IN RE: PETITION FOR ADMIN. VARIANCE	*	BEFORE THE
(6521 Gardenwick Road)		
3rd Election District	*	OFFICE OF ADMINISTRATIVE
2nd Council District		
Saman Radparvar and Bahareh Imanoel	*	HEARINGS FOR
Petitioner		
	*	BALTIMORE COUNTY
	*	**CASE NO. 2016-0189-A**

* * * * * * *

OPINION AND ORDER

This matter comes before the Office of Administrative Hearings (OAH) as a Petition for Administrative Variance filed by the legal owners of the property, Saman Radparvar and Bahareh Imanoel. The Petitioners are requesting Variance relief from § 1B02.3.B of the Baltimore County Zoning Regulations (B.C.Z.R.), to permit side yard setbacks of 6 ft. and 10 ft. and a sum of sides of 16 ft. in lieu of the required 8 ft., 12 ft. and 20 ft. respectively for construction of a new dwelling. The subject property and requested relief is more fully depicted on the site plan that was marked and accepted into evidence as Petitioners' Exhibit 1.

The Zoning Advisory Committee (ZAC) comments were received and are made part of the record of this case. There were no adverse ZAC comments received from any of the County reviewing agencies.

The Petitioners having filed a Petition for Administrative Variance and the subject property having been posted on March 4, 2016, and there being no request for a public hearing, a decision shall be rendered based upon the documentation presented.

The Petitioners have filed the supporting affidavits as required by Section 32-3-303 of the Baltimore County Code (B.C.C.). Based upon the information available, there is no evidence in the file to indicate that the requested variance would adversely affect the health, safety or general

ORDER RECEIVED FOR FILING

Date 3-24-16

By

welfare of the public and should therefore be granted. In the opinion of the Administrative Law Judge, the information, photographs, and affidavits submitted provide sufficient facts that comply with the requirements of Section 307.1 of the B.C.Z.R. Furthermore, strict compliance with the B.C.Z.R. would result in practical difficulty and/or unreasonable hardship upon the Petitioners.

Pursuant to the posting of the property and the provisions of both the Baltimore County Code and the Baltimore County Zoning Regulations, and for the reasons given above, the requested variance should be granted.

THEREFORE, IT IS ORDERED, this **24th** day of **March, 2016**, by the Administrative Law Judge for Baltimore County, that the Petition for Variance relief from § 1B02.3.B of the Baltimore County Zoning Regulations (B.C.Z.R.), to permit side yard setbacks of 6 ft. and 10 ft. and a sum of sides of 16 ft. in lieu of the required 8 ft., 12 ft. and 20 ft. respectively for construction of a new dwelling, be and is hereby GRANTED.

The relief granted herein shall be subject to the following:

- Petitioners may apply for their appropriate permits and be granted same upon receipt of this Order; however, Petitioners are hereby made aware that proceeding at this time is at their own risk until such time as the 30-day appellate process from this Order has expired. If, for whatever reason, this Order is reversed, Petitioners would be required to return, and be responsible for returning, said property to its original condition.

Any appeal of this decision must be made within thirty (30) days of the date of this Order.

JOHN E. BEVERUNGEN
Administrative Law Judge
for Baltimore County

JEB:dlw

ORDER RECEIVED FOR FILING

Date 3-24-16

By DW

ADMINISTRATIVE ZONING PETITION

FOR ADMINISTRATIVE VARIANCE – OR – ADMINISTRATIVE SPECIAL HEARING

To be filed with the Department of Permits, Approvals and Inspections

To the Office of Administrative Hearings for Baltimore County for the property located at:

Address 6521 Gardenwick Road, Baltimore, Maryland, 21209 **Currently zoned** D.R. 5.5

Deed Reference 26421 / 00293 10 Digit Tax Account # 0 3 1 9 0 4 4 3 5 0

Owner(s) Printed Name(s) Saman Radparvar & Bahareh Imanoel

(SELECT THE HEARING(S) BY MARKING X AT THE APPROPRIATE SELECTION(S) AND ADDING THE PETITION REQUEST)

For Administrative Variances, the Affidavit on the reverse of this Petition form must be completed and notarized.

The undersigned, who own and occupy the property situate in Baltimore County and which is described in the plan/plat attached hereto and made a part hereof, hereby petition for an:

1. X **ADMINISTRATIVE VARIANCE** from Section(s) 1B02.3.B to permit side yard setbacks of 6 ft. and 10 ft. and a sum of sides of 16 ft. in lieu of the required 8 ft., 12 ft. and 20 ft. respectively for construction of a new dwelling,

of the zoning regulations of Baltimore County, to the zoning law of Baltimore County.

2. ____ **ADMINISTRATIVE SPECIAL HEARING** to approve a waiver pursuant to Section 32-4-107(b) of the Baltimore County Code: (*indicate type of work in this space: i.e., to raze, alter or construct addition to building*)

of the Baltimore County Code, to the development law of Baltimore County.

Property is to be posted and advertised as prescribed by the zoning regulations.

I/ we agree to pay expenses of above petition(s), advertising, posting, etc. and further agree to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

Owner(s)/Petitioner(s):

Saman Radparvar / Bahareh Imanoel

Name #1 – Type or Print / Name #2 – Type or Print

Signature #1 / Signature # 2

6521 Gardenwick Road Baltimore MD

Mailing Address City State

21209 / 410-580-1956 / samanrad2001@yahoo.cor

Zip Code Telephone # Email Address

Attorney for Owner(s)/Petitioner(s):

Name- Type or Print

Signature

Mailing Address City State

Zip Code / Telephone # / Email Address

ORDER RECEIVED FOR FILING 3-24-16 BW

Date By

Representative to be contacted:

Richard E. Matz

Name – Type or Print

Signature

2835 Smith Avenue Baltimore MD

Mailing Address City State

21209 / 410-653-3838 / dmatz@cmrengineers.com

Zip Code Telephone # Email Address

A PUBLIC HEARING having been formally demanded and/or found to be required, it is ordered by the Office of Administrative Hearings for Baltimore County, this _____ day of _____, _____ that the subject matter of this petition be set for a public hearing, advertised, and re-posted as required by the zoning regulations of Baltimore County.

Administrative Law Judge for Baltimore County

CASE NUMBER 2016-0189-A **Filing Date** 2/22/16 **Estimated Posting Date** 3/6/16 **Reviewer** BR

Rev 5/8/2014

Affidavit in Support of Administrative Variance

(THIS AFFIDAVIT IS NOT REQUIRED FOR AN HISTORIC ADMINISTRATIVE SPECIAL HEARING)

The undersigned hereby affirms under the penalties of perjury and upon personal knowledge to the Administrative Law Judge for Baltimore County, that the information herein given is true and correct and that the undersigned is/are competent to testify in the event that a public hearing is scheduled in the future with regard thereto. In addition, the undersigned hereby affirms that the property is not the subject of an active Code Enforcement case and that the residential property described below is owned and occupied by the undersigned.

Address:	6521 Gardenwick Road	Baltimore	Maryland	21209
	Print or Type Address of property	City	State	Zip Code

Based upon personal knowledge, the following are the facts upon which I/we base the request for an Administrative Variance at the above address. **(Clearly state <u>practical difficulty or hardship</u> here)**

(If additional space for the petition request or the above statement is needed, label and attach it to this Form)

Signature of Owner (Affiant)	Signature of Owner (Affiant)
Saman Radparvar	Bahareh Imanoel
Name- Print or Type	Name- Print or Type

The following information is to be completed by a Notary Public of the State of Maryland

STATE OF MARYLAND, COUNTY OF BALTIMORE, to wit:

I HEREBY CERTIFY, this 19th day of November, 2016, before me a Notary of Maryland, in and for the County aforesaid, personally appeared:

Print name(s) here: SAMAN RADPARVAR and BAHAREH IMANOEL

the Affiant(s) herein, personally known or satisfactorily identified to me as such Affiant(s).

AS WITNESS my hand and Notaries Seal

Deborah A. Settar-Dietz
Notary Public

1/31/2017
My Commission Expires

DEBORAH A. SETTAR-DIETZ
NOTARY
PUBLIC
BALTIMORE COUNTY, MD

#0129

Requested Zoning Relief Attachment
6521 Gardenwick Road
Baltimore County, Maryland

Variances Requested: (B02.3.B)

1. To permit the sum of side yards to be 16 feet, in lieu of the minimum required 20 feet.
2. To permit a side yard setback of 6 feet, in lieu of the minimum required 8 feet.

Affidavit in Support of Administrative Variance

Based upon personal knowledge, the following are the facts upon which we base the request for an Administrative Variance at the above address:

This site is located in the Pikesville area of Baltimore County. The petitioner's property is located on Gardenwick Road, and is currently improved with an existing split level single family dwelling which was constructed approximately 50 years ago. The surrounding neighborhood is residential in nature and comprised of similarly sized dwellings. The petitioners purchased the property at #6521 Gardenwick Road approximately 9 year ago.

The petitioners are requesting variance relief from the Baltimore County Zoning Regulations (BCZR) for the construction of a 2 story dwelling.

The petitioners proposes to raze the existing dwelling and construct a new dwelling to meet growing family demands. The proposed dwelling will be constructed with a modern style that will add character to the surrounding neighborhood.

Colbert Matz Rosenfelt, Inc.

Civil Engineers • Surveyors • Planners

ZONING DESCRIPTION
6521 Gardenwick Road
Baltimore County, Maryland

Beginning at a point on the northeast side of Gardenwick Road, which is 60 feet wide, located 429 feet, more or less, northwest of the centerline of the nearest improved intersecting street Summerson Road, which is 60 feet wide at the intersection of Gardenwick and Summerson Road.

Being Lot Number 45 of Pickwick as recorded in Baltimore County Plat Book G.L.B. 29, Folio 32, containing 7,930 square feet or 0.18 acres, more or less. Located in the 3rd Election District and 2nd Councilmanic District. Also known as 6521 Gardenwick Road.

Professional Certification

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

License No. 13203 Expiration Date: 11/02/2016

STATE OF MARYLAND
RICHARD EARL MATZ
No. 13203
PROFESSIONAL ENGINEER

FEB 22, 2016

2835 Smith Avenue, Suite G Baltimore, Maryland 21209
Telephone: (410) 653-3838 / Facsimile: (410) 653-7953

6189

MEMORANDUM

DATE: May 3, 2016

TO: Zoning Review Office

FROM: Office of Administrative Hearings

RE: Case No. 2016-0189-A- Appeal Period Expired

The appeal period for the above-referenced case expired on April 25, 2016. There being no appeal filed, the subject file is ready for return to the Zoning Review Office and is placed in the 'pick up box.'

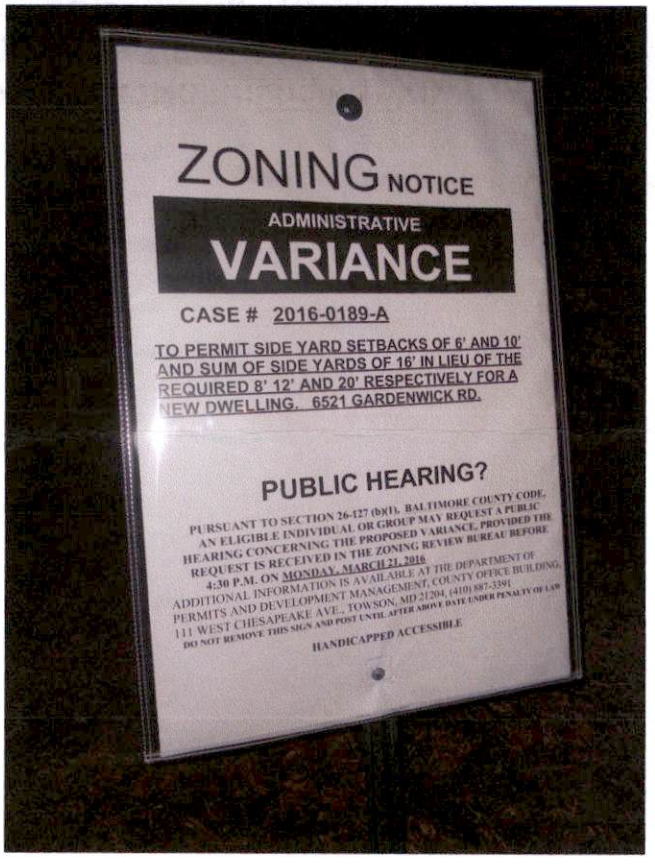
c: Case File
Office of Administrative Hearings

CERTIFICATE OF POSTING

ATTENTION: KRISTEN LEWIS
DATE: 3/7/2016
Case Number: 2016-0189-A
Petitioner / Developer: COLBERT, MATZ & ROSENFELT, INC. ~ SOMAN RADPARVAR
Date of Hearing (Closing): MARCH 21, 2016

This is to certify under the penalties of perjury that the necessary sign(s) required by law were posted conspicuously on the property located at:
6521 GARDENWICK ROAD

The sign(s) were posted on: MARCH 4, 2016



Linda O'Keefe
(Signature of Sign Poster)

Linda O'Keefe
(Printed Name of Sign Poster)

523 Penny Lane
(Street Address of Sign Poster)

Hunt Valley, Maryland 21030
(City, State, Zip of Sign Poster)

410 – 666 – 5366
(Telephone Number of Sign Poster)

BALTIMORE COUNTY DEPARTMENT OF PERMITS, APPROVALS AND INSPECTIONS
ZONING REVIEW

ADMINISTRATIVE VARIANCE INFORMATION SHEET AND DATES

Case Number 2016- 0189 -A Address 6521 Gardenwick Rd.

Contact Person: Bruno Rudaitis Phone Number: 410-887-3391
Planner, Please Print Your Name

Filing Date: 2/22/16 **Posting Date:** 3/6/16 **Closing Date:** 3/21/16

Any contact made with this office regarding the status of the administrative variance should be through the contact person (planner) using the case number.

1. **POSTING/COST:** The petitioner must use one of the sign posters on the approved list (on the reverse side of this form) and the petitioner is responsible for all printing/posting costs. Any reposting must be done only by one of the sign posters on the approved list and the petitioner is again responsible for all associated costs. The zoning notice sign must be visible on the property on or before the posting date noted above. It should remain there through the closing date.

2. **DEADLINE:** The closing date is the deadline for an occupant or owner within 1,000 feet to file a formal request for a public hearing. Please understand that even if there is no formal request for a public hearing, the process is not complete on the closing date.

3. **ORDER:** After the closing date, the file will be reviewed by the zoning or deputy zoning commissioner. He may: (a) grant the requested relief; (b) deny the requested relief; or (c) order that the matter be set in for a public hearing. You will receive written notification, usually within 10 days of the closing date if all County agencies' comments are received, as to whether the petition has been granted, denied, or will go to public hearing. The order will be mailed to you by First Class mail.

4. **POSSIBLE PUBLIC HEARING AND REPOSTING:** In cases that must go to a public hearing (whether due to a neighbor's formal request or by order of the zoning or deputy zoning commissioner), notification will be forwarded to you. The sign on the property must be changed giving notice of the hearing date, time and location. As when the sign was originally posted, certification of this change and a photograph of the altered sign must be forwarded to this office.

(Detach Along Dotted Line)

Petitioner: This Part of the Form is for the Sign Poster Only

USE THE ADMINISTRATIVE VARIANCE SIGN FORMAT

Case Number 2016- 0189 -A Address 6521 Gardenwick Rd.

Petitioner's Name Soman Radparvar Telephone 410-580-1956

Posting Date: 3/6/16 **Closing Date:** 3/21/16

Wording for Sign: To Permit side yard setbacks of 6' and 10' and sum of side yards of 16' in lieu of the required 8', 12', and 20', respectively for a new dwelling.

Revised 7/21/15

DEPARTMENT OF PERMITS, APPROVALS AND INSPECTIONS

ZONING REVIEW

ADVERTISING REQUIREMENTS AND PROCEDURES FOR ZONING HEARINGS

The Baltimore County Zoning Regulations (BCZR) require that notice be given to the general public/neighboring property owners relative to property which is the subject of an upcoming zoning hearing. For those petitions which require a public hearing, this notice is accomplished by posting a sign on the property (responsibility of the petitioner) and placement of a notice in a newspaper of general circulation in the County, both at least fifteen (15) days before the hearing.

Zoning Review will ensure that the legal requirements for advertising are satisfied. However, the petitioner is responsible for the costs associated with these requirements. The newspaper will bill the person listed below for the advertising. This advertising is due upon receipt and should be remitted directly to the newspaper.

OPINIONS MAY NOT BE ISSUED UNTIL ALL ADVERTISING COSTS ARE PAID.

For Newspaper Advertising:

Item Number or Case Number: 2016 - 0189 - A

Petitioner: SAMAN RADPARVAR & BAHAREH IMANDEL

Address or Location: 6521 GARDENWICK ROAD

PLEASE FORWARD ADVERTISING BILL TO:

Name: SAMAN RADPARVAR & BAHAREH IMANDEL

Address: 6521 GARDENWICK ROAD, BALTO. MD. 21209

Telephone Number: 410-580-1956

BALTIMORE COUNTY, MARYLAND
OFFICE OF BUDGET AND FINANCE
MISCELLANEOUS CASH RECEIPT

No. 135708

Date: 2/22/16

Fund	Dept	Unit	Sub Unit	Rev Source/ Obj	Sub Rev/ Sub Obj	Dept Obj	BS Acct	Amount
001	806	0000		6150				175.00

Total: 175.00

Rec. From: Colbert Matz Rosenfelt Inc.

For: Administrative Interpretation

DISTRIBUTION
WHITE - CASHIER PINK - AGENCY YELLOW - CUSTOMER GOLD - ACCOUNTING
PLEASE PRESS HARD!!!!

