any new construction at Rosedale Federal
which is behind my property.

Pamela H. Hess



RESTRICTIVE COVENANT AGREEMENT

THIS RESTRICTIVE COVENANT AGREEMENT ("Agreement"), dated May 3, 2008, is hereby made by and between ROSEDALE FEDERAL SAVINGS AND LOAN ASSOCIATION ("Rosedale") and the PERRY HALL IMPROVEMENT ASSOCIATION, INC. (the "PHIA").

WHEREAS, Rosedale is the owner in fee simple of all that property situate and lying in the 11th Election District of Baltimore County, Maryland, and more particularly described in a Deed dated February 16, 1961, and recorded in the Land Records of Baltimore County in Liber 3812, folio 1, from E. Scott Moore and Robert E. Carney, Jr. to Rosedale Federal Savings and Loan Association (the "Property").

WHEREAS, Rosedale desires to expand the existing office building located on the Property. In order to accomplish this goal, the Rosedale has petitioned to have a portion of the Property rezoned from 0.1 acres of RO and 0.9 acres of DR 5.5 to 1.0 acre of BL through the 2008 Comprehensive Zoning Map Process (the "Rosedale Application").

WHEREAS, the PHIA, has agreed to support the Rosedale Application on the condition that Rosedale will subject the Property to the restrictive covenants, hereinafter defined and set forth below, which are for the purpose of protecting the value and desirability of the Property and the surrounding area;

WHEREAS, in exchange for the support of the PHIA in connection with the Rosedale Application, Rosedale desires to subject the Property to the restrictive covenants set forth below, which are for the purpose of protecting the value and desirability of the Property and the surrounding area, for a period of fifteen (15) years from the start of construction;

WHEREAS, Rosedale hereby declares that the Property shall be held, sold, and conveyed for the next fifteen (15) years from the start of construction subject to the restrictive covenants set forth below on the condition that the Property be rezoned to BL based on the Rosedale Application.

NOW, THEREFORE, in consideration of the support of the PHIA and the benefits derived from Rosedale, its successors and assigns, Rosedale hereby declares that the Property shall be held, sold and conveyed subject to the following restrictive covenants for the period stated in this Agreement, which are for the purpose of protecting the value and desirability of the Property and the surrounding area, and agrees as follows on the condition that the Property be rezoned based on the Rosedale Application to BL:

1. Height Restriction. Any building erected on the Property shall not exceed two stories in height.
2. Building Exterior. Any building erected or any extension of an existing building on the Property shall be finished with brick.

Prot. No. 3

WITNESS the due execution of this Restrictive Covenant Agreement by the parties hereto.

ATTEST/WITNESS:

ROSEDALE FEDERAL SAVINGS AND
LOAN ASSOCIATION

[Signature]

By: [Signature] (SEAL)
Name: THOMAS C. WINTZ
Title: PRESIDENT

ATTEST/WITNESS:

PERRY HALL IMPROVEMENT
ASSOCIATION, INC.

[Signature]

By: [Signature] (SEAL)
Name: DAVID MARRAS
Title: PRESIDENT

STATE OF MARYLAND, CITY/COUNTY OF BALTIMORE, TO WIT:

I HEREBY CERTIFY, that on this 8th day of May, 2008, before me, a Notary Public in and for the State and County aforesaid, personally appeared Thomas S. Wintz, and that he/she as President, being authorized to do so, executed the foregoing Restrictive Covenant Agreement for the purposes therein contained, but signing the name of the Rosedale Federal Savings and Loan Association, Inc., by himself/herself as such President, and IN MY PRESENCE SIGNED AND SEALED THE SAME.

AS WITNESS my hand and Notarial Seal.

[Signature]
NOTARY PUBLIC

My Commission Expires:

7/1/2009



MORRIS & RITCHIE ASSOCIATES, INC.
 ENGINEERS, ARCHITECTS AND INTERIORS
 1200 EAST 199TH AVE., SUITE 500
 TROY, MI 48061-1500
 (313) 277-7762 • FAX (313) 277-7765

BAKER LANE

ROSEDALE FEDERAL SAVINGS
& LOAN ASSOCIATION

DERBY - ALL VARY AND

MAY 5, 2008
N.T.S.



BELAR ROAD

EA OVERHEAD
STUDY LINES

4

5. *Verbal communication*

the number of

1987-1988

LEGEND

EX. PLANTING TO
REMAIN

FORN - CONSERVATION AREA

[illegible]

20221 FOR 64.01161A1A3C.
 ENTIRE SLIDE MOUNTED
 ENTIRE 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832,

2000 2001 2002 2003 2004 2005 2006 2007 2008 2009 2010 2011 2012 2013 2014 2015 2016 2017 2018 2019 2020 2021 2022 2023 2024 2025 2026 2027 2028 2029 2030 2031 2032 2033 2034 2035 2036 2037 2038 2039 2040 2041 2042 2043 2044 2045 2046 2047 2048 2049 2050 2051 2052 2053 2054 2055 2056 2057 2058 2059 2060 2061 2062 2063 2064 2065 2066 2067 2068 2069 2070 2071 2072 2073 2074 2075 2076 2077 2078 2079 2080 2081 2082 2083 2084 2085 2086 2087 2088 2089 2090 2091 2092 2093 2094 2095 2096 2097 2098 2099 2100 2101 2102 2103 2104 2105 2106 2107 2108 2109 2110 2111 2112 2113 2114 2115 2116 2117 2118 2119 2120 2121 2122 2123 2124 2125 2126 2127 2128 2129 2130 2131 2132 2133 2134 2135 2136 2137 2138 2139 2140 2141 2142 2143 2144 2145 2146 2147 2148 2149 2150 2151 2152 2153 2154 2155 2156 2157 2158 2159 2160 2161 2162 2163 2164 2165 2166 2167 2168 2169 2170 2171 2172 2173 2174 2175 2176 2177 2178 2179 2180 2181 2182 2183 2184 2185 2186 2187 2188 2189 2190 2191 2192 2193 2194 2195 2196 2197 2198 2199 2200 2201 2202 2203 2204 2205 2206 2207 2208 2209 2210 2211 2212 2213 2214 2215 2216 2217 2218 2219 2220 2221 2222 2223 2224 2225 2226 2227 2228 2229 2230 2231 2232 2233 2234 2235 2236 2237 2238 2239 2240 2241 2242 2243 2244 2245 2246 2247 2248 2249 2250 2251 2252 2253 2254 2255 2256 2257 2258 2259 2260 2261 2262 2263 2264 2265 2266 2267 2268 2269 2270 2271 2272 2273 2274 2275 2276 2277 2278 2279 2280 2281 2282 2283 2284 2285 2286 2287 2288 2289 2290 2291 2292 2293 2294 2295 2296 2297 2298 2299 2300 2301 2302 2303 2304 2305 2306 2307 2308 2309 2310 2311 2312 2313 2314 2315 2316 2317 2318 2319 2320 2321 2322 2323 2324 2325 2326 2327 2328 2329 2330 2331 2332 2333 2334 2335 2336 2337 2338 2339 2340 2341 2342 2343 2344 2345 2346 2347 2348 2349 2350 2351 2352 2353 2354 2355 2356 2357 2358 2359 2360 2361 2362 2363 2364 2365 2366 2367 2368 2369 2370 2371 2372 2373 2374 2375 2376 2377 2378 2379 2380 2381 2382 2383 2384 2385 2386 2387 2388 2389 2390 2391 2392 2393 2394 2395 2396 2397 2398 2399 2400 2401 2402 2403 2404 2405 2406 2407 2408 2409 2410 2411 2412 2413 2414 2415 2416 2417 2418 2419 2420 2421 2422 2423 2424 2425 2426 2427 2428 2429 2430 2431 2432 2433 2434 2435 2436 2437 2438 2439 2440 2441 2442 2443 2444 2445 2446 2447 2448 2449 2450 2451 2452 2453 2454 2455 2456 2457 2458 2459 2460 2461 2462 2463 2464 2465 2466 2467 2468 2469 2470 2471 2472 2473 2474 2475 2476 2477 2478 2479 2480 2481 2482 2483 2484 2485 2486 2487 2488 2489 2490 2491 2492 2493 2494 2495 2496 2497 2498 2499 2500 2501 2502 2503 2504 2505 2506 2507 2508 2509 2510 2511 2512 2513 2514 2515 2516 2517 2518 2519 2520 2521 2522 2523 2524 2525 2526 2527 2528 2529 2530 2531 2532 2533 2534 2535 2536 2537 2538 2539 2540 2541 2542 2543 2544 2545 2546 2547 2548 2549 2550 2551 2552 2553 2554 2555 2556 2557 2558 2559 2560 2561 2562 2563 2564 2565 2566 2567 2568 2569 2570 2571 2572 2573 2574 2575 2576 2577 2578 2579 2580 2581 2582 2583 2584 2585 2586 2587 2588 2589 2590 2591 2592 2593 2594 2595 2596 2597 2598 2599 2600 2601 2602 2603 2604 2605 2606 2607 2608 2609 2610 2611 2612 2613 2614 2615 2616 2617 2618 2619 2620 2621 2622 2623 2624 2625 2626 2627 2628 2629 2630 2631 2632 2633 2634 2635 2636 2637 2638 2639 2640 2641 2642 2643 2644 2645 2646 2647 2648 2649 2650 2651 2652 2653 2654 2655 2656 2657 2658 2659 2660 2661 2662 2663 2664 2665 2666 2667 2668 2669 2670 2671 2672 2673 2674 2675 2676 2677 2678 2679 2680 2681 2682 2683 2684 2685 2686 2687 2688 2689 2690 2691 2692 2693 2694 2695 2696 2697 2698 2699 2700 2701 2702 2703 2704 2705 2706 2707 2708 2709 2710 2711 2712 2713 2714 2715 2716 2717 2718 2719 2720 2721 2722 2723 2724 2725 2726 2727 2728 2729 2730 2731 2732 2733 2734 2735 2736 2737 2738 2739 2740 2741 2742 2743 2744 2745 2746 2747 2748 2749 2750 2751 2752 2753 2754 2755 2756 2757 2758 2759 2760 2761 2762 2763 2764 2765 2766 2767 2768 2769 2770 2771 2772 2773 2774 2775 2776 2777 2778 2779 2780 2781 2782 2783 2784 2785 2786 2787 2788 2789 2790 2791 2792 2793 2794 2795 2796 2797 2798 2799 2800 2801 2802 2803 2804 2805 2806 2807 2808 2809 2810 2811 2812 2813 2814 2815 2816 2817 2818

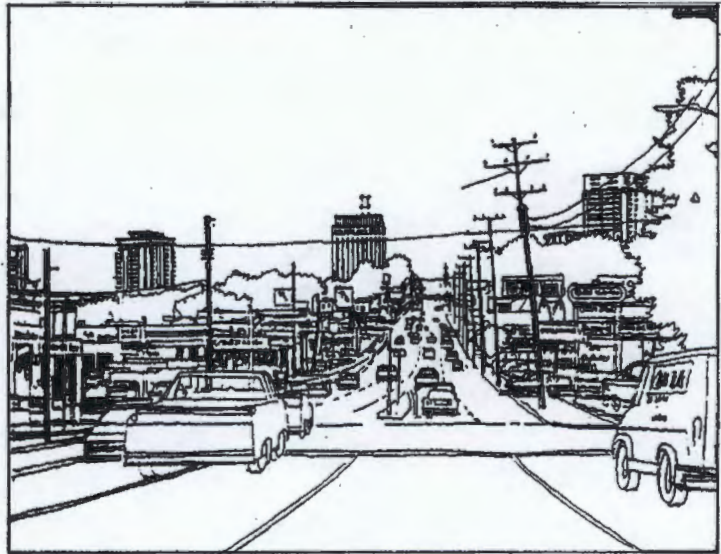
Introduction

Baltimore County has three major business zones (BL, BM, BR) and numerous overlay districts which are used within the URDL. Two of the districts, CT and CCC, confer additional density onto the underlying zone. The majority of the commercial zones, and therefore, the majority of the commercial development, is located along the County's radial corridors. These commercial corridors have developed dramatically over the past 40-50 years. Unfortunately, aesthetic quality has not kept pace with the quantity of development. Adoption of the commercial development design guidelines will assist the county in obtaining high quality, aesthetically pleasing development.

The purpose of this section is to provide general guidelines that will be used by the County to evaluate project design as required by the development process. These guidelines are advisory and should be used by the County, builder/developer, and residents.

This section has been divided into four major development types which include Main Street, Freestanding (single or multiple use), Shopping Center, and Power Center (wholesale-retail). Each type of development has been divided into the following elements:

- Site Planning
- Landscaping
- Open Space
- Circulation and Parking



- Signage and Lighting
- Building Features

Each of the elements has a series of objectives with examples of how these objectives might be achieved. The site context issues should also be used in project evaluation. Projects are evaluated on a case by case basis studying surrounding land use and zoning, topography and environmental constraints.

SITE CONTEXT

Evaluate surrounding development to determine appropriate building form, orientation and setbacks.

Prior to the submission of a site design, the surrounding neighborhood context should be evaluated to ascertain the appropriate building form, orientation, and setbacks. The primary purpose of this evaluation is to achieve a built project that blends into the surrounding development. For example, if surrounding buildings are located close to the road, then the proposed buildings should be located in a similar manner.

As another example, where strips of formerly residential buildings are being converted to

office and retail uses, the residential character and scale of the architecture should be retained to protect the integrity of the neighborhood. As existing buildings are modified or expanded, the use of varying architectural forms and detailing should reflect those found in the community.

The development context affects the site design proposal; the context must be considered to obtain a cohesive commercial development. In certain cases the site context will not dictate a consistent or cohesive building orientation. Site context should be also interpreted to express ideas of the place or region, including its history, culture, weather, ecology or other factors.



An example of adaptive reuse -- two existing residences were remodeled, and linked with an addition, to become a compatible, leasable commercial building.

Site Context



Existing



Proposed

In this example, two small residences were razed to make room for a larger commercial building. The new building incorporates materials and detailing commonly used in the buildings of the community.



Existing



Proposed

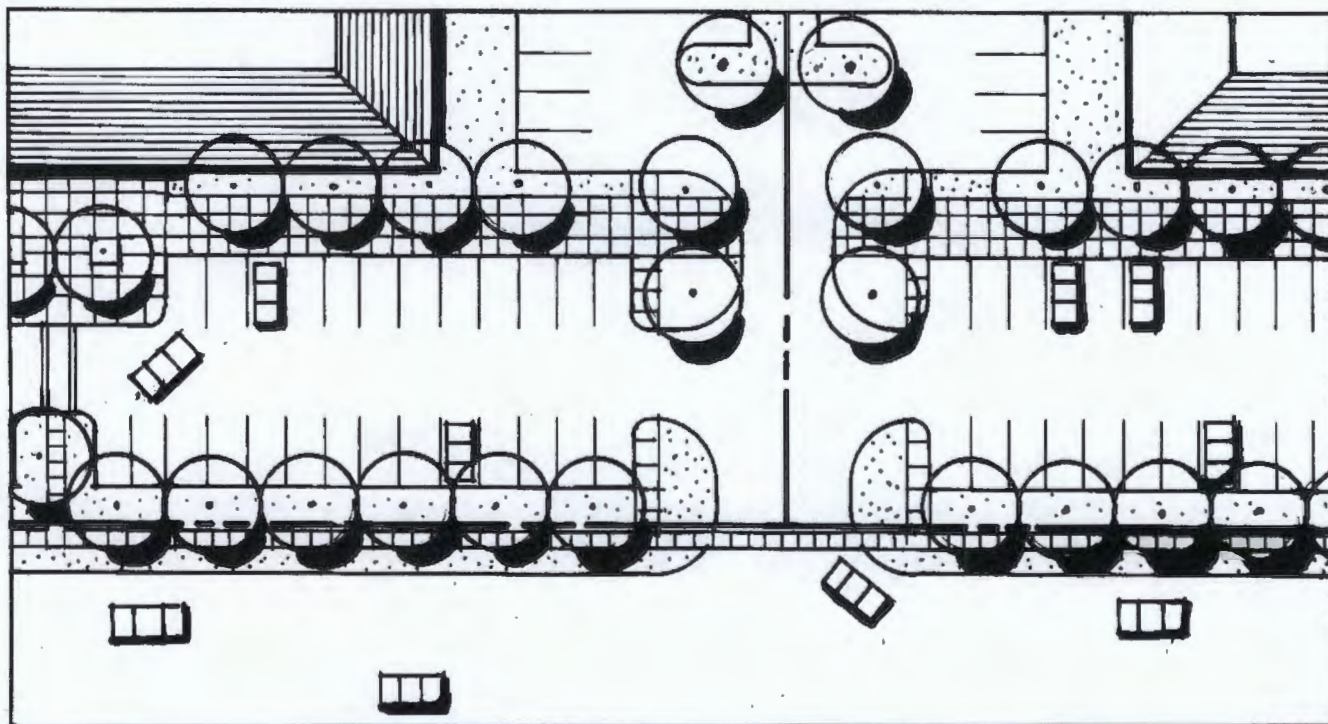
Additions to converted residential buildings should repeat its architectural features to create a larger structure of unified, compatible design.

To the extent feasible or practical, share points of egress and ingress and locate utilities underground.

Two urban features which have a significant impact upon the visual quality of development along the roadways of commercial corridors are curb cuts and utility poles. Consolidating curb cuts reduces congestion on the corridors and eliminates conflicting traffic movements. Requiring all utility lines be located underground through the development process may not always be physically possible and the cost to undertake this type of effort is beyond the financial means of the County. However, each development is encouraged to share access and place utilities underground whenever possible.

Appropriately screen and buffer commercial development from residentially zoned properties.

Adequate protection of adjoining residencies is critical to maintaining stable and economically healthy residential communities.



Shared access reduces traffic congestion by consolidating ingress/egress points and allowing vehicular movement between properties without using the street.

Main Street

MAIN STREET CONCEPT

“Main Streets” have long been an integral part of Baltimore County’s urbanized areas, including York Road through Towson, Harford Road through Parkville, and Reiststertown Road through Pikesville. While each has its own character, they also have many commonalities. As a rule, Main Streets consist of gateways and a core, are commercial in nature, but contain mixed retail, office, and residential uses.

Over the decades, buildings located along such streets have undergone numerous renovations and distinct architectural features are now often hidden behind facades that are of questionable aesthetic quality.

It is the purpose of these guidelines to provide direction where the future improvement (development or redevelopment) of Main Streets is concerned and to stimulate creativity.

SITE PLANNING

Continue the existing building edge.

- Continue the existing building edge, i.e., build new structures to the sidewalk with zero setback from the property line. Large setbacks with front yard parking are not recommended.
- Incorporate elements of existing buildings into the architectural design of new structures, but do not duplicate existing forms. Construction of standardized “franchise” type structures is strongly discouraged.

- Multi-story (two/three) mixed-use developments are encouraged, but should not exceed height range of existing buildings.

CIRCULATION AND PARKING

Reinforce existing parking patterns.

- Retain curbside parking where appropriate. Consolidate rear yard parking lots and reduce the number of access drives. Clearly designate all off-site parking areas.
- Where they exist, use alleys for access and parking, but do not locate service areas on the side of buildings facing residential uses. Where loading and service areas are located at curbside, they should be designed to minimize traffic impacts and be clearly designated. Delivery times and access routes should be established.

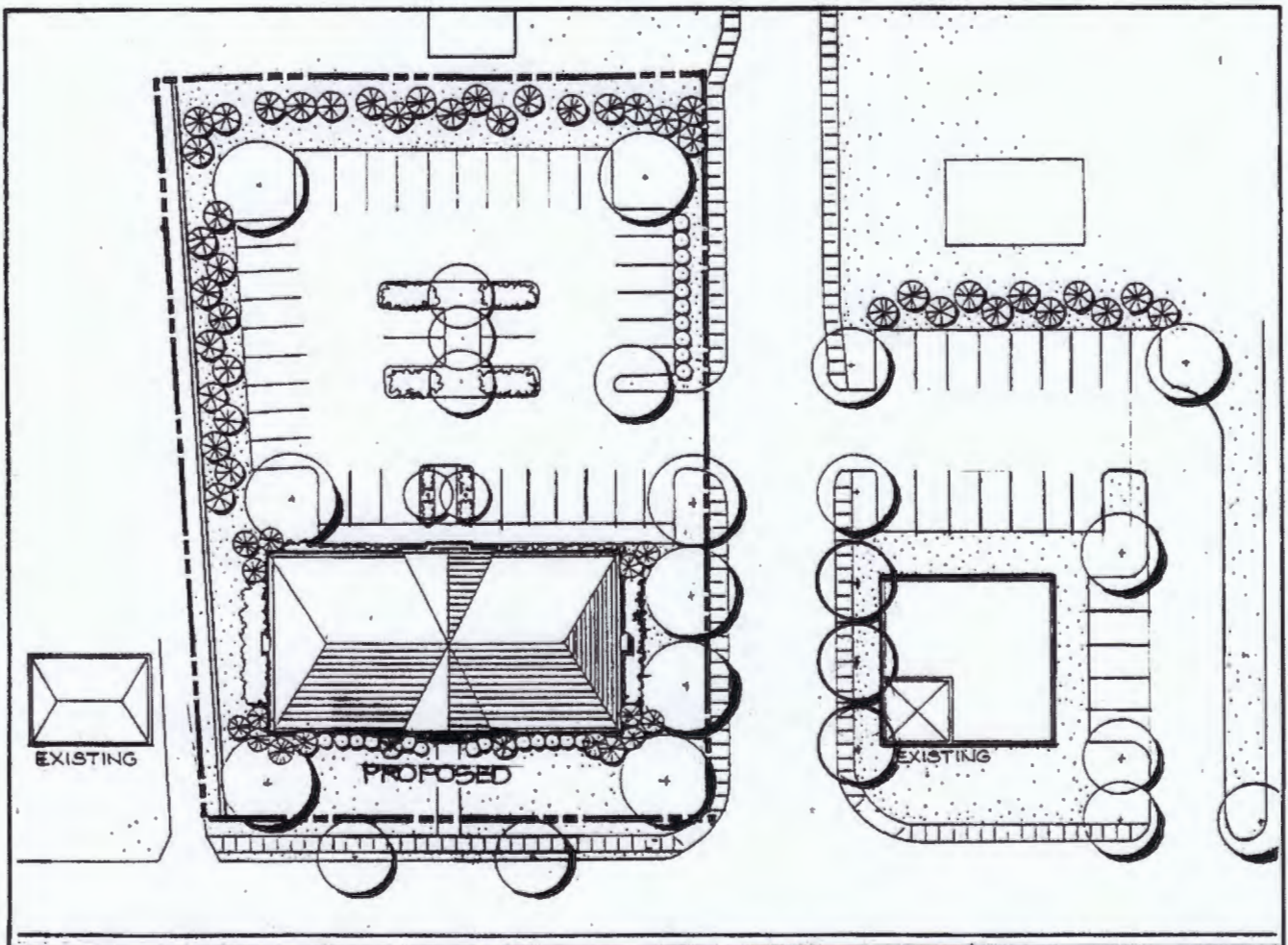


Main Street: No setback, small scale, pedestrian environment with display windows along the sidewalk.

LANDSCAPING AND OPEN SPACE

Use Main Street elements to reinforce existing character.

- Create a sense of entry to the Main Street. Identify entry points by utilizing such elements as street trees, curbed or boxed planters, lighting fixtures or combinations thereof.
- Building height should relate proportionally to street width. Where appropriate, design narrow streets with wide sidewalks, or establish islands that protrude into the street at regular intervals. Furnish such islands with street trees, boxed planters or architectural light fixtures. Landscaped central median strips also effect a visual reduction of street scale.



Building located in a similar matter to existing building. Parking is located in the rear; buffering and screening of adjoining residences is provided.

Main Street

Provide non-vehicular access.

- Establish bicycle lanes where sufficient space is available. Provide bicycle racks.
- Create a pedestrian-friendly environment. Uniform paving texture is encouraged. Identify pedestrian crosswalks clearly. Develop a system of small civic spaces that provides seating in sun and shade, as well as vandal-proof trash receptacles. Accent the walks and civic spaces with landscaping providing seasonal interest and color.
- Encourage restaurants and cafes to provide outdoor seating. Utilize awnings to protect pedestrians from inclement weather and to reinforce continuity of the built edge.

SIGNAGE AND LIGHTING

Signage should be an integral part of the building design.

- Signage should reinforce the Main Street character. Signs should be subordinate to the building and should not exceed the width of the storefront. Signs should be hung within building height. Large roof structures with perpendicular signage are not recommended.
- Utilization of durable materials, subdued colors and professionally executed graphic design is encouraged. Signs should be compatible with those of adjacent buildings in style, size, color, shape and graphic design. A proposed sign should not dominate other signs.

Light fixtures should be consistent throughout the area.

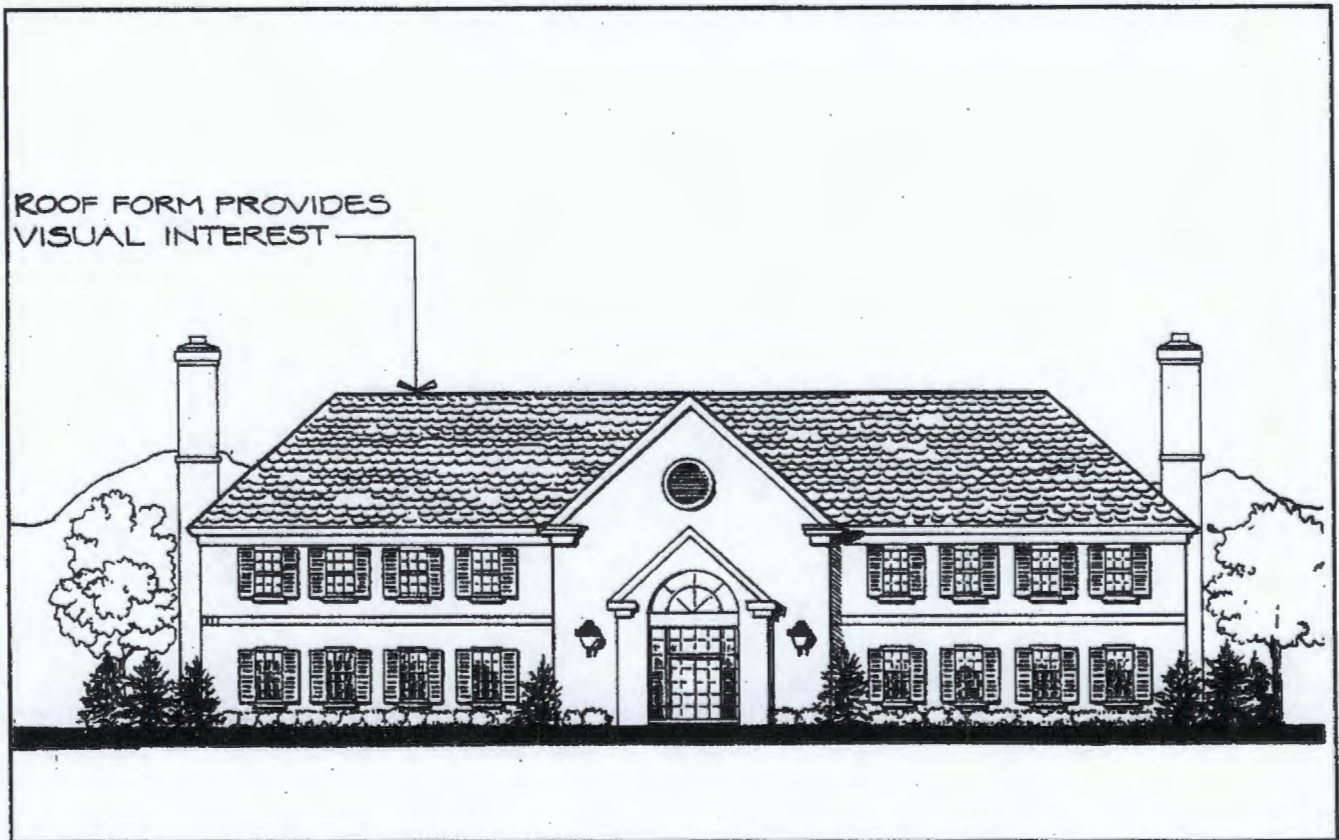
- Light fixtures should be compatible with building design and should be consistent throughout the Main Street core. They should be located in a manner that contributes to the pedestrian environment.
- Lighting should be appropriate for its location. Cut-off lighting should be provided adjacent to residences, pedestrian scale lighting should be provided along the street, site lighting should be provided along the sides and rear of buildings.

BUILDING FEATURES

Reinforce distinct architectural features.

- Utilization of natural materials, such as stone, masonry, and beveled wood siding are recommended. Facade treatments with synthetic, flimsy or highly reflective materials such as vinyl, formstone, T-111 or mirror glass are strongly discouraged.
- Incorporate subtle but distinct color schemes that create a sense of continuity and reinforce a common theme. Bright colors are appropriate as accents or trims, but are not recommended for large surface areas of buildings.

- Screen roof-mounted mechanical equipment from pedestrian view.
- Utilize roof forms to provide visual interest. Pitched roofs constructed of metal (with standing seams) or wood shakes or shingles are recommended. Exaggerated cornices, parapets or other projecting features should be considered for flat roofed buildings. Screen all mechanical equipment on roof tops.
- Retain the proportion of existing buildings, i.e., create clear separation between the first floor (storefront) and upper floor. Residential structures converted to commercial uses should select storefront and window types that are compatible with upper facade.
- Building walls facing adjoining properties should incorporate details such as windows, doors, color, texture, or landscaping to provide visual interest.



Building facades repeat architectural theme of surrounding residences. The building facade is designed with a two-story residential appearance. The chimneys, shutters, double-hung windows, and fascia board all contribute to this character.

Freestanding

FREESTANDING CONCEPT

Freestanding commercial buildings can be generally placed into two categories. The first category includes uses which have distinct operational demands generated by hours of operation, high parking requirements, or larger trip generation. Such uses include restaurants, banks and auto repair establishments. The second category includes commercial buildings which have multiple tenants but no major anchor store. Mixed office, retail, and residential uses are encouraged within these areas.

SITE PLANNING

Locate buildings and site elements to enhance surrounding uses.

- Buildings should be oriented towards the street, either parallel or perpendicular, except where deviation would create more functional and useful open space.
- Buildings should form a uniform edge or setback along the street.
- Cluster freestanding structures to provide form and enhance the visual quality of the site development.
- Minimize front setbacks.

OPEN SPACE

Provide open space to accommodate landscaping and create useable areas for employees and patrons.

- Small spaces designed for use by occupants or clients should be provided.

- Design open space to:

- 1) Screen or buffer adjoining residences;
- 2) Break up large parking lots (greater than 15 spaces);
- 3) Provide green space around buildings and adjoining commercial uses;
- 4) Allow some secure, on-site areas for sitting.

LANDSCAPING

Landscaping should be used for screening, shading, and enhancing site design.

- Landscaping should be provided to address:

- 1) Continuous streetscape;
- 2) Screening/buffering of adjoining residences;
- 3) Perimeter landscaping between adjoining uses;
- 4) Landscaping of building edges.

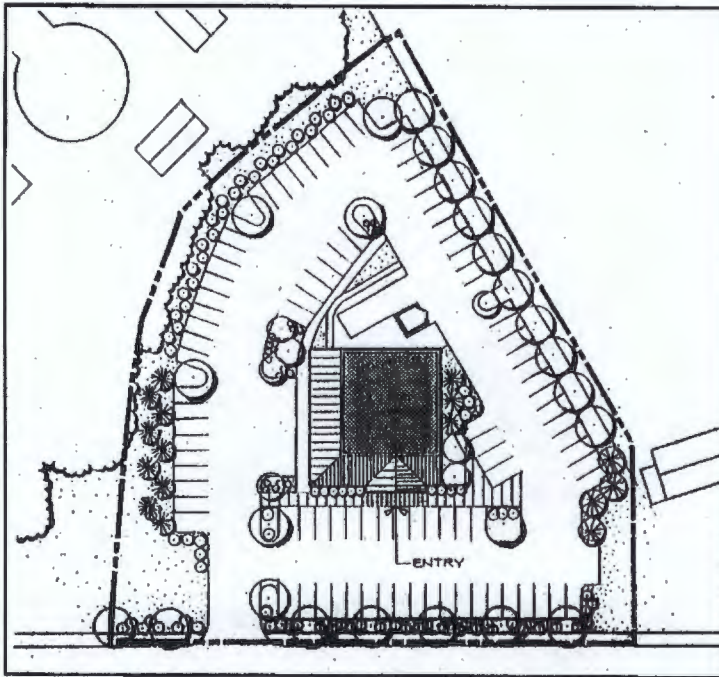
- When planting diamonds are provided within parking areas, they should be provided at more frequent intervals than what is required for planting islands, e.g., 1 per 6-8 spaces.

CIRCULATION AND PARKING

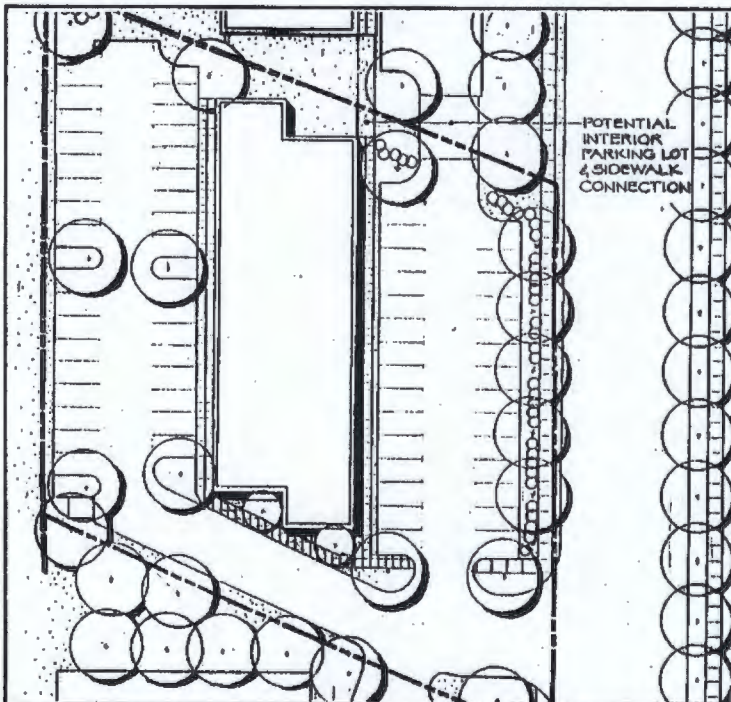
Provide safe and convenient parking.

- Circulation and parking areas should include landscaped peninsulas and/or islands.





Parking is distributed around the building. A buffer of adjacent residences is provided and the dumpster is centrally located.



Parking is located at the front and rear. Street trees and hedges are provided, and the building setback is similar to adjoining buildings.

- Minimize the number of ingress/egress points.
- Share pedestrian and vehicular access to adjoining non-residential properties.
- Locate parking bays along the sides and rear of the lot; minimize parking areas along the front.
- Provide safe and convenient pedestrian access.
- Sidewalks/paths should be provided to adjoining residential communities.
- Provide sidewalks within the street right-of-way.
- Sidewalk or path connections to adjoining uses should be considered at the building faces.
- Secondary vehicular access to side streets is encouraged.

LIGHTING AND SIGNAGE

Lighting and signage should complement the building architecture and be appropriate for its purpose.

- Lighting should be designed to meet the specific needs of the site elements and integrated with the building design. Tall light standards which illuminate the entire site are discouraged because they lack scale.
- Lighting standards adjacent to residential areas should not exceed 18 feet in height and should be designed to prevent spillover of light onto the adjoining residences.

Freestanding

- Signage should be integrated with the building design.
- Freestanding identification signs should not exceed the height of the building.
- All signage should be graphically and color coordinated.
- Roofs should be an integral part of the building design and conform to a specified roof type.
- Building materials and colors should be based on their visual impact as well as their compatibility with the neighborhood.

BUILDING FEATURES

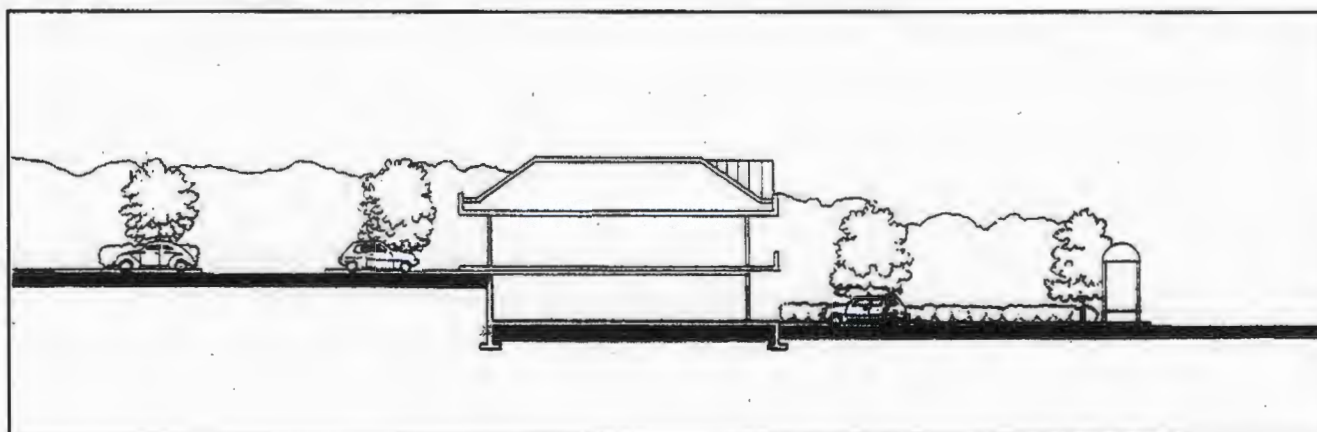
Incorporate representative architectural/site characteristics.

- The proposed use should incorporate attractive representative characteristics of surrounding areas. Transitional treatment may include matching cornice lines, continuing a colonnade, or using similar materials and building proportions. Consistency of scale, volume and details is more important than materials or colors.
- The proposed design should respect existing historic structures or districts in the immediate area. A vernacular style is preferred over “franchise” type structures.
- Nonresidential buildings sharing street frontage with residentially developed properties should maintain the basic design elements characteristic of the residential uses.
- Blank walls facing streets should be avoided.
- Exterior building elevations should be consistent on all sides in regard to roof style, materials, form and detailing.

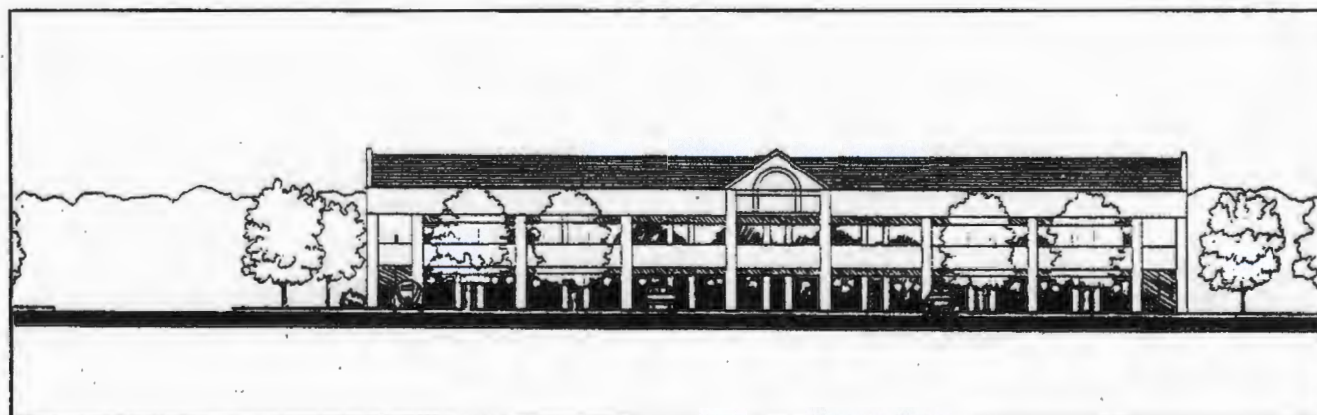
Freestanding



Buildings should be oriented on the street, with parking to the sides and rear.



Efficient site design uses existing topography to provide at-grade access to multiple levels.



The building facade is designed with a balcony, columns, and an arcade to provide interest and scale.

Shopping Center

SHOPPING CENTER CONCEPT

Excluding major regional shopping malls, Baltimore County's shopping centers have developed as linear strip centers along commercial corridors. These centers are characterized by large setbacks, acres of parking in the front, and high-mast, automobile-oriented signage. There is little streetwall remaining along these portions of the corridor. The corridors themselves are wide, carrying high traffic volumes at fast speeds. Pedestrian traffic is rare.

The design goals for these centers include developing a sense of street edge, respecting the character of adjacent residential areas, creating a visually attractive commercial environment and providing safe circulation for pedestrians.

SITE PLANNING

Develop a sense of street edge.

- If located at the intersection of two arterial streets, the site development should incorporate a special feature or focal point at the corner of the site.
- If not at an intersection, a special feature should be considered in conjunction with a transit stop or at the primary access point to the site.
- Large sites should allow for smaller out-parcel development of pad sites close to the street, particularly at corners.
- New development should provide parking areas that are beside and behind, as well as in front of buildings. This would allow the

placement of buildings closer to the street and expanses of parking to be broken up.

Provide pedestrian accessibility.

- Buildings should be located to facilitate safe and comfortable pedestrian movement between them. If the adjacent site is developed, locate the building to facilitate pedestrian and vehicular connections to the developed sites.

Protect adjacent residential areas by appropriate placement of commercial buildings.

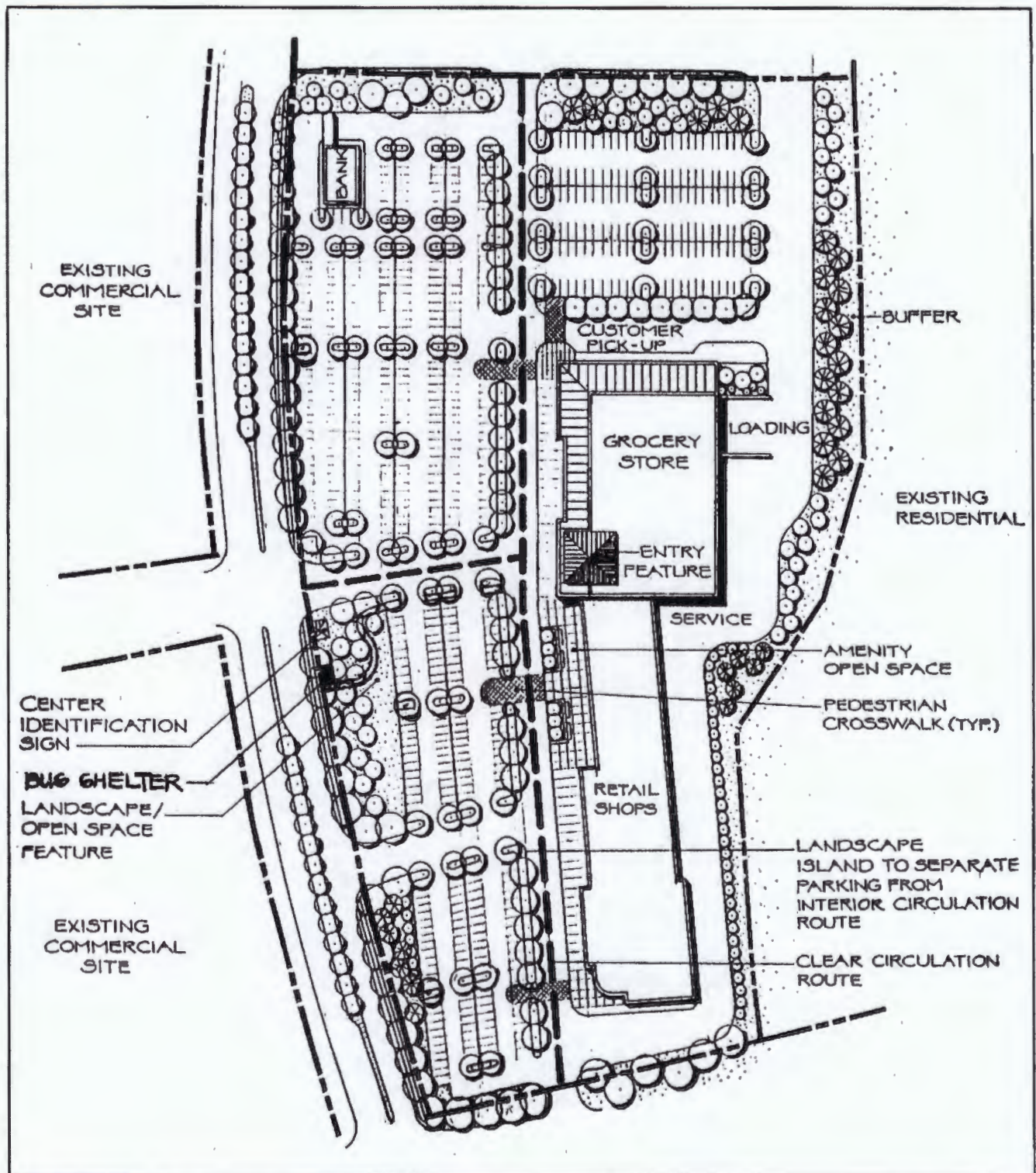
- Buildings should be arranged to reduce the effects of noise, odors, trash, light spillage, and circulation on the adjoining residences.

LANDSCAPING AND OPEN SPACE

Create an attractively landscaped right-of-way and maintain sense of streetwall.

- Following existing grades changes between different sections of a parking lot is an excellent way to break the uniformity and expanse. Avoid level grading of the entire lot. Use of retaining walls which allow the maintenance of existing slope areas is preferred over graded artificial slopes.
- Landscaped islands in the parking lot with curb cuts and shade trees are required by zoning and will help break the parking lot into more attractive, smaller scale areas as well as provide shade and areas for snow removal.

Shopping Center



This shopping center is set back from the street to provide parking for patrons, however, extensive landscaping, an entry kiosk, and a pad site are used to strengthen the street edge.

Shopping Center

- Coordinate placement of landscaping, benches, telephones, and lighting with the location of out-parcel development to improve the streetscape.
- Combine seating areas with seasonal color planting areas, and sculpture or water features to serve as a focal point.
- Landscape areas should be provided to integrate pad sites with surrounding land uses.

Provide buffers and screens for adjacent streets and residential areas.

- Plant evergreen trees where topography lessens the screening effect of a fence or wall.
- Screening should be an extension of the development's architectural treatment and consistent in color and design. Walls should be constructed of quality materials consistent with the building facade material.
- Screen service facilities from the remainder of the project, adjacent land uses and roads.
- Dumpsters should be clustered and screened on all sides, especially when they are visible from neighboring properties or streets.
- Utility metering should be located within a designated service area and screened from the project and adjacent land uses.

CIRCULATION AND PARKING

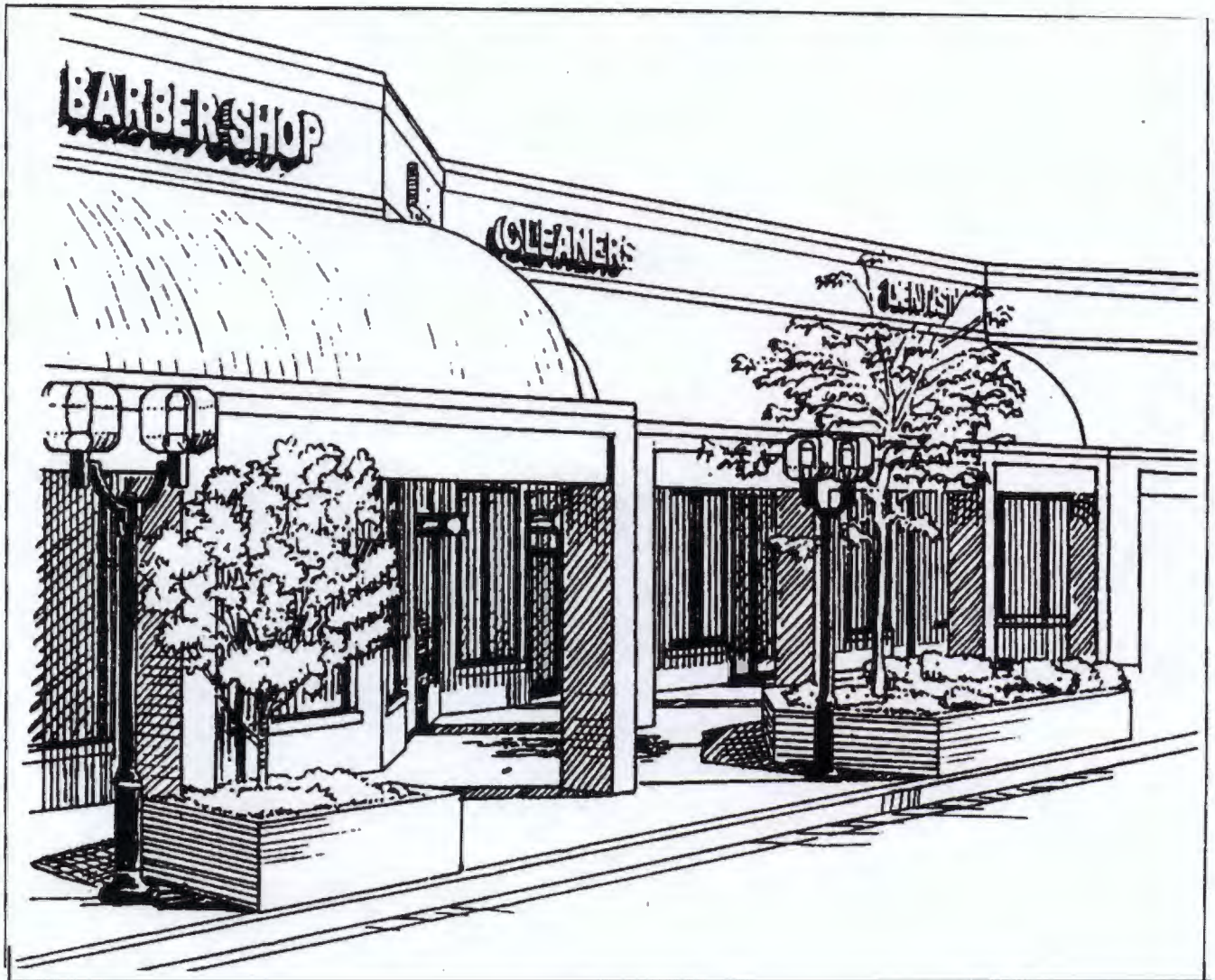
Promote pedestrian accessibility.

- On the sides of the building which provide public access into the building, walkways should be wide enough to allow for side-walk seating area as well as pedestrian travel. Weather protection should be provided at the entrance area and, if appropriate, along the entire building walkway.
- Internal walkway surfaces should be designed to be visually attractive and enhance pedestrian comfort and safety. They should be distinguishable from driving surfaces through the use of contrasting materials such as pavers, bricks or scored concrete.
- A pedestrian network should be provided within the parking lot to transit stops, to out-parcel development and to neighboring developments to increase accessibility from surrounding uses.
- Sidewalks along the front of commercial developments should be connected to the sidewalk along the street. At a minimum, walkways should connect focal points of pedestrian activity such as transit stops and street crossings to the major building entry points. The sidewalk system should be developed to avoid making customers walk across a sea of asphalt.
- Walkways should be provided along the full length of the building on any side which provides building access to the public or where public parking is available.

Shopping Center

Minimize vehicular conflicts.

- Where feasible and desirable, consolidate curb cuts with a principal curb cut located at a mid-block location.
- No more than one curb cut per side street for secondary entrances should be provided.
- The driveway should be at least 200 feet from the intersection of major thoroughfares (arterials) unless a one-way traffic flow is used.
- Locate service facilities in a central area to be used by several retail establishments, separate from the main circulation and parking funtions.



The signs for individual stores are located within the same area of the building. This band allows for variation but maintains building uniformity.

Shopping Center

LIGHTING

Create a safe environment, reduce glare and spillage of light to adjoining properties and streets and provide attractive site elements.

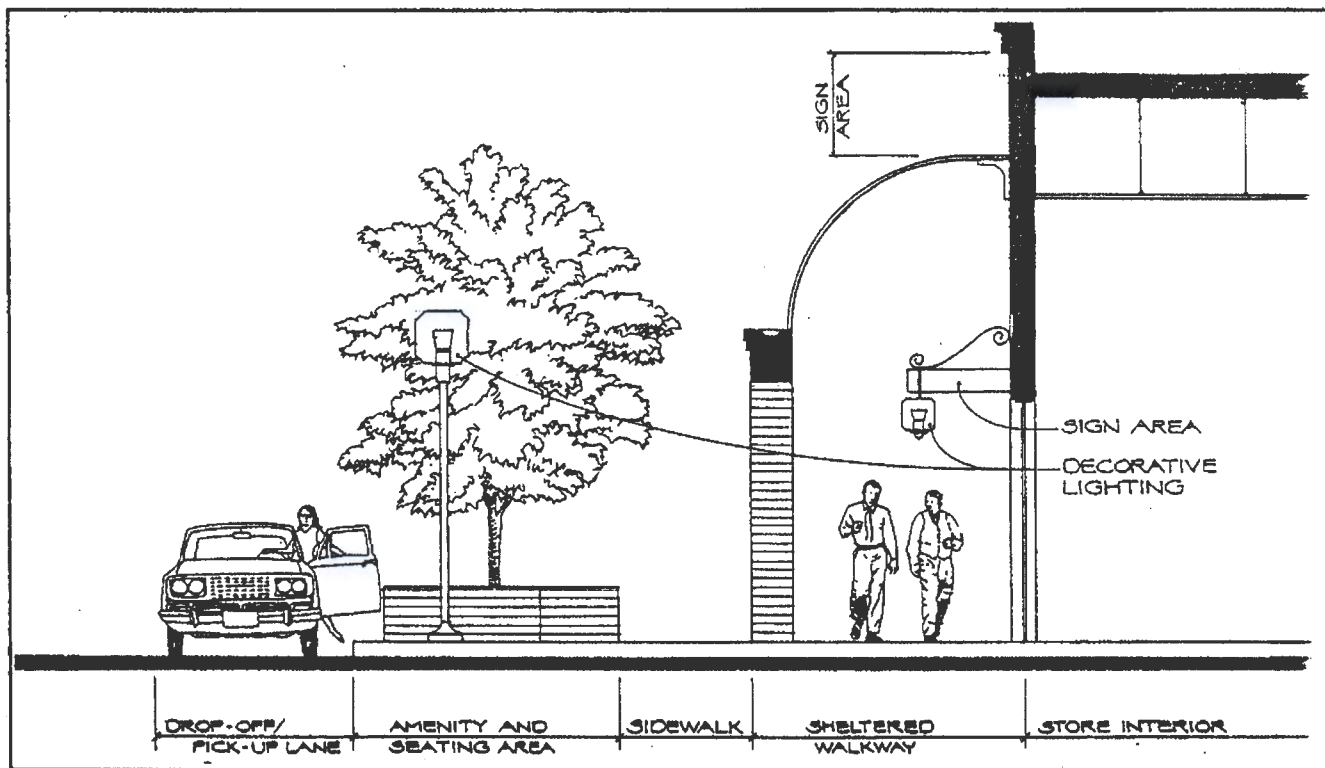
- All lighting fixtures should incorporate cut-off shields to prevent the spillover of light to adjoining properties.
- Place utility poles evenly and plumb.
- Consider special lighting to emphasize landscape such as uplighting or special lights in trees.
- Light fixtures should be consistent with building designs of a uniform design throughout the development.

- Provide special lighting for pedestrians or for ambience as needed, on poles not to exceed 18 feet.

SIGNAGE

Create a consistent line of vision through the placement and orientation of signage.

- Development projects should include a plan that specifies location, size, materials and lighting for all shopping center and individual signs.
- Signage should be consistent in size, location, material, and graphic design throughout the project.



Shopping center with landscaping along the drop-off lane and an arcade along the shops.

- Outdoor advertising (billboard) is inappropriate in shopping center parking lots.
- One freestanding sign should be used to identify the shopping center, rather than several signs.

Develop a sense of street edge.

- Signs should be placed at the property line to promote a streetwall appearance.

Signage should be integrated with the building design.

- Signage should incorporate the architectural elements of the commercial development to bring identity of the building to the streetwall.

BUILDING FEATURES

Develop a sense of street edge.

- Encourage vertical elements higher than the typical one-story building through mixed uses on the site such as a second floor for offices or residences. This gives the building a stronger presence on the street and adds variety to the architecture.
- Main entrances to parking lots should provide architectural elements such as a gateway, arch or tower to create identity and sense of streetwall.
- Storefronts along walkways are encouraged.

Respect the character of the adjacent area in the design of buildings.

- Buildings within a multi-building complex should exhibit a unity of design through the use of similar elements such as rooflines, materials, window arrangement, sign location and details which respect neighboring residential areas.

- Roof lines, overhangs, and the front fascia should be extended to the rear of the building.

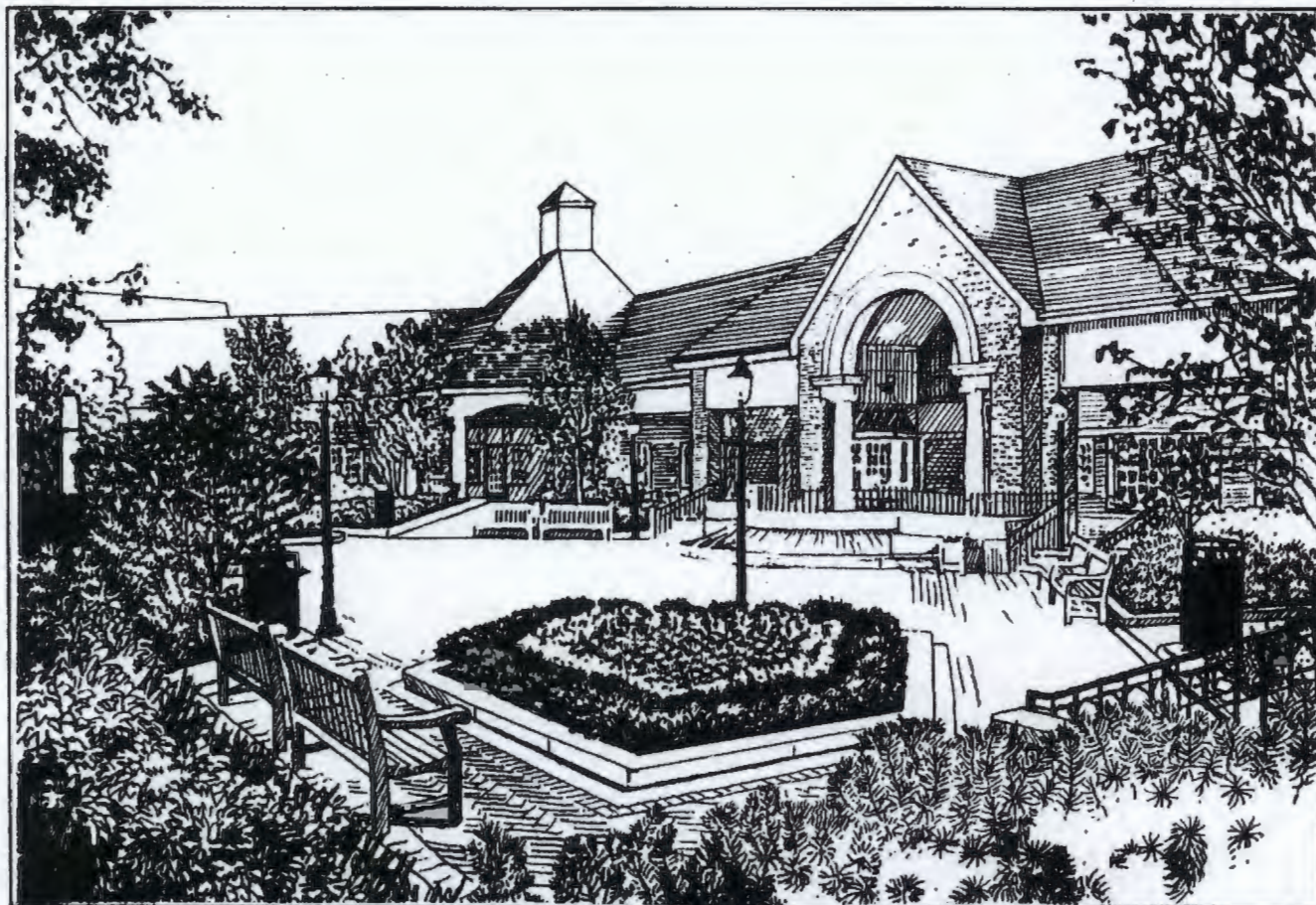
- Rear and side facades should be of finished quality and of the same color and materials as the front of the building.

Promote visual interest.

- New or remodeled buildings should incorporate bold architectural forms such as off-sets, exaggerated parapets, and highly articulated entrances. Interesting materials, colors and details are strongly encouraged.
- Long, flat faces are strongly discouraged. Buildings over 100 feet in length should incorporate recesses/off-sets, angular forms or other features to provide a visually interesting shape. A single uninterrupted length of facade should not exceed 100 feet.
- Large expanses of flat monotonous material should be minimized through the use of bands of accent color, recessed or protruding belt courses, wide reveals or combinations thereof.

Shopping Center

- Colors are encouraged for trim as accents, but are discouraged for the main portions of the buildings.
- Mechanical equipment, if located on the building, shall be located within the roof form of the building or enclosed within a screening structure, the design of which is consistent with the design of the building.



Amenity areas are incorporated into site design. Long building facades are divided into visually scalable sections with a variety of architectural details and roof forms.

POWER CENTER CONCEPT

A Power Center is a destination, single-story shopping area, that is automobile oriented with no interior mall space and is often occupied by discount retailers (wholesale with membership and subject to sales tax). Generally, the largest user has a floor area over 100,000 square feet, but there may be two users with 40,000 to 80,000 square feet, and there may be additional strip retail uses and pad sites. Developers generally provide more than 5 parking spaces per 1,000 square feet of building area. These centers can be characterized as large buildings with large amounts of parking.

SITE PLANNING

Site elements should develop a sense of street edge.

- Locate or center the largest user on the site to provide a focal point for design.
- Group buildings together to form a unified complex. Buildings may be organized to form a campus-like setting that are surrounded by attractively landscaped parking areas.
- If located at the intersection of two arterial streets, the site development should incorporate a special feature or focal point at the corner of the site.
- Locate pad sites close to the street to provide a sense of street edge.
- The furthest parking lot space should generally not be more than 300 feet from the building facade and no more than 500 feet from a building entrance.