Case # 2016-0109-A

PAID RECEIPT

BUSINESS	ACTUAL	TIME	SEQ
2/22/2016	2/22/2016	10:31:10	3

REG WEBS WALKIN CHRT CSH
>>RECEIPT # 469205 2/22/2016 CSLH
Dept 5 328 ZONING VERIFICATION
CR NO. 135708
Recpt Tot $75.00
$75.00 CK $.00 CA
Baltimore County, Maryland

CASHIER'S VALIDATION

KEVIN KAMENETZ
County Executive

ARNOLD JABLON
Deputy Administrative Officer
Director, Department of Permits, Approvals & Inspections

March 22, 2016

Saman Radparvar & Bahareh Imanoel
6521 Gardenwick Road
Baltimore MD 21209

RE: Case Number: 2016-0189 A, Address: 6521 Gardenwick Road

To Whom It May Concern:

The above referenced petition was accepted for processing **ONLY** by the Bureau of Zoning Review, Department of Permits, Approvals, and Inspection (PAI) on February 22, 2016. This letter is not an approval, but only a **NOTIFICATION.**

The Zoning Advisory Committee (ZAC), which consists of representatives from several approval agencies, has reviewed the plans that were submitted with your petition. All comments submitted thus far from the members of the ZAC are attached. These comments are not intended to indicate the appropriateness of the zoning action requested, but to ensure that all parties (zoning commissioner, attorney, petitioner, etc.) are made aware of plans or problems with regard to the proposed improvements that may have a bearing on this case. All comments will be placed in the permanent case file.

If you need further information or have any questions, please do not hesitate to contact the commenting agency.

Very truly yours,

W. Carl Richards, Jr.
Supervisor, Zoning Review

WCR: jaw

Enclosures

c: People's Counsel
Richard E Matz, 2835 Smith Avenue, Baltimore MD 21209

3-21

RECEIVED
MAR 07 2016
OFFICE OF ADMINISTRATIVE HEARINGS

BALTIMORE COUNTY, MARYLAND

Inter-Office Correspondence

TO: Hon. Lawrence M. Stahl; Managing Administrative Law Judge
Office of Administrative Hearings

FROM: Jeff Livingston, Department of Environmental Protection and Sustainability (EPS) - Development Coordination

DATE: March 7, 2016

SUBJECT: DEPS Comment for Zoning Item # 2016-0189-A
Address 6521 Gardenwick Road
(Radparvar Property)

Zoning Advisory Committee Meeting of March 7, 2016.

_X_ The Department of Environmental Protection and Sustainability has no comment on the above-referenced zoning item.

Reviewer: *Jeff Livingston – Development Coordination*

C:\Users\snuffer\AppData\Local\Microsoft\Windows\Temporary Internet Files\Content.Outlook\WPHS9SSK\ZAC 16-0189-A 6521 Gardenwick Road.doc

Larry Hogan, *Governor*
Boyd K. Rutherford, *Lt. Governor*

State Highway Administration
Maryland Department of Transportation

Pete K. Rahn, *Secretary*
Gregory C. Johnson, P.E., *Administrator*

Date: 2/29/16

Ms. Kristen Lewis
Baltimore County Office of
Permits and Development Management
County Office Building, Room 109
Towson, Maryland 21204

RE: Baltimore County
Item No. 2016-0189-A
Administrative Variance
Seman Radparvar
6521 Gardenwick Road

Dear Ms. Lewis:

Thank you for the opportunity to review your referral request on the subject of the above captioned. We have determined that the subject property does not access a State roadway and is not affected by any State Highway Administration projects. Therefore, based upon available information this office has no objection to Baltimore County Zoning Advisory Committee approval of Item No. 2016-0189-A.

Should you have any questions regarding this matter, please contact Mr. Richard Zeller at 410-229-2332 or 1-866-998-0367 (in Maryland only) extension 2332, or by email at (rzeller@sha.state.md.us).

Sincerely,

David W. Peake
Metropolitan District Engineer – District 4
Baltimore & Harford Counties

DWP/RAZ

BALTIMORE COUNTY, MARYLAND

INTEROFFICE CORRESPONDENCE

TO: Arnold Jablon, Director
Department of Permits, Approvals
And Inspections

DATE: March 1, 2016

FROM: Dennis A. Kennedy, Supervisor
Bureau of Development Plans Review

DAK

SUBJECT: Zoning Advisory Committee Meeting
For March 7, 2016
Item No. 2016-0180, 0186, 0187, 0188, 0189 and 0191

The Bureau of Development Plans Review has reviewed the subject zoning items and we have no comments.

DAK:CEN
cc:file

G:\DevPlanRev\ZAC -No Comments\ZAC0307016.doc

FRONT SIDE NE

FRONT SIDE SW

REAR

REAR SIDE NE

#0189

8'
251

8'
251

REAR SIDE NE

REAR SIDE SW

FRONT

REAR FACING

#0189

CASE NO. 2016- 0189-A

CHECKLIST

Comment Received	Department	Support/Oppose/ Conditions/ Comments/ No Comment
3-1	DEVELOPMENT PLANS REVIEW (if not received, date e-mail sent _____)	NC
3-7	DEPS (if not received, date e-mail sent _____)	NC
	FIRE DEPARTMENT	
	PLANNING (if not received, date e-mail sent _____)	
2-29	STATE HIGHWAY ADMINISTRATION	No objection
	TRAFFIC ENGINEERING	
	COMMUNITY ASSOCIATION	
	ADJACENT PROPERTY OWNERS	

ZONING VIOLATION (Case No. _____)

PRIOR ZONING (Case No. _____)

NEWSPAPER ADVERTISEMENT Date: _____

SIGN POSTING Date: 3-4-16 by O'Keefe

PEOPLE'S COUNSEL APPEARANCE Yes ☐ No ☐

PEOPLE'S COUNSEL COMMENT LETTER Yes ☐ No. ☐

Comments, if any: _____

Real Property Data Search (w3) | Guide to searching the database

Search Result for BALTIMORE COUNTY

View Map | View GroundRent Redemption | View GroundRent Registration

Account Identifier: **District** - 03 **Account Number** - 0319044350

Owner Information

Owner Name:	RADPARVAR SAMAN IMANOEL BAHAREH	**Use:**	RESIDENTIAL
		Principal Residence:	YES
Mailing Address:	6521 GARDENWICK RD BALTIMORE MD 21209-2537	**Deed Reference:**	/26421/ 00293

Location & Structure Information

Premises Address:	6521 GARDENWICK RD 0-0000	**Legal Description:**	6521 GARDENWICK RD PICKWICK

Map:	Grid:	Parcel:	Sub District:	Subdivision:	Section:	Block:	Lot:	Assessment Year:	Plat No:	3
0078	0006	0456		0000		C	45	2014	Plat Ref:	0029/ 0032

Special Tax Areas:		**Town:**	NONE
		Ad Valorem:	
		Tax Class:	

Primary Structure Built	Above Grade Enclosed Area	Finished Basement Area	Property Land Area	County Use
1963	1,521 SF	758 SF	7,930 SF	04

Stories	Basement	Type	Exterior	Full/Half Bath	Garage	Last Major Renovation
Split Foyer	YES	SPLIT FOYER	BRICK	2 full/ 1 half		

Value Information

	Base Value	Value As of 01/01/2014	Phase-in Assessments As of 07/01/2015	As of 07/01/2016
Land:	91,900	91,900		
Improvements	223,700	239,100		
Total:	315,600	331,000	325,867	331,000
Preferential Land:	0			0

Transfer Information

Seller: SIEGEL SANDER A Type: ARMS LENGTH IMPROVED	Date: 11/27/2007 Deed1: /26421/ 00293	Price: $385,000 Deed2:
Seller: SIEGEL SANDER A Type: NON-ARMS LENGTH OTHER	Date: 06/28/2007 Deed1: /25873/ 00476	Price: $0 Deed2:
Seller: Type:	Date: Deed1:	Price: Deed2:

Exemption Information

Partial Exempt Assessments:	Class	07/01/2015	07/01/2016
County:	000	0.00	
State:	000	0.00	
Municipal:	000	0.00|0.00	0.00|0.00

Tax Exempt:	Special Tax Recapture:
Exempt Class:	NONE

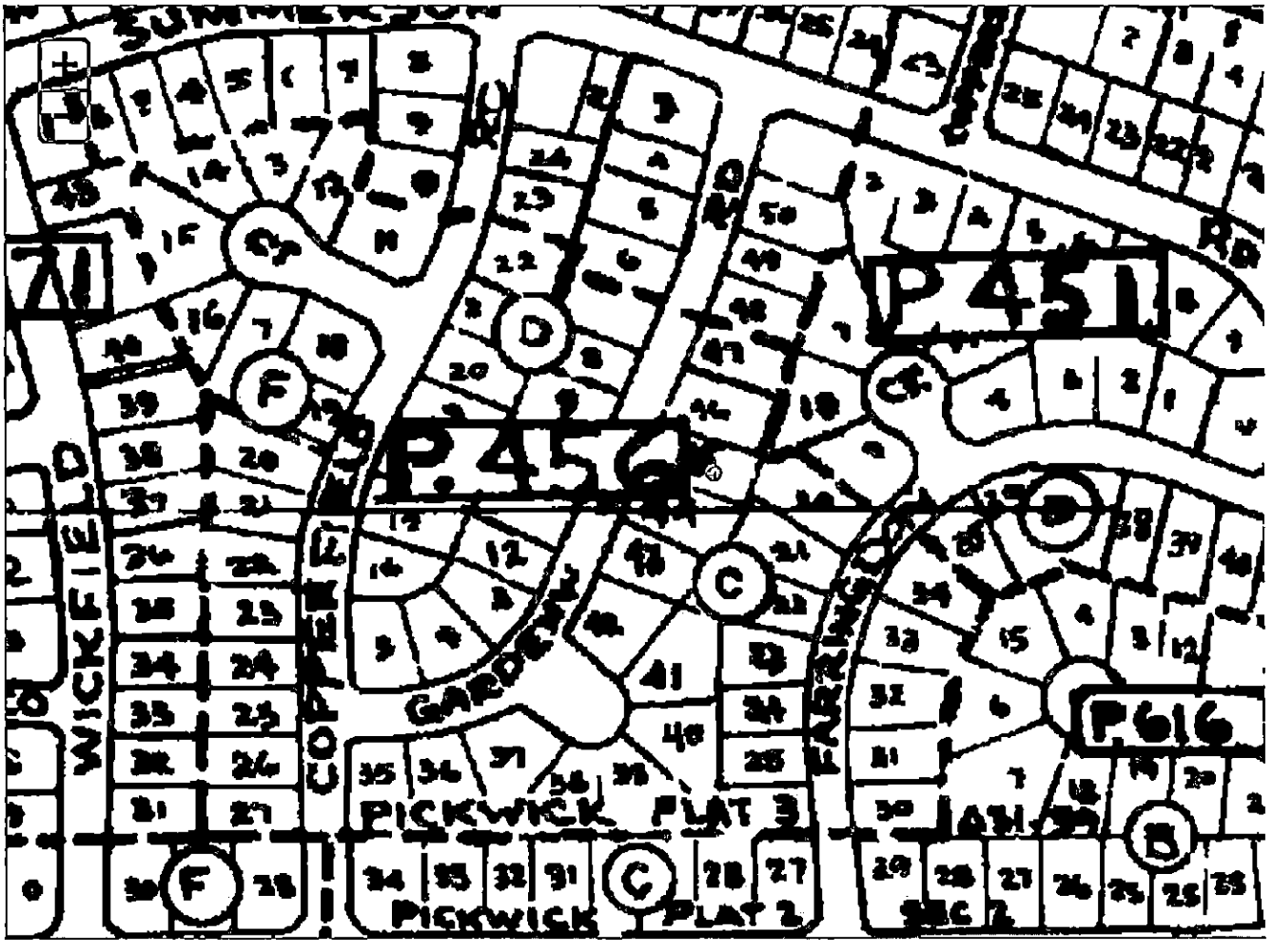
Homestead Application Information

Homestead Application Status: Approved 03/10/2014

Baltimore County

New Search (http://sdat.dat.maryland.gov/RealProperty)

District: **03** Account Number: **0319044350**



The information shown on this map has been compiled from deed descriptions and plats and is not a property survey. The map should not be used for legal descriptions. Users noting errors are urged to notify the Maryland Department of Planning Mapping, 301 W. Preston Street, Baltimore MD 21201.

If a plat for a property is needed, contact the local Land Records office where the property is located. Plats are also available online through the Maryland State Archives at www.plats.net (http://www.plats.net).

Property maps provided courtesy of the Maryland Department of Planning.

For more information on electronic mapping applications, visit the Maryland Department of Planning web site at www.mdp.state.md.us/OurProducts/OurProducts.shtml (http://www.mdp.state.md.us/OurProducts/OurProducts.shtml).

NW 8-D
0306022700
0319061820
Pt. Bk. 0000029, Folio 0031
0311078680
Lot # 2
Lot # 50
Lot # 49
0303053140
49
2005-0327-A
0311540
22
6529
0307052130
Lot # 6
6518
Pt. Bk./Folio # 029031
Lot # 22
0307062690
Lot # 7
0316017800
7
6516
Lot # 48
0312034850
48
Lot # 17
0312042480
17
6
6527
0307062110
Lot # 21
Lot # 8
0307016200
8
6514
Lot # 47
47
0304022010
Pt. Bk./Folio # 029030
0308081430
Lot # 20
Lot # 9
2007-0013-A
0306011520
9
6512
Lot # 18
0312034780
4
18
Pt. Bk. 0000029, Folio 0030
46
Lot # 46
0312034541
0319044370
Lot # 10
0306060310
PAI # 030105
10
6510
3 ED
Lot # 19
0318053860
19
45
2 CD
PAI # 030105
0319044350
078C1
DR 5.5
1954-2990-X
R-1953-2575
Lot # 45
Lot # 20
2013-0054-A
0302049200
20
2526
GARDENWICK RD
Lot # 11
11
44
NW 7-D
Lot # 44
0323004690
0302026430
Pt. Bk./Folio # 029032
21
Lot # 21
0319036000
2528
12
Lot # 12
43
0301036200
Lot # 43
0319044390
0307052220
Lot # 13
22
2530
0304076660
Lot # 22
Lot # 42
0319036070
0311068200
Lot # 23
0303053070
2015-0257-A
23
Lot # 41
0302049340
41
Pt. Bk. 0000029, Folio 0032
ROAD
FARRINGDON RD
0319036100
0319044360
24
Lot # 24
Lot # 40
0312074970
0319058750
2000-0447-A
Lot # 25
0307052550
2013-002

GENERAL NOTES

1. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN THE CONTRACT DOCUMENTS AND AWAIT DIRECTIONS OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
2. DRAWINGS ARE GROUPED AND IDENTIFIED AS CIVIL, LANDSCAPE, ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL, ETC. THIS IS DONE AS A CONVENIENCE TO THE CONTRACTOR TO HELP LOCATE MORE QUICKLY WORK GENERALLY FALLING INTO ONE OF THE ABOVE CATEGORIES. IT SHOULD NOT BE ASSUMED THAT ALL WORK NORMALLY PERFORMED BY ONE SUB-CONTRACTOR OR TRADE WILL BE FOUND ON ANY ONE DRAWING OR GROUP DRAWINGS. ALL WORK CALLED FOR UNDER THIS CONTRACT SHALL BE COMPLETED AS REQUIRED REGARDLESS OF THE IDENTIFICATIONS OF THE DRAWING ON WHICH IT MAY BE SHOWN.
3. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS ON DRAWINGS SHALL GOVERN. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. WHERE THERE IS CONFLICT BETWEEN DRAWINGS, SPECIFICATIONS OR DETAILS, THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR CLARIFICATION.
4. CODES: ALL WORK ON THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES:
   a. CURRENT IRC BUILDING AND MECHANICAL CODES.
   b. NATIONAL ELECTRICAL CODE AS APPLICABLE.
   c. CURRENT NFPA LIFE SAFETY CODES.
   d. APPLICABLE STATE PLUMBING CODES.
   e. CURRENT STATE FIRE CODES.
5. PERMITS:
   OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL APPLICABLE PERMITS. THE PERMIT FEES AND THE COSTS OF PROCURING SAME SHALL BE BORNE ENTIRELY BY OWNER. THE PROJECTS GENERAL CONTRACTOR (G.C.) WILL COORDINATE AND SCHEDULE ALL REQUIRED INSPECTIONS.
6. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL WORK AS INDICATED IN THE CONTRACT DOCUMENTS.
7. ALL JOINTS NOT OTHERWISE FILLED OR COVERED, SHALL BE CAULKED WITH A PERMANENT SEALANT (UP TO ½" WIDE UNLESS OTHERWISE DETAILED), AS SPECIFIED TO MATCH ADJACENT SURFACES UNLESS OTHERWISE NOTED OR SHOWN. PUTTY WILL NOT BE PERMITTED.
8. WHEREVER ELECTRICAL DEVISES, FIRE ALARM PULL STATIONS, PANELS, ETC. AND MECHANICAL EQUIPMENT, DUCTS, LOUVERS, PIPES, ETC. ARE REMOVED AND/OR NEW INSTALLED IN OR ON SURFACES (WALLS, FLOORS OR CEILINGS) THE EXISTING SURFACE MUST BE REPAIRED AND PATCHED WITH MATERIALS OF LIKE COLOR, TEXTURE, AND FINISH OF ADJACENT SURFACES AS JUDGED BY THE ARCHITECT, UNLESS OTHERWISE DIRECTED WITHIN THE DOCUMENTS. ALL ITEMS ON EXTERIOR SHALL BE SEALED TO MAKE WEATHER-TIGHT.
9. ALL PARTITIONS CONTAINING PLUMBING OR ELECTRICAL SHALL BE OF THE THICKNESS REQUIRED TO CONCEAL SAME.
10. INTERIOR FINISHES:
    FINISHES OF FLOORS AND CEILINGS SHALL HAVE A FLAME SPREAD RATINGS AS PER NFPA 101. G.C. TO SUBMIT CONFIRMATION INFORMATION ON ALL FLAME SPREAD RATINGS AS REQUIRED.
    PROVIDE TRANSITION STRIPS AT ALL CHANGES IN FLOOR FINISHES.
    ALL CLOSETS ARE TO HAVE SAME FINISH AS THE ADJOINING ROOM UNLESS OTHERWISE NOTED.
11. LIFE SAFETY ITEMS:
    THE G.C. SHALL BE RESPONSIBLE FOR THE COORDINATION, AND INSTALLATION OF REQUIRED LIFE SAFETY EQUIPMENT INCLUDING, BUT NOT LIMITED TO EXIT SIGNS, EMERGENCY LIGHTS, AND FIRE EXTINGUISHERS PER THE FIRE DEPT.
12. WORKMANSHIP STANDARDS:
    ALL WORK SHALL BE PERFORMED IN A SAFE AND EXPEDITIOUS MANNER USING THE RECOMMENDED TOOLS IN ACCORDANCE WITH THE STANDARDS AND PRACTICES OF THE APPROPRIATE TRADE.
13. ALL INTERIOR WALLS ARE DIMENSIONED STUD-STUD, UNLESS NOTED OTHERWISE.
14. ALL INTERIOR WALLS SHALL BE 2X4 CONSTRUCTION, UNLESS NOTED OTHERWISE.
15. ALL INTERIOR DOOR JAMBS SHALL BE HELD 4" FROM FINISHED FACE OF WALL UNLESS NOTED OTHERWISE.
16. ALL LINTELS TO HAVE 6X6 POST AT EACH END (TYPICAL).

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CUSTOM RESIDENCE
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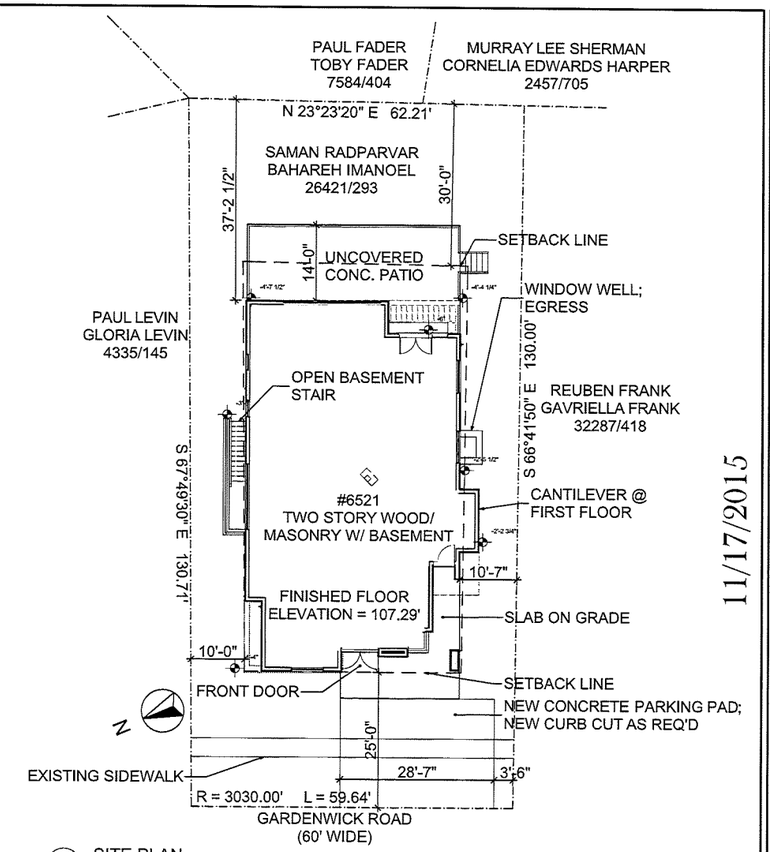
BALTIMORE, MD 21209



1 SITE PLAN
SCALE: 1" = 10'

11/17/2015

DATE OF REVISION
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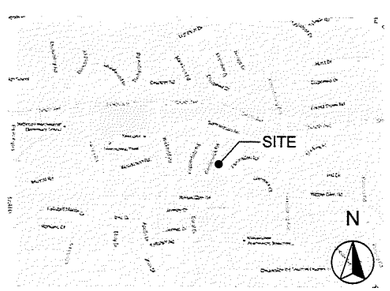
RESIDENCE
6521 GARDENWICK ROAD, BALTIMORE, MD 21209
COVER SHEET

SITE LOCATION MAP (NTS)



BUILDING DATA

JURISDICTION:	BALTIMORE COUNTY MARYLAND
APPLICABLE CODES:	2015 IRC
TYPE OF WORK:	DEMOLITION OF EXISTING SPLIT-LEVEL. NEW CONSTRUCTION OF 2 STORY WOOD/MASONRY HOME WITH BELOW GRADE BASEMENT.
TAX ACCT #:	0319044350
TAX MAP:	0078 PARCL: 0456
ELECTION DISTRICT:	3
COUNCIL DISTRICT:	2
ZONING:	DR-5.5
EXISTING SF:	1595 SF
PROPOSED SF:	2324 SF
WATER:	PUBLIC
SEWER:	PUBLIC
WATERSHED:	JONES FALLS
200 SCALE MAP:	078C1

DRAWING INDEX

CS-1 COVER SHEET & SITE PLAN

PLANS:
A-100 BASEMENT
A-101 FIRST FLOOR PLAN
A-102 SECOND FLOOR & ROOF PLAN

ELEVATIONS:
A-201 ELEVATIONS

SECTIONS:
A-300 BUILDING SECTIONS & WALL SECTIONS
A-301 BUILDING SECTIONS & WALL SECTIONS
A-302 BUILDING SECTIONS & WALL SECTIONS

DETAILS:
A-500 DETAILS & INTERIOR CASEWORK ELEVATION AT FIREPLACE

SCHEDULES:
A-600 DOOR & WINDOW SCHEDULES

STRUCTURAL DRAWINGS:
S-100 FOUNDATION & FIRST FLOOR FRAMING PLAN & NOTES
S-101 SECOND FLOOR FRAMING PLAN & STRUCTURAL DETAILS
S-102 ROOF FRAMING PLAN

ELECTRICAL PLANS:
E-100 BASEMENT ELECTRICAL PLAN
E-101 FIRST FLOOR ELECTRICAL PLAN
E-102 SECOND FLOOR ELECTRICAL PLAN

OWNER:
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Baltimore County, Maryland 21209

Saman Radparvar
Phone: (443) 621-2971
Email: samanrad2001@yahoo.com

ARCHITECT:
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Erica Wunderlich, Project Architect
Phone: (410) 581-0104
Fax: (410) 581-0108
Email: ericaw@levinbrown.com

STRUCTURAL ENGINEER:
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Owings Mills, Maryland 21117

Murray Weiner, P.E.
Phone: (410) 581-0104
Fax: (410) 581-0108

2015 IECC CODE COMPLIANCE

R301.1 Climate zone 4A

R-401.2 Compliance Method:
Mandatory and Prescriptive Provisions

R-402.1.1 Vapor Retarder:
Wall assemblies in the building thermal envelope shall comply with vapor retarder requirements of Section R702.7 of the International Residential Code, 2015 Edition.

R-402.1.2 Attic Insulation:Raised Heel Trusses
R-49 R-38

R-402.1.2 Wood Frame Wall:
R-20 or R13 + R5 continuous insulation.

R-402.1.2 Basement Wall Insulation:
R-13/R-10 Foil Faced Continuous, uninterrupted Batts Full Height

R-402.1.2 Crawl Space Wall Insulation:
R-13/R-10 Foil faced Continuous Batts Full Height extending from floor above to finish grade level and then vertically or horizontally an additional 2' -0".

R-402.1.2 Floor Insulation over Unconditioned Space:
R-19 batt insulation

R-402.1.2 Window U-Value/SHGC
.35 (U-Value)
.40 (SHGC)

R-402.2.10 Slab on Grade Floors Less Than 12" Below Grade:
R-10 Rigid Foam Board Under Slab Extending Either 2' -0" Horizontally or 2' -0" Vertically

R-402.2.4 Attic Access:
Attic access scuttle will be weatherstripped and insulated R-49

R-402.4 Building Thermal Envelope (air leakage):
Exterior walls and penetrations will be sealed per this section of the 2015 IECC with caulk, gaskets, weatherstripping or an air barrier of suitable material. Sealing methods between dissimilar materials shall allow sealing for differential expansion and contraction.

R-402.4.1.2 Building Thermal Envelope Tightness Test:
Building envelope shall be tested and verified as having an air leakage rate of not exceeding 3 air changes per hour. Testing shall be conducted in accordance with ASTM E 779 or ASTM E 1827 with (blower door) at a pressure of 0.2 inches w.g. (50 pascals). Testing shall be conducted by an approved third party. A written report of the results of the test shall be signed by the party conducting the test and provided to the building inspector.

R-402.4.2 Fireplaces: New wood burning fireplaces will have tight-fitting flue dampers or doors, and outdoor combustion air. Fireplace doors shall be listed and labeled in accordance with UL 127 (factory built fireplace) and UL 907 (masonry fireplace).

R-402.4.4 Rooms containing fuel-burning appliances where open combustion air ducts provide combustion air to open combustion fuel burning appliances, the appliances and combustion air shall be located outside the building thermal envelope or enclosed in a room isolated from inside the thermal envelope.
Exceptions: 1. Direct vent appliances with both intake and exhaust pipes installed continuous to the outside. 2. Fireplaces and stoves complying with Section R402.4.2 and Section R1006 of the IRC

++++
R-402.4.5 Recessed Lighting
Recessed luminaries installed in the building thermal envelope shall be sealed to limit air leakage.

R-403.1.1 Thermostat
All dwelling units will have at least (1) programmable thermostat for each separate heating and cooling system per 2015 IECC Section 403.1.1.

R-403.1.2 Where a Heat pump system having supplementary electric resistance heat is used the thermostat shall prevent the supplementary heat from coming on when heat pump can meet heating load.

R-403.3.1 Mechanical Duct Insulation
Supply and Return Ducts in Attic R-8 minimum, R-6 when less than 3 inches.
Supply and Return Ducts outside of conditioned spaces R-8 minimum.
All other ducts except those located completely inside the building thermal envelope R-6 minimum. Ducts located under concrete slabs must be R-6 minimum.

R-403.3.2 Duct Sealing
All ducts, air handlers, filter boxes will be sealed. Joints and seams will comply with section M1601.4.1 of the IRC.

A duct tightness test ("Duct Blaster" duct total leakage test) will be performed on all homes and shall be verified by either a post construction test or a rough-in test. Duct tightness test is not required if the air handler and all ducts are located within the conditioned space.

R-403.6 Mechanical Ventilation
Outdoor (make-up and exhausts) air ducts to be provided with automatic or gravity damper that close when the ventilation system is not operating.

R-403.6.1 Whole-house mechanical ventilation system fan efficiency to comply with TABLE R403.6.1.

R-403.7 Equipment Sizing shall comply with R403.7.

R-404.1 Lighting Equipment
A minimum of 75% of all lamps (lights) must be high-efficacy lamps.

This contractor also responsible for generating Certificate of Compliance and affixing to electrical panel or within 6 feet of the electrical panel and be readily visible.

DATE 11/06/15
PROJECT NUMBER 4114

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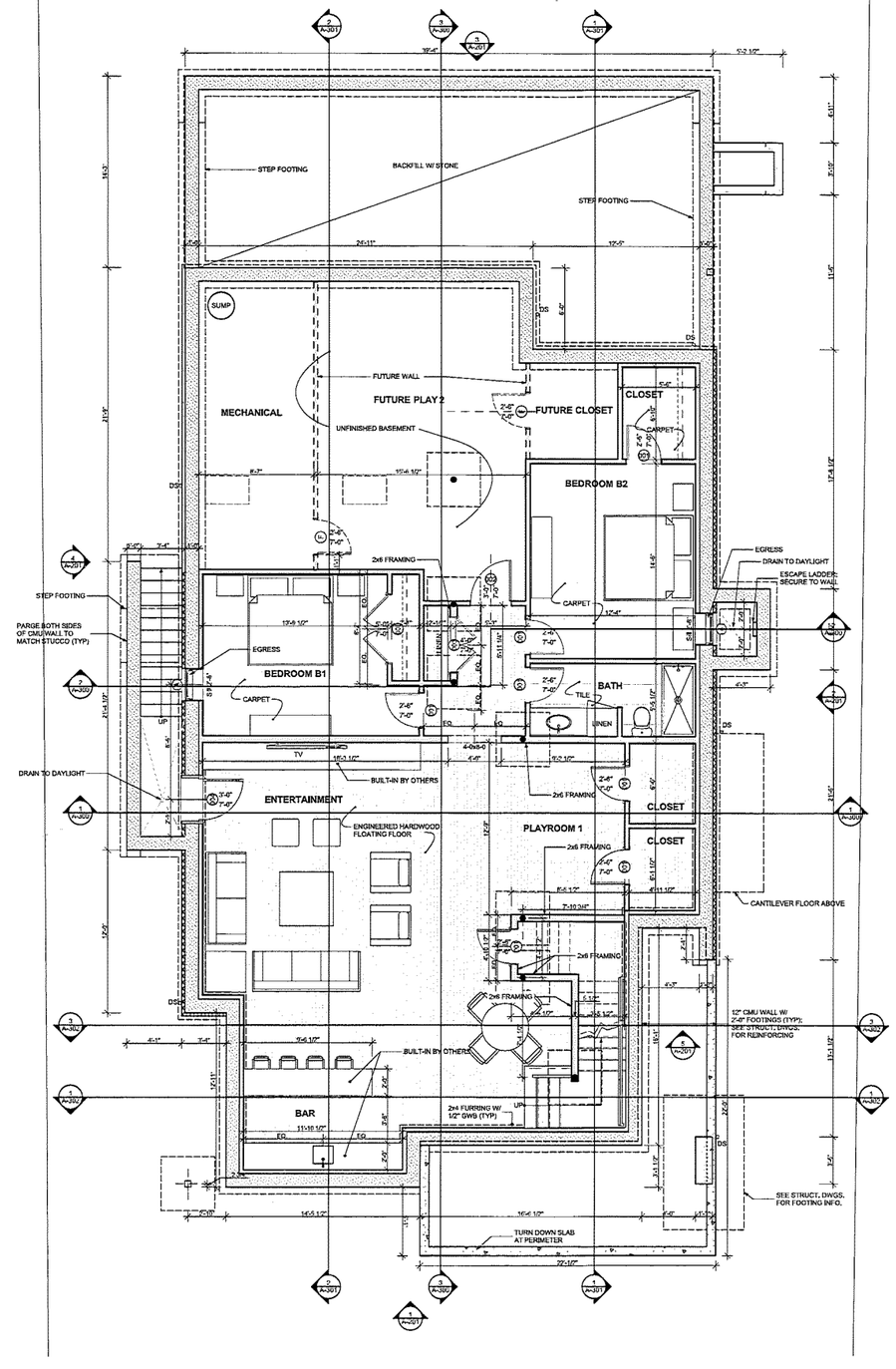

-1 BASEMENT PLAN
SCALE: 1/4" = 1'-0"

DATE OF REVISION	
11/17/15	PERMIT/PRICING

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6521 GARDENWICK ROAD, BALTIMORE, MD 21209

BASEMENT PLAN

DATE: 11/06/15

PROJECT NUMBER: 4114

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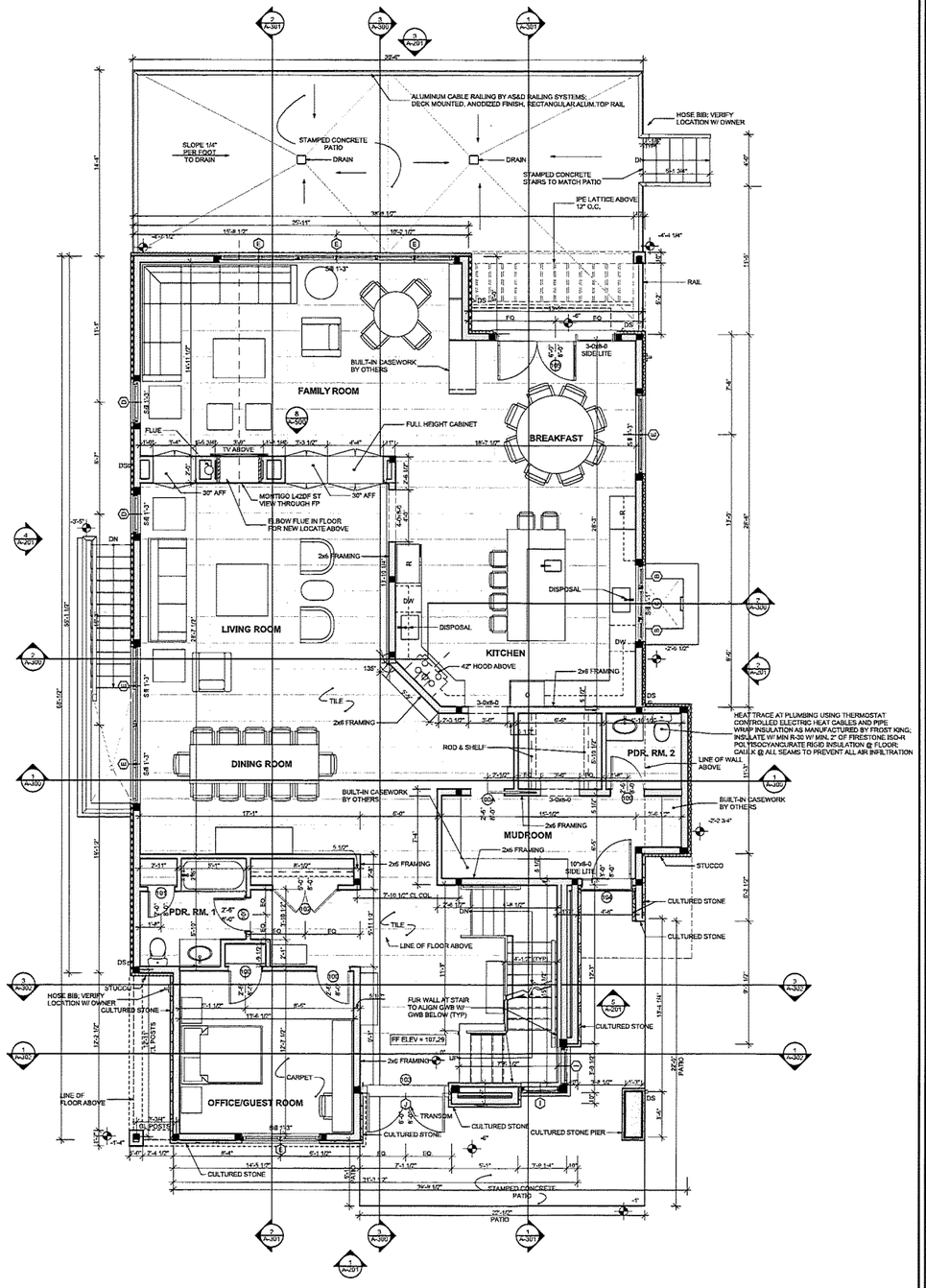