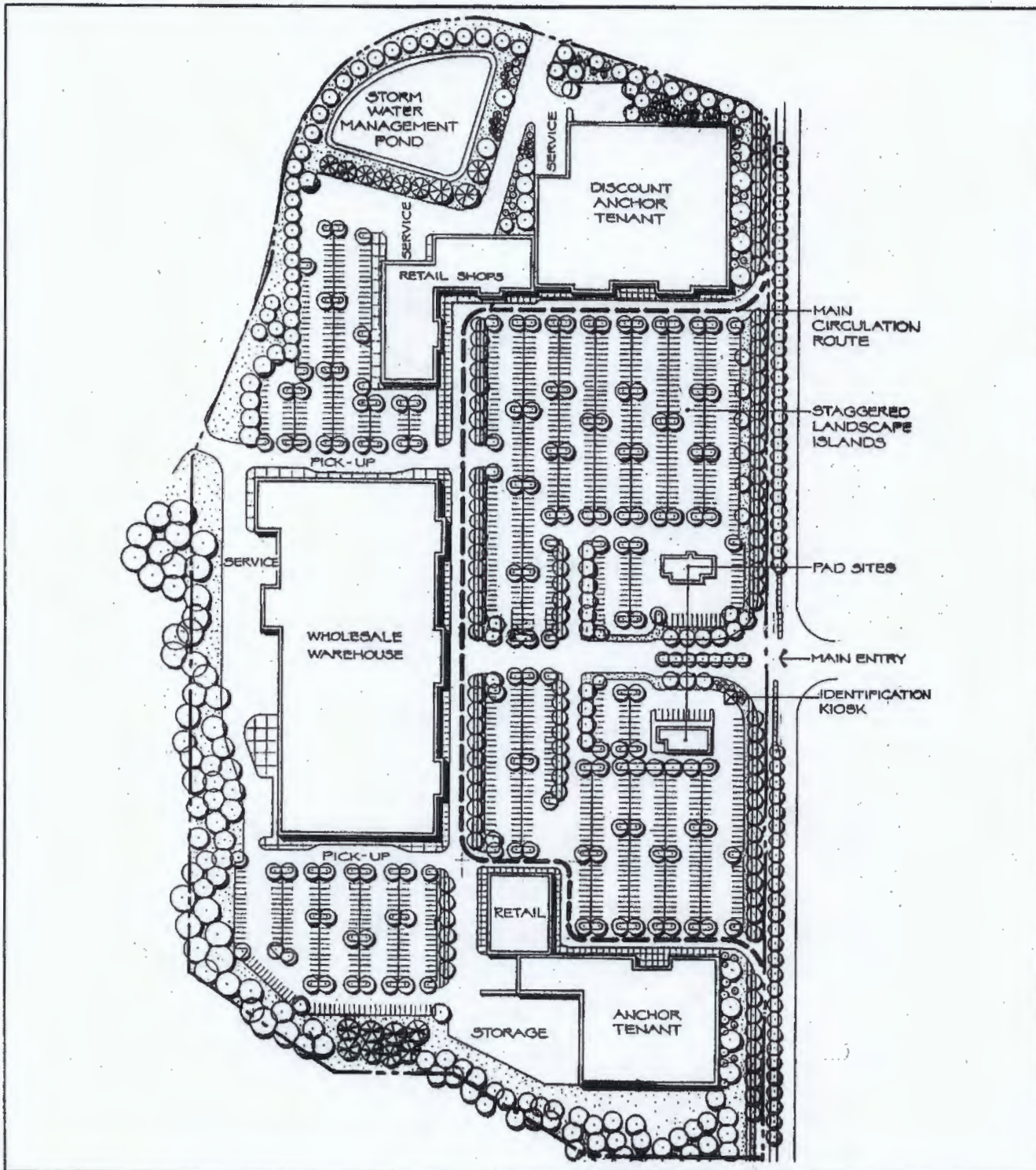
- Design the site circulation system as a hierarchical system. The entry should feed a collector road which feeds the parking areas. The entry design should include a landscaped median to separate incoming and outgoing traffic and provide visual relief from the width of the paving.
- Design all sidewalks as a continuous circulation system and connect the sidewalks with the pedestrian ways in the vicinity.
- Screen mechanical and utility equipment, trash dumpsters and other similar items from view.

LANDSCAPING

Landscaping should be used to provide visual orientation, define circulation, and shade parking lots.

- Provide landscaping between the building facade and sidewalk where possible. Landscaping along the building will provide additional visual interest.
- Plant the strip between the major road and the site development with materials that continue the overall streetscape design.
- Locate street trees and other landscape features along the sidewalk system.
- If planting islands are staggered within the parking lots, then only one island break for every 14 parking spaces will be required. Islands should have a minimum of two trees.

Power Center



The building complex is organized with the largest tenant at the center of the site. Anchor tenants and pad sites are located close to the right-of-way to provide a street edge. Service, loading and storage are at the rears of the buildings and screened by extensive landscaping. The parking lots are lined with trees to identify the main vehicular routes. A single identification kiosk is located at the main entry close to the major arterial.

- If tree-lined medians (minimum width of 9 feet) are used to separate parking aisles or the internal collector street, then island breaks will not be required.

OPEN SPACE

Provide open space for employees and patrons.

- Provide an outdoor, landscaped area for employees to take a break, eat lunch, wait for a ride, or meet someone.
- In projects where undeveloped land remains, use these areas as passive open space and provide pedestrian access.

CIRCULATION AND PARKING

Circulation patterns and parking should reinforce safe and efficient pedestrian and vehicular movement.

- Design an internal collector street which fronts a majority of the building entrances. This concept will have buildings on one side of the street and parking areas on the other.
- Use landscaped islands and medians to help separate and define the roadway network.
- Provide sidewalks along the parking lot side of the collector street. The extensive use of sidewalks is not required, but should be adequate to ensure a safe pedestrian environment.

- Provide sidewalks and curbs along the entire length of the front building facade. Include sidewalks along the sides of the building when facing a parking lot.

SIGNAGE AND LIGHTING

Signage should provide visual relief from the building facade(s).

- Signs should be wall-mounted and not extend above the building facade(s).
- The building signs should have a consistent color pallet (three colors or fewer, including background) and lettering style.
- One freestanding project identification sign that identifies the development may be up to 25 feet in height; if the development is on more than one major arterial or boulevard, then the other freestanding signs may not exceed 8 feet in height.
- The design of a freestanding sign may be kiosk-like to become part of the overall streetscape and use similar architectural elements included on the main building design.
- Architecturally compatible, low-level light fixtures are preferred. Lighting adjacent to residential areas should not exceed 18 feet in height.

BUILDING FEATURES

Large buildings should incorporate architectural elements that visually segment the structures.

- Buildings should be architecturally related with design and materials.
- Provide windows along the sidewalk edge to aid visual interest, give scale and provide a sense of “window shopping” and information about what is sold in the centers.
- A consistent, uniform architectural theme is desired for the development. Centers are often designed as a tall, one-story box. Provide some scale relief by offsetting the building entry or providing a canopy above the sidewalk.
- Avoid designing long unadorned facades. Provide repetition of shapes or forms along the building facade.
- Building heights may be varied to avoid long monotonous facades.
- The rear facades and loading areas should not be visible from the major street. Loading and service areas should be completely screened with the use of landscaping, decorative fencing or walls.
- Avoid large, flat roofs without using accents in the parapet line. Height differentiation provides visual relief of otherwise straight boxes.

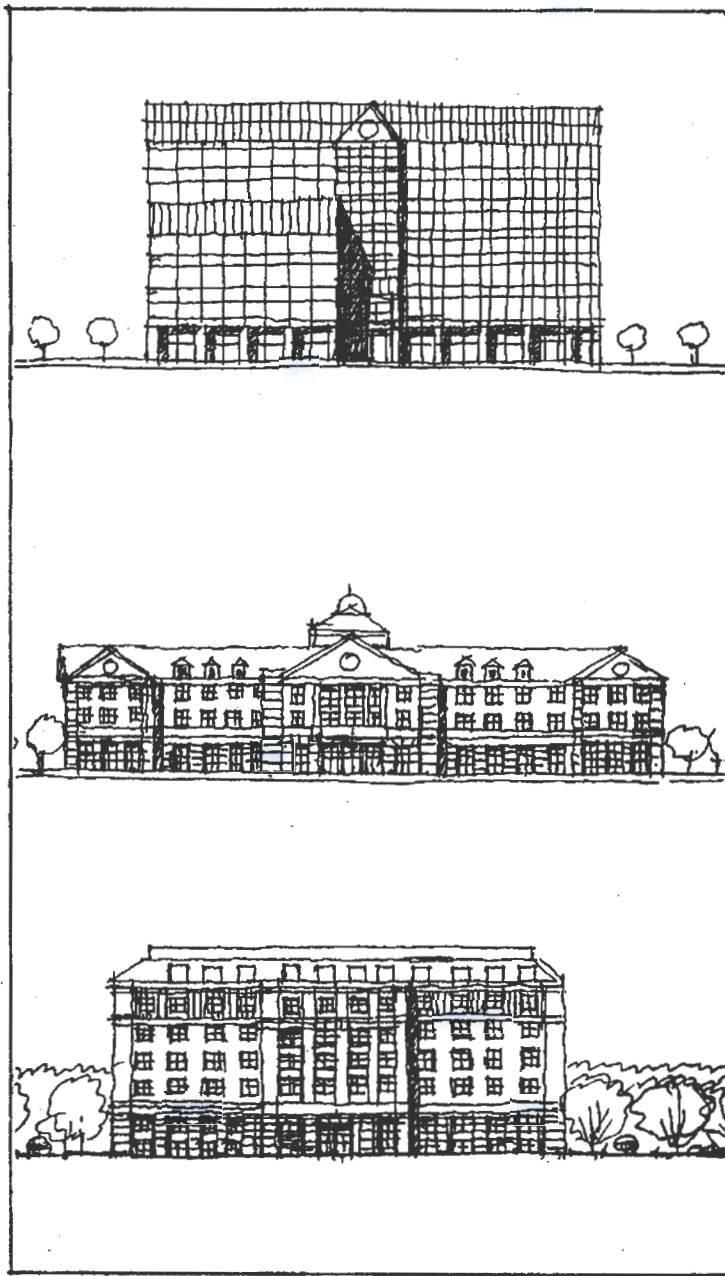


Division III
Section B

OFFICE GUIDELINES

Introduction	123
Site Planning	124
Landscaping	129
Open Space	131
Circulation and Parking	133
Signage and Lighting	135
Building Features	137

Introduction



The majority of non-residential zones within Baltimore County allow for the construction of new office buildings. The RO, O-1, O-2, and OT are specifically designated for office use. In addition, the industrial zones (ML, MLR, MR, MH, SE) and business zones (BL, BM, or BR) also allow for the construction of new office buildings.

The purpose of this section is to provide general guidelines that will be used by the County to evaluate project design as required by the development review process. These guidelines were established to review office and flex warehouse type uses. The guidelines are advisory and should be used by the County, developer/builder, and residents.

This section has been divided into six elements which include the following:

- Site Planning
- Landscaping
- Open Space
- Circulation and Parking
- Signage and Lighting
- Building Features

Site Planning

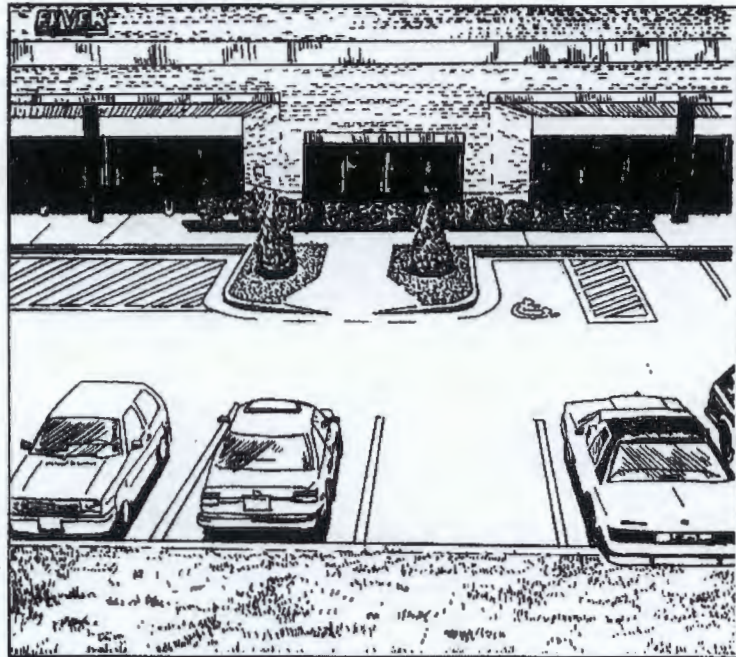
SITE PLANNING

Locate the buildings, parking facilities, and accessory structures to utilize the existing topography and slopes.

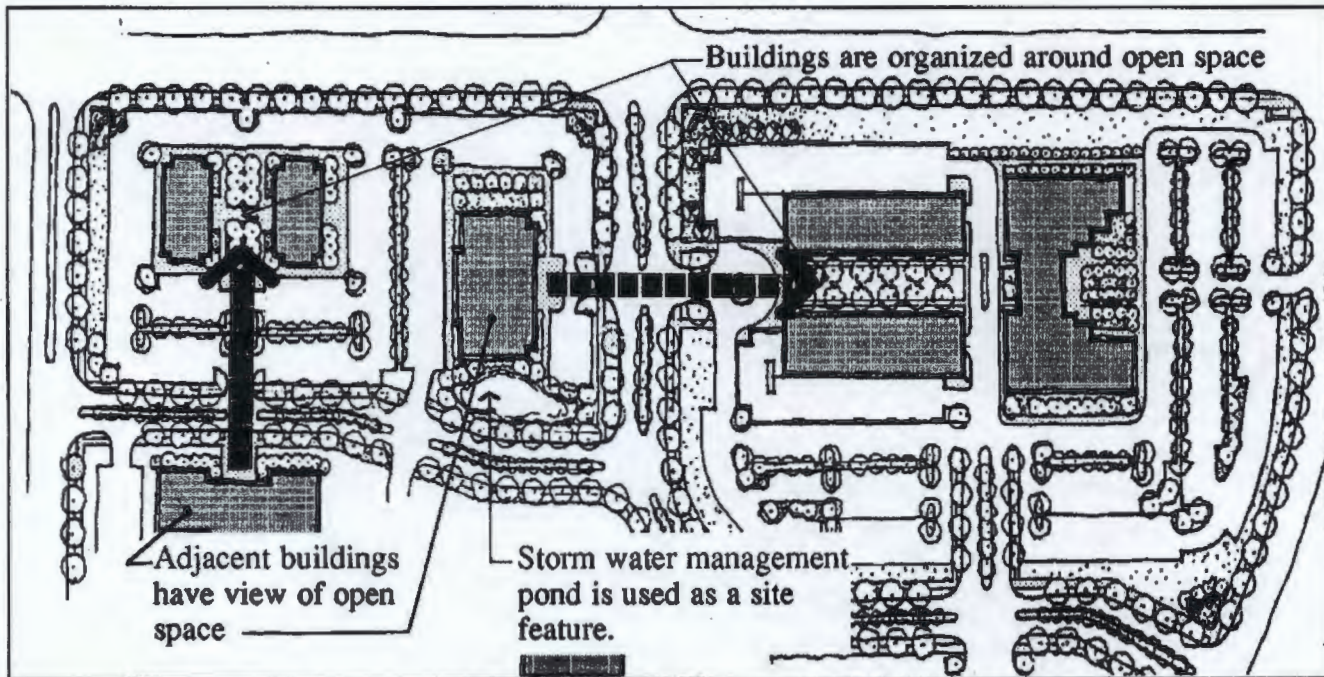
a) The site plan design should take advantage of views, natural site drainage, preserve striking land forms and water features, and incorporate existing vegetation to the fullest extent possible.

b) The placements of buildings on a site should conform to the undisturbed land form. Use the existing vegetation on site to enhance the building locations or parking areas.

c) Organize buildings around natural or man made open space features.



The sloping terrain screens the parking area from adjacent uses.



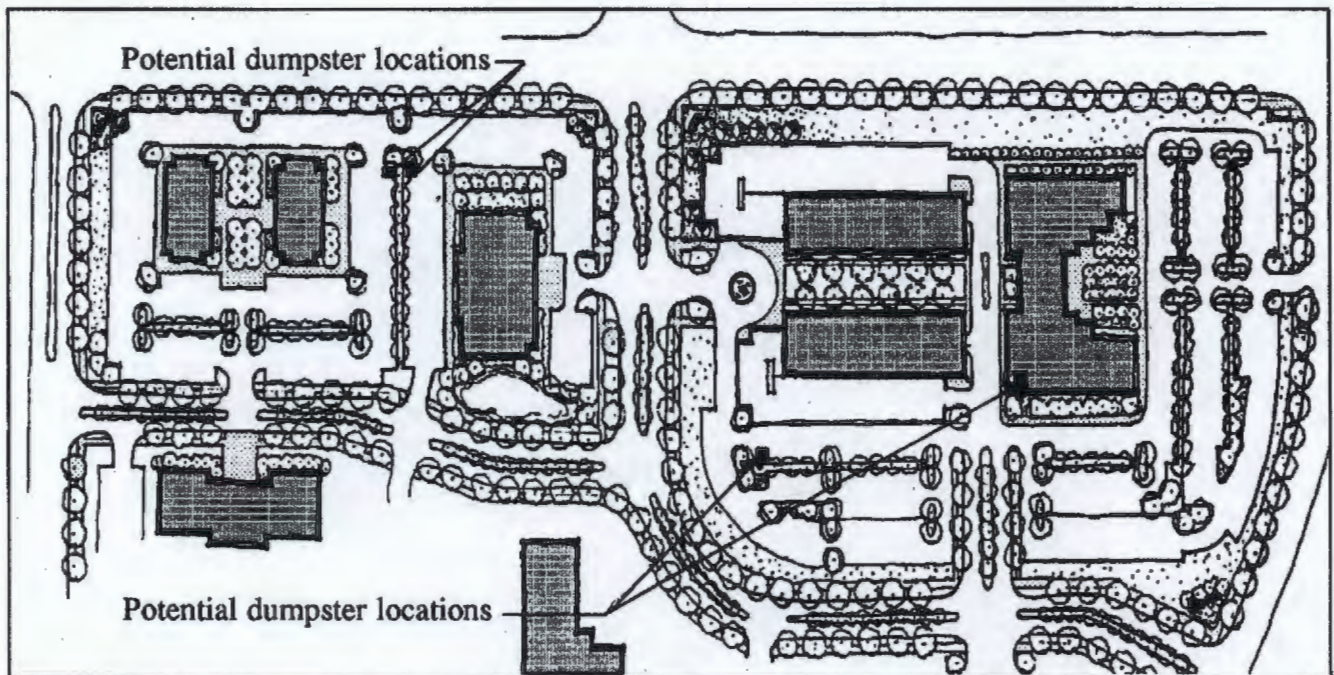


Each service area is located at the building's side yard to form a court so that the building and wing wall screen such areas from adjacent sites.

Accessory structures, service areas and mechanical equipment should be designed as integral components of the site.

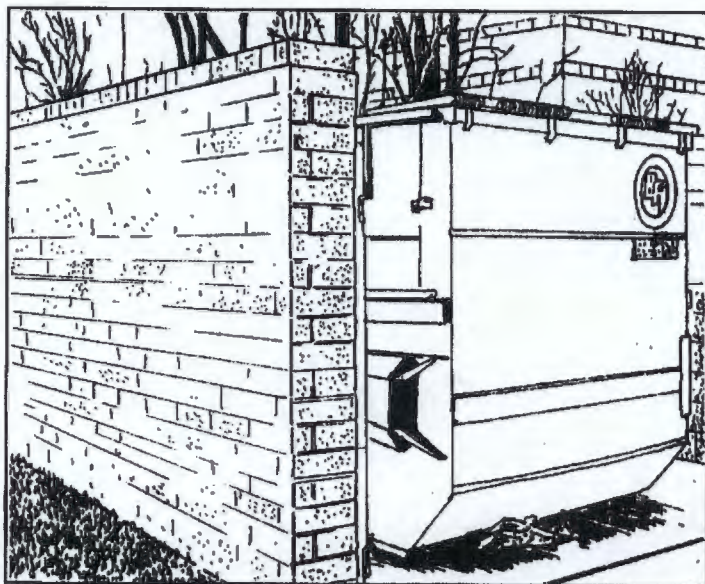
a) Screen and fence trash dumpsters, sheds and mechanical equipment with materials and design features that are the same as or complementary to the building. Landscape treatment at these locations should act as a visual buffer.

b) Dumpsters should be located in areas that are functional, but not visually imposing from streets or residential areas.

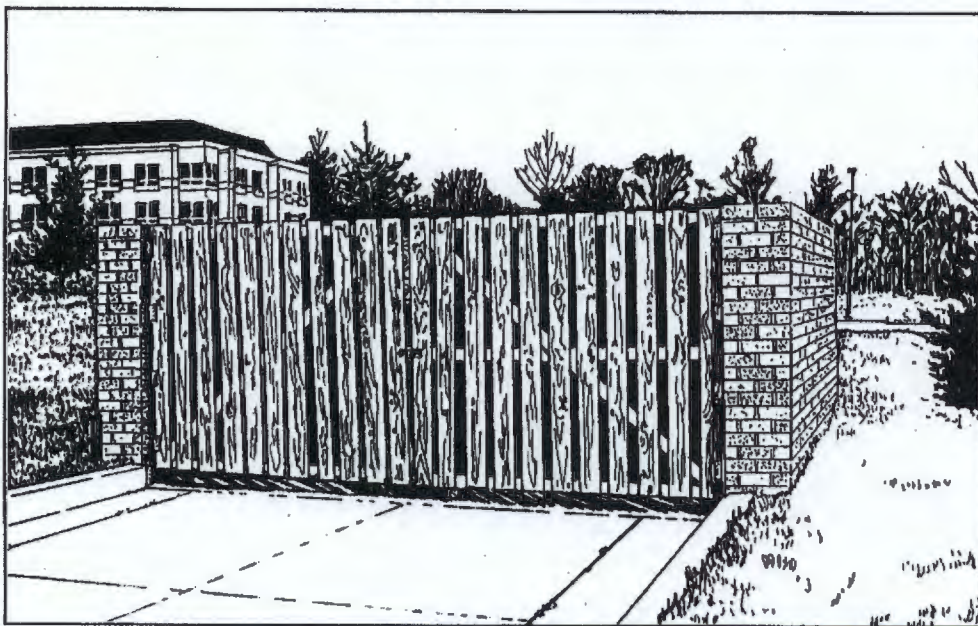


Dumpsters should be screened from view with fencing and landscaping.

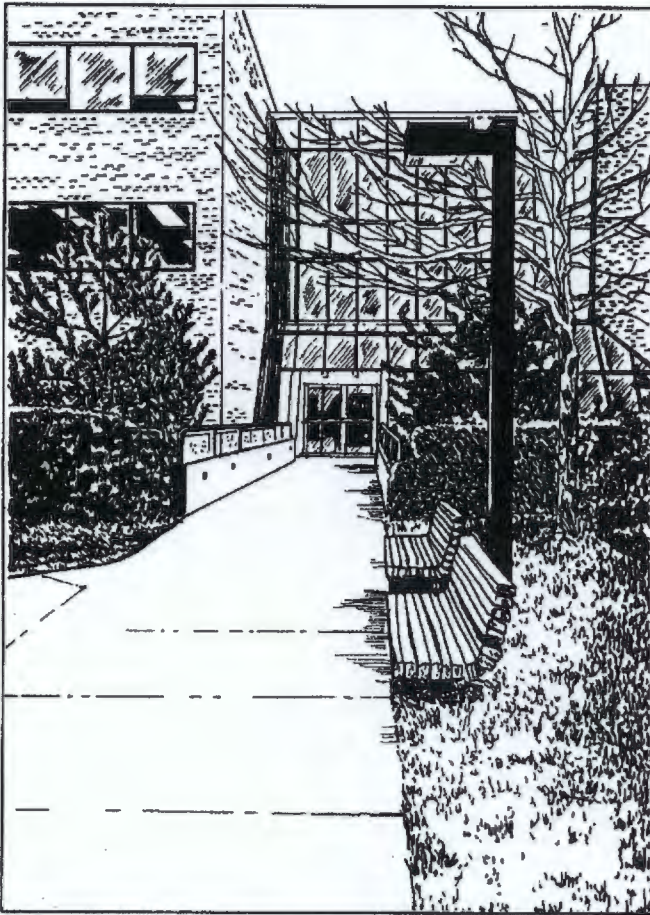
Site Planning



Trash dumpster with some screening and no landscaping.



Screened trash dumpster in need of landscaping treatment.

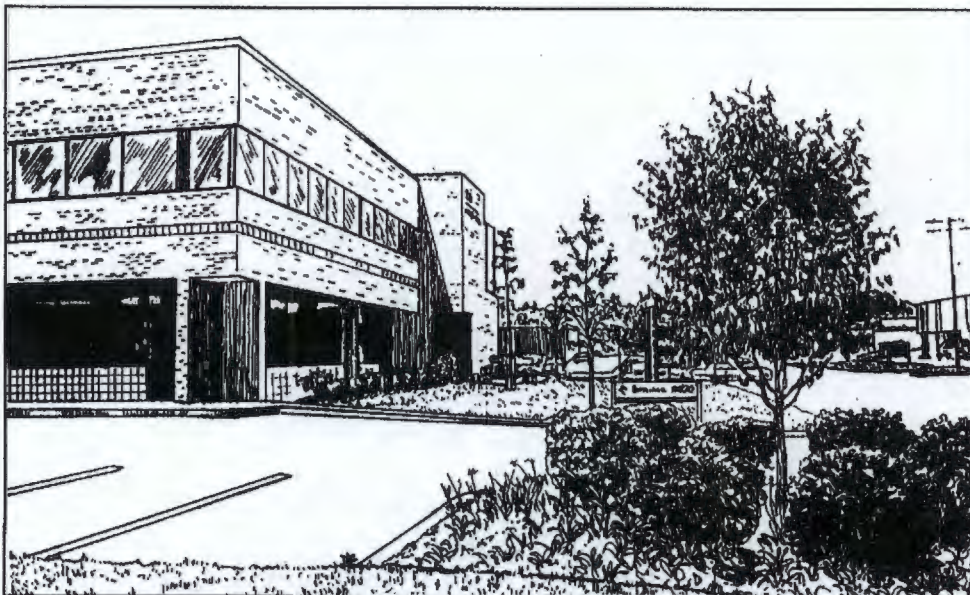


Landscaped sidewalk connection from parking lot to building entrance.

The location of buildings should reinforce the street as a center of activity.

a) Locate the longest side of a building parallel to the public right-of-way. The front yard set-back should not substantially (+5%) deviate from adjacent structures unless such structures do not conform to the overall area character.

b) The building orientation and design should reflect and contribute to the neighborhood character.



The front building facade is located near the public right-of-way to reinforce the street as a center of activity.

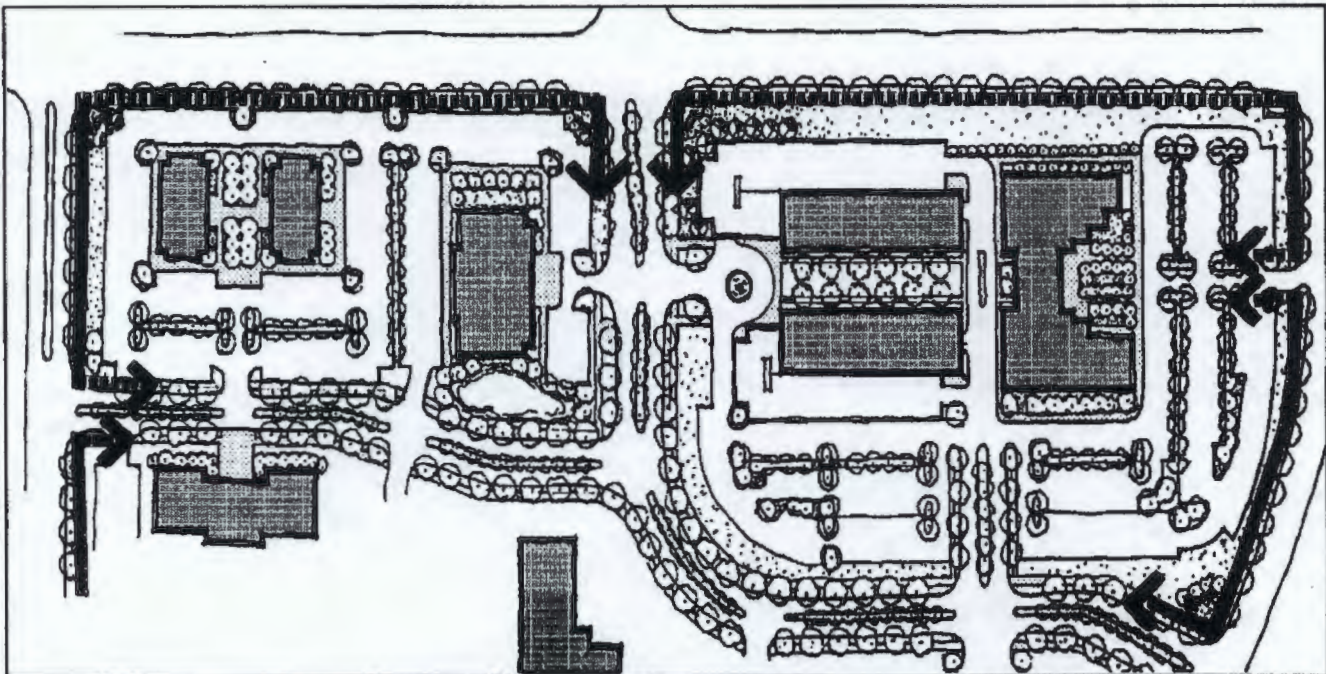
Site Planning

Provide and incorporate pedestrian access into the site and building design.

- a) Landscaped, tree-lined walkways should be used as connections between buildings, buildings to streets or building to parking areas.
- b) Incorporate recessed sitting areas into the walk or pathway system.

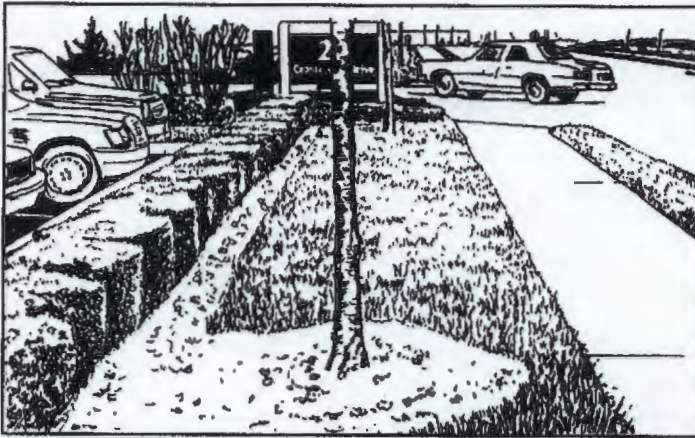


Tree-lined, lighted walkways connect parking area to building entrance.



Pedestrian access around perimeter of site provides access to interior site circulation.

Landscaping



Landscaped right-of-way with sidewalk between parking lot and street pavement.



Landscaped entrance median with monument sign.



Fenced and landscaped buffer area between residential and nonresidential uses.

LANDSCAPING

Landscaping should create and define street image, entranceways, screen storage and loading areas, provide buffers adjacent to residential uses, shade parking lots and integrate the building design with the site design.

a) Street trees, streetscape furnishings, and details should be used for continuity between project sites and for pedestrian access along streets.

b) Plantings at points of entry define and accent building and site access (pedestrian as well as vehicular).

c) Use vegetation to provide a natural screen and buffer commercial use from residential neighborhoods.

d) Plant shade trees along walkways through parking lots to visually interrupt the parking bays. Shade trees will also reduce heat and glare and help to define traffic patterns and movements.

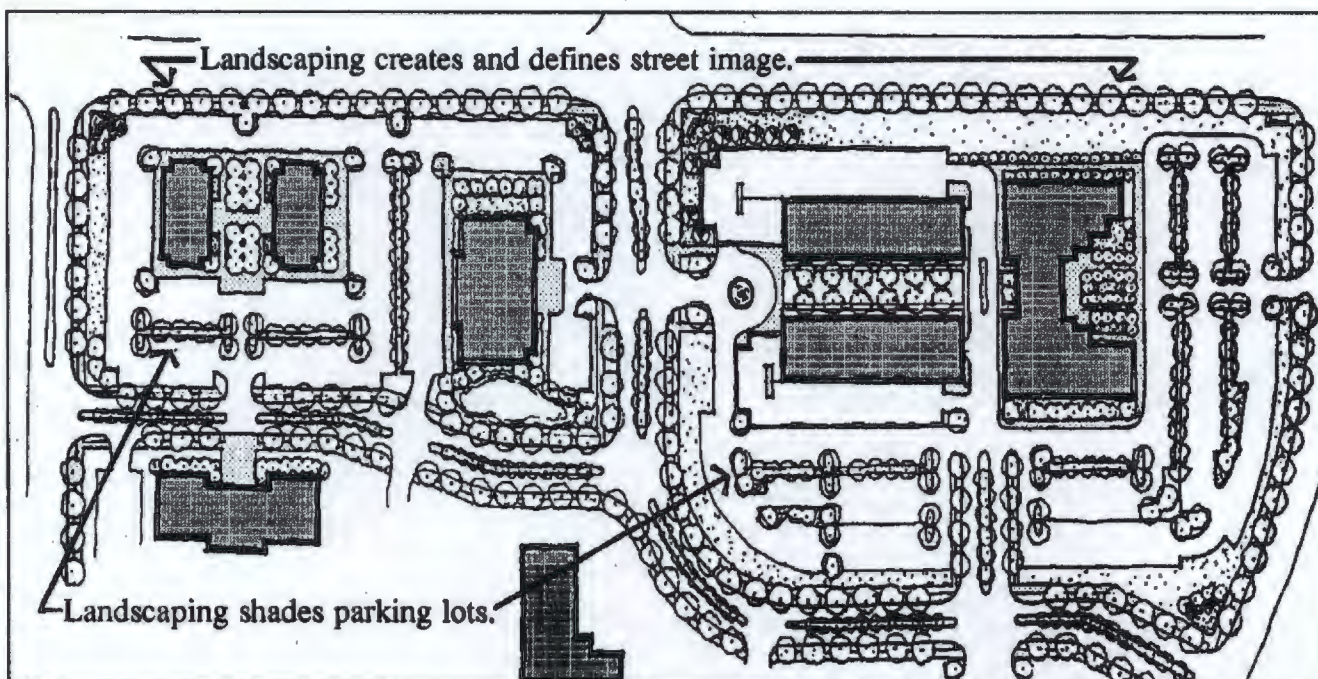
Landscaping



Use planting diamonds in parking lots when medians between bays are not possible.



Landscaped median between parking bays.



OPEN SPACE

Design the open space network and amenities as an integral part of the overall site plan to take advantage of landscaping features and undevelopable areas.

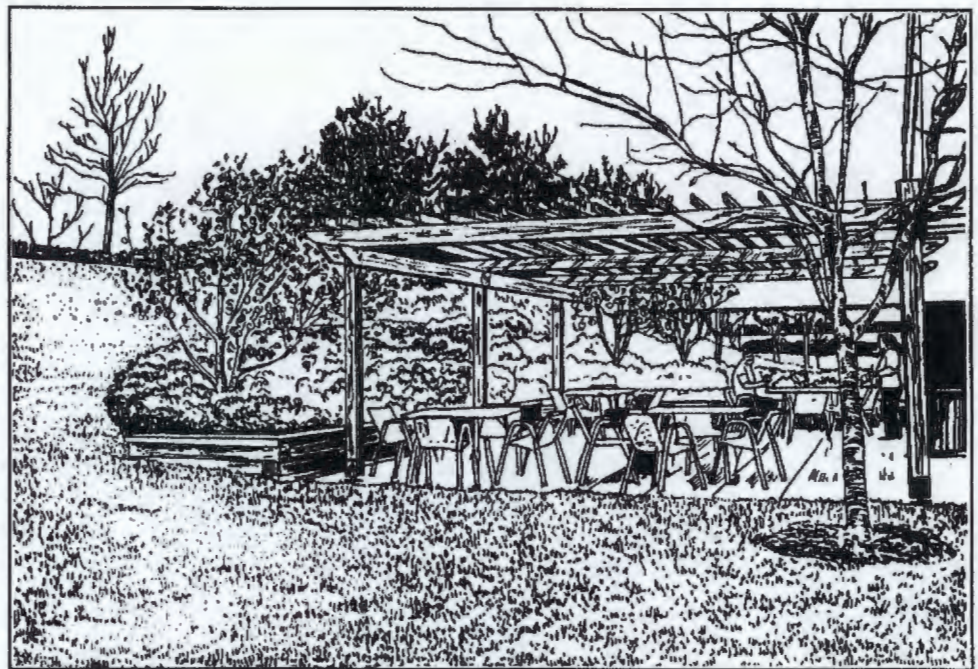
a) Provide small areas for active or passive use by employees such as picnic tables, benches, and other areas for sitting, eating or meeting.

b) Provide access to and views of the open space network. Take advantage of the space between buildings to include a courtyard or site feature.

c) Use undevelopable areas as open space features or as buffers between uses.

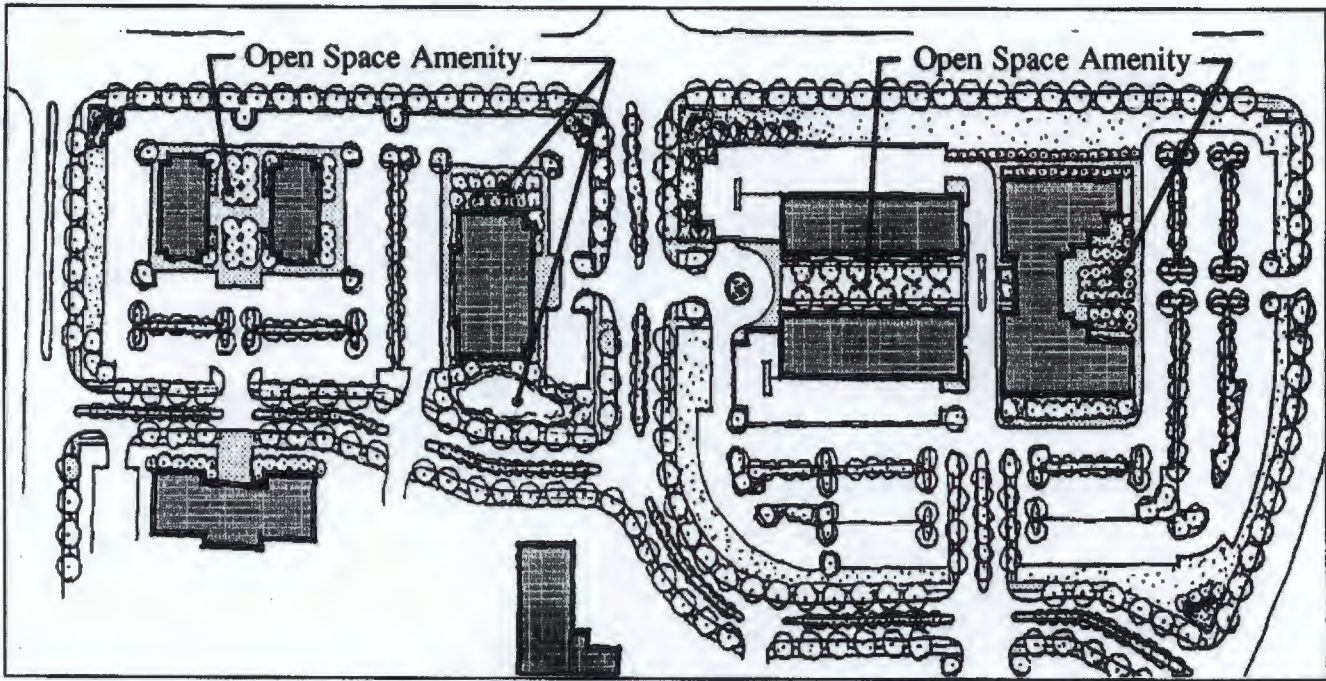


Bench along landscaped walkway.

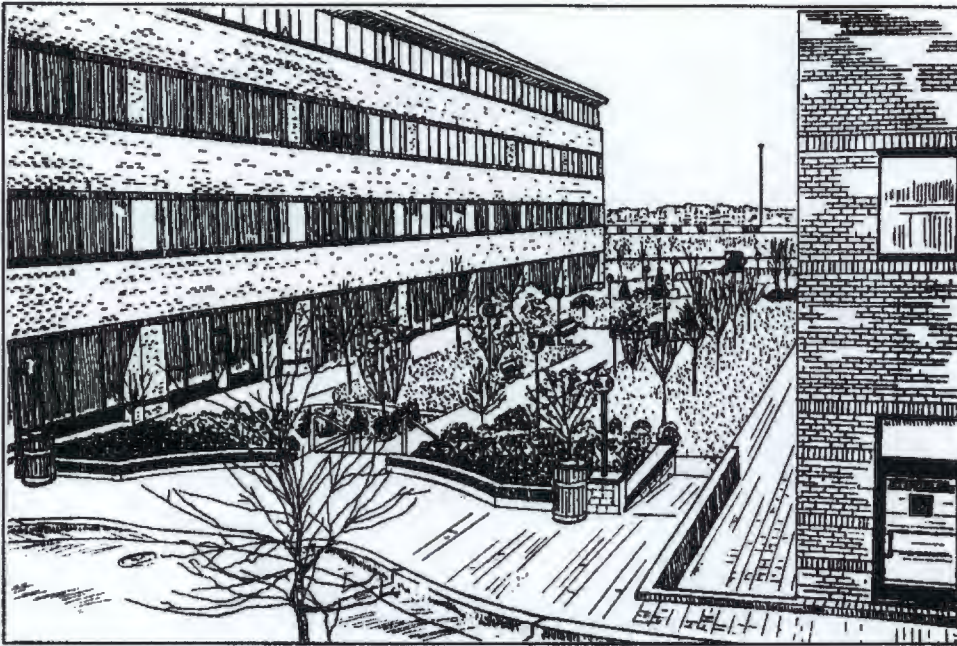


Landscaped employee gathering area with tables and chairs.

Open Space



Open space amenities are an integral part of the overall site plan.



Landscaped courtyard between buildings.

Circulation and Parking

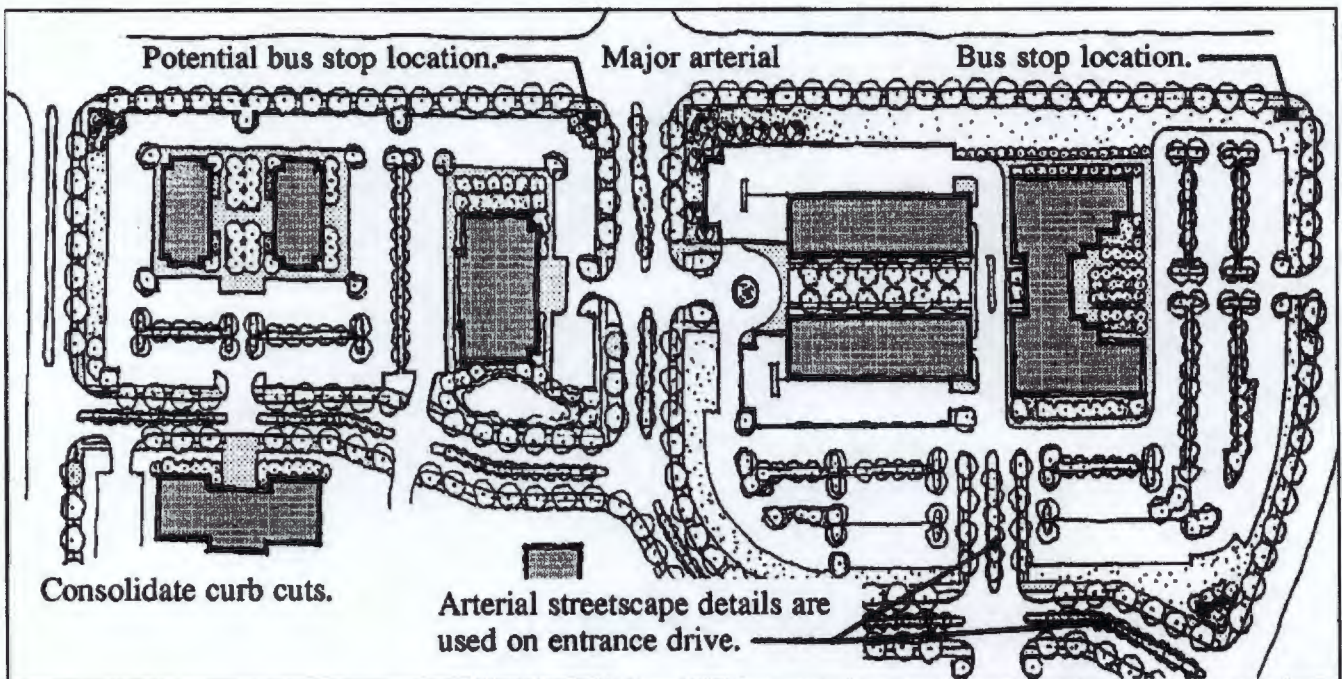
CIRCULATION AND PARKING

Circulation and parking should reinforce safe and efficient pedestrian and vehicular movement.

- a) The main entrance serves as the dominant ingress and egress point into a development.
- b) Curb cuts should be consolidated to the extent feasible or practical.
- c) Access points into a development site should be located to minimize the impact on adjoining residential communities.
- d) The vehicular access points should facilitate traffic movement through the site.

Transit should be an integral part of project circulation.

- a) Where directed by the Maryland Transit Administration, Access by Design should be incorporated into the development.
- b) The provision of bus shelters, or signs and pathways should be incorporated into the development.

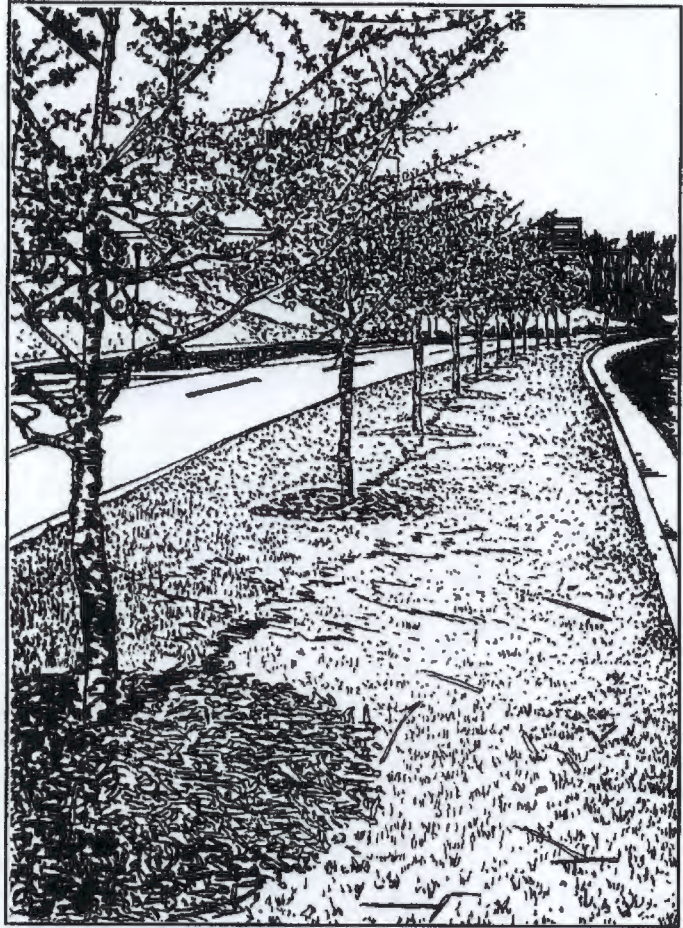


The vehicular and pedestrian environment is improved with convenient sidewalk access to alternative transportation and the internal streets are lined with landscaping to delineate the circulation system.

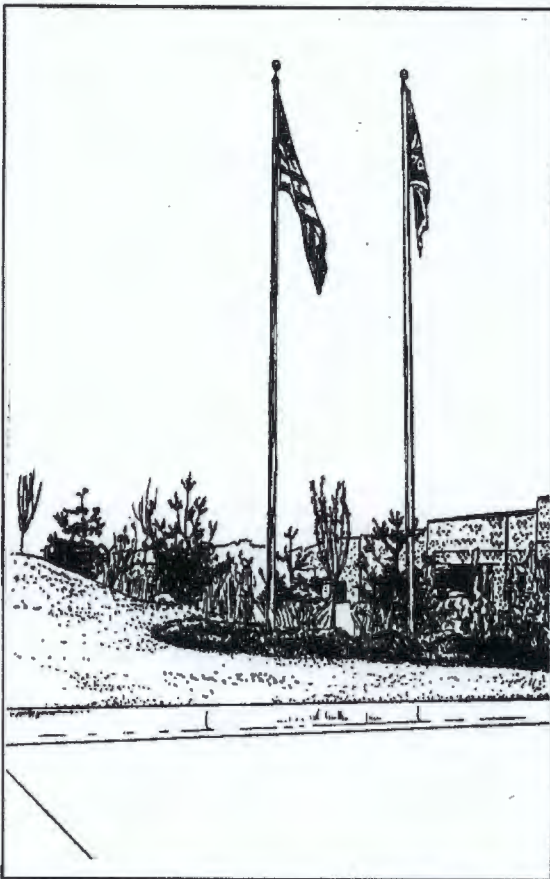
Circulation and Parking

The landscaping and paving dimensions within the street rights-of-way provide a sense of identity and orientation.

- a) The streetscape design and features should reflect those of the surrounding community. For example, boulevards should contain tall compact trees, commercial corridors should have tall canopy trees, and urban areas should have appropriate sidewalk furniture and tree placements.
- b) Street widths should be designed to reflect existing patterns and hierarchy.



Plant trees within medians.



Flagpoles identify vehicular entrance point and site identification.

Signage and Lighting



The sign provides clear, concise information.

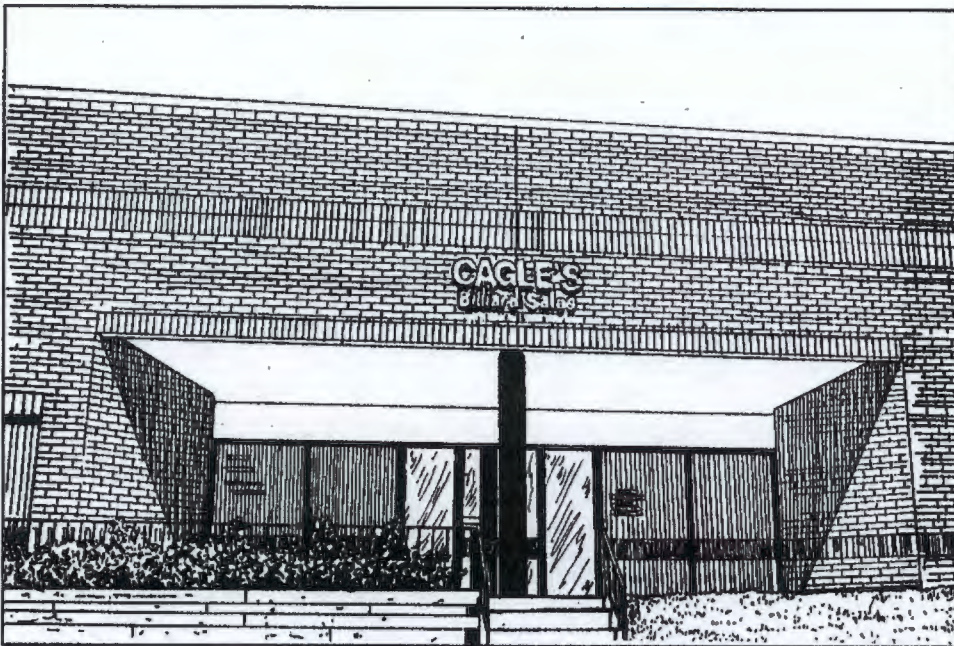
SIGNAGE AND LIGHTING

Signage serves as a focal point for information to identify the location and nature of a business.

a) Signage design should improve the visual continuity of the area; it should not serve as a distraction.

b) Illuminated signs will be allowed. External lighting should only be applied to the sign face.

c) The design and materials of a sign should complement and be similar to those used for the building.



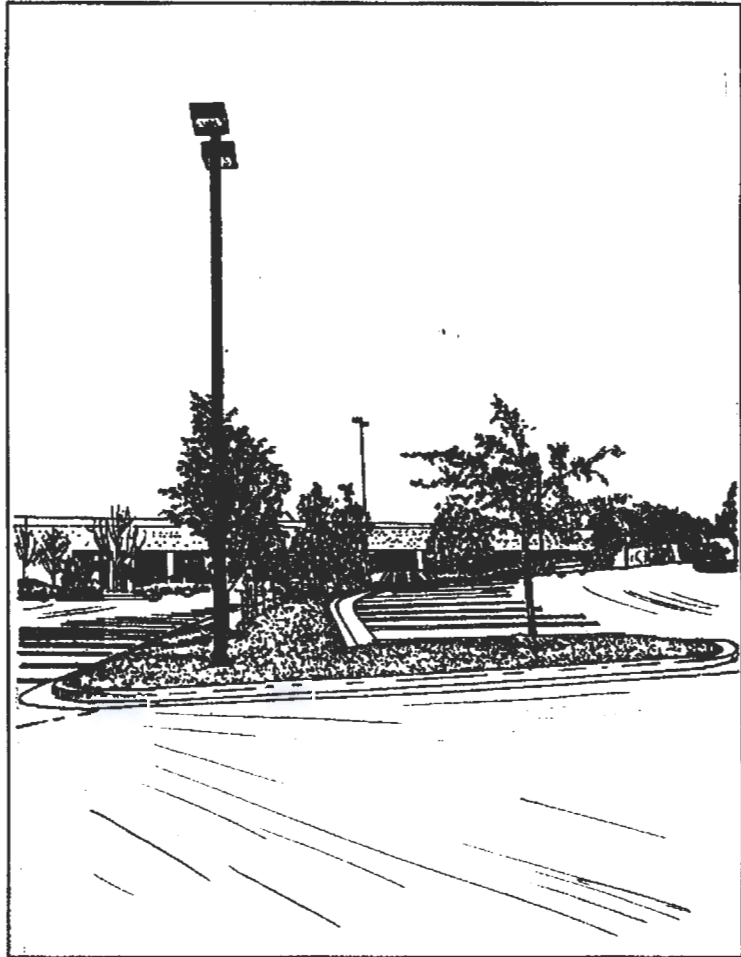
The sign should be in scale with the facade and along a uniform band across the building.

Signage and Lighting

Lighting fixtures should be designed to provide continuity within the project as well as with the surrounding community.

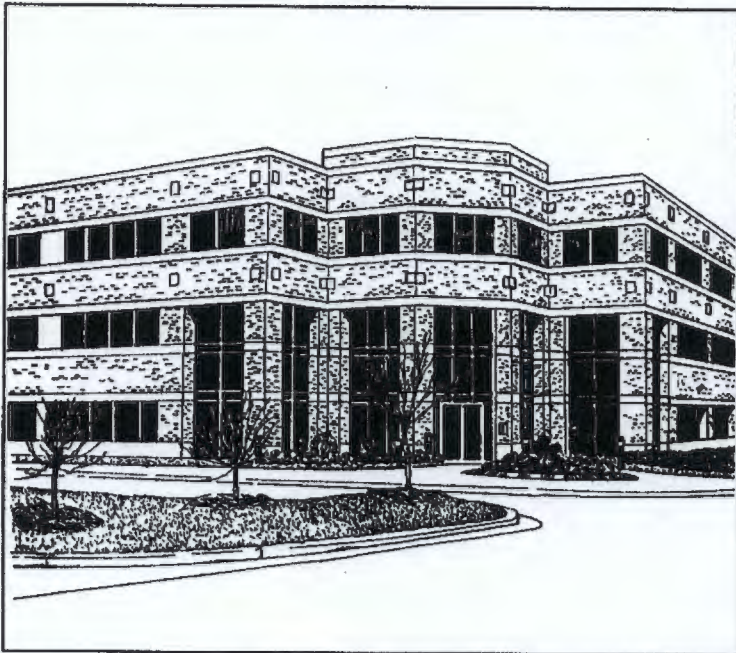
a) Lighting standards adjacent to residential areas should not exceed 18 feet in height and should be designed to prevent spillover of light onto the adjoining residences.

b) The footcandles produced should be appropriate for the use proposed. The illumination of the building and site features (parking lots, walkways or entrances, etc.) should not exceed the needed level and appropriately sized for its purpose.

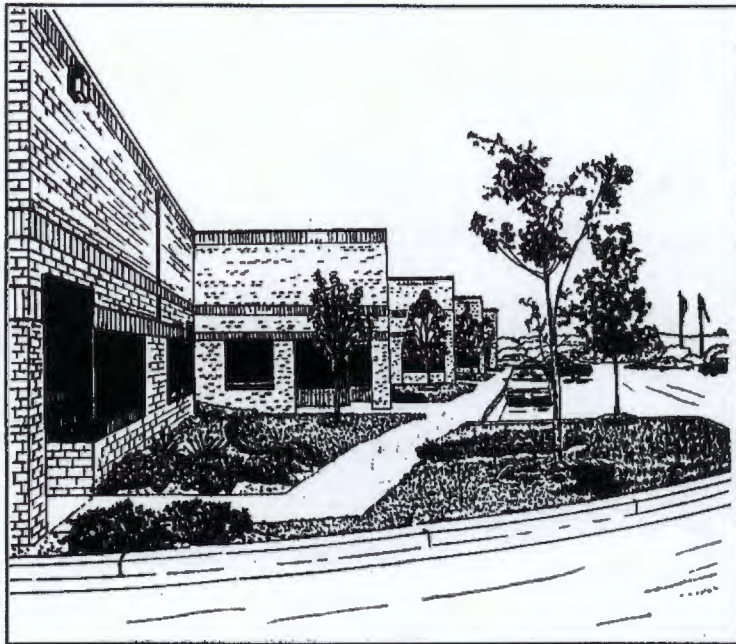


The parking area lighting fixtures are designed to only illuminate the parking lot area.

Building Features



The building mass is diminished by the change of materials, patterns and colors.



The building's length is reduced by the setbacks designed into the front facade.

BUILDING FEATURES

Encourage architectural style of the building or buildings to be highly articulate and the design should complement existing residential uses and/or adjacent buildings.

Proportion:

Buildings designed to express the base, shaft and crown provide a sense of proportion and appear visually interesting.

Mass:

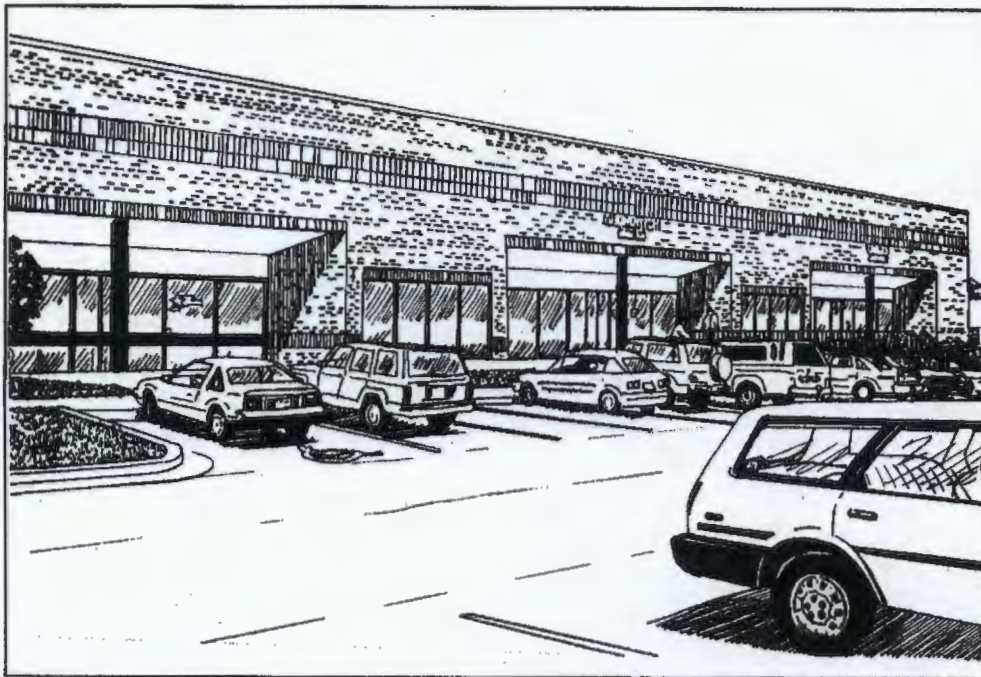
Vary and articulate building elements to visually and dimensionally interrupt the bulk of the building. Two ways to do this include highlighting entranceways and establishing focal points.

The bulk and general massing of a building should not significantly exceed the horizontal and vertical dimensions and volume of adjacent buildings in the surrounding area.

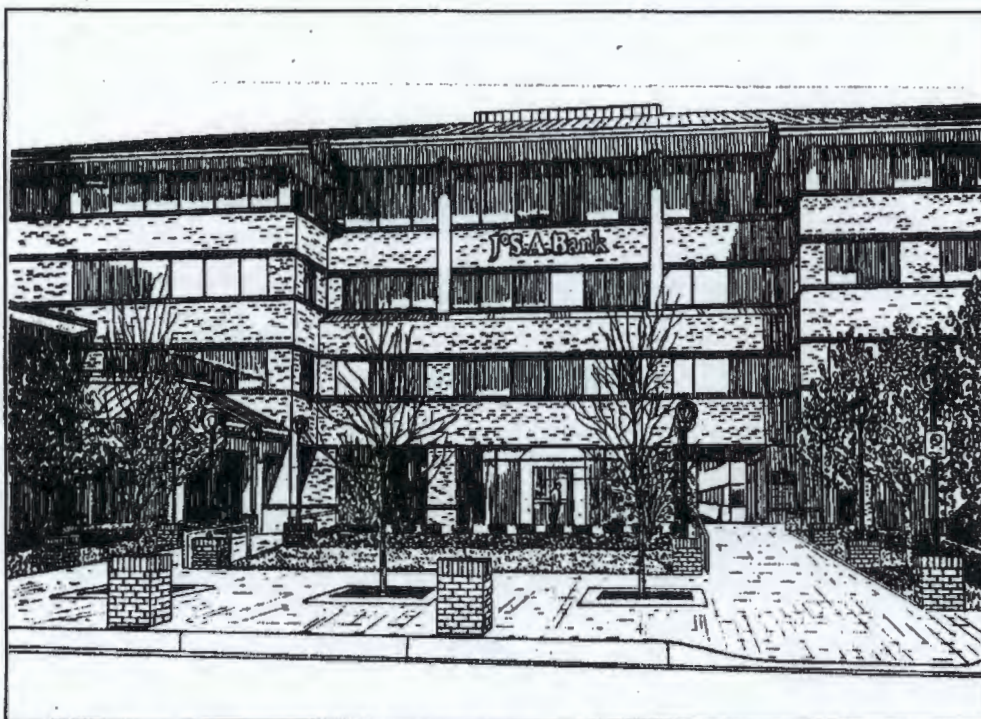
Scale:

Buildings should relate to surrounding development by designing tapering heights and stepbacks, repeating established patterns and modules and siting the building with similar setbacks.