1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

DATE OF REVISION
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FIRST FLOOR PLAN

DATE 11/06/15

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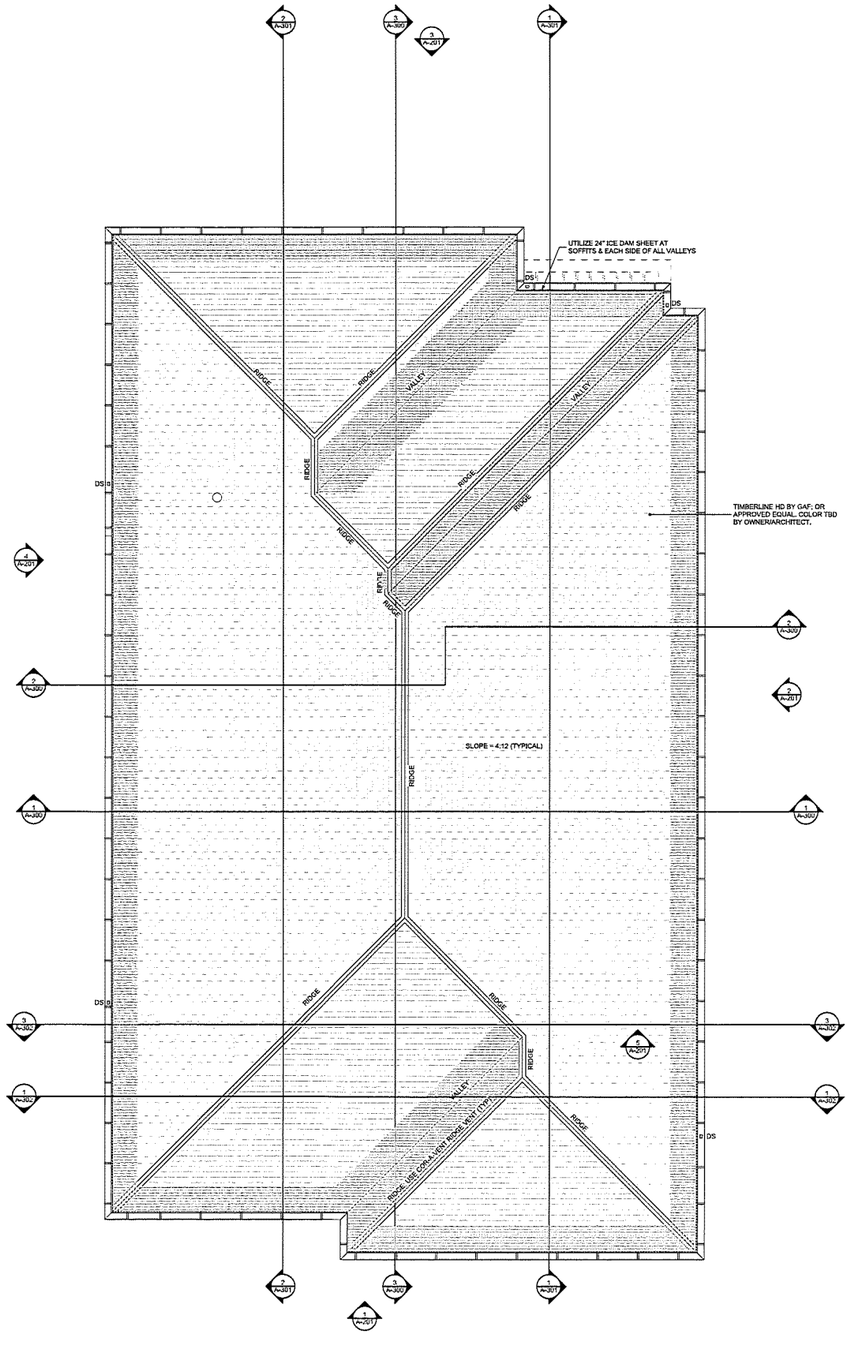
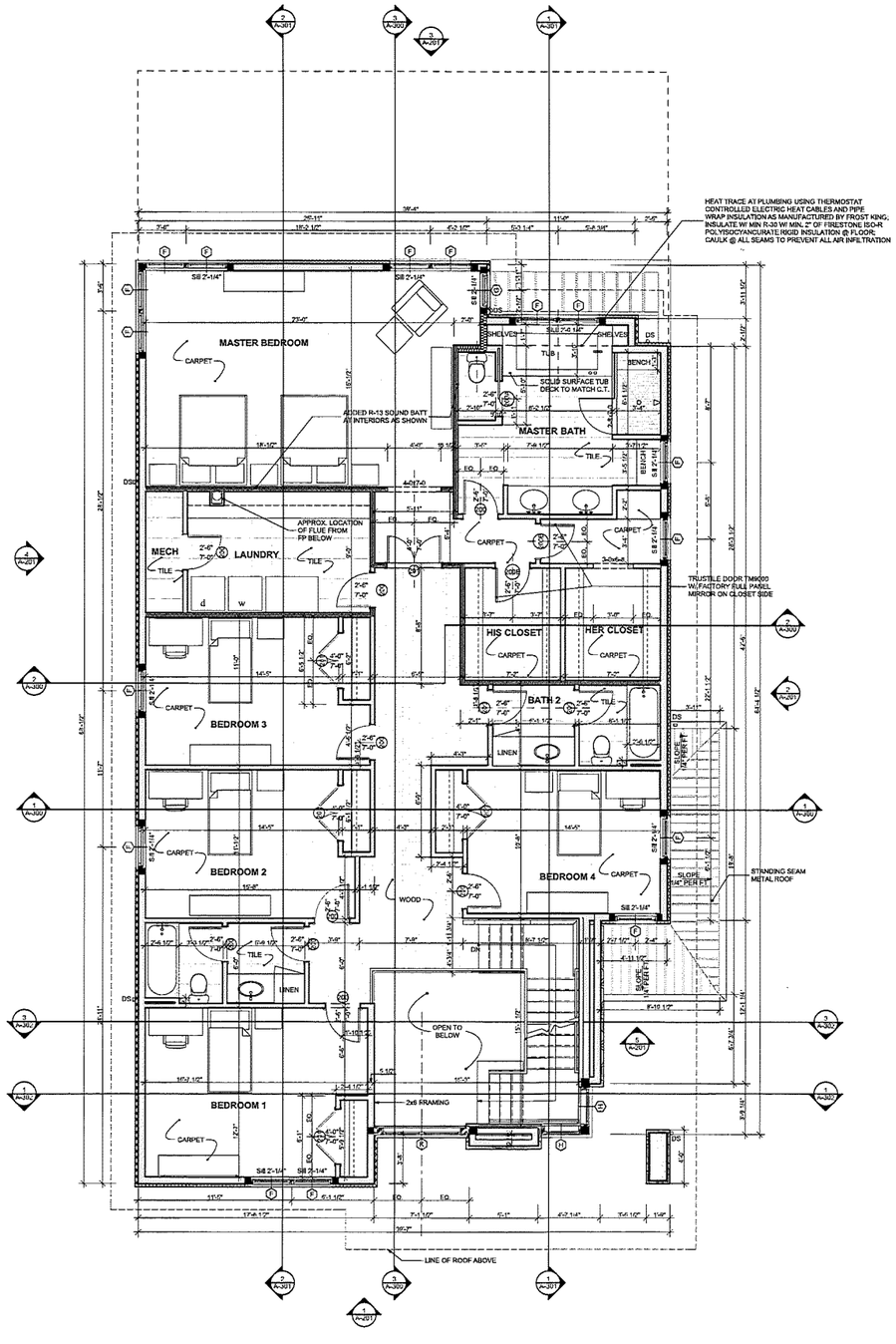


2 ROOF PLAN
SCALE: 1/4" = 1'-0"



1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

DATE OF REVISIONS
11/17/15 PERMIT/PRICING

RADPARVAR RESIDENCE
6521 GARDENWICK ROAD, BALTIMORE, MD 21209

SECOND FLOOR & ROOF PLAN

DATE 11/06/15
PROJECT NUMBER 4114

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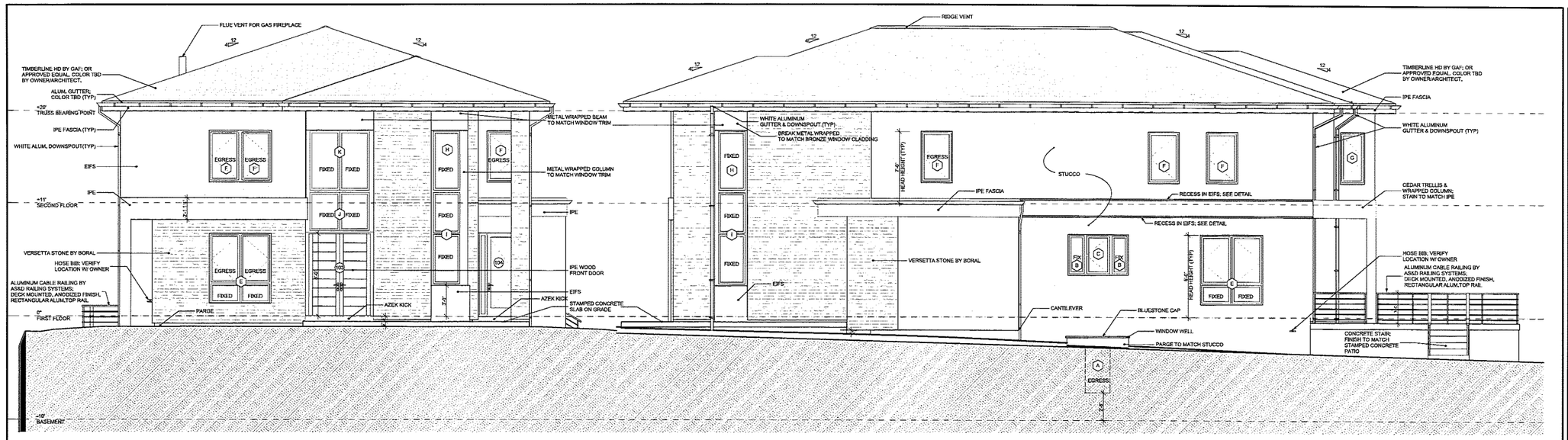
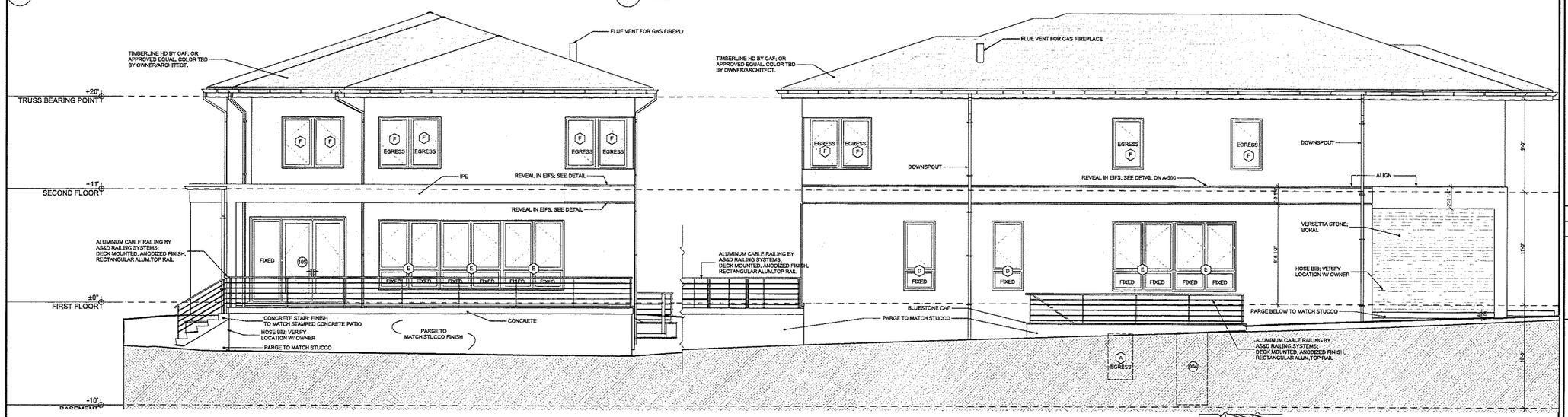
A-102



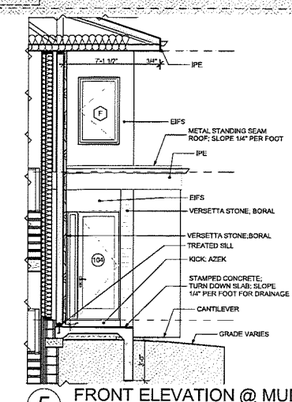
1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

2 RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



3 REAR ELEVATION
SCALE: 1/4" = 1'-0"

4 LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



5 FRONT ELEVATION @ MUDROOM DOOR
SCALE: 1/4" = 1'-0"

DATE OF REVISION	
11/17/15	PERMIT/PRICING

RADPARVAR RESIDENCE
6521 GARDENWICK ROAD, BALTIMORE, MD 21209

ELEVATIONS

DATE 11/06/15
PROJECT NUMBER 4114

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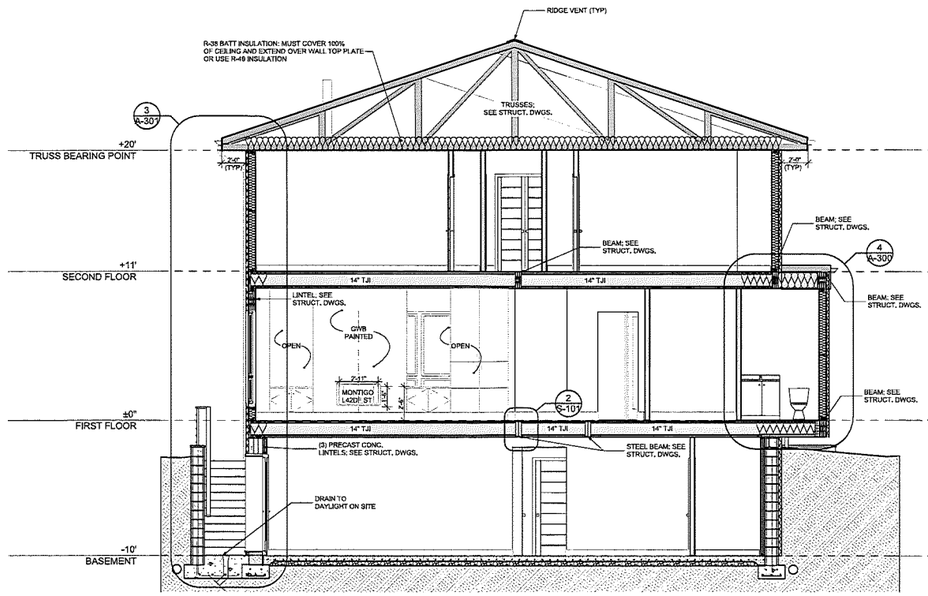
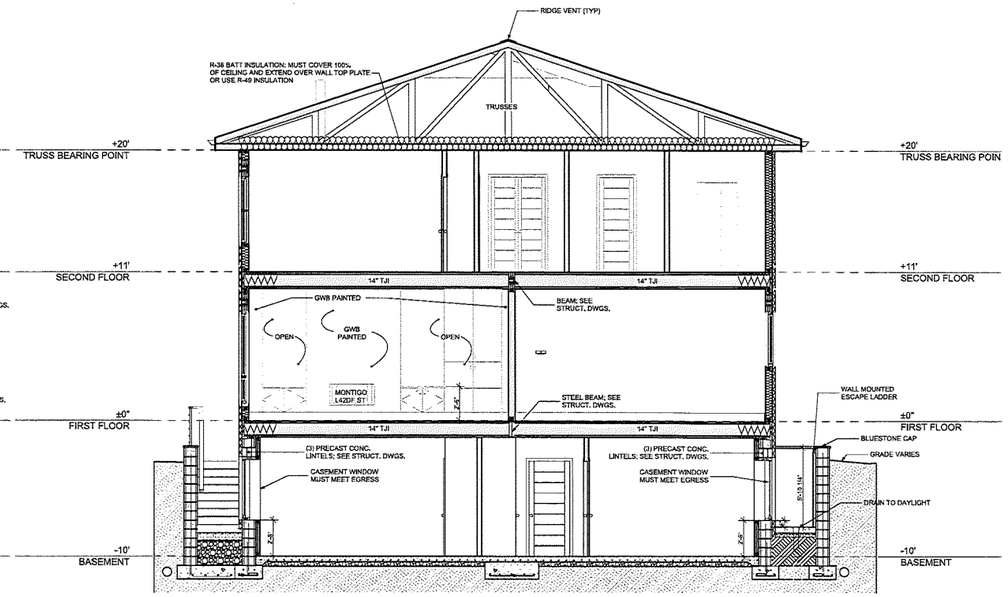
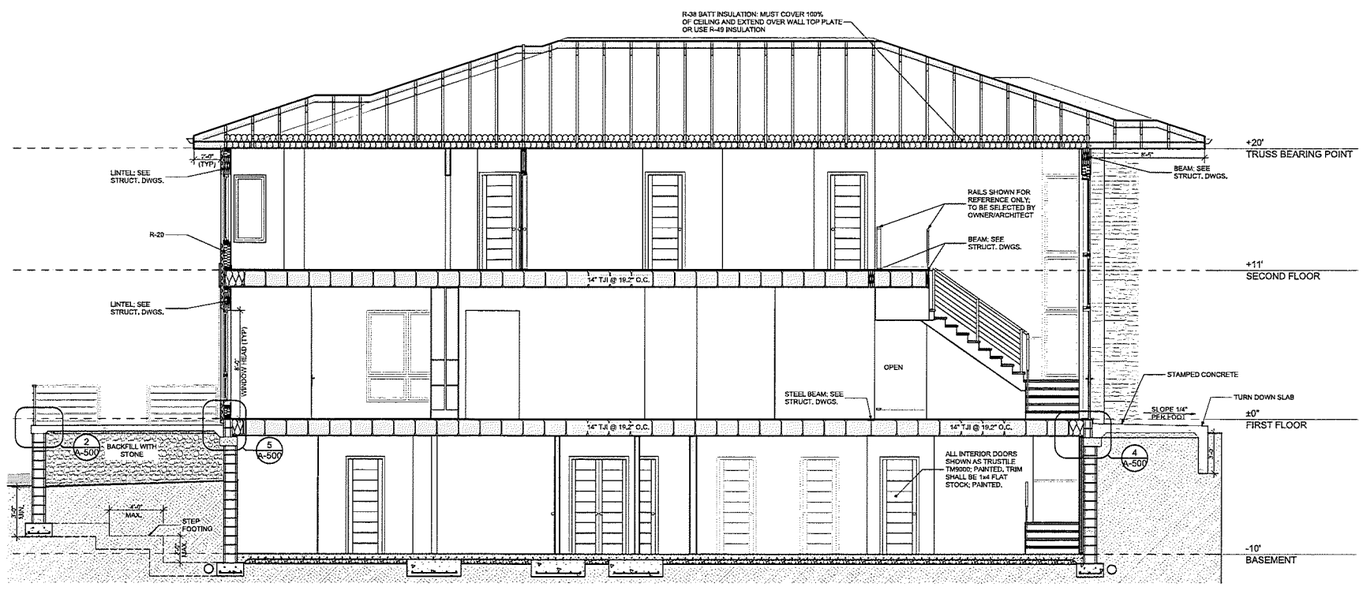