Building Features

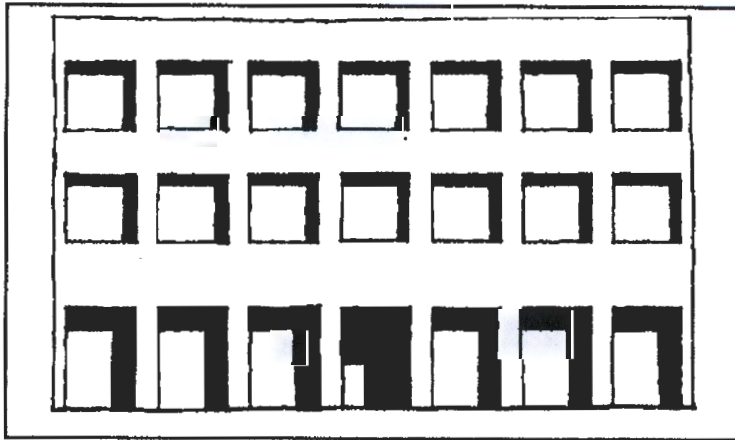


The scale of the building is reduced by the repetition of patterns and modules at each bay.

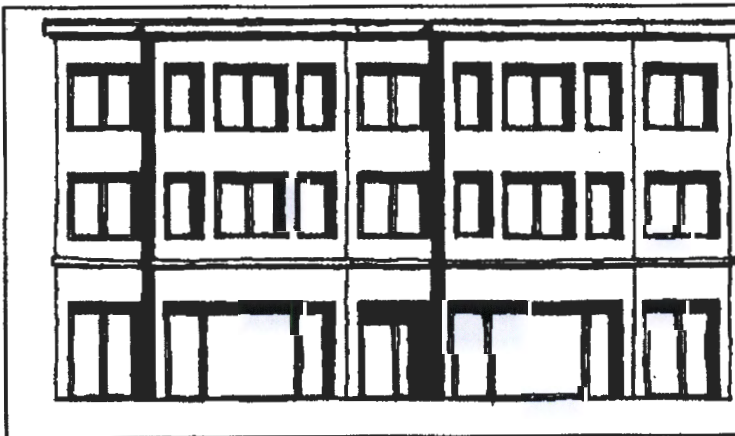


The roof is an integral part of the building design and is used to screen mechanical equipment.

Building Features



The limited articulation of this building mass provides minimal visual interest.



Vary and articulate the building elements to dimensionally interrupt the bulk and add visual interest.

Encourage intriguing design character through the creative use of materials and design details. Building elements create focal points and establish hierarchy.

Pattern:

Vary the window and wall relationship to reflect existing patterns prevalent within the community.

Detail:

The architectural character and stylistic features should be derived from examples of surrounding development and regional patterns.

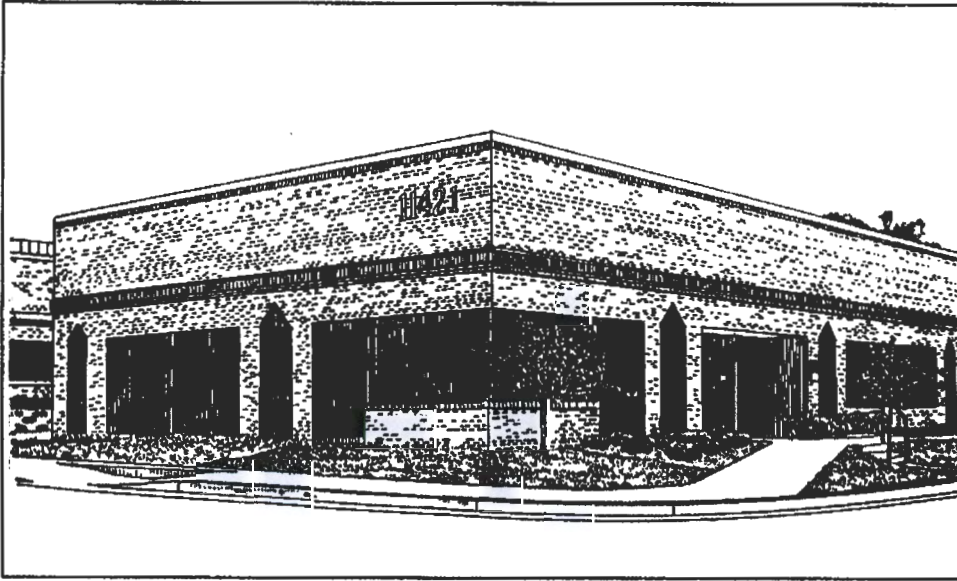
The building entrance, base and window pattern are opportunities for special detail and accent.

Roof:

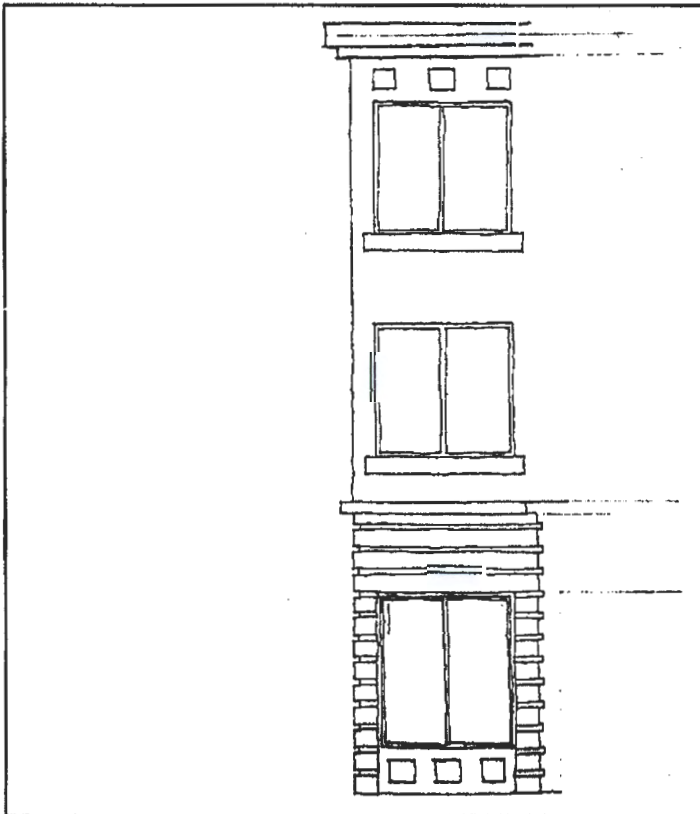
The roof treatment is an integral part of the building design and the design should incorporate the style and pitch of roofs found in the surrounding community.

Screen rooftop mechanical equipment or locate the equipment so that it is not visible.

Building Features

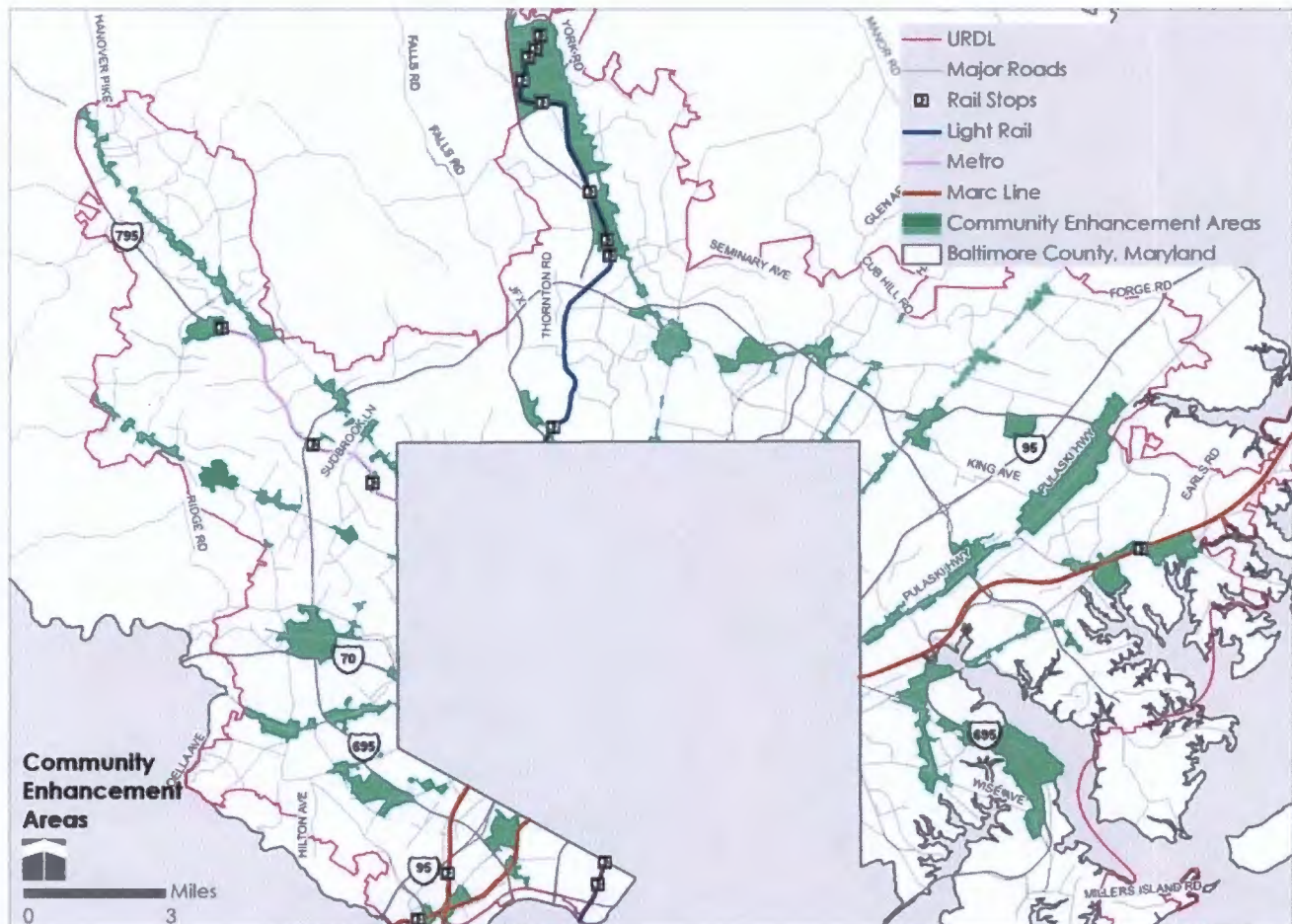


The wall and window relationships are varied.



The stylistic features of a building add detail and establish hierarchy.

Map 6: Community Enhancement Areas



Community Enhancement Areas

Community Enhancement Areas (CEAs) are areas suitable for sustainable redevelopments that are compact, mixed-use, and walkable (Map 6). An area with mixed-use buildings containing retail and/or office use on the lower floors and residential units above attracts new investment, provides a vibrant atmosphere, and offers diversity of housing. Environmental Site Design and conversion of existing impervious surfaces to green spaces such as parks,

greenways and public squares enhances the social and cultural life of the neighborhood and improves quality of stormwater runoff. These compact, mixed-use walkable communities have excellent, sustainable design, using the latest technologies in energy savings and environmental protection, and will focus on walkability and pedestrian access.

Site Selection

The ideal locations for CEAs are sites that exist within, or can extend traditional town centers. Other viable alternatives include underused or undervalued areas. Various sites in the County have been identified for redevelopment as sustainable communities (Map 6). Criteria used to determine potential CEAs include the following: strong local support, good multi-modal access (especially near existing or proposed transit systems), potential for walkable and sustainable design, ability to complement adjacent land uses, existing adequate public services and facilities, and limited environmental constraints.

Although the areas identified may be suitable for redevelopment, the designation does not mean that CEAs will necessarily be established on these sites, and in these areas, development will occur in accordance with the current zoning. Furthermore, other tracts outside of these CEAs are still eligible for redevelopment opportunities. The design of a particular redevelopment proposal is very site-specific: that is, what may work on one parcel, or in a certain area, might be totally inappropriate for another site, or a different area in the County.

Compact

To accommodate population and employment growth while using less land area, it is necessary that developments become more compact. There is a segment of our population that desires to live in these types of denser communities, due to the inherent benefits of being able to take available public transportation or to easily walk to work, shops, and

other destinations. Younger professionals with busy careers, and elderly persons more often do not want to spend the time and money it takes to maintain a single home, preferring condominium or apartment living, close to amenities and convenient public transportation.

One major advantage of compact CEAs is that they are increasingly self-sustaining places to live, work, study, shop, and recreate. Design provides a wide range of building types and sizes, with the maximum heights of buildings closer to the main roads, transitioning toward the styles and proportions of the surrounding residential neighborhoods.

Mixed-Use

Mixed-use in a CEA refers to an area that contains a variety of different uses. Offices, retail, and other types of commercial businesses are combined with residences, institutional and government uses, and civic spaces in the same building and/or development complex. Plazas, squares, greens and playgrounds, are also merged in the project, with important functional interrelationships integrated by attractive and coherent physical design. The site and structures are designed to include services and opportunities of interest to all ages from senior citizens to the very young. By consolidating these many varied uses in CEAs, land use can be reduced to achieve the compactness and walkability of sustainable, mixed-use neighborhoods. When complementary uses are developed in proximity to each other, it contributes to a much more interesting and attractive walkable environment. The new mixed-use development must also be accessible to adjacent neighborhoods by safe, convenient multimodal pathways. The mixed-use CEA may become the center of the larger community including adjacent neighborhoods, and present a new sense of place.

Mixed-use redevelopment brings different complexity and costs than greenfield development. Often, it is difficult to assemble small parcels into sites large enough to achieve revitalization goals. Redeveloping underutilized or vacant properties with compact mixed-use walkable sustainable communities remains the most viable, cost-effective option. CEAs will help revitalize our older neighborhoods, accommodate new





growth in a well-planned, efficient manner, and aid in protecting and restoring our natural water resources.

Walkability

Walkable design is very important to these developments. Redevelopment with more compact communities, increased road connectivity including shorter blocks and larger sidewalks, will allow residents to walk to work, school, shopping and other destinations. Buildings should align with each other along the streets with parking behind them to maximize the commercial frontage on the street. Roads must be carefully designed to allow safety for walkers, along with various transportation modes, such as bicycles, transit vehicles, and automobiles. Walkable connections to the existing nearby communities help create a healthier, more vibrant, pedestrian-friendly place to live. It must be easy and inviting for residents to walk to their destinations. If safe and convenient, all residents, from children to senior citizens, will enjoy the many health benefits of walking.

Transportation

Potential redevelopment sites located close to existing or proposed public transit systems are the highest priority (Map 7). Transit Oriented Developments (TODs) present several benefits towards achieving a sustainable society. Residents can easily use the transit to go to many destinations outside of their neighborhoods. Mass transit options should be available and convenient to these areas and must

provide a safe, convenient, and comfortable means of transportation for residents to make longer commutes. Another benefit of mass transit availability is the resultant decrease in ownership of vehicles due to less need for multiple cars per household. Fewer vehicles on the roads means that streets can be more walkable, transportation costs will be reduced, and there will be less pollution. However, all modes of transportation must be included, with strong emphasis and the highest priority on walkability, bicycling, and mass transit.

Public Infrastructure and Services

The ideal areas for redevelopment include adequate public water, sewer, roads, schools and other public facilities and services. Items to be analyzed in determining suitability of an area to accommodate population growth are the adequacy of existing and proposed infrastructure. When there is not enough water and sewer capacity, or schools and roads are overcrowded, corrections must be made, or other opportunity sites chosen. In some cases, redevelopment may bring new or improved services to the area. Redevelopment should not overburden infrastructure.

Providing appropriate open spaces and recreational activities for new residents living within these areas and visitors is critical. Appropriate open spaces may consist of areas for gathering, meeting, and relaxing. The County will develop new standards suitable for these types of developments, some of which may consist of public squares and some which may include private facilities for more active recreation.

Environmental Constraints

One of the main reasons to redevelop in CEAs is to improve the environment. Determining what the existing environmental constraints are on a property is undertaken at the beginning of the development process. Often, streams, wetlands, floodplains, steep slopes or other natural features are located on the site and must be protected.

Baltimore County is now approaching build-out, which means that the more easily developed land



**Division III
Section D**

OFFICE COMPATIBILITY

Introduction	153
RO Compatibility	156
RO Urban Site	156
RO Suburban Site	160
O-1/O-2 Compatibility	164
OT Compatibility	168

DEFINITION

Design **compatibility** is a similar relationship between the surrounding neighborhood's dominant design elements—site, landscape, and architectural features—and a proposed office development.

INTENT

Development proposals will be evaluated according to each objective. However, variations from the objectives may be considered when compensated by design improvements which contribute to and benefit the overall environment. The examples are illustrative and not regulatory. Creative design solutions and alternatives are encouraged.

OBJECTIVES (Sec. 32-4-402.(d))

- 1. Context:** "The arrangement and orientation of the proposed buildings and site improvements are patterned in a similar manner to those in the neighborhood."
- 2. Building Placement:** "The building and parking layouts reinforce existing building and streetscape patterns and assure that the placement of buildings and parking lots have no adverse impact on the neighborhood."
- 3. Site Circulation:** "The proposed streets are connected with the existing neighborhood road network wherever possible and the proposed sidewalks are located to support the functional patterns of the neighborhood."
- 4. Open Space:** "The open spaces of the proposed development reinforce the open space patterns of the neighborhood in form and siting and complement existing open space systems."

The first six objectives are illustrated with site plans for each zone.

5. Site Features: "Locally significant features of the site such as distinctive buildings or vistas are integrated into the site design."

6. Landscaping: "The proposed landscape design complements the neighborhood's landscape patterns and reinforces its functional qualities."

7. Accessory Structures: "The exterior signs, site lighting and accessory structures support a uniform architectural theme and present a harmonious visual relationship with the surrounding neighborhood."

8. Building Detail: "The scale, proportions, massing and detailing of the proposed buildings are in proportion to those existing in the neighborhood."

NOTE: Objectives 7 and 8 are more challenging considerations and more difficult to succinctly illustrate. Scale, proportion and massing are key to proposing an acceptable solution. There is an understanding that the floor plate area and the floor to floor dimensions for commercial office development differs from typical single family detached construction. If such a site is adjacent to a residential neighborhood, then the main concern is with the reduction of apparent size and bulk. The architectural treatment of the facades can be manipulated to reduce the overall bulk. The accessory features of the site should be designed to blend in with the overall design theme.

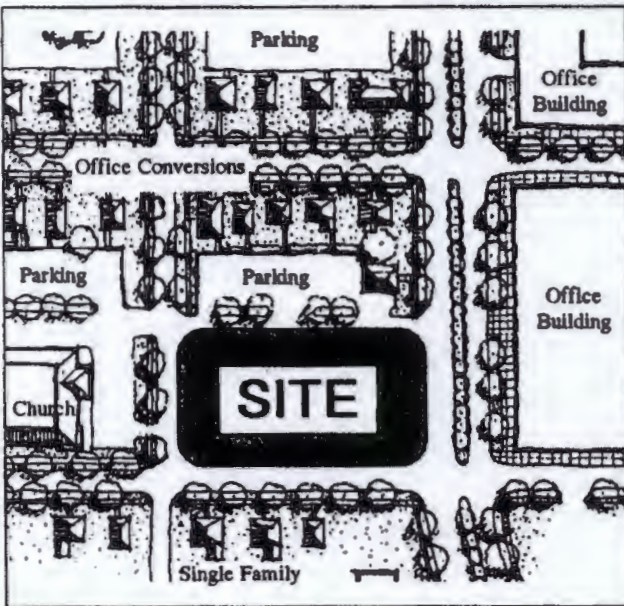
The last two objectives are illustrated with site sections for each zone.

Introduction

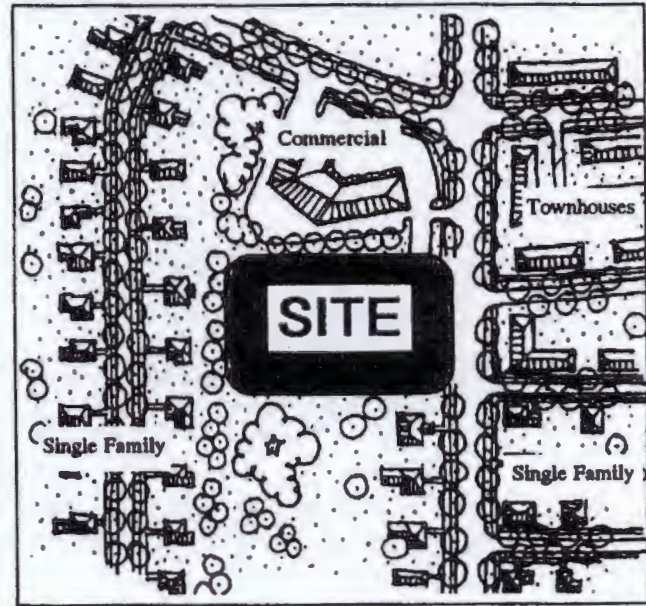
LOCATIONS and CONTEXT for each SITE EXAMPLE

Each office site is located along a major arterial adjacent to commercial uses with neighborhoods to the rear and side of each example. Generally, each context is similar to many sites zoned for office uses in Baltimore County. Each site and design is hypothetical; any resemblance to an existing or proposed development is coincidence.

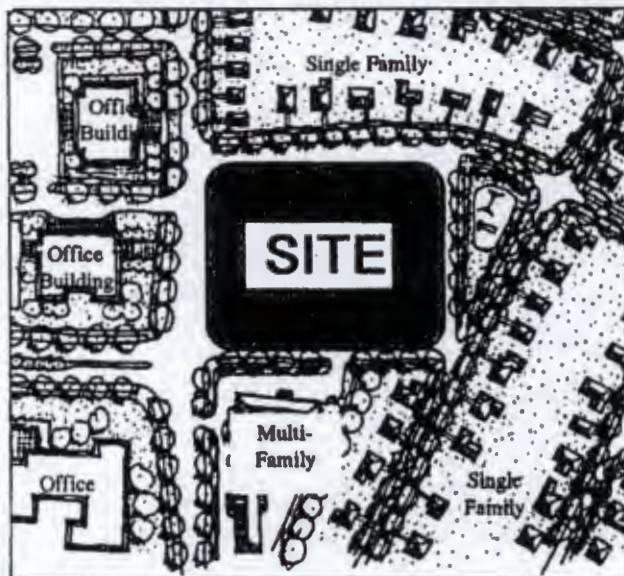
• RO 'URBAN' SITE



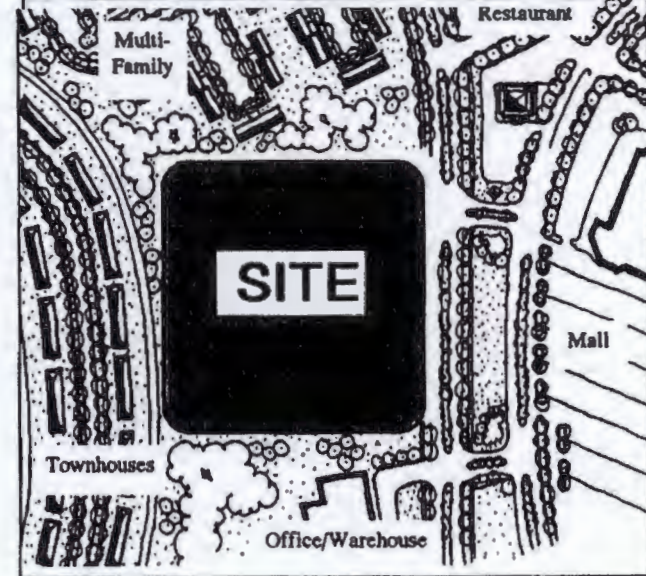
• RO 'SUBURBAN' SITE



• O-1/O-2 SITE



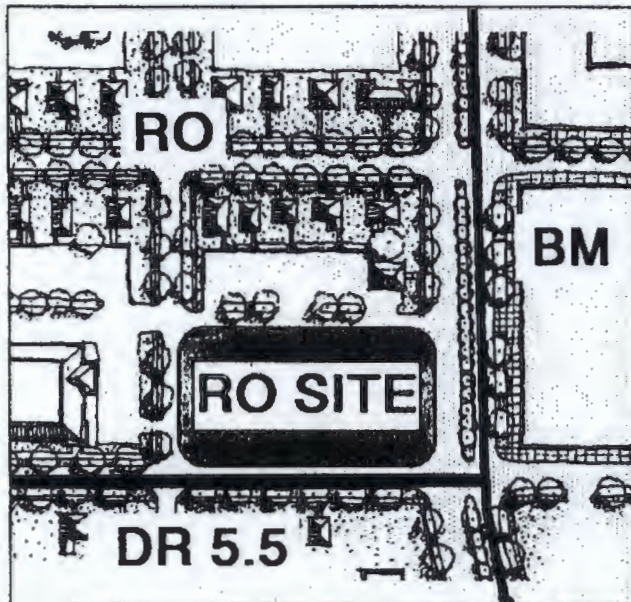
• OT SITE



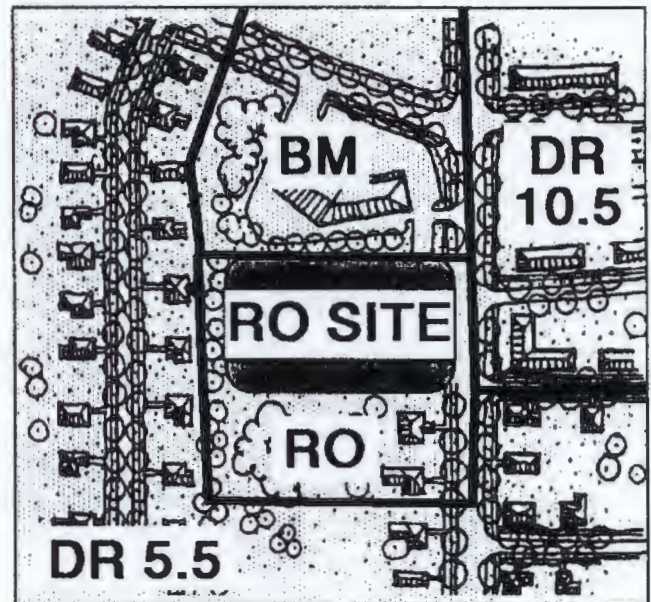
ZONING CONTEXT for each SITE EXAMPLE

Each site is located adjacent to a Density Residential zone and a Business and/or Office zone. Generally, each zoning pattern is consistent with many sites zoned for office uses in Baltimore County.

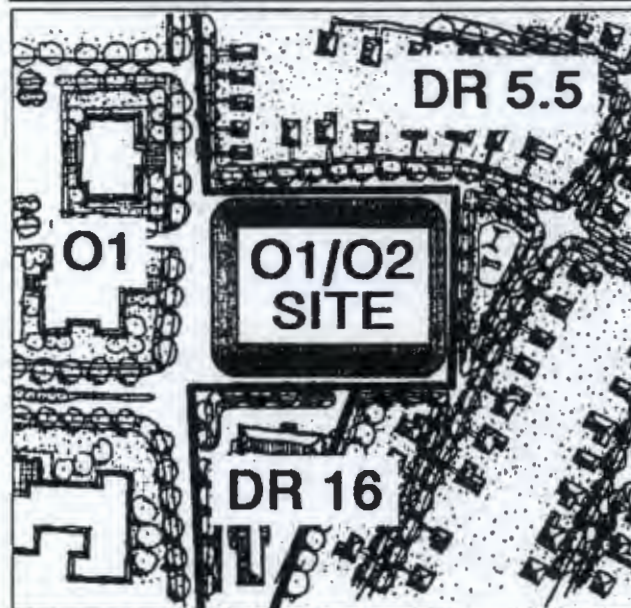
- **RO 'URBAN' SITE**



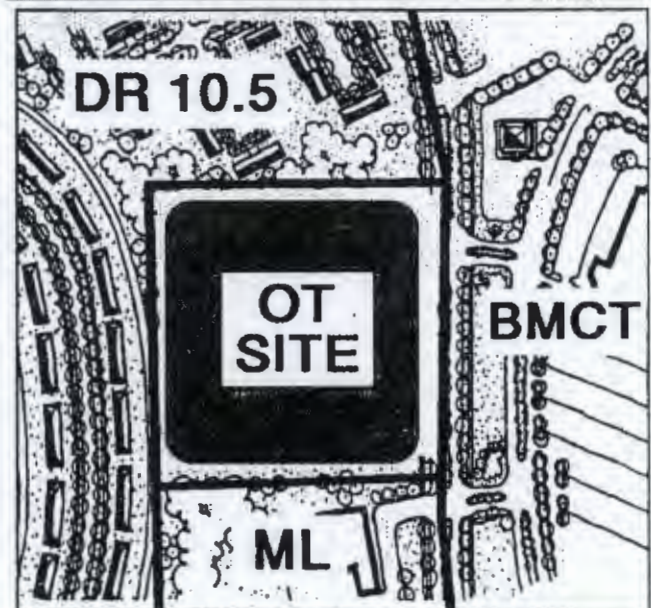
- **RO 'SUBURBAN' SITE**



- **O-1/O-2 SITE**



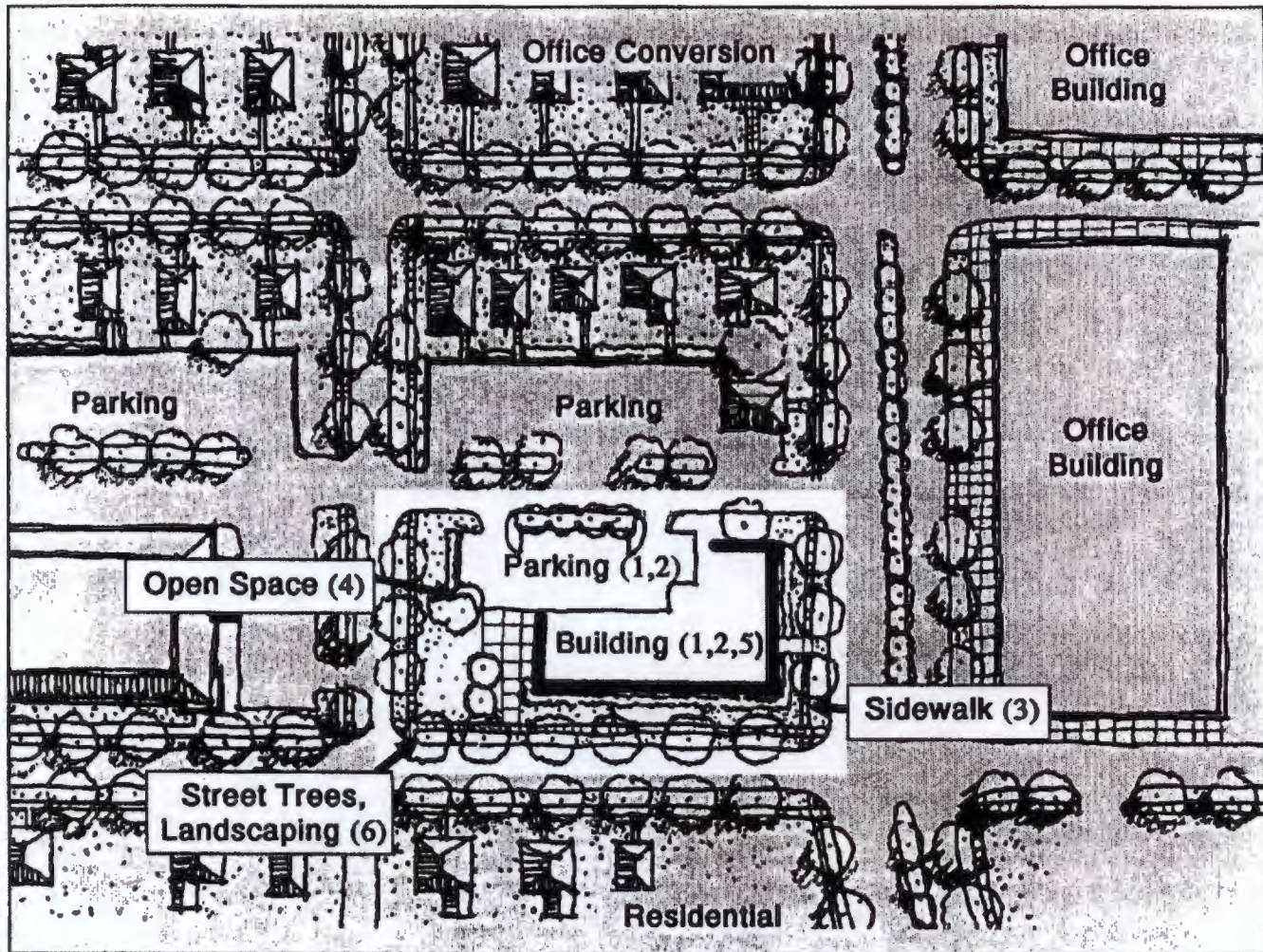
- **OT SITE**



RO Compatibility

• RO 'URBAN' SITE

COMPATIBLE



1. The building location and entry, parking, open space, and access points are patterned after those in the surrounding blocks.