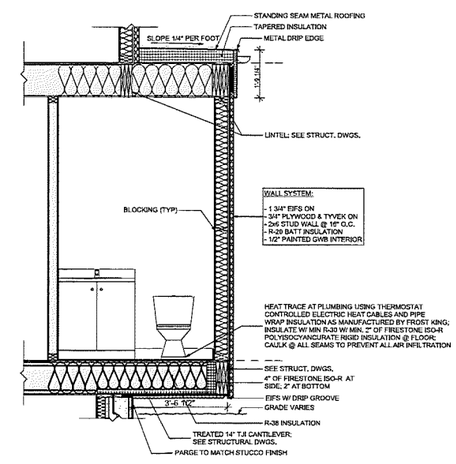
1 SECTION @ BASEMENT STAIR
SCALE: 1/4" = 1'-0"



2 SECTION @ BASEMENT WINDOW WELL
SCALE: 1/4" = 1'-0"



3 SECTION THRU MAIN RIDGE
SCALE: 1/4" = 1'-0"



4 WALL SECTION @ BATHROOM CANTILEVER
SCALE: 1/2" = 1'-0"

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6521 GARDENVICK ROAD, BALTIMORE, MD 21209

BUILDING SECTIONS

DATE 11/06/15

PROJECT NUMBER 4114

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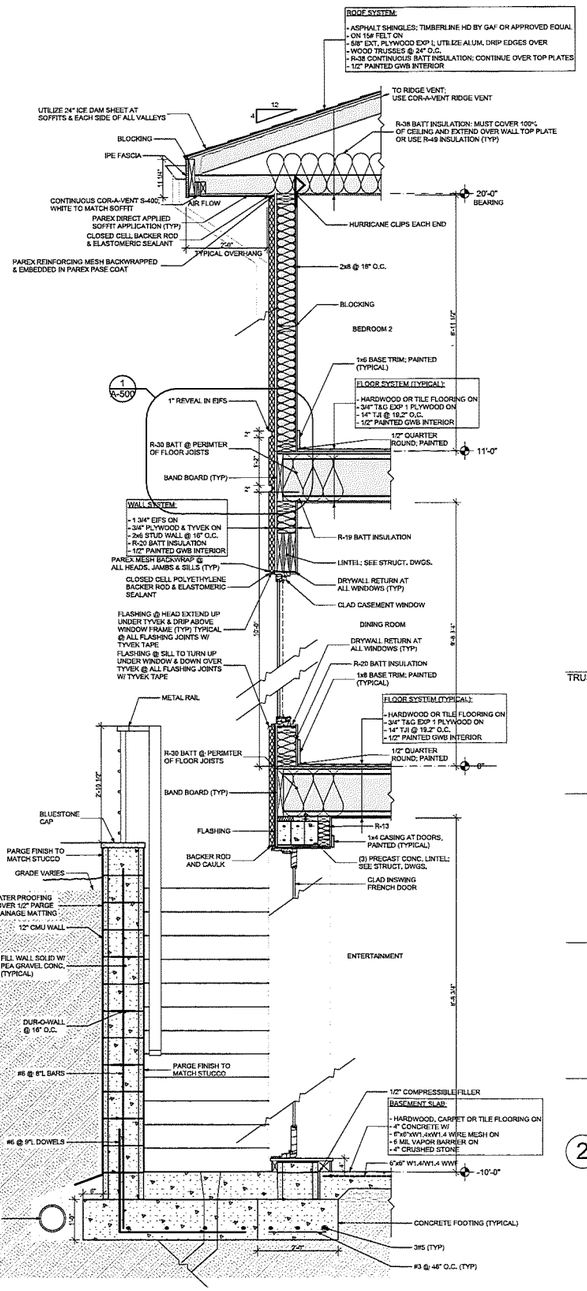

3 TYPICAL WALL SECTION
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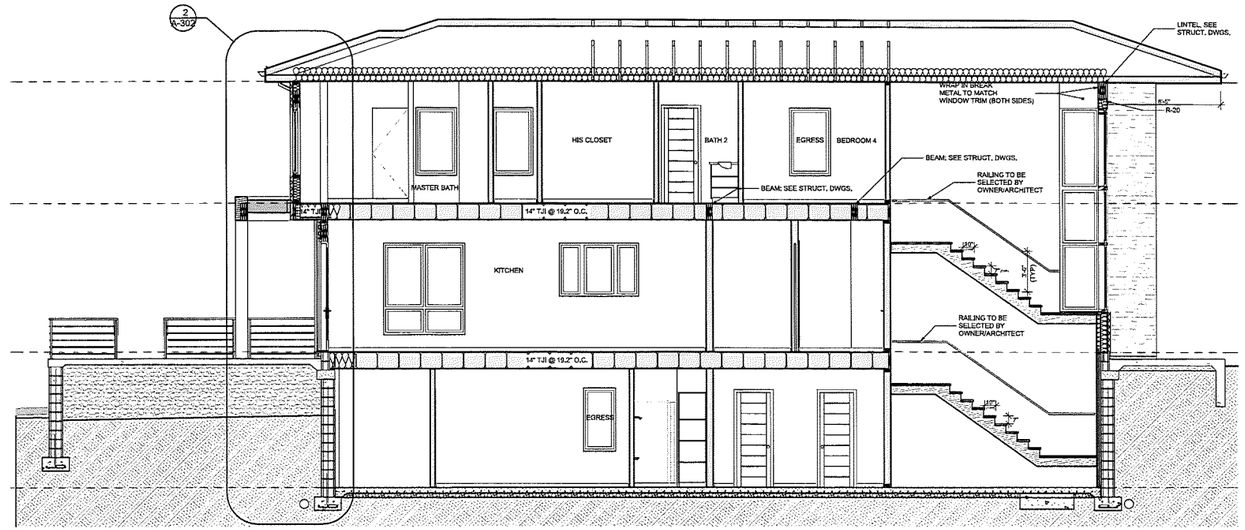

1 SECTION @ MAIN STAIR
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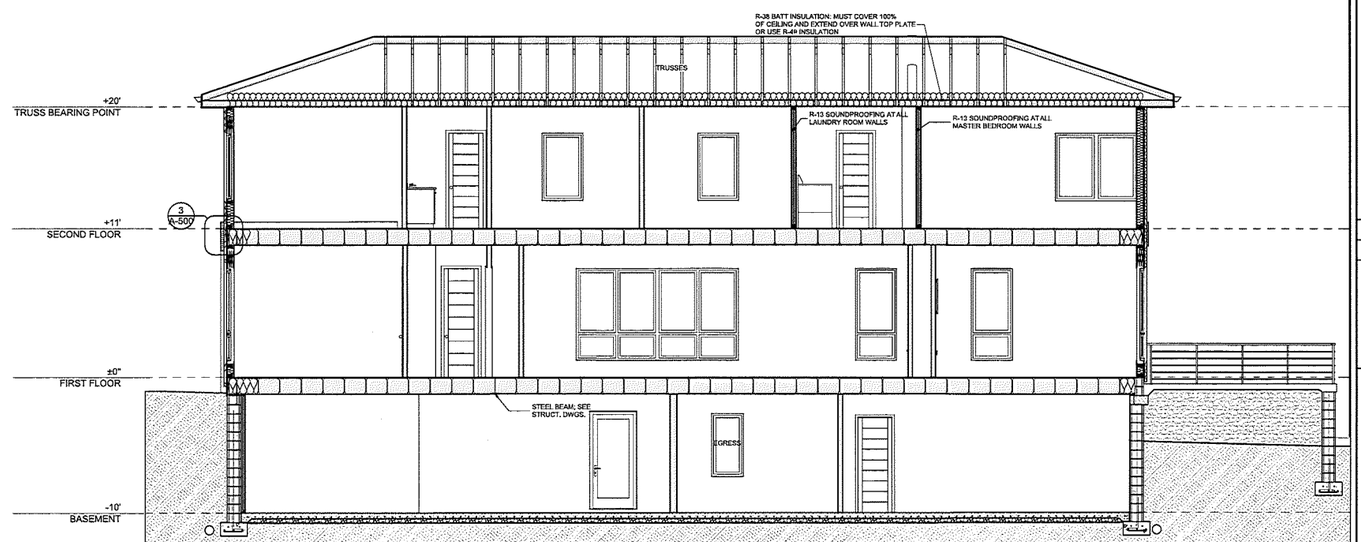

2 SECTION @ OFFICE
SCALE: 1/4" = 1'-0"

DATE OF REVISION	
11/17/15	PERMIT/PRICING

RADPARVAR RESIDENCE

6521 GARDENWICK ROAD, BALTIMORE, MD 21209

BUILDING & WALL SECTIONS

DATE 11/06/15

PROJECT NUMBER 4114

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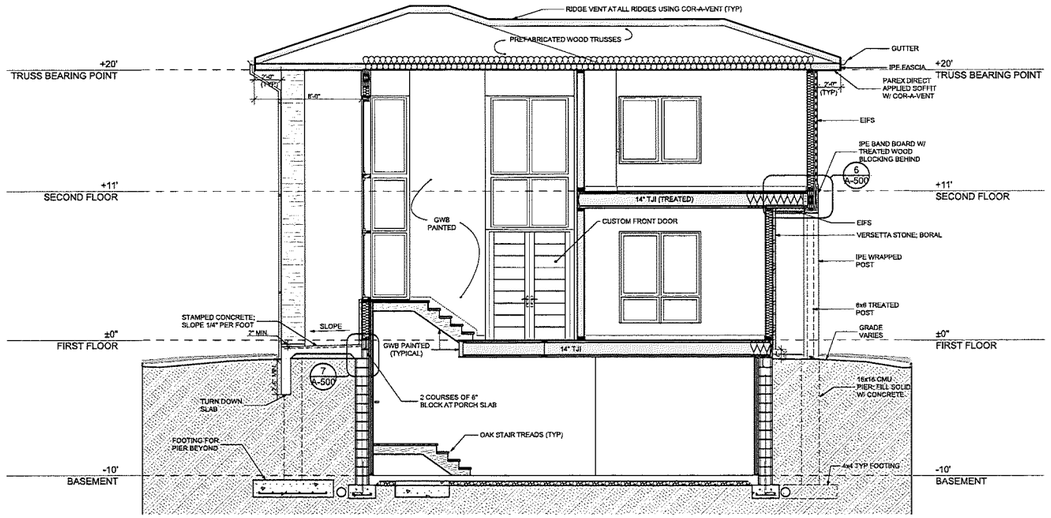
SHEET NUMBER

A-301



1 SECTION @ ENTRY HALL
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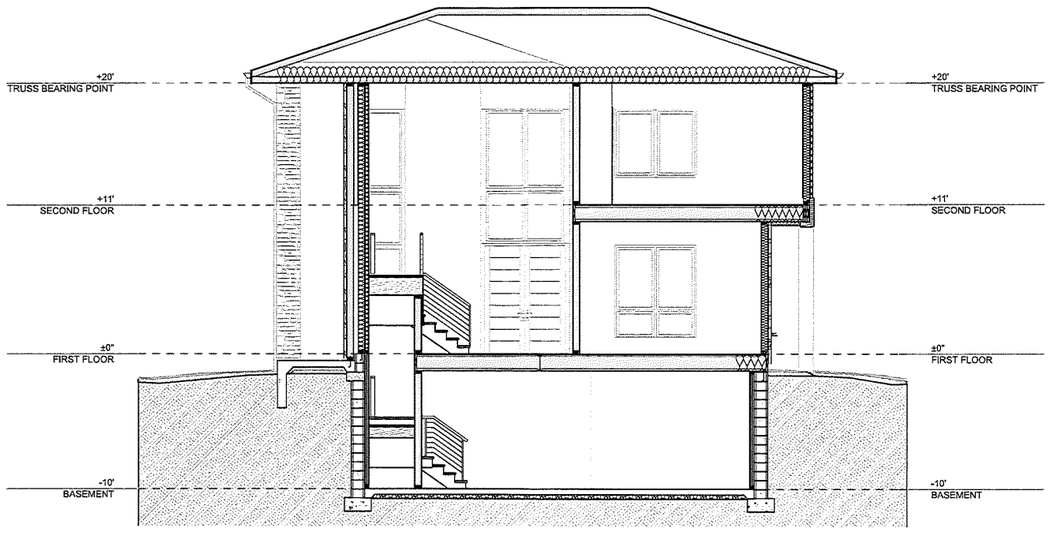

3 BUILDING SECTION @ STONE WALL
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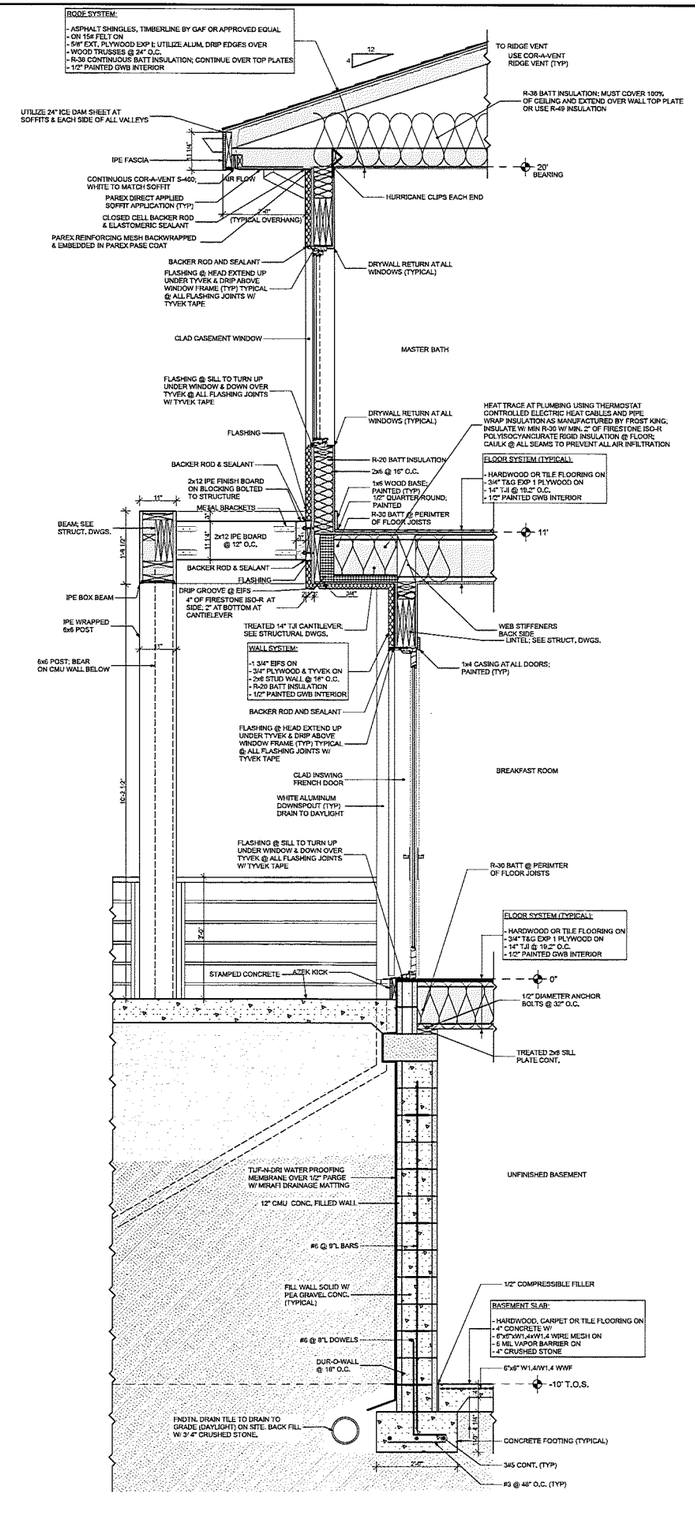

2 WALL SECTION @ DECK
SCALE: 3/4" = 1'-0"

DATE OF ISSUANCE
11/17/15 PERMIT/PRICING

RADPARVAR RESIDENCE
6521 GARDENWICK ROAD, BALTIMORE, MD 21209

BUILDING & WALL SECTIONS

DATE 11/06/15
PROJECT NUMBER 4114

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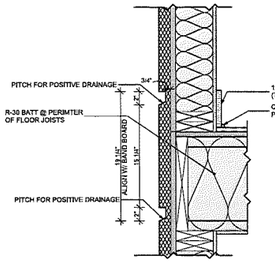

1 TYPICAL DETAIL @ EIFS REVEAL
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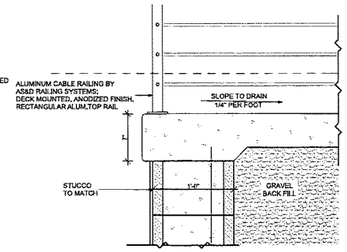