2. The building is located near the street and faces the front of the site and the major arterial, while the parking area is near the alley with access along the rear yard. This pattern is repeated on the adjacent blocks.

3. The street pattern remains unchanged; vehicular access is maintained along the alley so that no curb cut fronts a single family house. The sidewalks ring the site as is found on the adjacent blocks.

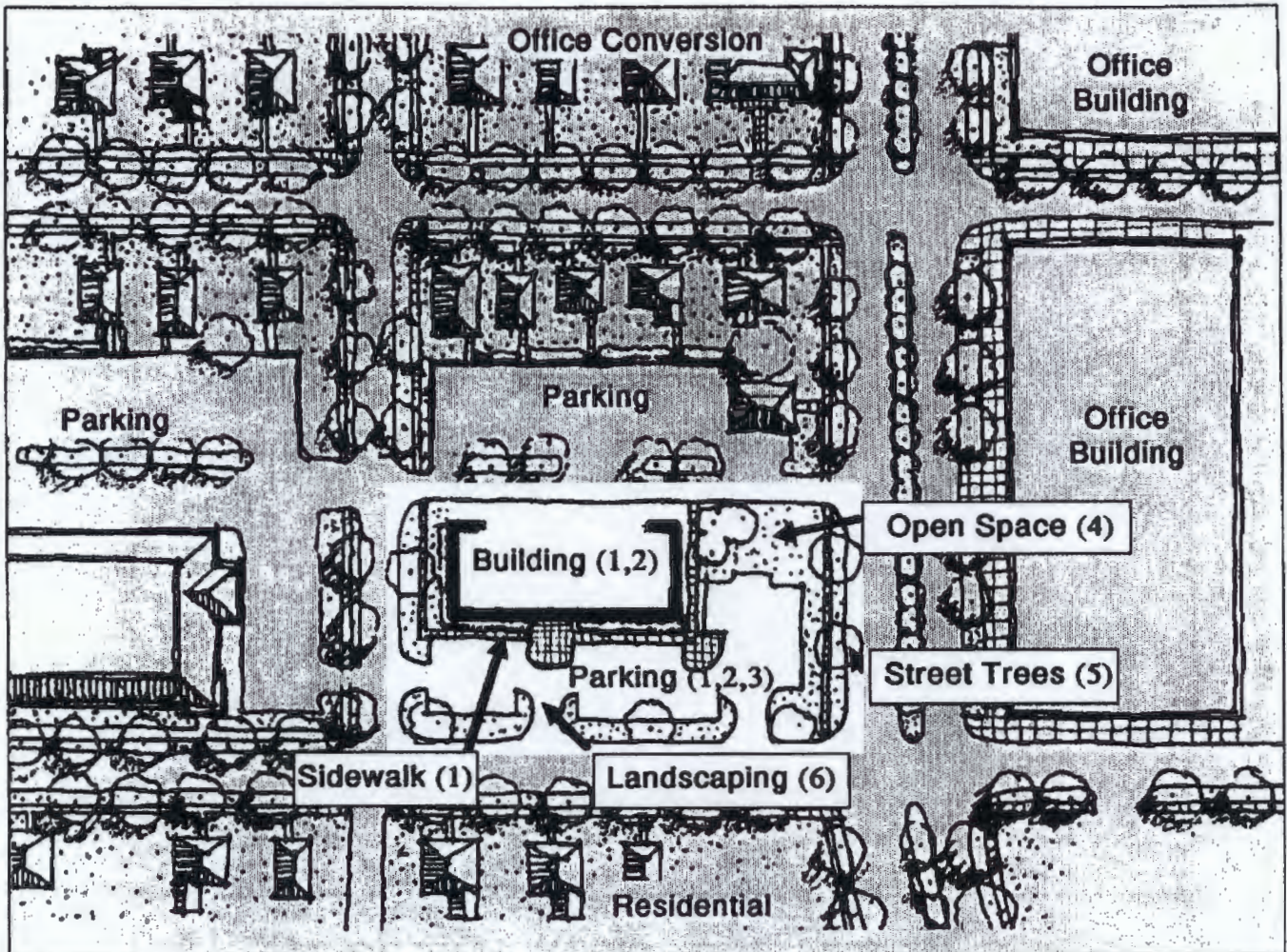
4. The open space is accessible to the office building at the front and the residential neighborhood at the side of the site. The open space takes advantage of a corner to screen the parking area and buffer the building.

5. The significant features of this site, the alley, and the urban context are maintained and utilized. The building location reinforces the street wall along the major arterial and along the front of the site with a similar front yard setback as the single family houses.

6. The street trees reinforce the neighborhoods principal landscape design component. The landscaping in the front yard reinforces the landscaping across the street.

• RO 'URBAN' SITE

NOT COMPATIBLE



1. The building, parking and sidewalk locations are arranged in a dissimilar order from the other sites in the neighborhood.

2. The parking area located in front of the building directly faces the neighborhood. The building, located at the rear of the site, does not maintain a similar setback to the other buildings on the surrounding blocks.

3. The proposed development does change the existing street hierarchy. The parking area has all of its access locations along the principal street frontage instead of at the rear of the site along the alley.

4. The available open space at the side and rear yards is isolated from the building entrance and the neighborhood.

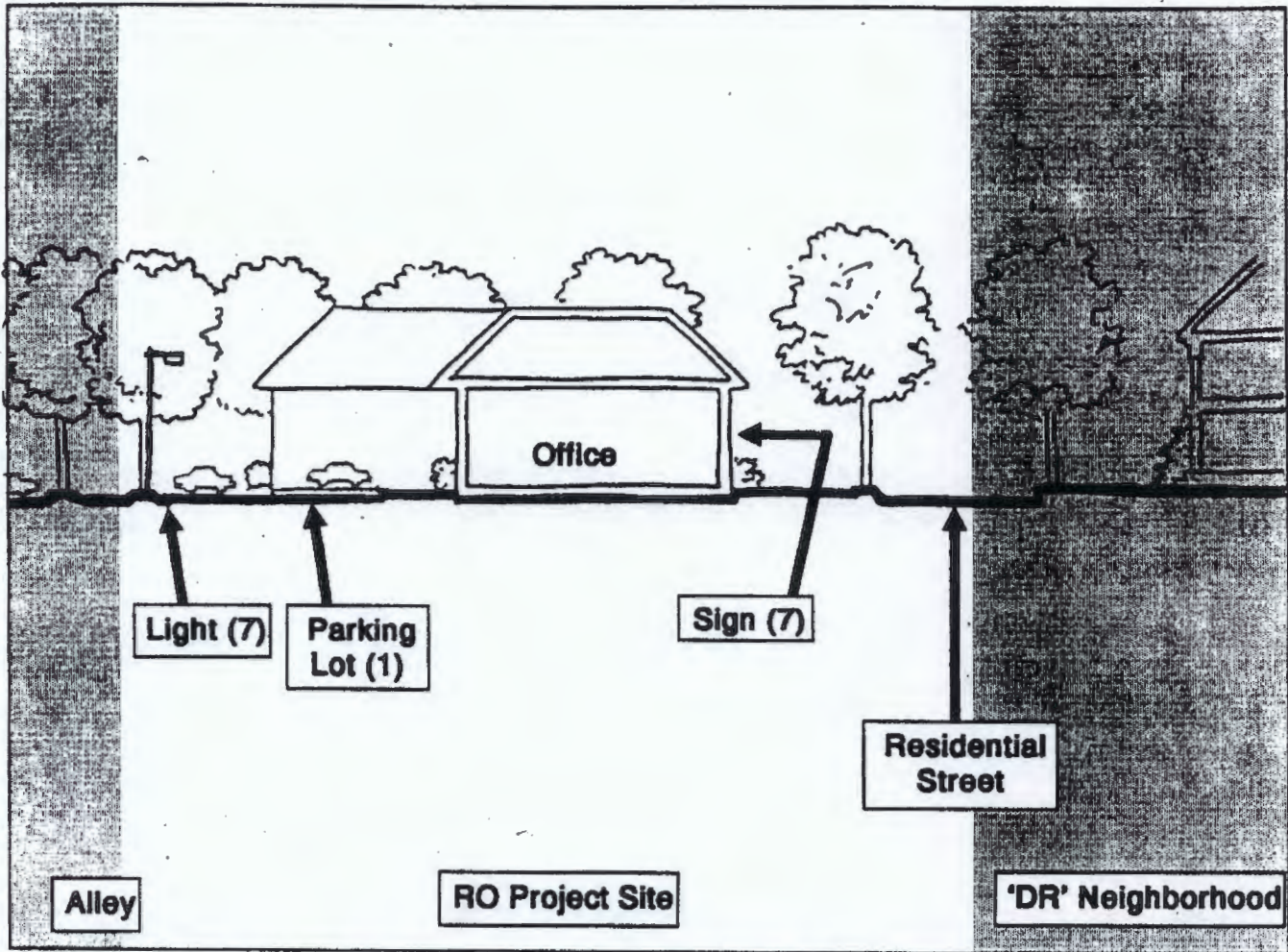
5. The significant features of this site, the alley and the urban context, are not utilized nor reinforced in this site design.

6. The few street trees do not reinforce the street tree pattern of the neighborhood. The parking area in the front yard does not allow for landscaping similar to the landscaped front yards of the adjacent buildings.

RO Compatibility

• RO 'URBAN' SITE

COMPATIBLE



7. The identification sign for this building is wall-mounted. No freestanding signs are placed along the street, across from the single family houses.

Site lighting for the parking lot is at the rear of the site—not facing the adjacent residential uses. The height of the light standard does not exceed the top of the roof line.

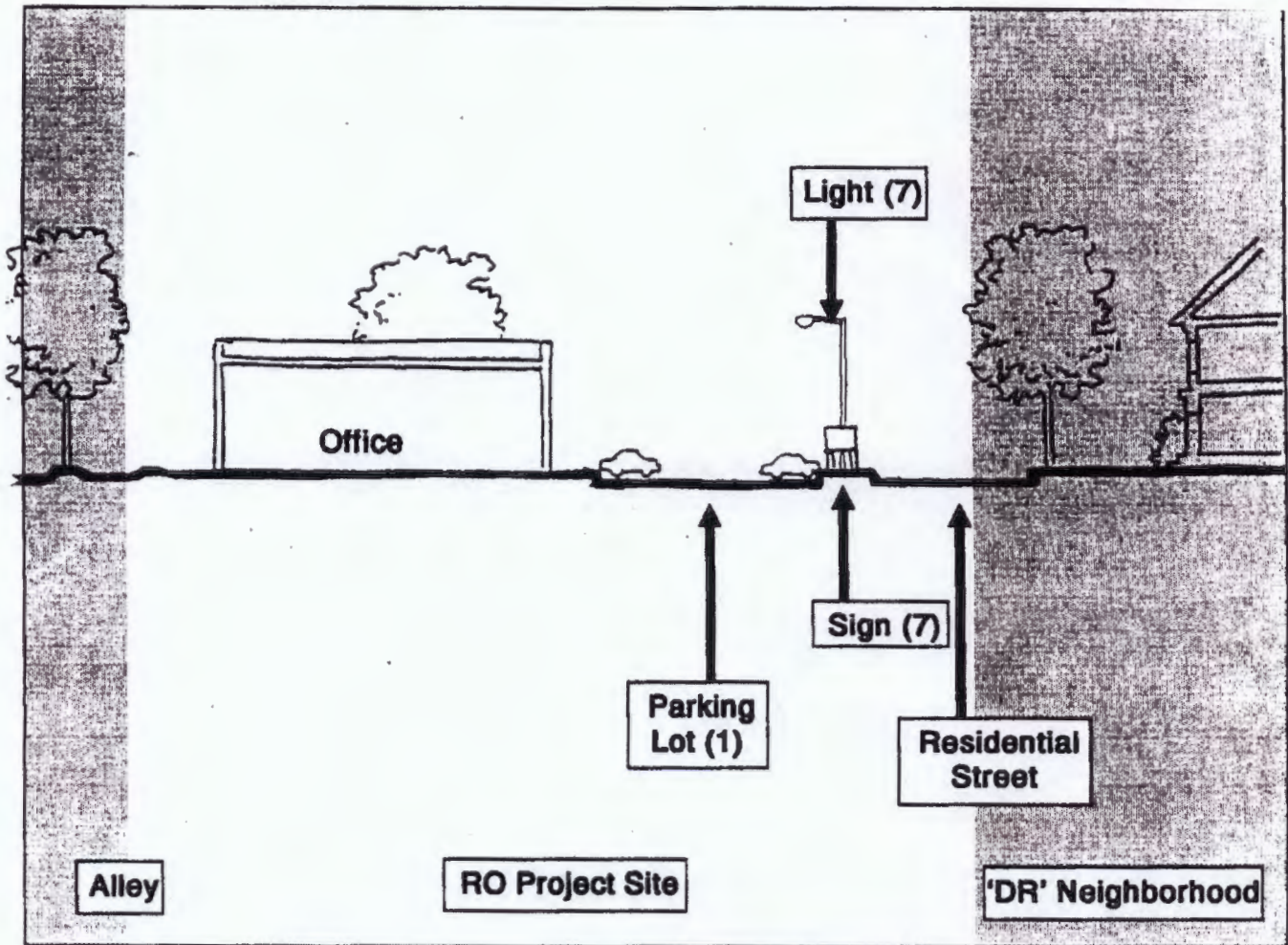
8. The building's one story does not exceed the height of the two-story houses and the design of the building includes a hip roof.

Although not illustrated, if all the adjacent houses have brick facades, the use of brick as part of the building design is strongly encouraged so that the design is more in "character" with the neighborhood.

As a general rule, repeating similar details or materials is advantageous if the overall neighborhood attractively uses a consistent design detail or building material, for example: a roof overhang or windows with panes.

• RO 'URBAN' SITE

NOT COMPATIBLE



7. The freestanding sign along the right-of-way that is shared with the houses is not desirable for achieving compatibility.

The light standard in the parking area faces away from the neighborhood, however, a shorter standard may be more appropriate.

Any accessory structure, such as an enclosure for a trash dumpster, should be located along the alley, out of view from the neighborhood.

8. The roof design is not in keeping with the design treatment of the neighborhood. Even if a pitched roof is not desired, a sloped parapet or detailed cornice along the building perimeter is strongly encouraged for compatibility.

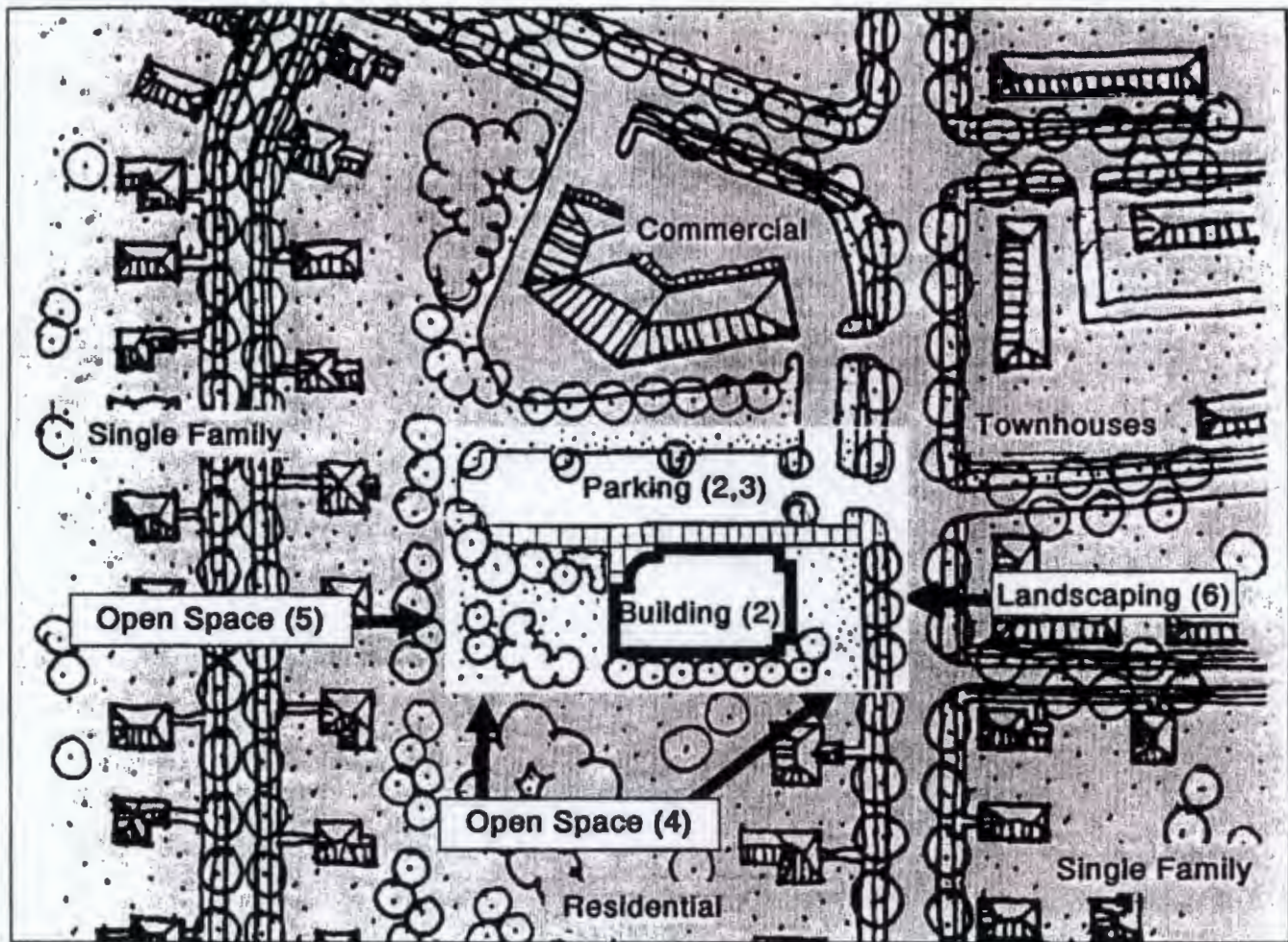
Compatibility can be achieved by use of similar window styles, wall materials, color, and building textures.

As a guideline, reduce the building bulk by avoiding long continuous, uninterrupted facades, particularly when adjacent to detached housing.

RO Compatibility

• RO 'SUBURBAN' SITE

COMPATIBLE



1. The building location, open space, sidewalk, and front yard setback are patterned similar to the development in the surrounding neighborhood.

2. The building is located at the front of the site facing the major arterial as found in the neighborhood and unlike the adjacent commercial structure. The parking lot is screened from the neighborhood by the building and the open space. The parking lot is also connected to the adjacent commercial lot to limit the number of curb cuts along the major arterial.

3. The street pattern remains the same; the proposed site development does not alter the existing vehicular

pattern. The vehicular entry lines up with the existing street across the way.

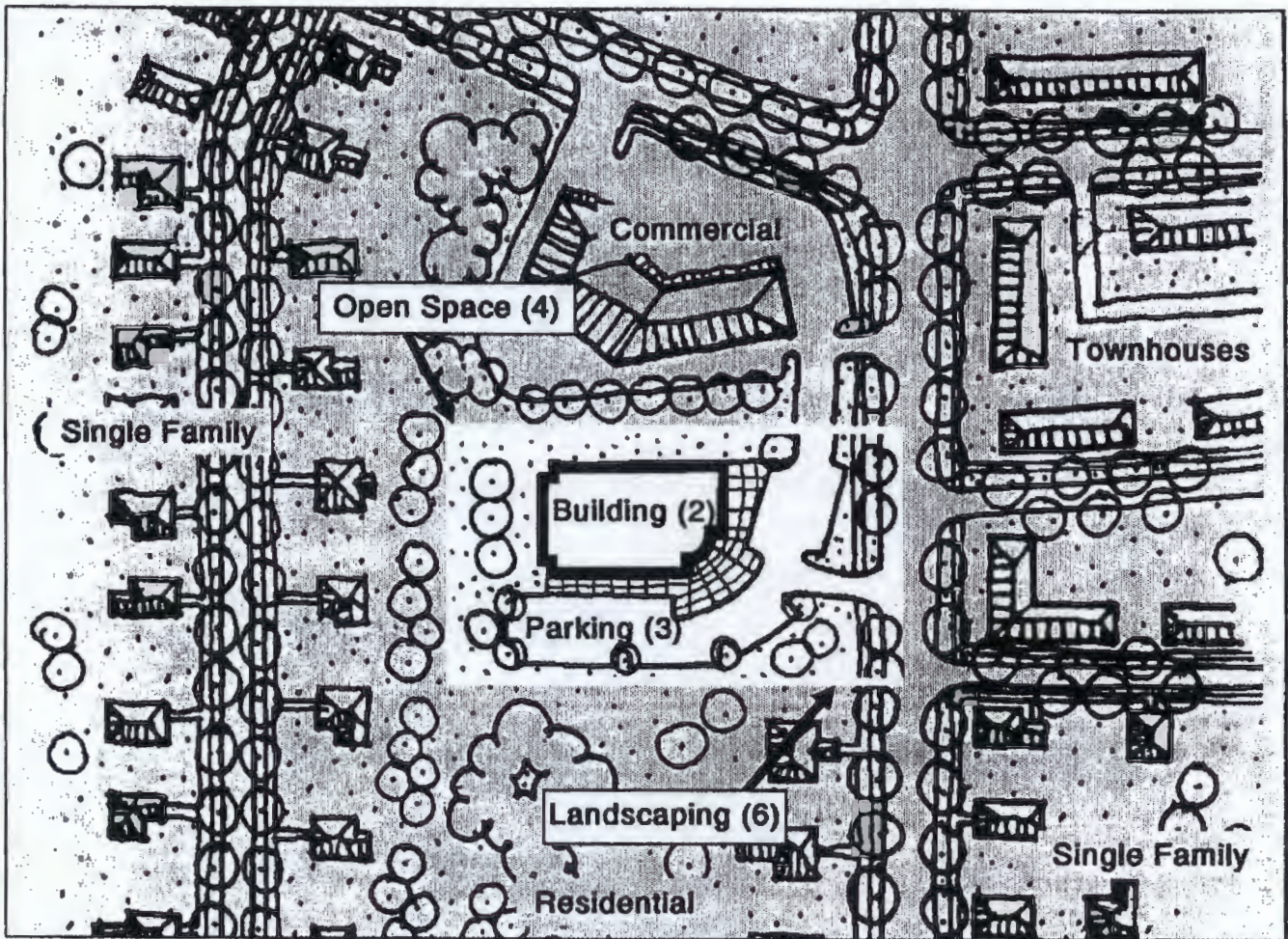
4. The open space is at the rear of the site and becomes part of the overall rear yard open area within the neighborhood.

5. The significant feature of this site, the rear yard open space, is preserved.

6. The front yard is landscaped with street trees as found along the major arterial and the sidewalk connects the neighborhood to the office and commercial sites. The building and parking lot are landscaped to buffer the uses from the neighborhood.

• RO 'SUBURBAN' SITE

NOT COMPATIBLE



1. The building and parking area locations are arranged in a dissimilar order from the existing neighborhood pattern.

2. The building is located in a similar manner as the commercial development which is unrelated to the surrounding neighborhoods. The parking lot design locates all of the spaces in the front yard which disrupts the continuity of the buildings located at the front of the lots along the street.

3. The parking lot is connected to the adjacent site. The street pattern remains essentially the same; however, the one curb cut does not line up with

the street across the way.

4. The open space is located around the perimeter of the site which does not reinforce the significant open space along the rear yards of the adjacent neighborhood.

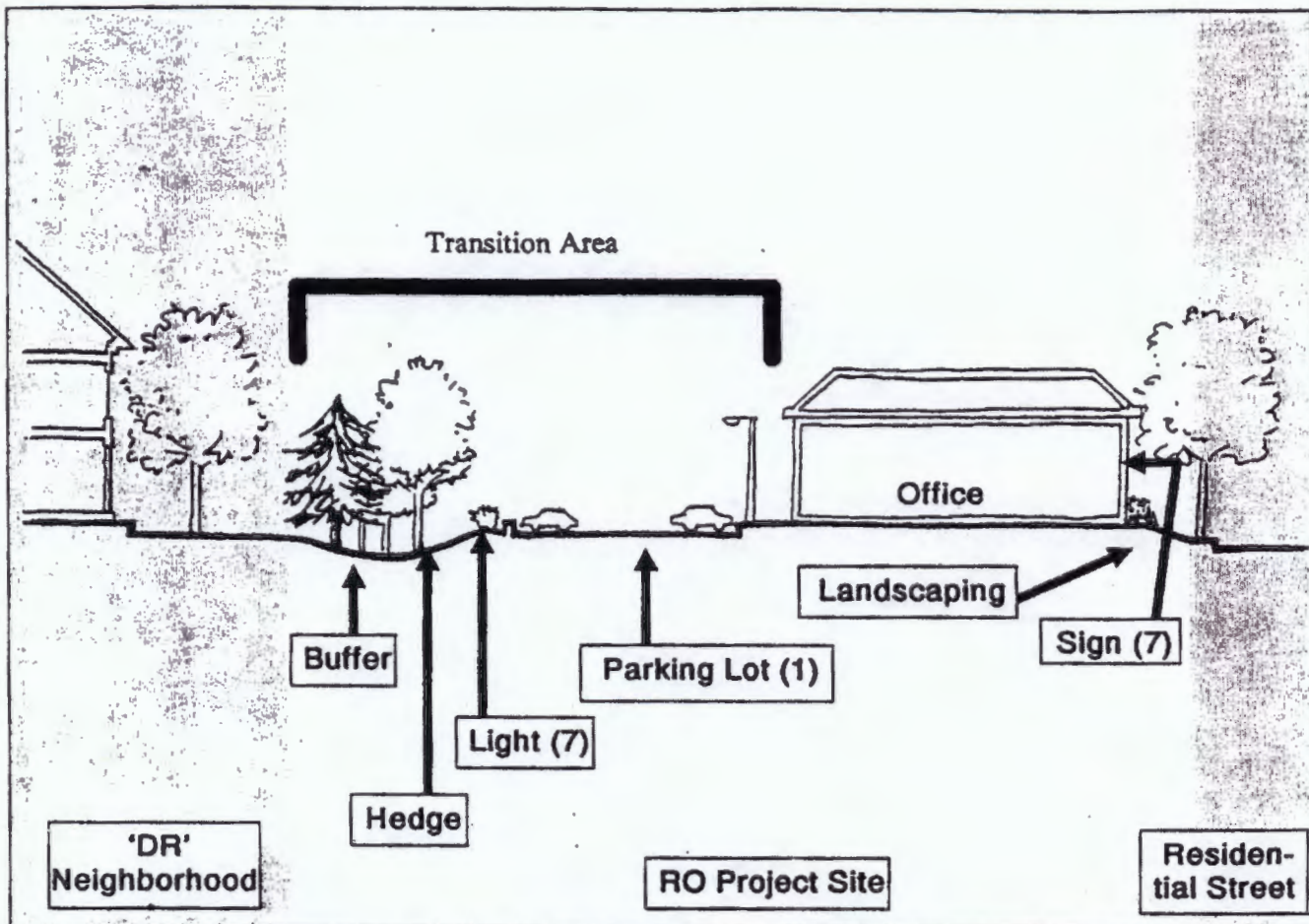
5. The significant feature of this site, the rear yard open space, has been reduced in this scheme.

6. The street trees do maintain the neighborhood pattern, however, additional landscaping would help to buffer the building and parking area from the neighborhood.

RO Compatibility

• RO 'SUBURBAN' SITE

COMPATIBLE



7. A wall-mounted sign is located on the building facade facing the street to identify the project. Free-standing signs are not used on this project site.

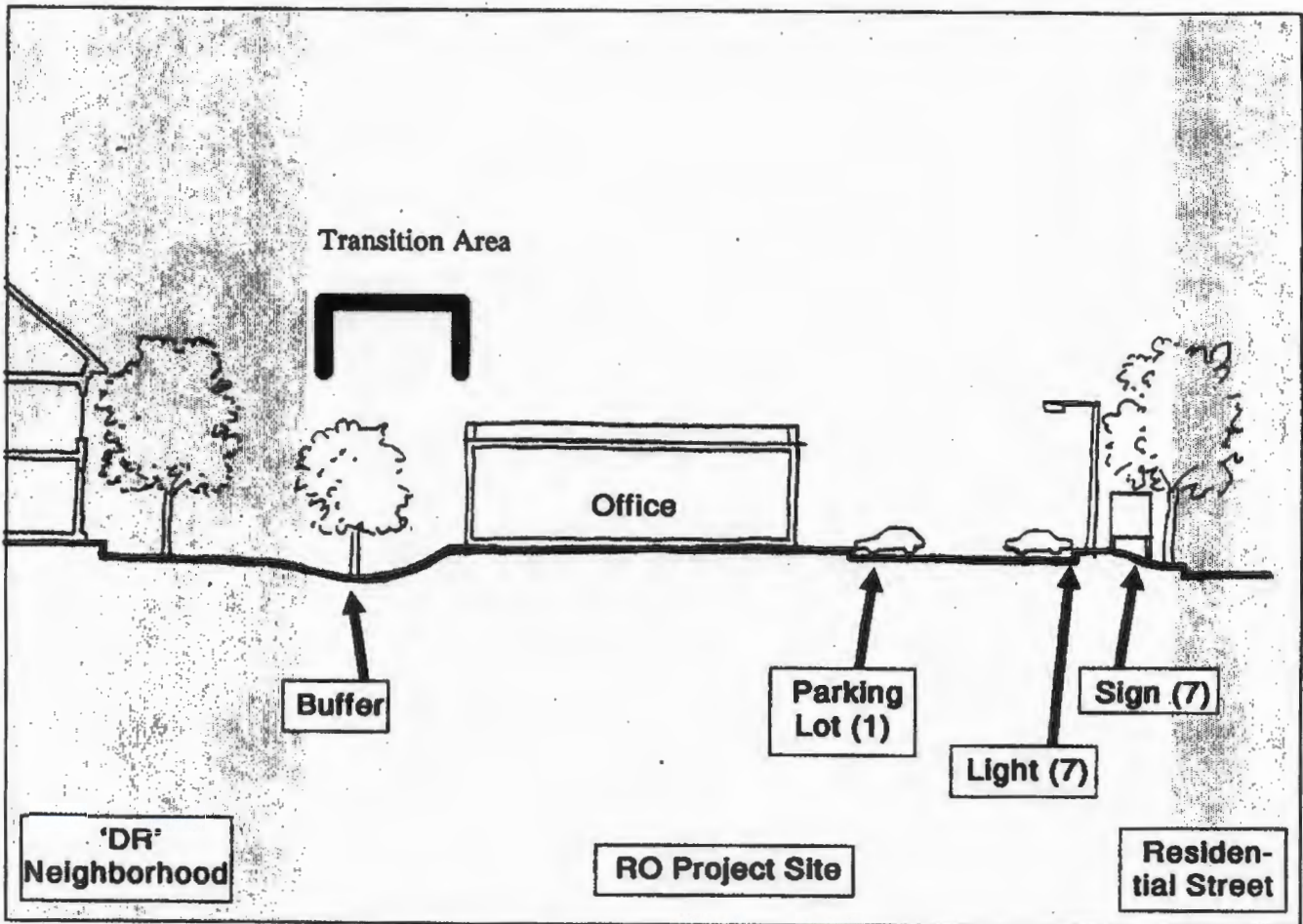
The light standards for the parking lot are located to face the building to avoid glare into the neighborhood.

8. The building scale is visually reduced with the setbacks at the corners and the generous front yard setback. Also, by locating the short side of the building along the street, which is a similar building placement as the adjacent single family detached houses, the placement repeats the pattern previously established.

RO Compatibility

• RO 'SUBURBAN' SITE

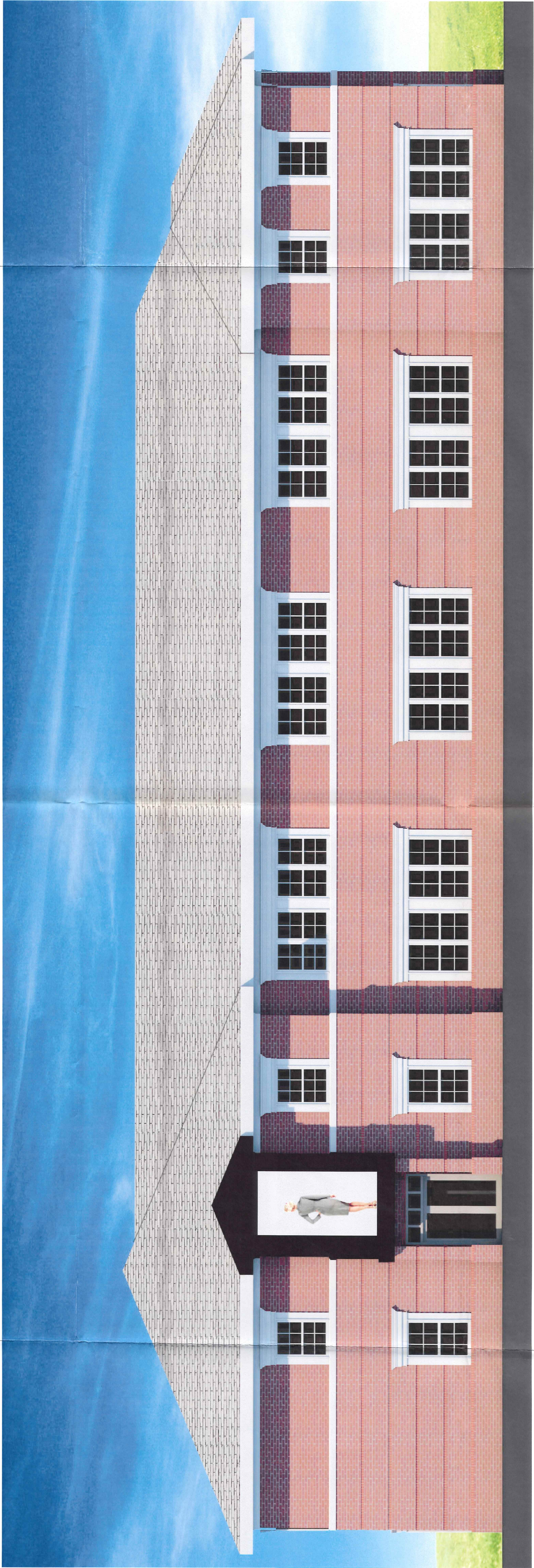
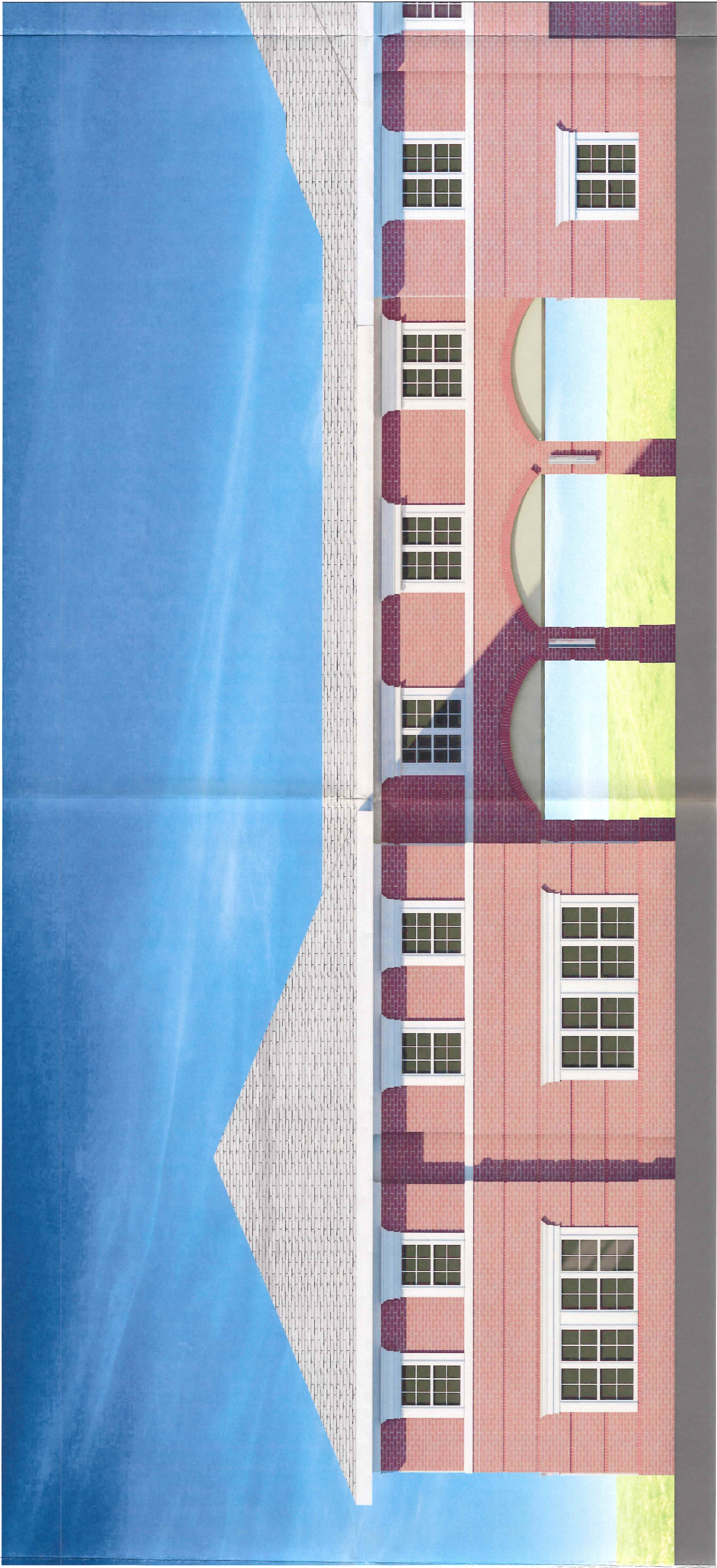
NOT COMPATIBLE



7. The freestanding exterior sign is in view of the adjacent residential uses and townhouses across the street; signage should be limited to the building wall. The parking lot light fixtures should be low level fixtures and located near the building to avoid glare into the neighborhood.

8. The building roof design does not utilize a dominant design detail within the adjacent neighborhoods.

Restraint should be used in the number of different building materials selected for the project. Building materials similar to those in predominant use on the street are encouraged.



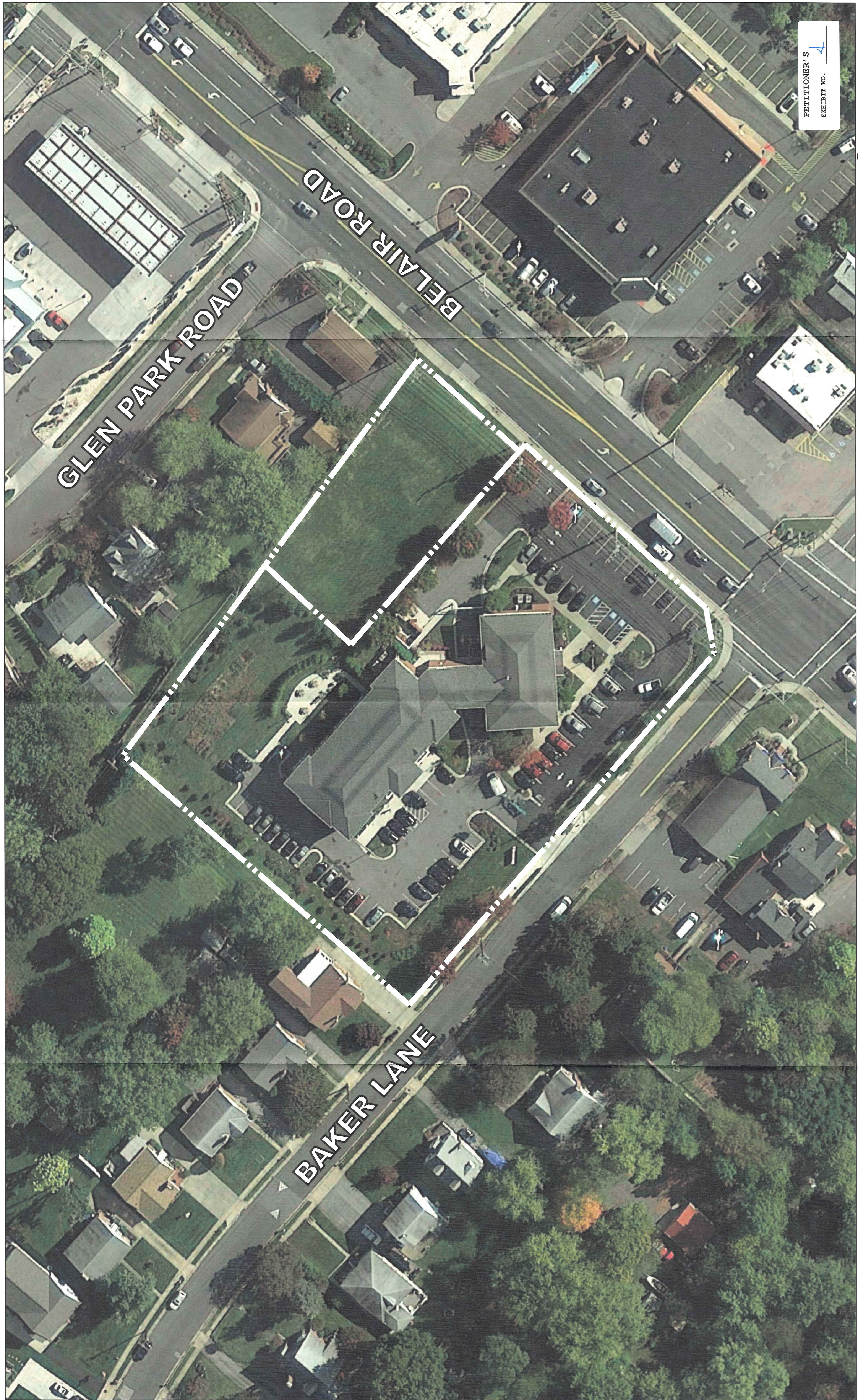
BUILDING ELEVATIONS

HEADQUARTERS ANNEX FOR ROSEDALE FEDERAL SAVINGS & LOAN ASSOCIATION PERRY HALL, MARYLAND

Petitioner
CBA Exhibit
3b

SCALE: N.T.S.

DATE: 9-20-16



GLEN PARK ROAD

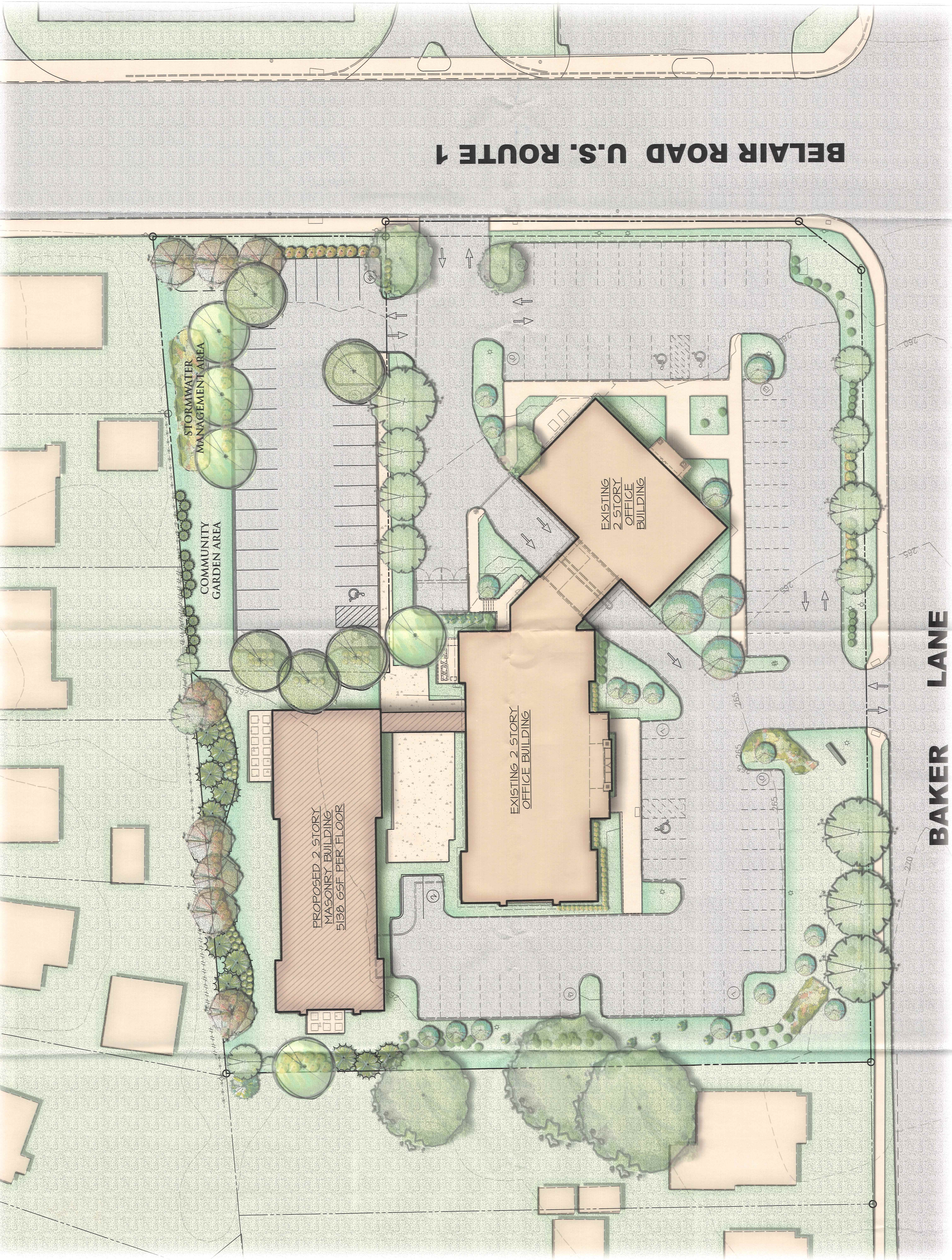
BELAIR ROAD

BAKER LANE

PETITIONER'S
EXHIBIT NO. 1

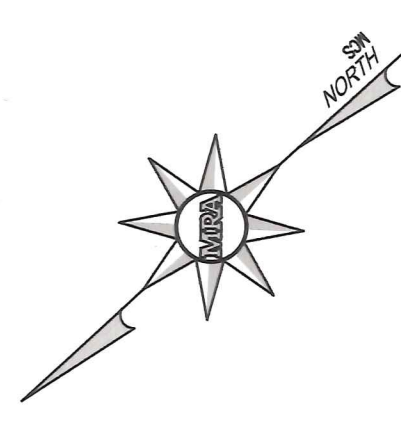




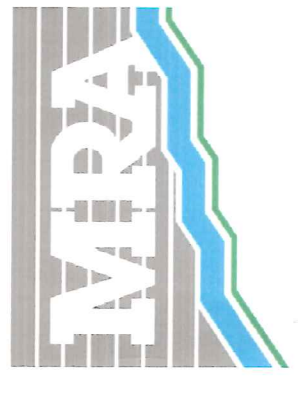


BELAIR ROAD U.S. ROUTE 1

BAKER LANE



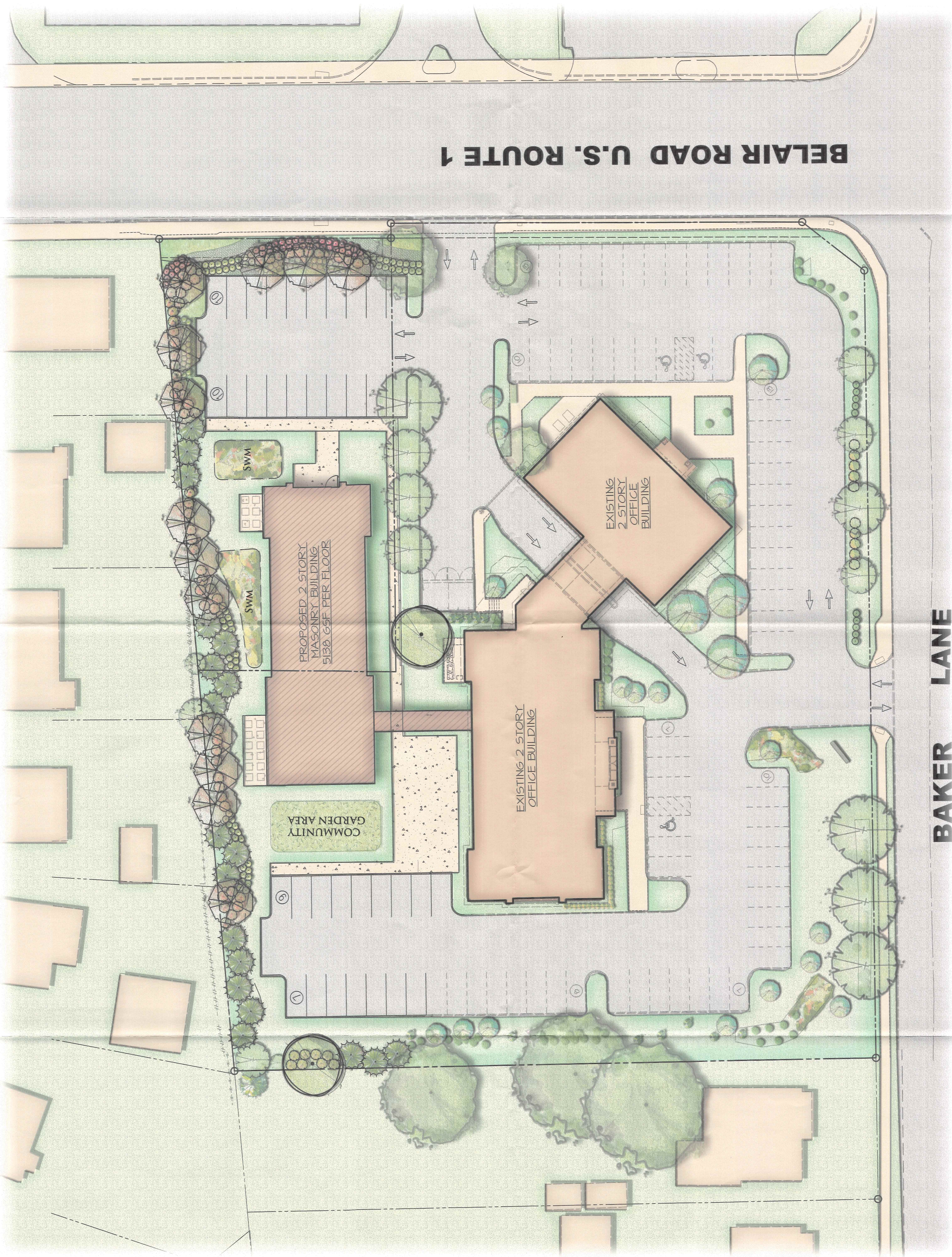
Petitioner
CBA Exhibit
5



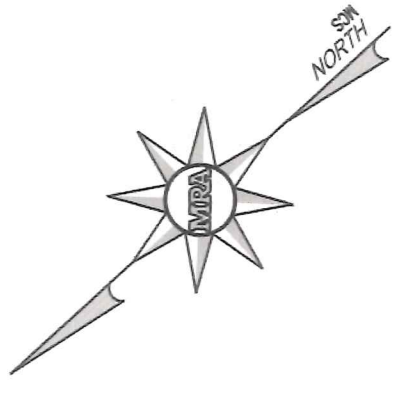
MORRIS & RITCHIE ASSOCIATES, INC.
ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS,
AND LANDSCAPE ARCHITECTS

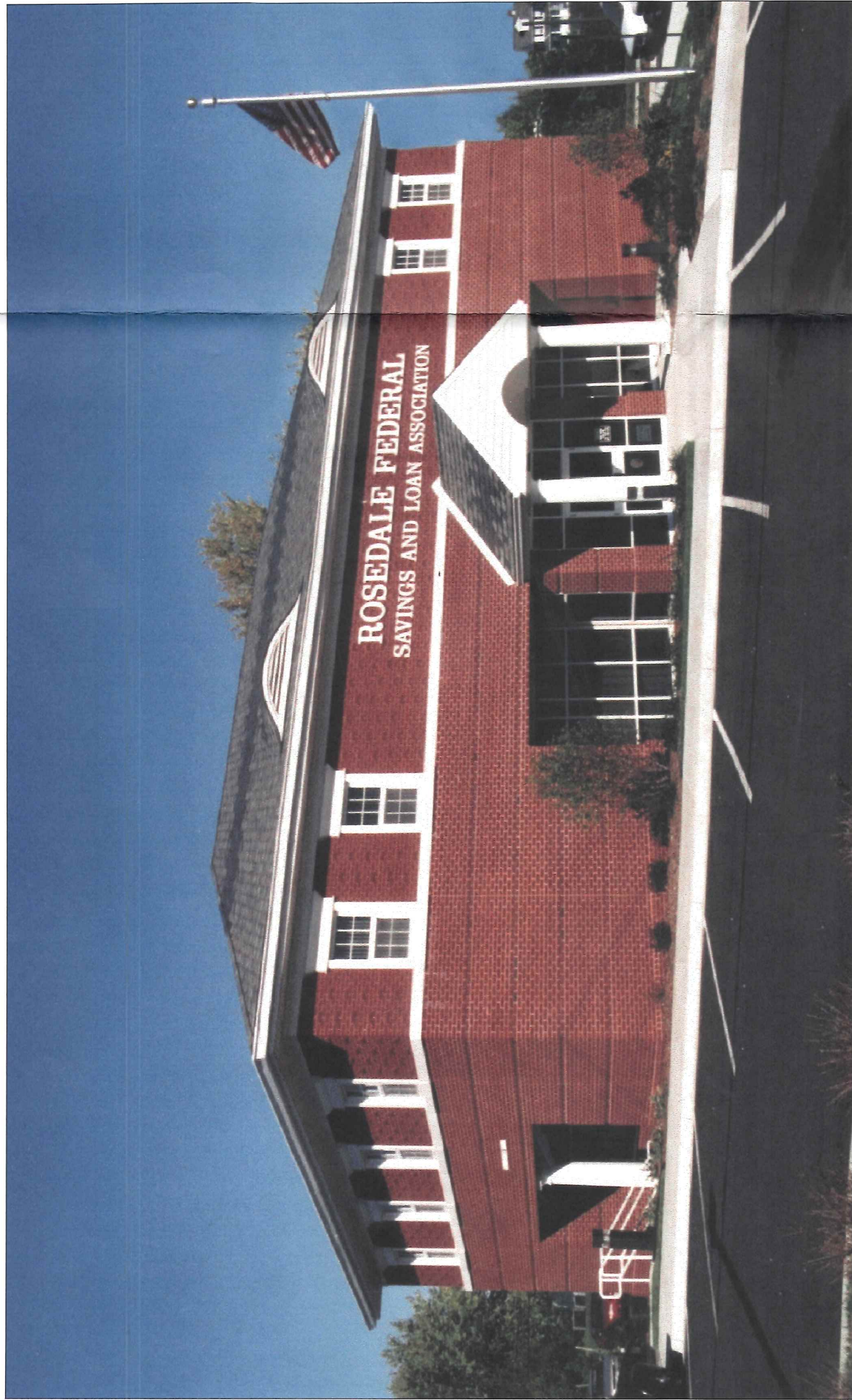
HEADQUARTERS ANNEX FOR ROSEDALE FEDERAL SAVINGS AND LOAN ASSOCIATION
ILLUSTRATIVE SITE PLAN
(SCALE: 1"=20')

PLAN A



Petitioner
CBA Exhibit
6





BRANCH FACILITY



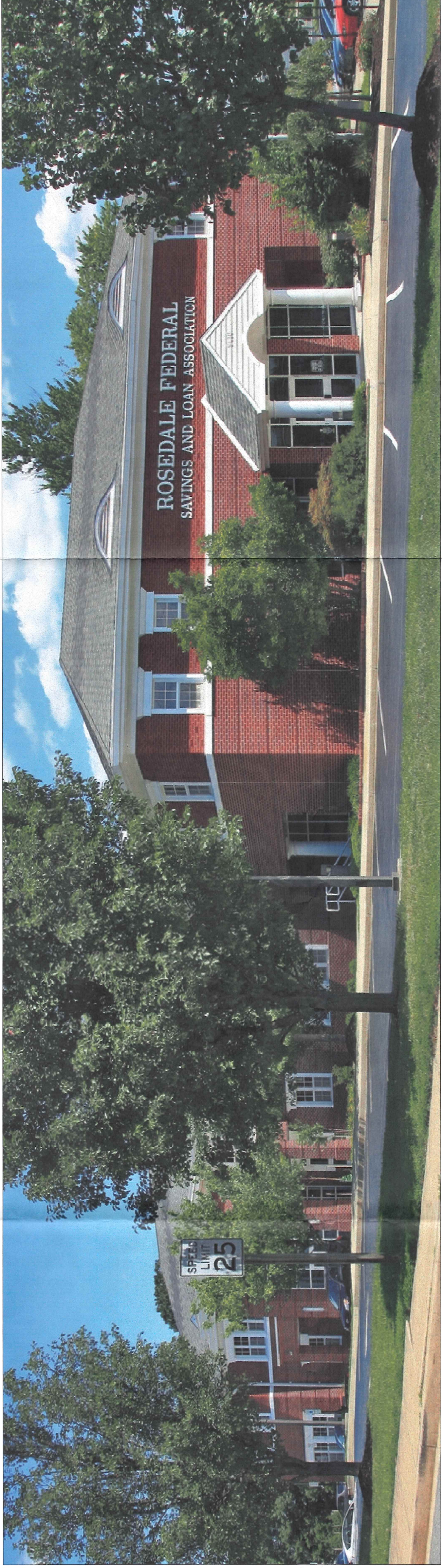
REAR OF HEADQUARTERS BUILDING



SIDE AND REAR OF HEADQUARTERS BUILDING



BRANCH-HEADQUARTERS BRIDGE AT BRANCH DRIVE-THRU



HEADQUARTERS BUILDING WITH BRANCH ON RIGHT



HEADQUARTERS BUILDING WITH LINK TO BRANCH AT RIGHT



HEADQUARTERS BUILDING FROM BAKER LANE

EXISTING FACILITIES
FOR
HEADQUARTERS ANNEX
ROSEDALE FEDERAL SAVINGS & LOAN ASSOCIATION
PERRY HALL, MARYLAND

**MATTHEW A. BISHOP, PLA,
LEED AP**

Associate

PROJECT ASSIGNMENT:

Expert Witness, Landscape Architect

YEARS OF EXPERIENCE:

MRA: 9
Other Firms: 5

EDUCATION:

B.S. Landscape Architecture / 2001 /
University of Connecticut
M.S. Plant Science / 2005 / University
of Connecticut

ACTIVE REGISTRATION:

Landscape Architect:
Maryland, 2006, #3365
North Dakota, 2013, #80

L.E.E.D. Accredited Professional
(2008)

PROFESSIONAL AFFILIATIONS:

American Society of Landscape
Architects (ASLA)
U.S. Green Building Council
(USGBC), Maryland Chapter
Homebuilders Association of
Maryland, Baltimore County
Chapter

QUALIFICATIONS:

Mr. Bishop is an Associate with MRA's Towson office. His experience includes a variety of projects ranging in scale from site specific to regional planning including streetscapes, neighborhood parks, mixed-use and residential development. The scope of Mr. Bishop's project involvement includes site analysis through construction documents; applications and permitting; graphic renderings; grading; and cost estimating. His experience also includes working with various government agencies, private interest groups, and project related consultants including: architects; civil engineers; traffic engineers; and City, State, and County environmental and planning agencies.

Sample projects managed by Mr. Bishop include the following:

Firestone Auto Care Center, Baltimore County, Maryland - Located in Perry Hall on the east side of Belair Road, this commercial auto care facility included 5,000 sf of service and retail space with associated parking, signage, and landscape improvements. Served as project manager in the preparation of all Baltimore County required plans including a Special Exception Plan, Development Plan, Grading Plan, Site Plan, ESC Plan, Utility Plans, and Landscape Plans. Served as expert witness at the Special Exception hearing.

Gunpowder Overlook, Baltimore County, Maryland - Located in Perry Hall on the east side of Belair Road, this residential community includes 48 single family detached residential homes with associated open space, stormwater management facilities, environmental conservation areas, public roads and utilities. Served as project manager in the preparation of Concept Plans, a Development Plan, a Pattern Book, and coordination of a Community Input Meeting. Provided expert witness testimony at the Administrative Law Judge Hearing.

5737 Allender Road, Baltimore County, Maryland - Located on the east side of Baltimore County in White Marsh this development incorporates 121 homes situated around an extensive network of community open spaces. Served as project landscape architect in the design and preparation of planning related design products including Concept Plan, Development Plan, Pattern Book, and Final Development Plan. Also provided expert witness testimony for a Variance hearing to reduce side and rear yard building setbacks.