2 DETAIL @ PATIO EDGE
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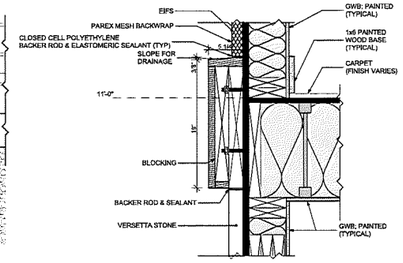
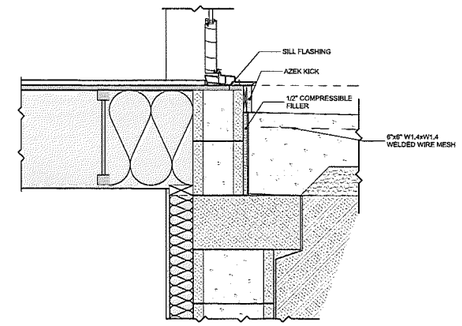
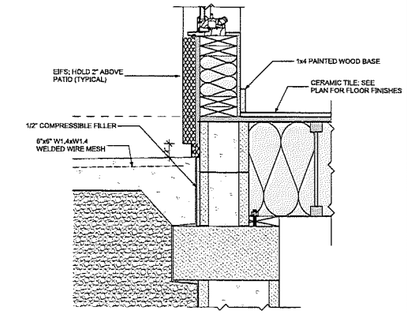


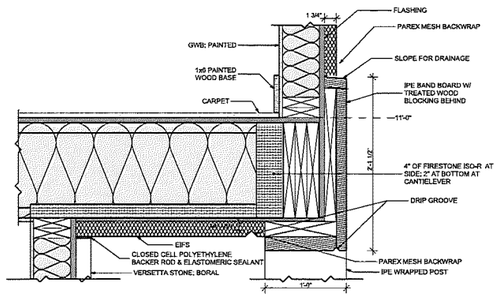
3 DETAIL @ BAND BOARD
SCALE: 1 1/2"= 1'-0"



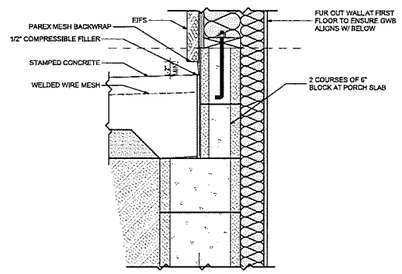
4 DETAIL @ FRONT DOOR SILL
SCALE: 1 1/2"= 1'-0"



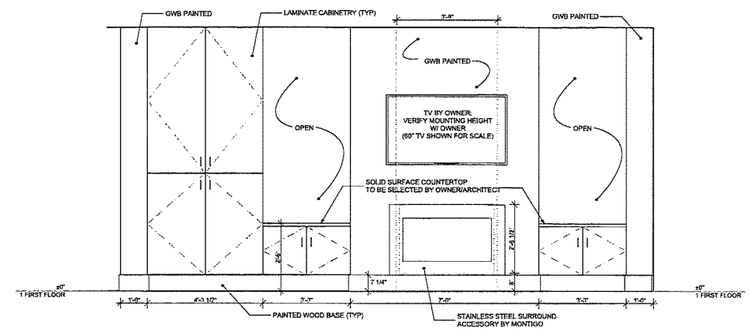
5 DETAIL @ REAR PATIO
SCALE: 1 1/2"= 1'-0"



6 DETAIL @ BANDBOARD CANTILEVER
SCALE: 1 1/2"= 1'-0"



7 DETAIL @ FRONT SLAB
SCALE: 1 1/2"= 1'-0"



8 FAMILY ROOM BUILT-IN ELEVATION LIVING ROOM BUILT-IN SIMILAR OPPOSITE
SCALE: 1/2" = 1'-0"

DATE OF REVISIONS
11/17/15 PERMIT/PRICING

RADPARVAR RESIDENCE
6521 GARDENWICK ROAD, BALTIMORE, MD 21209

DETAILS

DATE 11/06/15

PROJECT NUMBER 4514

Levin/Brown & Associates, Inc.
15 Greenspring Valley Road
Owings Mills, Maryland 21117-4101
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www.levinbrown.com

SHEET NUMBER

A-500

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DOOR SCHEDULE

MARK	SIZE W	SIZE HT	SIZE THICKNESS	MATL	QTY	NOTES	VIEW FROM OPENING SIDE (NTS)
001							
	2'-6"	7'-0"	0'-1 3/8"	MDF	7	TRUSTILE TM9000; PAINTED	
002							
	3'-0"	7'-0"	0'-1 3/8"	MDF	1	TRUSTILE TM9000; PAINTED	
003							
	4'-0"	7'-0"	0'-1 3/8"	MDF	1	TRUSTILE TM9000; PAINTED	
004							
	3'-0"	7'-0"	0'-1 3/4"	CLAD;CUIFD3070	1	MARVIN CLAD EXTERIOR DOOR FULL-LITE INSWING, FACTORY PRIMED PINE INTERIOR, 6 6/16" FRAME	
005							
	5'-0"	7'-0"	0'-1 3/8"	MDF	1	PAIR OF TRUSTILE TM9000; PAINTED	
100							
	2'-6"	8'-0"	0'-1 3/8"	MDF	4	TRUSTILE TM9000; PAINTED	
100A							
	2'-6"	8'-0"	0'-1 3/8"	MDF	1	TRUSTILE TM9000; PAINTED, POCKET DOOR & POCKET HARDWARED	
101							
	2'-0"	8'-0"	0'-1 3/8"	MDF	1	TRUSTILE TM9000; PAINTED	
102							
	5'-0"	8'-0"	0'-1 3/8"	MDF	1	PAIR OF TRUSTILE TM9000; PAINTED	
103							
	6'-0"	8'-0"	0'-1 3/4"	IPE	1	CUSTOM FRONT DOOR PANELS TO MATCH STYLE OF INTERIOR DOORS, FRAME SHALL MATCH WINDOWS	
104							
	3'-0"	8'-0"	0'-1 3/4"	CLAD; CUIFD3080 & CUSTOM 10" WIDE SIDE LITE	1	MARVIN CLAD EXTERIOR DOOR FULL-LITE INSWING WITH CUSTOM SIZE SIDE LITE, FACTORY PRIMED PINE INTERIOR; 6 9/16" FRAME	
105							
	6'-0"	8'-0"	0'-1 3/4"	CLAD; CUIF9080	1	MARVIN CLAD EXTERIOR TRIPLE DOOR FULL-LITE INSWING FRENCH DOORSE, FACTORY PRIMED PINE INTERIOR,6 9/16" FRAME, X-O-O FROM EXTERIOR	
200							
	2'-6"	7'-0"	0'-1 3/8"	MDF	11	TRUSTILE TM9000; PAINTED	
200A							
	2'-6"	7'-0"	0'-1 3/8"	MDF	1	TRUSTILE TM9000; PAINTED, POCKET DOOR & POCKET HARDWARE	
200B							
	2'-6"	7'-0"	0'-1 3/8"	MDF	2	TRUSTILE TM9000; PAINTED, CLOSET SIDE OF DOOR SHALL HAVE FULL PANEL MIRROR BY TRUSTILE	
201							
	4'-0"	7'-0"	0'-1 3/8"	MDF	5	PAIR OF TRUSTILE TM9000; PAINTED	
F							
	2'-6"	7'-0"	0'-1 3/8"	MDF	2	FUTURE DOORS IN UNFINISHED BASEMENT	

NOTE: DOOR HARDWARE TO BE SELECTED BY OWNER/ARCHITECT.
INTERIOR DOORS SHALL BE PRIMED/PAINTED ON ALL 6 SIDES.
ALL CLAD DOORS SHALL BE "BRONZE" BY MARVIN WITH FACTORY PRIMED PINE INTERIOR.

WINDOW SCHEDULE

MARK	SIZE WIDTH	SIZE HEIGHT	QTY	TYPE	NOTES	VIEW FROM OPENING SIDE (NTS)
A	2'-4"	4'-7 3/4"	2	CLAD CASEMASTER CCM2854	MARVIN EGRESS WINDOWS FOR BASEMENT BEDROOMS	
B	1'-8"	3'-11"	2	CLAD CASEMASTER STATIONARY CCM2048	KITCHEN WINDOW; FACTORY MULL W/ CASEMENT C BELOW AS SHOWN IN ELEVATIONS	
C	2'-6"	3'-11"	1	CASEMASTER CCM2848	KITCHEN WINDOW; FACTORY MULL W/ FIXED B UNITS EACH SIDE AS SHOWN IN ELEVATIONS	
D	3'-0"	6'-0"	2	TOP: CLAD CASEMASTER CCM3036; BOTTOM: CLAD CASEMASTER STATIONARY CCM3624	CASEMENT ABOVE; FIXED BELOW, FACTORY MULL.	
E	6'-0"	6'-0"	7	TOP:(2) CLAD CASEMASTER CCM3036; BOTTOM: (2)CLAD CASEMASTER STATIONARY CCM3624	CASEMENT ABOVE; FIXED BELOW, FACTORY MULL.	
F	3'-0"	4'-11 3/4"	16	CLAD CASEMASTER CCM3040	EGRESS REQUIRED FOR BEDROOM UNITS, FACTORY MULL AS SHOWN IN ELEVATIONS	
G	2'-4"	4'-11 3/4"	1	CLAD CASEMASTER CCM2840	MASTER BEDROOM	
H	2'-8 1/2"	5'-11 3/4"	2	CLAD CASEMASTER STATIONARY CCM3272	CORNER WINDOWS STAIR WELL; FACTORY MULL, WRAP CORNERS W/ BREAK METAL TO MATCH BRONZE CLADDING	
I	2'-8 1/2"	9'-1 1/4"	2	CLAD CASEMASTER STATIONARY TOP: CCM2248; BOTTOM: CCM3292	CORNER WINDOWS STAIR WELL; FACTORY MULL, WRAP CORNERS W/ BREAK METAL TO MATCH BRONZE CLADDING	
J	6'-0"	3'-11 3/4"	1	O; CLAD CASEMASTER STATIONARY; CCM3648	TRANSOM UNIT ABOVE FRONT DOOR; FACTORY MULL TO UNIT ABOVE	
K	6'-0"	5'-11 3/4"	1	(2)CLAD CASEMASTER STATIONARY UNITS CCM3672	TRANSOM UNIT ABOVE FRONT DOOR; FACTORY MULL TO UNIT BELOW	

NOTE: WINDOW HARDWARE FINISH TO BE SELECTED BY OWNER/ARCHITECT.
ALL CLAD WINDOWS SHALL BE "BRONZE" BY MARVIN WITH FACTORY PRIMED PINE INTERIOR.
NO JAMB EXTENSIONS. WINDOWS SHALL HAVE PAINTED OWS RETURN AT INTERIOR.
OPERATIONAL UNITS SHALL BE HINGED AS PER ELEVATIONS ON A-201.

DATE OF REVISION
11/17/15 PERMIT/PRICING

RADPARVAR RESIDENCE
6521 GARDENWICK ROAD, BALTIMORE, MD 21209

DOOR & WINDOW SCHEDULE

DATE 11/06/15

PROJECT NUMBER 4114

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ARCHITECTS

SHEET NUMBER

A-600

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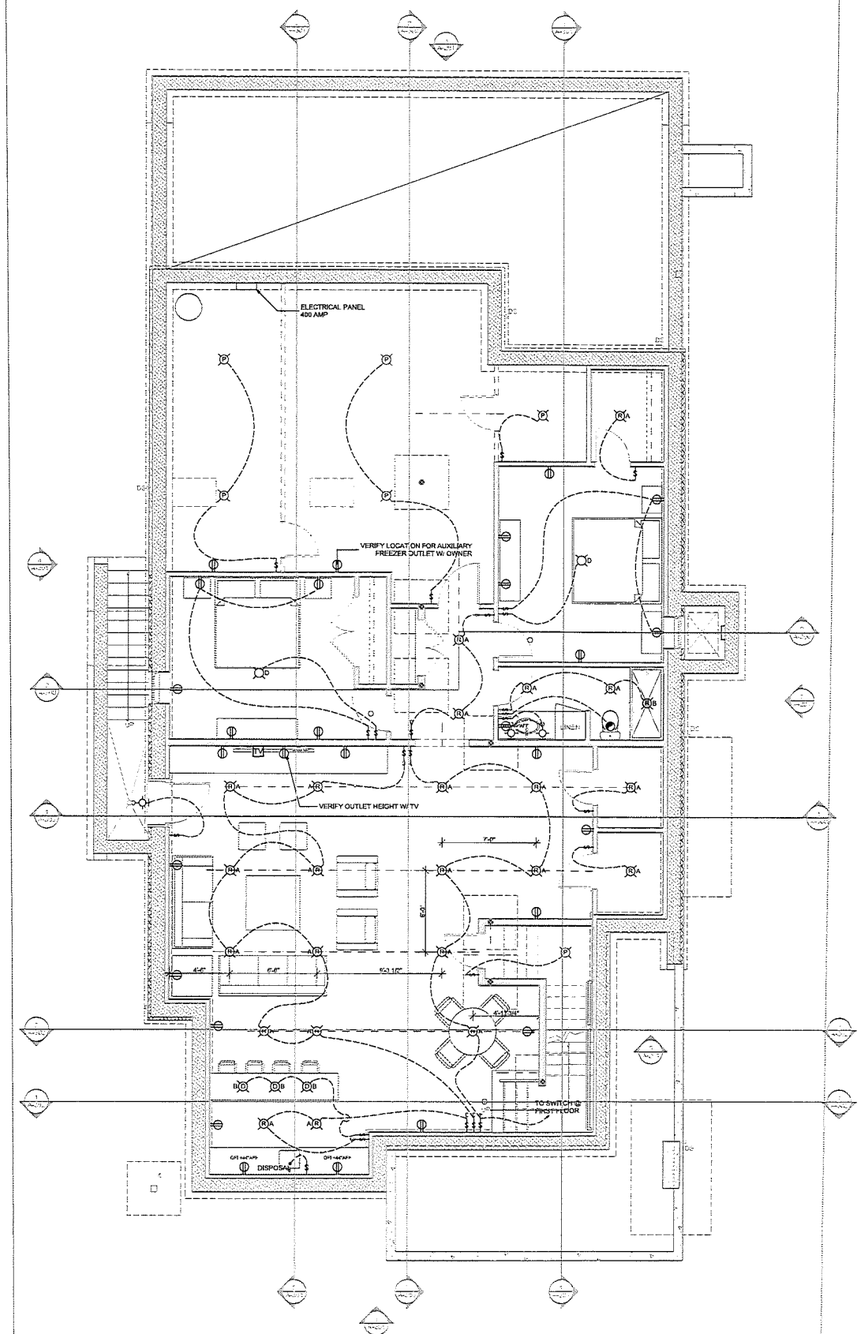
ELECTRICAL SYMBOLS KEY	
	PORCELAIN BULB
	RECESSED FIXTURE
	CEILING MOUNT FIXTURE
	WALL MOUNT FIXTURE
	EXHAUST FAN
	DECORATIVE FIXTURE
	FLOOD LIGHT
	UNDER CABINET/COVE LIGHT
S	SECURITY PANEL
T	THERMOSTAT
	PHONE JACK
	SMOKE DETECTOR
TV	CABLE JACK
	DOUBLE OUTLET
	SWITCHED OUTLET
	QUAD OUTLET
	ROCKER SWITCH
	3-WAY ROCKER SWITCH
	4-WAY ROCKER SWITCH
D	SWITCH W/ DIMMER

NOTE: EACH FLOOR SHALL HAVE A DUEL CARBON MONOXIDE/SMOKE DETECTOR



1 BASEMENT ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

DATE OF REVISION
11/17/15 PERMIT/PRICING

RADPARVAR RESIDENCE

6521 GARDENVICK ROAD, BALTIMORE, MD 21209

BASEMENT LIGHTING PLAN

DATE 11/06/15

PROJECT NUMBER 4114

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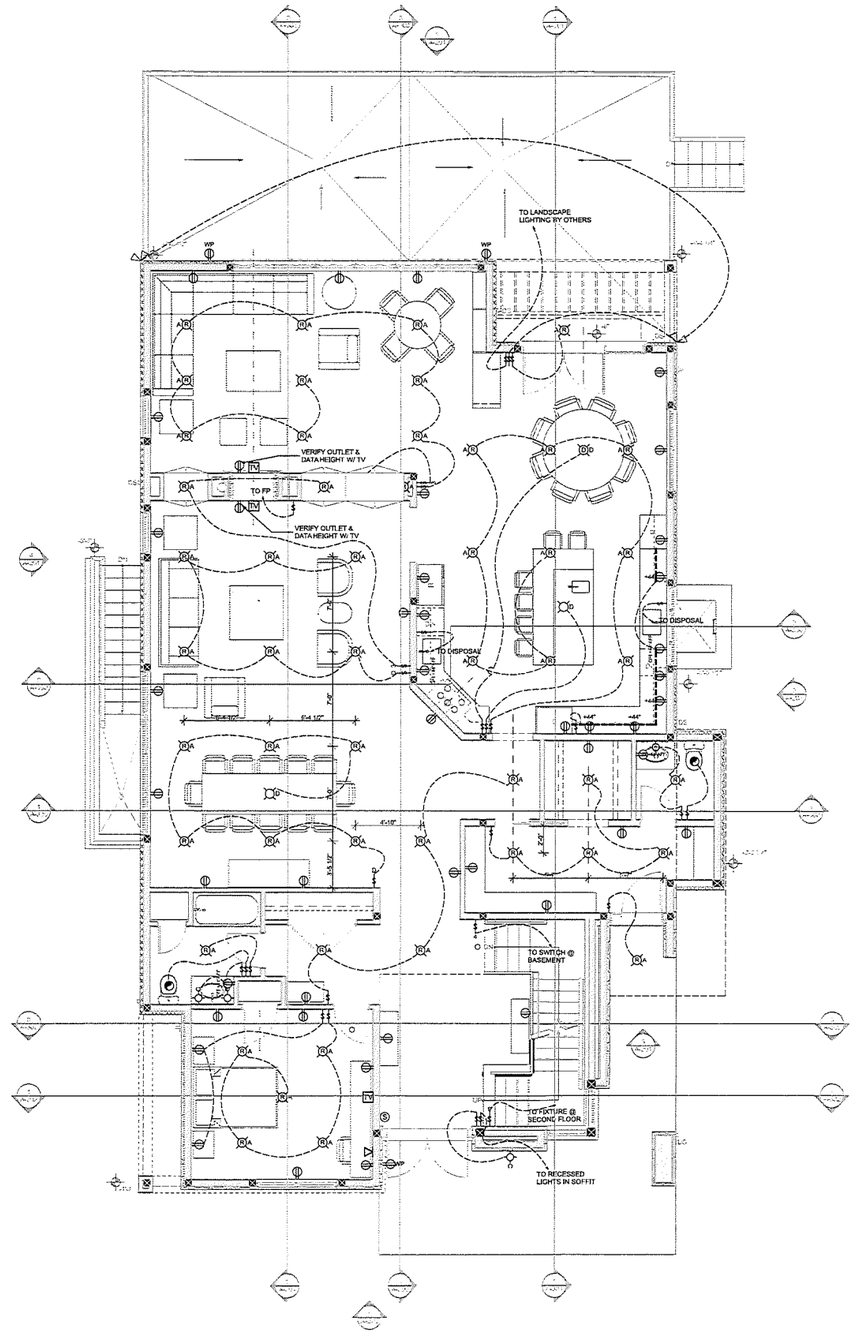
SHEET NUMBER

E-100

ELECTRICAL SYMBOLS KEY	
	PORCELAIN BULB
	RECESSED FIXTURE
	CEILING MOUNT FIXTURE
	WALL MOUNT FIXTURE
	EXHAUST FAN
	DECORATIVE FIXTURE
	FLOOD LIGHT
	UNDER CABINET/COVE LIGHT
S	SECURITY PANEL
T	THERMOSTAT
	PHONE JACK
	SMOKE DETECTOR
	CABLE JACK
	DOUBLE OUTLET
	SWITCHED OUTLET
	QUAD OUTLET
	ROCKER SWITCH
	3-WAY ROCKER SWITCH
	4-WAY ROCKER SWITCH
D	SWITCH W/ DIMMER

NOTE: EACH FLOOR SHALL HAVE A DUEL CARBON MONOXIDE/SMOKE DETECTOR



1 FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

DATE OF REVISION
11/17/15 PERMIT/PRICING

RADPARVAR RESIDENCE

6521 GARDENWICK ROAD, BALTIMORE, MD 21209

FIRST FLOOR ELECTRICAL PLAN

DATE: 11/06/15

PROJECT NUMBER: 4154

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ARCHITECTS

SHEET NUMBER

E-101

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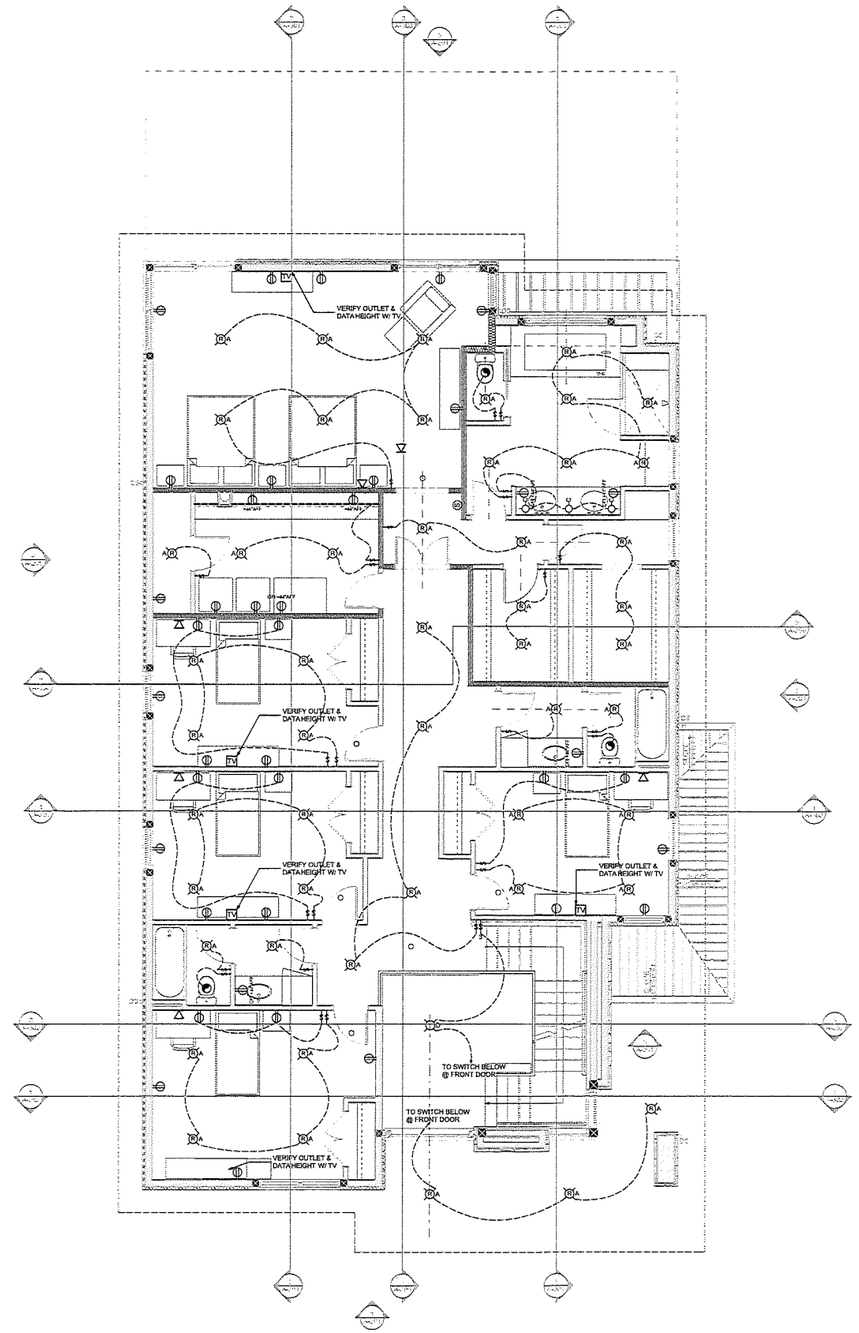
ELECTRICAL SYMBOLS KEY	
	PORCELAIN BULB
	RECESSED FIXTURE
	CEILING MOUNT FIXTURE
	WALL MOUNT FIXTURE
	EXHAUST FAN
	DECORATIVE FIXTURE
	FLOOD LIGHT
	UNDER CABINET/COVE LIGHT
S	SECURITY PANEL
T	THERMOSTAT
	PHONE JACK
	SMOKE DETECTOR
	CABLE JACK
	DOUBLE OUTLET
	SWITCHED OUTLET
	QUAD OUTLET
	ROCKER SWITCH
3	3-WAY ROCKER SWITCH
4	4-WAY ROCKER SWITCH
D	SWITCH W/ DIMMER

NOTE: EACH FLOOR SHALL HAVE A DUEL CARBON MONOXIDE/SMOKE DETECTOR



1 SECOND FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

DATE OF REVISION
11/17/15 PERMIT/PRICING

RADPARVAR RESIDENCE

6521 GARDENWICK ROAD, BALTIMORE, MD 21209

SECOND FLOOR ELECTRICAL PLAN

DATE 11/06/15

PROJECT NUMBER 4114

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ARCHITECTS

SHEET NUMBER

E-102

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RESIDENTIAL STRUCTURAL GENERAL NOTES

FOUNDATIONS

BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE 3'-0" MINIMUM BELOW FINISHED GRADE. A BEARING CAPACITY OF 3,000 P.S.F. IS USED FOR FOOTING DESIGN, AND AN EQUIVALENT FLUID PRESSURE OF 45 P.C.F. IS USED FOR RETAINING WALL DESIGN, IF SOIL OF THIS CAPACITY IS NOT ENCOUNTERED AT ELEVATIONS INDICATED ON PLAN, FOOTINGS SHALL BE INCREASED IN SIZE OR LOWERED AS DIRECTED BY THE ARCHITECT. ALL FOOTINGS SHALL BE STEPPED AS REQUIRED TO PASS UNDER MECHANICAL PIPING. PROVIDE PIPE SLEEVES OF APPROPRIATE SIZE AND MATERIAL FOR ALL PIPES PASSING THROUGH FOUNDATION WALLS.

THE PLACING OF COMPACTED FILL MATERIAL AND EQUIPMENT USED FOR COMPACTION SHALL BE SUPERVISED AND APPROVED BY A GEOTECHNICAL ENGINEER. ALL FILL SHALL BE PLACED IN 8" LIFTS AND COMPACTED TO 95% MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT, AS DETERMINED BY ASTM D 1557 (AASHTO-T-180).

CAST-IN-PLACE CONCRETE AND REINFORCING

ALL CONCRETE SHALL CONFORM TO ACI 301, ACI 318, ACI 315.

CONCRETE FOR FOOTING AND SLAB ON GRADE SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH = 3000 PSI, ALL OTHER CONCRETE SHALL BE 4000 PSI.

REINFORCING - ASTM A 615, GRADE 60.

WELDED WIRE FABRIC - ASTM A 185.

CONCRETE MATERIAL

CEMENT - ASTM C 150, TYPE I OR III.
AGGREGATES - ASTM C 33, ASTM C 330 ACI 304, ACI 211.1.
COARSE AGGREGATE - SIZE #67.
COARSE AGGREGATE FOR TOPPING SLABS, MASONRY FILL AND CONCRETE FILL 3" AND LESS IN THICKNESS SHALL BE 1/2" MAXIMUM.

CONCRETE PROPORTIONING

ALL CONCRETE SHALL CONTAIN A MINIMUM OF 5.5 SACKS OF CEMENT/CU.YD.
WATER CEMENT RATIO NOT TO EXCEED 6.5 GAL./SACK OF CEMENT.
ALL CONCRETE SHALL HAVE SLUMPS IN ACCORDANCE WITH ACI 211.1, EXCEPT SLABS ON EARTH SHALL HAVE A 3-1/2" MAXIMUM SLUMP.
EXTERIOR CONCRETE SHALL BE AIR ENTRAINED 4%-6%.
ALL CONCRETE EXCEPT FOOTINGS SHALL CONTAIN WATER REDUCER PER MANUFACTURER'S RECOMMENDATIONS. MAXIMUM SLUMP = 4 INCHES.

MASONRY

MASONRY WORK SHALL COMPLY WITH ACI 530.1/ASCE 6 - SPECIFICATIONS FOR MASONRY STRUCTURES.
CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C 90.
CONCRETE MASONRY UNITS SHALL HAVE MINIMUM COMPRESSIVE STRENGTH OF 1,900 PSI, AND A MINIMUM PRISM STRENGTH OF F'm=1,500 PSI.
BRICK UNITS SHALL CONFORM TO ASTM SPECIFICATION C 216.
MORTAR SHALL CONFORM TO ASTM C 270, TYPE S.
ALL MASONRY WALLS SHALL BE CONTINUALLY REINFORCED WITH TRUSS TYPE DUR-O-WAL AT 16" MAXIMUM O.C. VERTICALLY (UNLESS OTHERWISE NOTED ON DRAWINGS) PLUS EXTRA PIECES IMMEDIATELY ABOVE AND BELOW ALL OPENINGS.
ALL MORTAR JOINTS IN MASONRY WALLS (HORIZONTAL AND VERTICAL) SHALLBE FILLED 100% WITH MORTAR.

REINFORCED MASONRY WALLS SHALL HAVE CELLS FILLED SOLID WITH PEA GRAVEL CONCRETE IN FOUR COURSE MAXIMUM LIFTS. PROVIDE HOLES IN BOTTOM PORTION OF EACH LIFT OF WALL TO INSURE WALL IS FILLED SOLID.
PROVIDE CONTROL JOINTS IN ALL MASONRY WALLS AT 30'-0" ON CENTER MAXIMUM.
SPLICE LAPS FOR MASONRY REINFORCEMENT SHALL BE 48 BAR DIAMETERS, UNLESS NOTED.

LINTELS

ALL OPENINGS IN WALLS AND PARTITIONS ARE TO BE PROVIDED WITH LINTELS.
ALL LINTELS SHALL HAVE 8" MINIMUM BEARING AND SHALL BE SET IN A FULL BED OF MORTAR. CONTRACTOR SHALL SHORE ALL LINTELS AS REQUIRED TO PREVENT ROTATION DURING CONSTRUCTION AND SHALL PAY PARTICULAR ATTENTION TO ECCENTRICALLY LOADED LINTELS. CONTRACTOR SHALL COORDINATE SIZE, TYPE AND LOCATION OF LINTEL WITH ARCHITECTURAL AND MECHANICAL DRAWINGS.

STRUCTURAL STEEL

FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO AISC SPECIFICATIONS AND AWS D1.1.
TEMPORARY BRACING AND ITS REMOVAL IS THE CONTRACTOR'S RESPONSIBILITY, AND SHALL REMAIN IN PLACE UNTIL ALL FINAL CONNECTIONS, INCLUDING CONNECTIONS TO WALLS HAVE BEEN MADE.
ALL STRUCTURAL STEEL SHALL BE ASTM A 992, UNLESS NOTED.

PIPE COLUMNS: ASTM A 53, GRADE B.
WELDING ELECTRODES: E70XX.
HIGH STRENGTH BOLTS: ASTM A 325.
ANCHOR BOLTS: ASTM A 307.
SHOP COAT ALL STRUCTURAL STEEL WITH APPROVED PRIMER, UNLESS NOTED.

WOOD FRAMING

ALL STRUCTURAL TIMBER SHALL CONFORM TO THE REQUIREMENTS OF THE TIMBER CONSTRUCTION MANUAL, PREPARED BY THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION.
WOOD SHALL BE MINIMUM HEM-FIR #2, WITH A MINIMUM Fb=1100 PSI AND E = 1,600,000 PSI.

PLYWOOD FLOOR DECK SHALL BE TONGUE AND GROOVE, APA RATED STURD-1-FLOOR WITH A SPAN RATING OF 24 O.C., EXPOSURE-1.
PLYWOOD ROOF SHEATHING SHALL BE APA RATED SHEATHING 32/16, EXPOSURE-1. USE MINIMUM PLYWOOD THICKNESS AS SPECIFIED ON DRAWINGS.

ALL FLOOR DECKING SHALL BE GLUED/NAILED OR SCREWED TO THE WOOD FRAMING.

ALL MICROLLAMS, LVL AND TJI "TRUS JOIST" SHOWN ON THESE DRAWINGS SHALL CONFORM TO TRUS JOIST "LEVEL" BY WEYERHAEUSER SPECIFICATIONS.

MICROLLAMS SHALL HAVE A MINIMUM Fb = 2600 PSI AND E = 1,900,000 PSI.

ALL CONNECTORS SHALL BE GALVANIZED AND AS MANUFACTURED BY SIMPSON STRONG-TIE OR APPROVED EQUAL AND SHALL BE THE TYPE AS RECOMMENDED BY THE MANUFACTURER FOR THE INTENDED USAGE UNLESS OTHERWISE NOTED ON THE DRAWINGS.

WOOD TREATED WITH WATER BORING PRESERVATIVES OR FIRE-RETARDANT SHALL BE REDRIED AS FOLLOWS:
SAWN LUMBER: 19% MOISTURE CONTENT (MC)
PLYWOOD SHEATHING AND STRUCTURAL COMPOSITE LUMBER: 15% MC
HIGHER MOISTURE CONTENTS AT TIME OF DELIVERY ON SITE SHALL BE CAUSE FOR REJECTION.

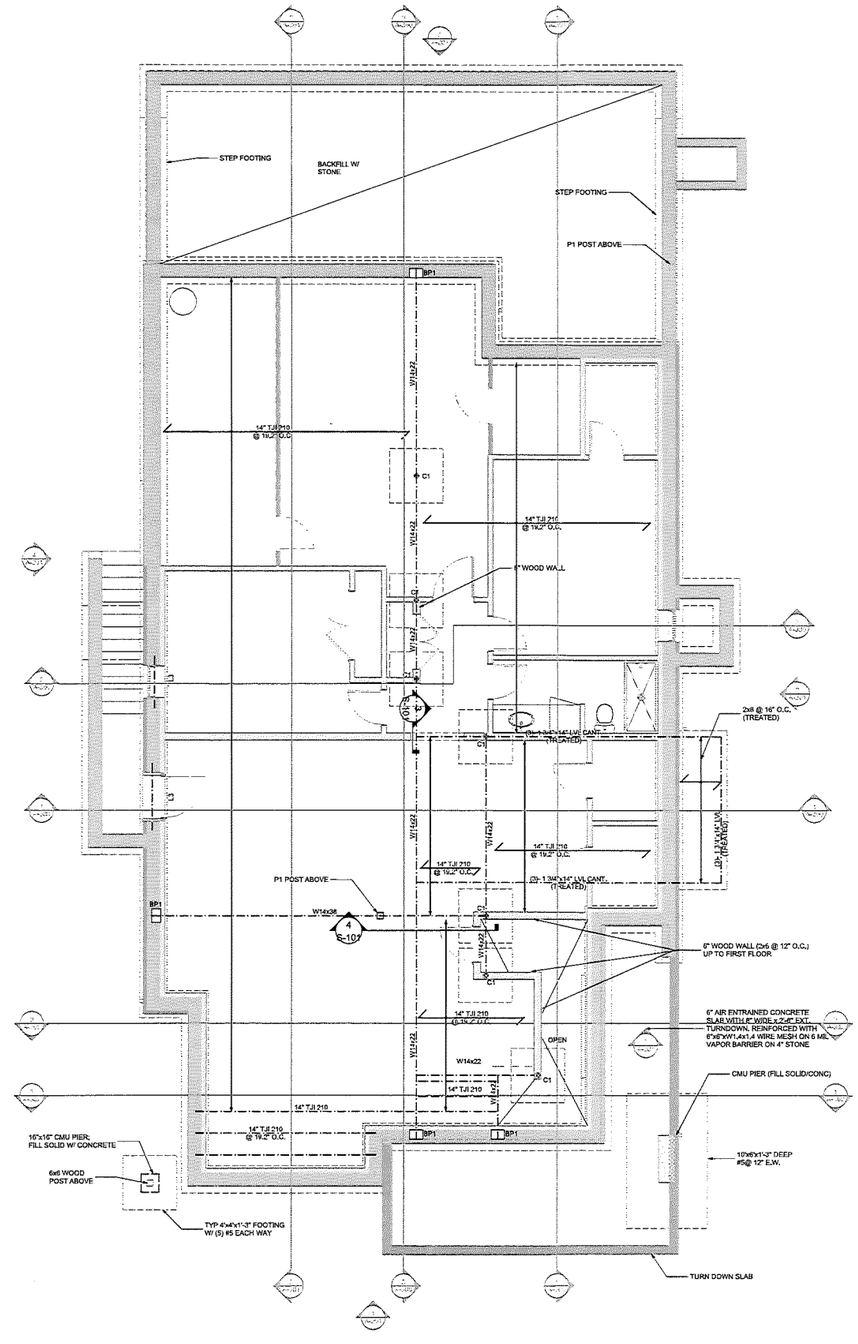
WOOD TRUSSES

CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, FABRICATION AND ERECTION OF THE WOOD TRUSSES. TRUSSES SHALL BE DESIGNED FOR THE LOADS INDICATED PLUS APPLICABLE SNOW DRIFT AS REQUIRED BY CODE. NO INCREASE IN ALLOWABLE STRESS WILL BE PERMITTED.
TRUSS DESIGN SHALL INCLUDE TEMPORARY AND PERMANENT BRACING, PERMANENT BRACING TO BE ATTACHED TO THE WALLS.
DESIGN COMPUTATIONS AND SHOP DRAWINGS, SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MARYLAND, SHALL BE SUBMITTED FOR REVIEW. PROFESSIONAL ENGINEER SHALL VISIT THE SITE TO CONFIRM THAT THE TRUSSES, AS ERECTED, ARE IN ACCORDANCE WITH THE DESIGN.