Red Lion Farm, Baltimore County, Maryland - Located on the east side of Baltimore County in White Marsh this development incorporates 61 homes. Provided expert witness testimony for a variance hearing to reduce rear yard building setbacks.

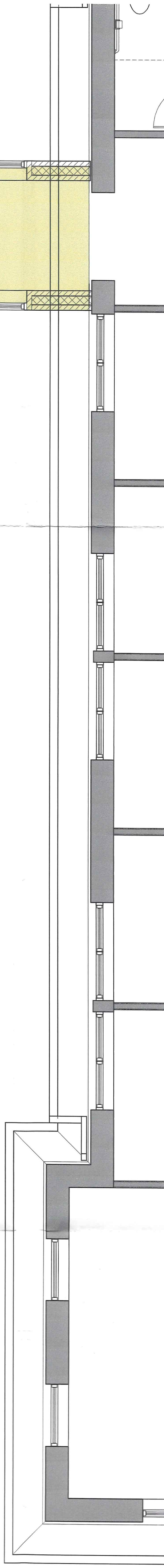
Windlass Run, Baltimore County, Maryland - Located on the east side of Baltimore County south of White Marsh Boulevard this Planned Unit Development incorporates 424 homes situated around an extensive network of community open spaces including a clubhouse, pool, and children's play equipment. Served as project landscape architect in the design and preparation of planning related design products including Concept Plan, Development Plan, Pattern Book, and Final Development Plan. Also designed and prepared detailed landscape architecture related design products including Active Open Space areas, Passive Open Space areas, Entry features, and Club house/pool area.

Towson Manor, Towson, Maryland - Located south of downtown Towson, on the east side of York Road, this Planned Unit Development incorporates 109 townhouses and an assisted living facility on ±8.22 acres. The project is a redevelopment of an existing single family residential community which had fallen into disrepair. Served as project



**MORRIS & RITCHIE
ASSOCIATES, INC.**

landscape architect in the design and preparation of Baltimore County required Concept Plan, Development Plan, Pattern Book, Final Development Plan, Grading Plan, Landscape Plan / Cost Estimates, and Stormwater Management Plan. Also designed and prepared landscape construction drawings for a highly visible centrally located Bio-Retention facility that will be used not only as a functional stormwater treatment facility but also as a visually appealing community open space. The design incorporated native plant species chosen for both functional and aesthetic qualities while also meeting the strict specifications of Baltimore County DEPS and the Maryland Stormwater Design Manual



George Vaeth Associates, Inc.
Architecture ~ Interior Design

HEADQUARTERS ANNEX

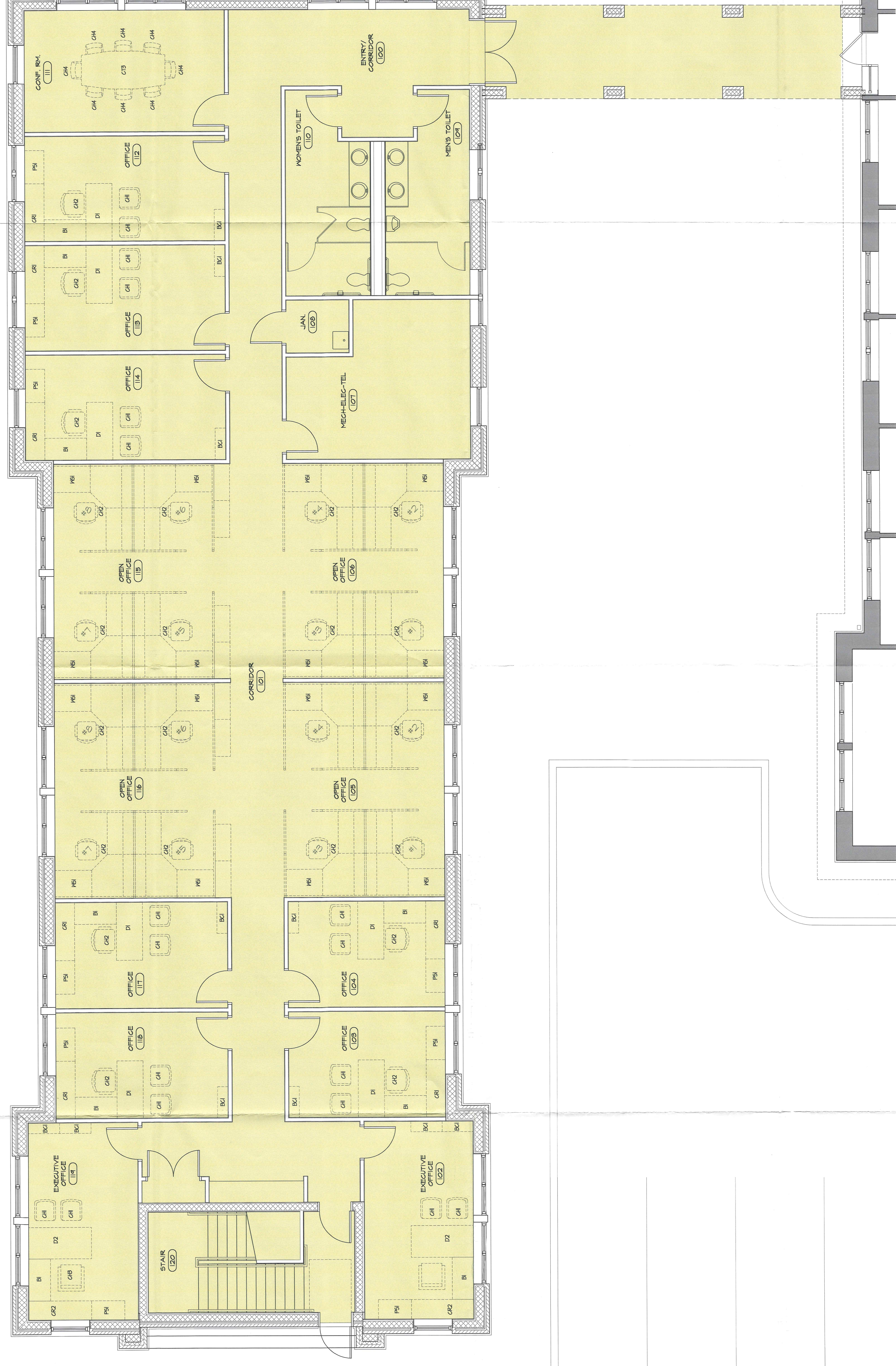
DATE: 11-12-15

SCALE: 1/4" = 1'-0"

DATE: 11-12-15

bldg. setback line

bldg. setback line



bldg. setback line

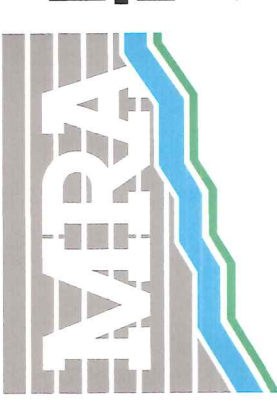
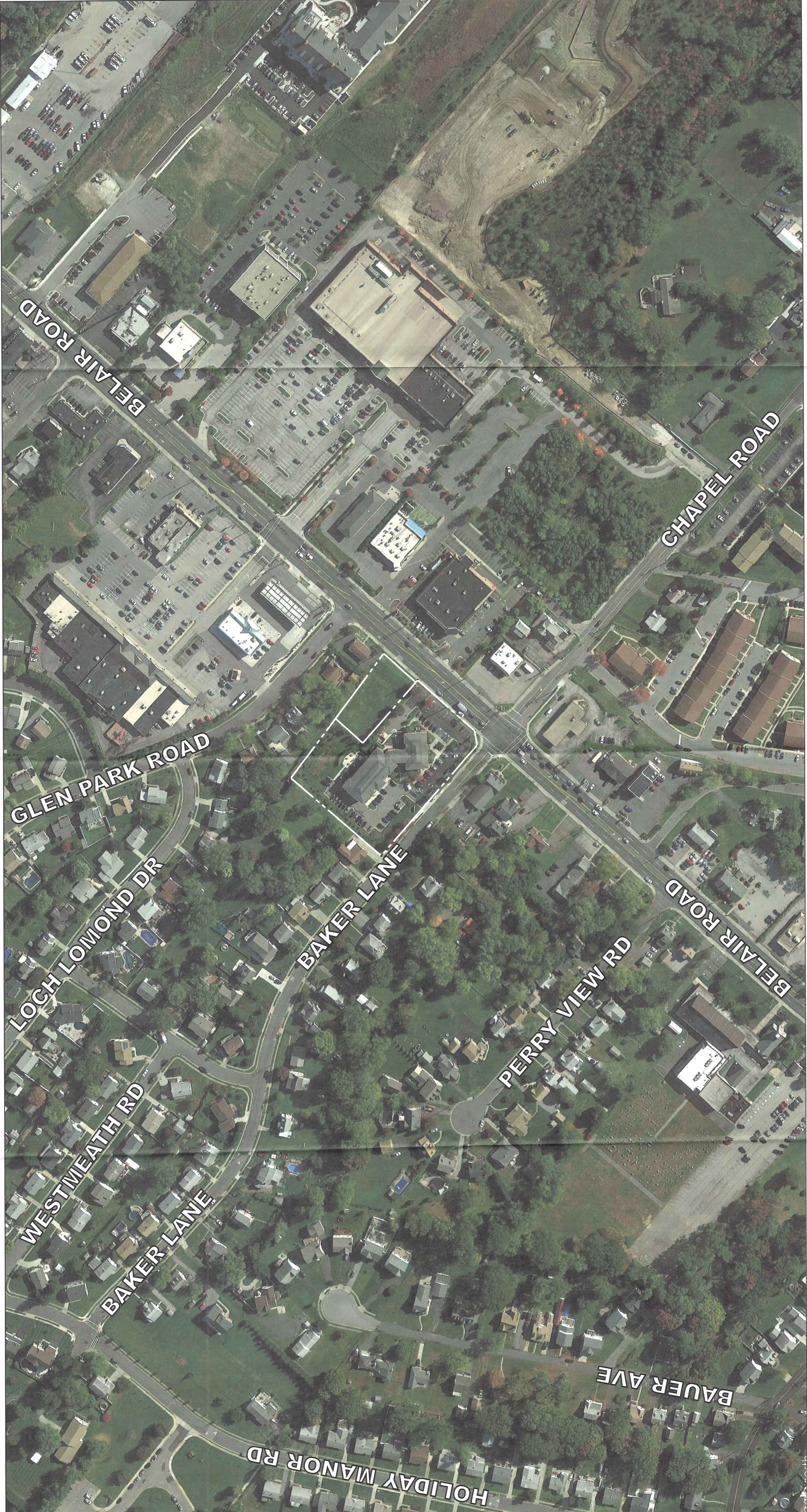
SD-2R REVISED FIRST FLOOR PLAN

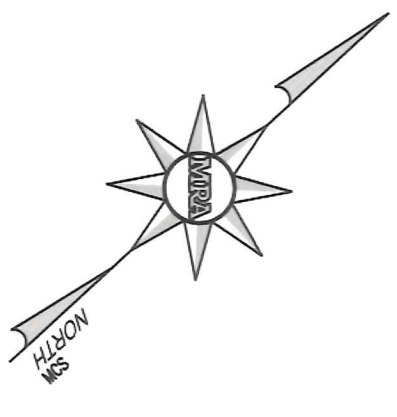
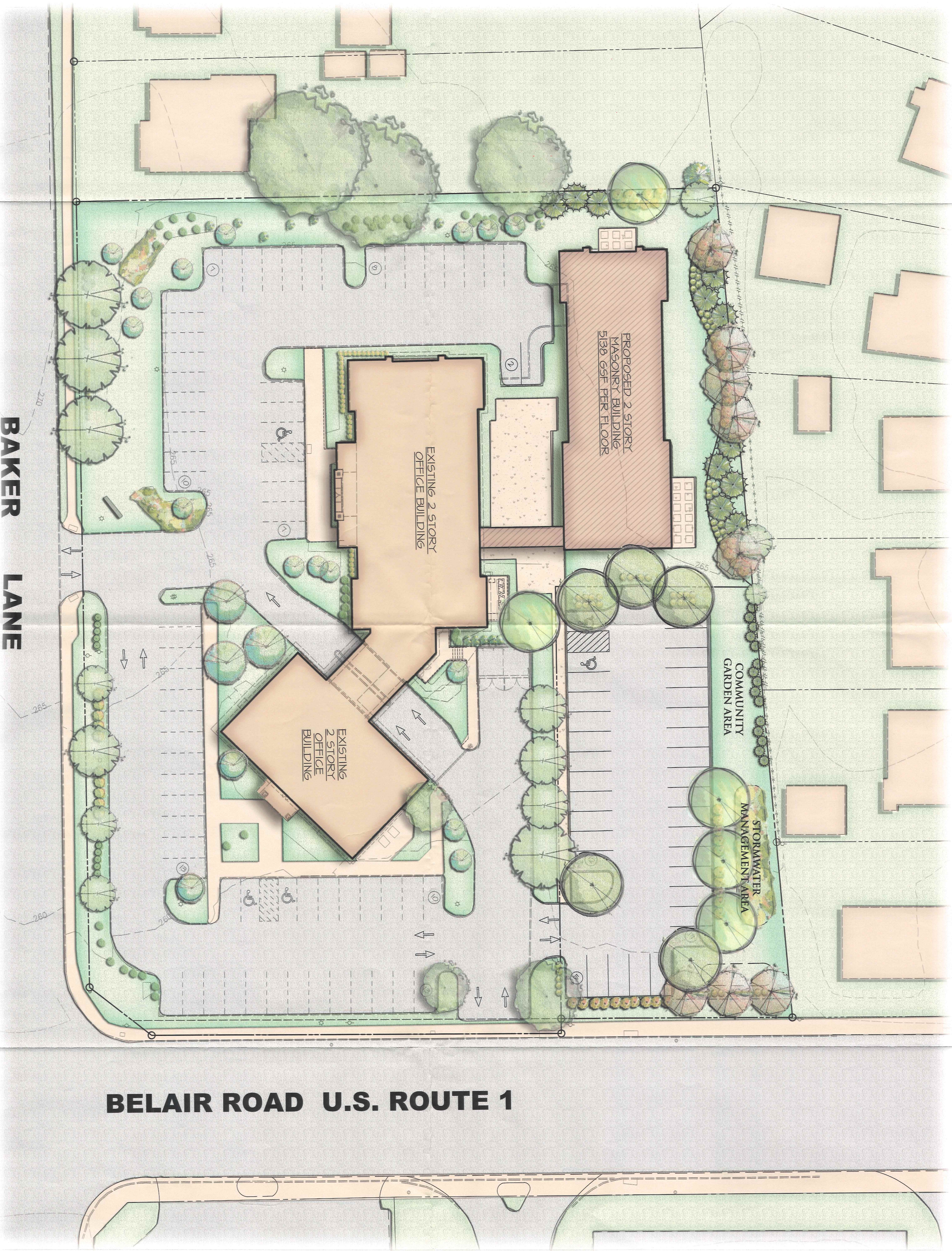
HEADQUARTERS ANNEX
FOR
ROSEDALE FEDERAL SAVINGS & LOAN ASSOCIATION
PERRY HALL, MARYLAND

PETITIONER'S
EXHIBIT NO. 3b
SCALE: 1/4" = 1'-0"
DATE: 11-12-15



PROPOSED EXTERIOR VIEWS
HEADQUARTERS ANNEX
 FOR
ROSEDALE FEDERAL SAVINGS & LOAN ASSOCIATION
 PERRY HALL, MARYLAND



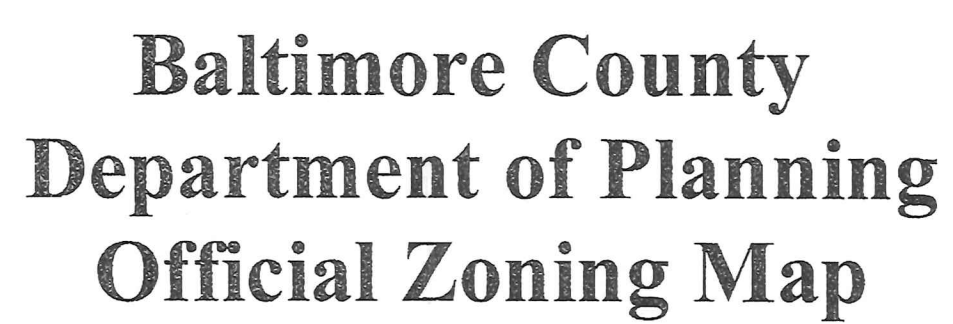


PETITIONER'S
EXHIBIT NO. 2

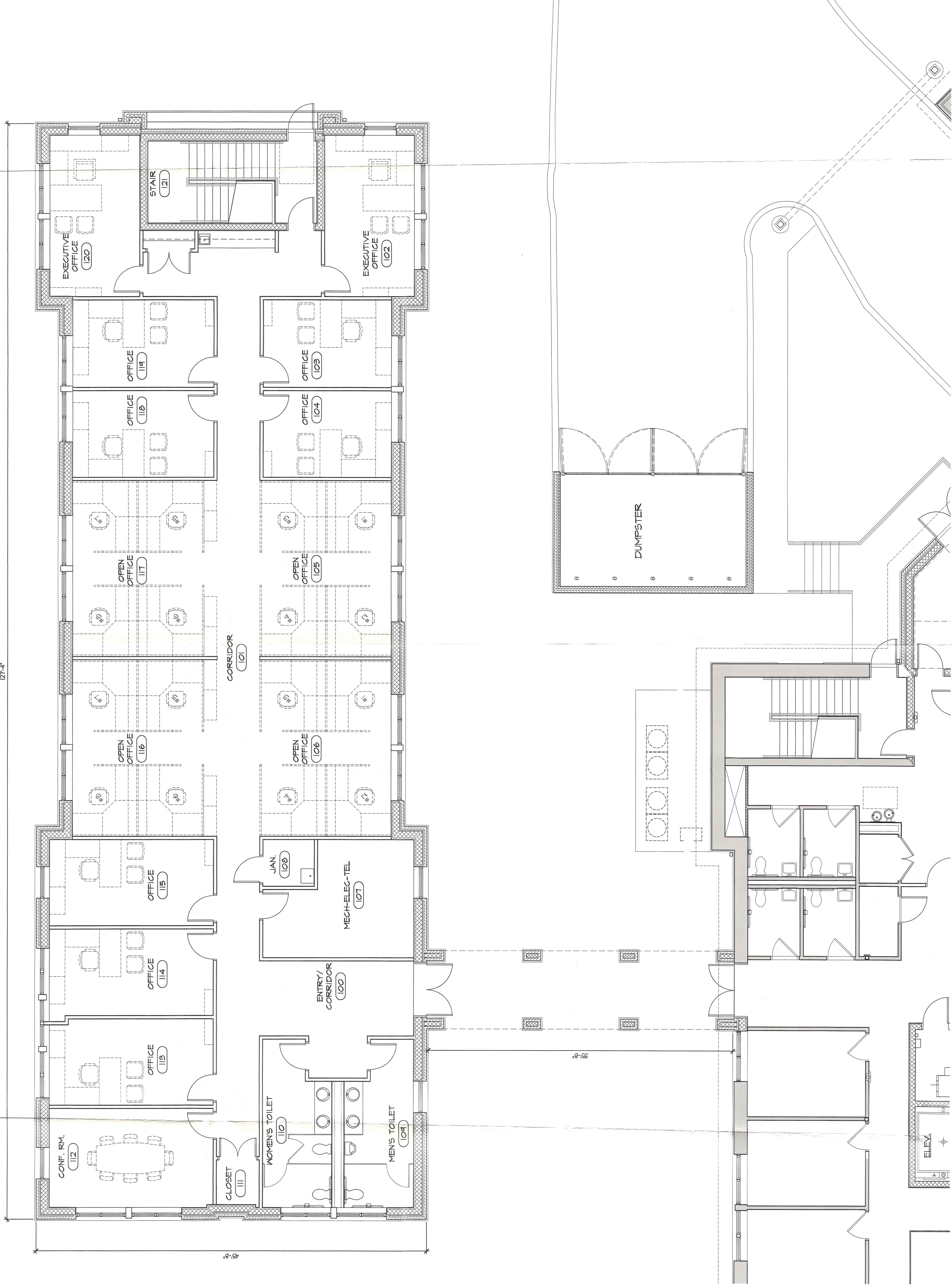




Legend


$$1'' = 200'$$


Data Sources:
 Planimetric Data - Baltimore County
 OIT/GIS Services Unit
 1:2400, from 2008 photography
 Zoning - Baltimore County Office of Planning
 1:2400, 2012



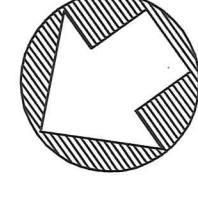
FIRST FLOOR PLAN

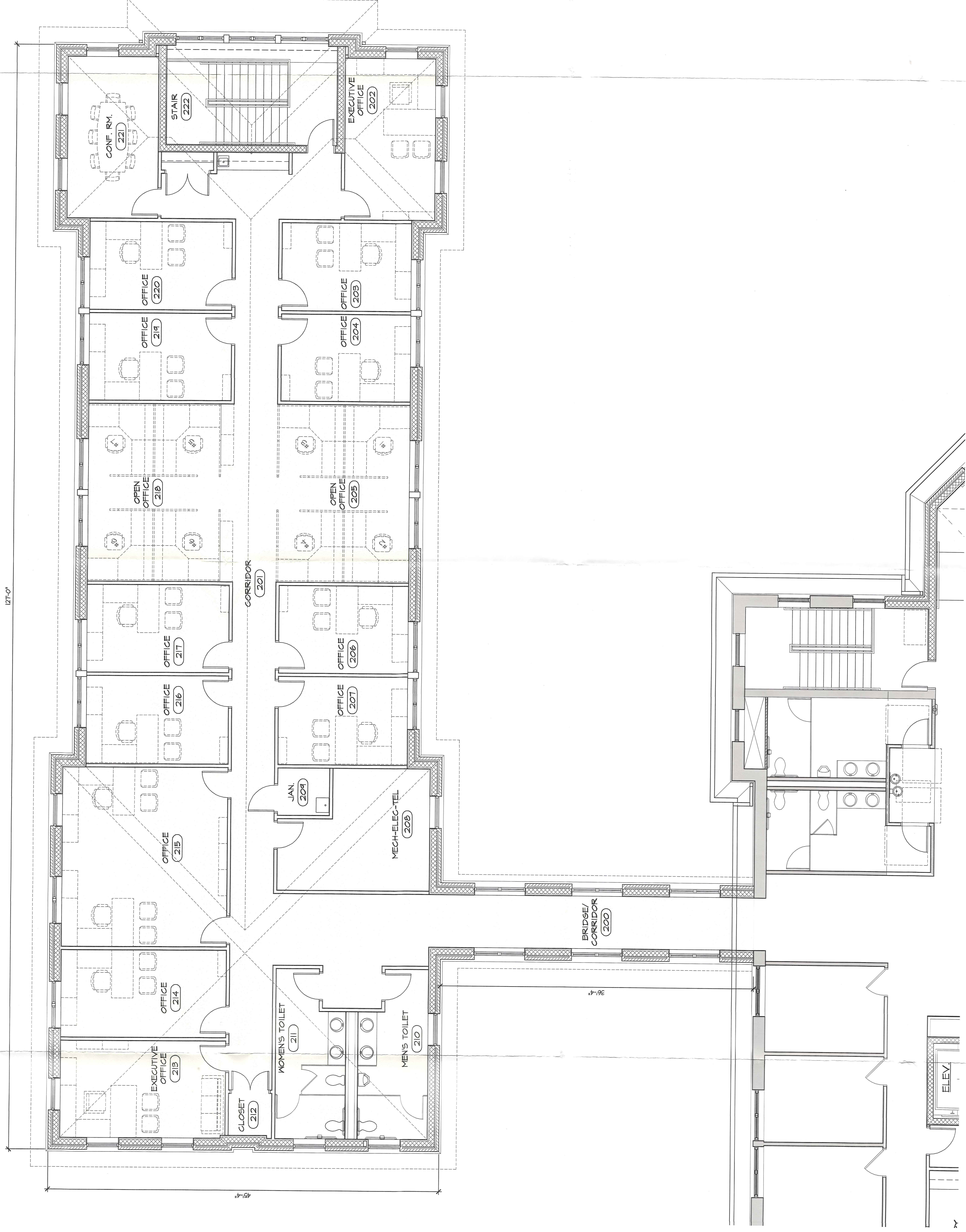
HEADQUARTERS ANNEX
FOR
ROSEDALE FEDERAL SAVINGS & LOAN ASSOCIATION
PERRY HALL, MARYLAND

Petitioner
CBA Exhibit
3b

SCALE: 3/16" = 1'-0"

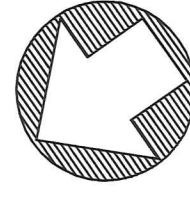
DATE: 9-20-16

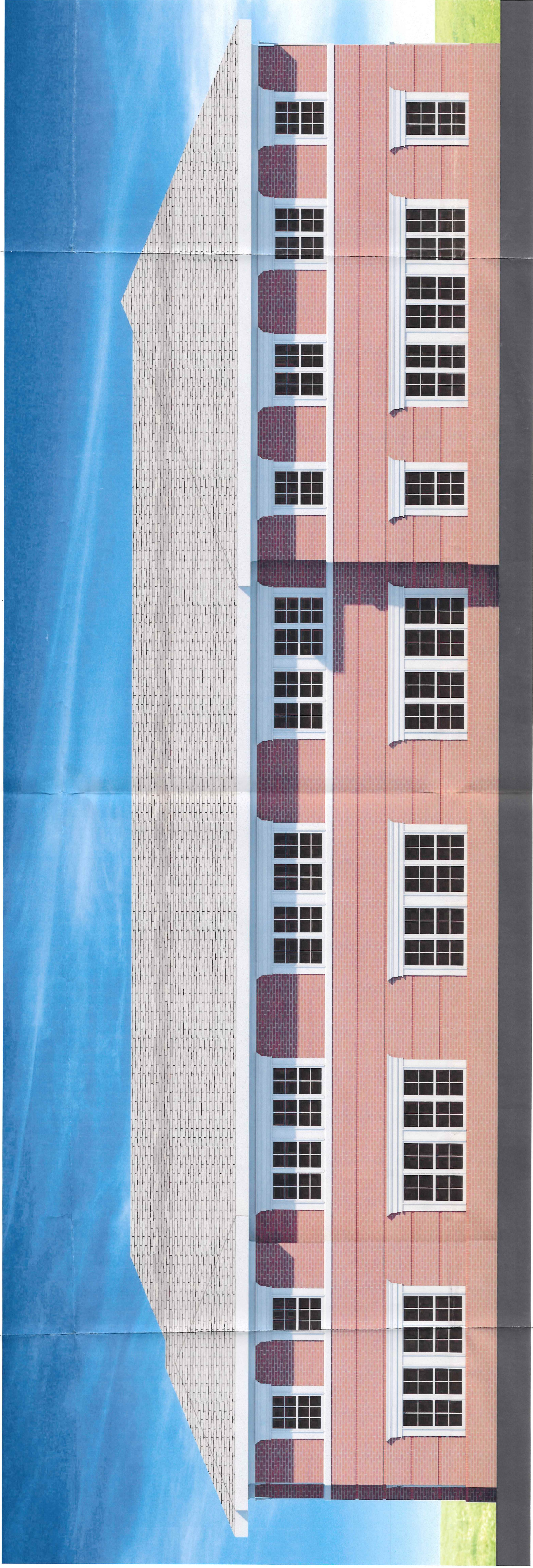
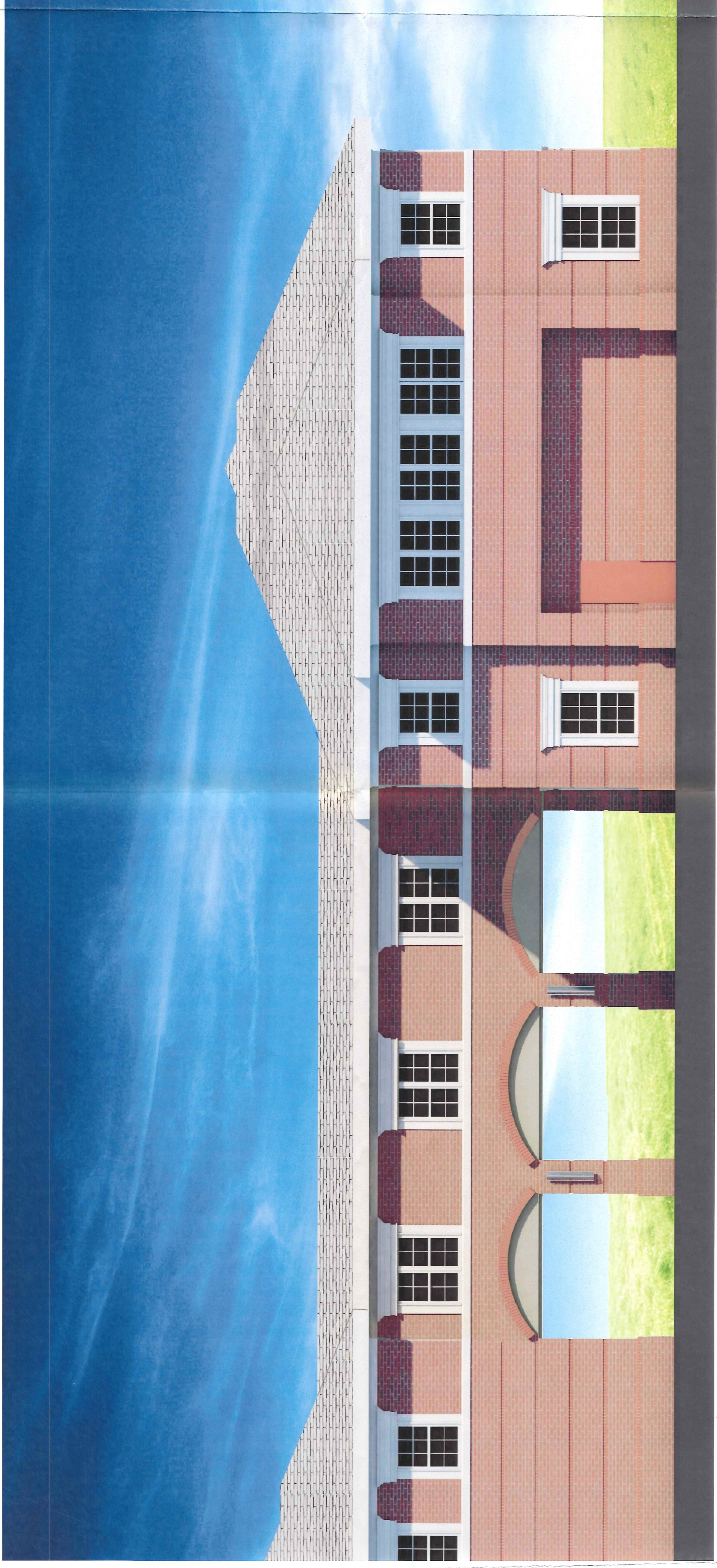




SECOND FLOOR PLAN

HEADQUARTERS ANNEX FOR ROSEDALE FEDERAL SAVINGS & LOAN ASSOCIATION PERRY HALL, MARYLAND





BUILDING ELEVATIONS

HEADQUARTERS ANNEX
FOR
ROSEDALE FEDERAL SAVINGS & LOAN ASSOCIATION
PERRY HALL, MARYLAND

Petitioner
City of Exeter

SCALE: N.T.S.

DATE: 9-20-16