ALL TRUSS CONNECTIONS TO FULLY DEVELOP STRESSES IN MEMBER (NO ALLOWANCE FOR END BEARING WILL BE PERMITTED) PLUS ANY ECCENTRICITIES CAUSED BY CONNECTIONS. CONNECTORS SHALL BE USED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL CONNECTORS SHALL BE GALVANIZED.

LIVE LOADS PER IRC 2015

UNIFORMLY DISTRIBUTED FLOOR LOAD	40 PSF
UNIFORMLY DISTRIBUTED ROOF LOAD	30 PSF + DRIFTED SNOW
BASIC WIND SPEED	90 MPH
WIND LOAD IMPORTANCE FACTOR	1.0
WIND EXPOSURE CATEGORY	C
WIND DESIGN PRESSURE:	
MAXIMUM WINDWARD	25 PSF
MAXIMUM LEEWARD	25 PSF



1 FOUNDATION & FIRST FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

LINTELS
L1 = (3)-1 3/4"x14" LVL
L2 = (3)-2x8 + (2) 1/2" PLYWOOD PLATES
OR
(3)-1 3/4"x7 1/2" LVL
L3 = (3) 4"x8" PRECAST CONCRETE LINTELS; 8" BEARING E.E.
L4 = (3) 1 3/4"x16" LVL

BASE PLATES
BP1 = 1/2"x8"x12"

ALL COLUMNS
- C1 = 5" Øx14.62# W/ 1/2"x12"x12" BASE PLATE/(4)-1/2" Ø ANCHOR BOLTS
- ALL COLUMN FOOTINGS ARE 4'-0"x4'-0"x1'-3" W/ (5)-#5 EACH WAY

ALL BASEMENT EXTERIOR WALLS ARE
- 12" CMU/ #6 @ 8" VERT + DOWLS + DUR-O-WALL @ 16" O.C.
- FILL WALLS SOLID/PEA GRAVEL CONCRETE
- FOUNDATIONS ARE 24" WIDE x 12" DEEP W/ (3)-#5 CONT AND #3 @ 48" O.C. SHORT DIRECTION.

BASEMENT SLAB IS
- 4" CONCRETE WITH
- 6" x 6" x W1.4 x W1.4 WIRE MESH ON
- 6 MIL VAPOR BARRIER ON
- 4" STONE

DATE OF REVISION
11/17/15 PERMIT/PRICING

RADPARVAR RESIDENCE
6521 GARDENVICK ROAD, BALTIMORE, MD 21209

FOUNDATION & FIRST FLOOR FRAMING PLAN

DATE 11/06/15
PROJECT NUMBER 4114

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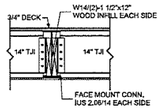
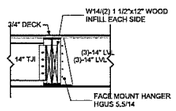
ARCHITECTS

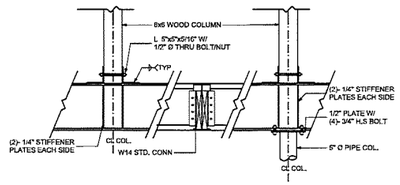
SHEET NUMBER
S-100



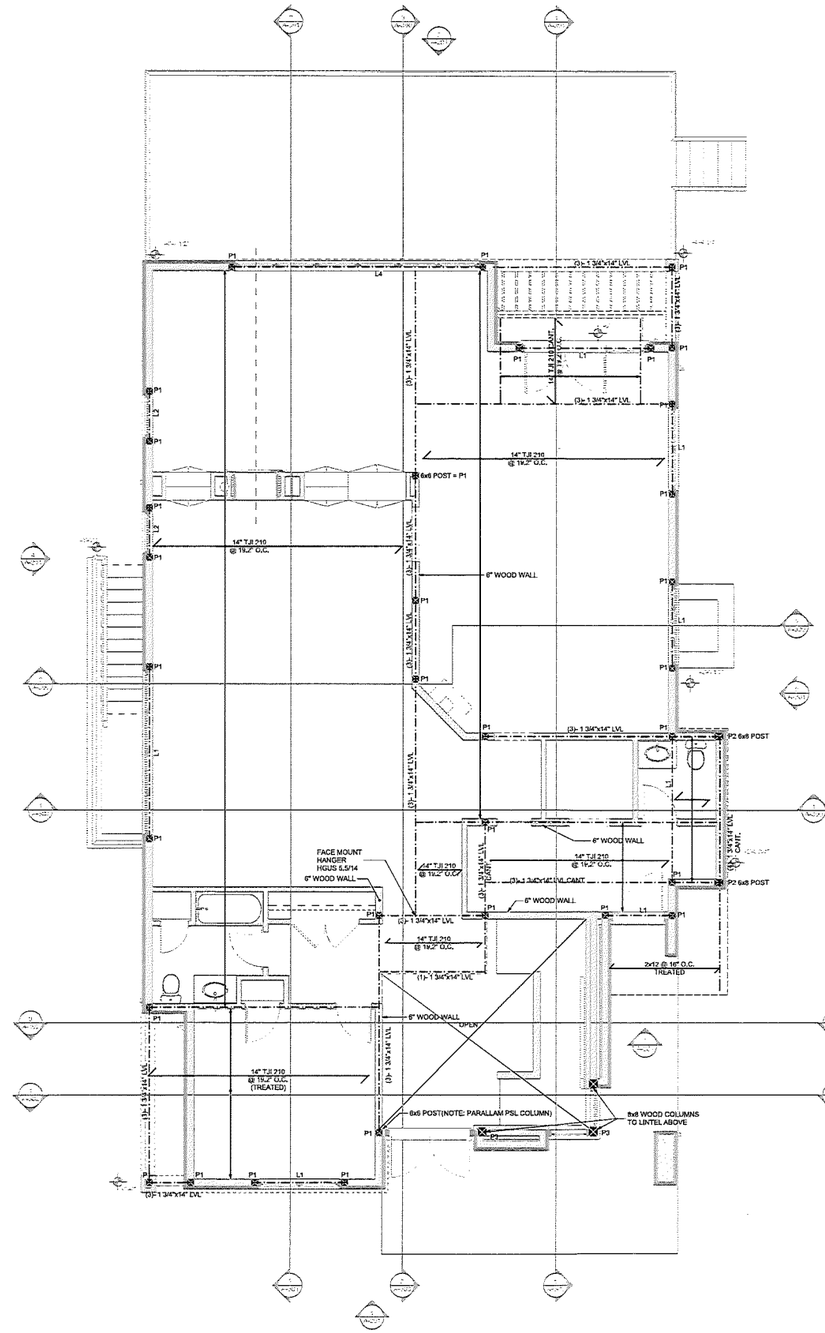
2 TYP DETAIL TJI CONN TO STEEL BEAM
SCALE: 3/4" = 1'-0"



3 TYP DETAIL @ LVL CONN. TO STEEL BEAM
SCALE: 3/4" = 1'-0"



4 TYP SECTIONS @ W14X38 BEAM
SCALE: 3/4" = 1'-0"



1 SECOND FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

LINTELS
L1 = (3)-1 3/4"x14" LVL
L2 = (3)-2x8 + (2) 1/2" PLYWOOD PLATES
OR
(3)-1 3/4"x7 1/2" LVL
L3 = (3) 4"x8" PRECAST CONCRETE LINTELS; 8" BEARING E.E.
L4 = (3) 1 3/4"x16" LVL

DATE OF REVISIONS
11/17/15 PERMIT/PRICING

RADPARVAR RESIDENCE

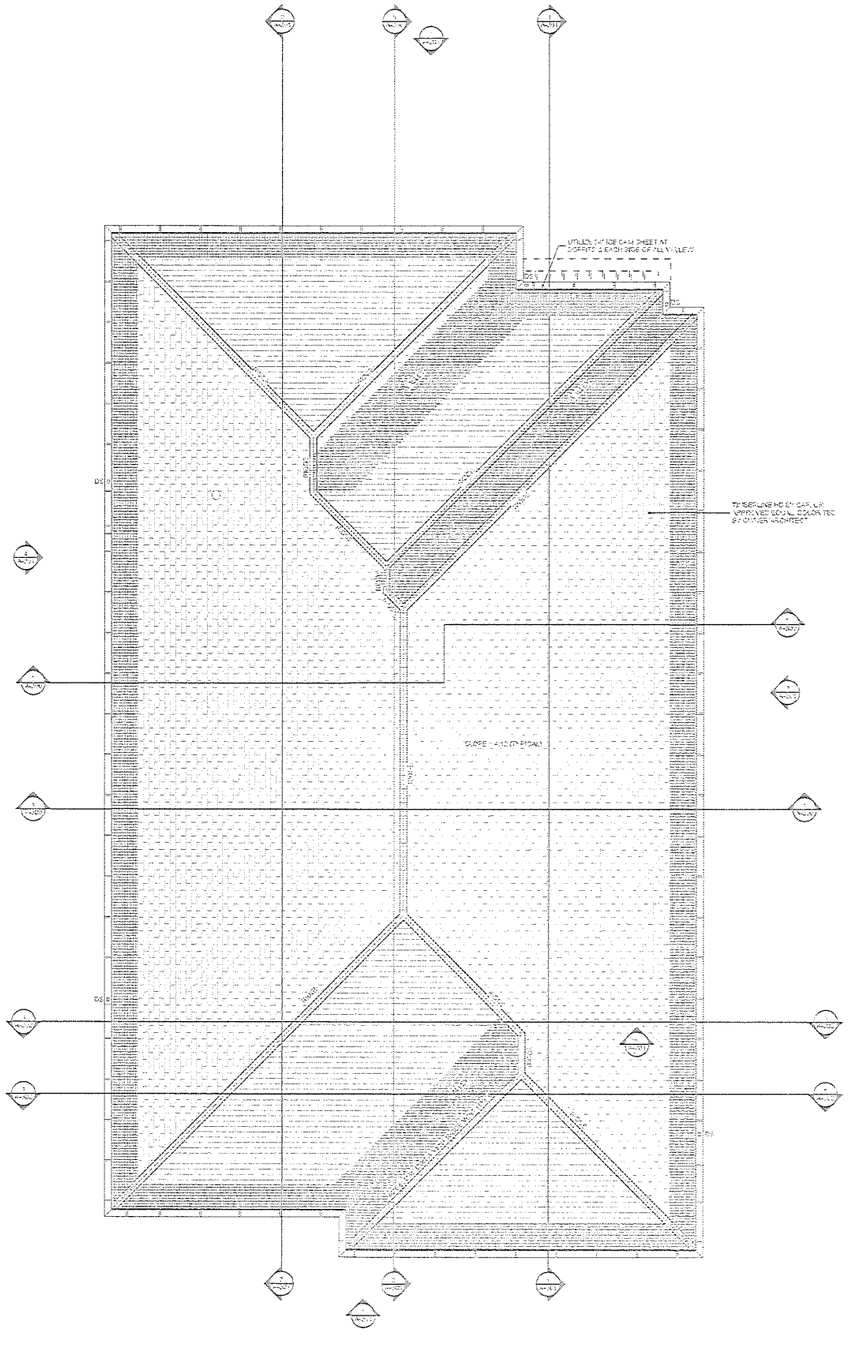
6521 GARDENWICK ROAD, BALTIMORE, MD 21209

SECOND FLOOR FRAMING PLAN & STRUCT. DETS.

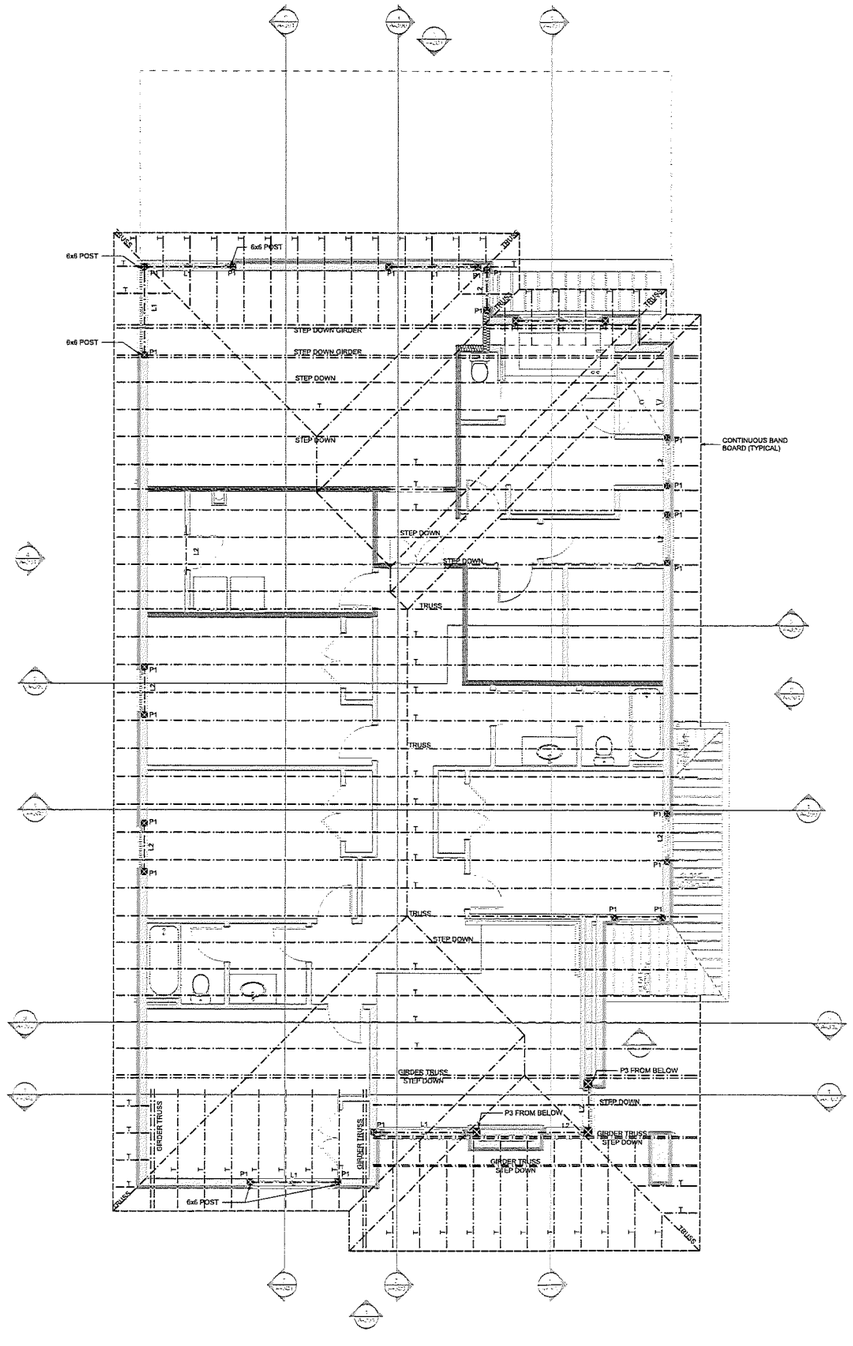
DATE 11/06/15
PROJECT NUMBER 4114

Levin/Brown & Associates, Inc.
15 Greenspring Valley Road
Owings Mills, Maryland 21117-4101
Telephone: (410) 581-0104, Fax: (410) 581-0108
www.levinbrown.com

SHEET NUMBER
S-101



2 ROOF PLAN
SCALE 1/4" = 1'-0"



1 ROOF FRAMING PLAN
SCALE 1/4" = 1'-0"

WOOD TRUSS DESIGN

LL-30 PSF
DL-20 PSF
SPACING - 24" O.C.

T= TRUSS
GT= GIRDER TRUSS

LINTELS

L1 = (3)-1 3/4"x14" LVL
L2 = (3)-2x8 + (2) 1/2" PLYWOOD PLATES
OR
(3)-1 3/4"x7 1/2" LVL
L3 = (3) 4"x8" PRECAST CONCRETE LINTELS; 8" BEARING E.E.
L4 = (3) 1 3/4"x16" LVL

ROOF DECK

5/8" EXP I PLYWOOD

WALLS

EXT = 2x6 @ 16" O.C. + 1/2" EXP I SHEATHING

NOTE:

ALL GT AND LINTELS TO BEAR
ON 6x6 POSTS OR (3)-2x6s UNLESS NOTED OTHERWISE

DATE OF REVISION
11/17/15 PERMIT/PRICING

RADPARVAR RESIDENCE

6521 GARDENWICK ROAD, BALTIMORE, MD 21209

ROOF FRAMING PLAN

DATE 11/06/15

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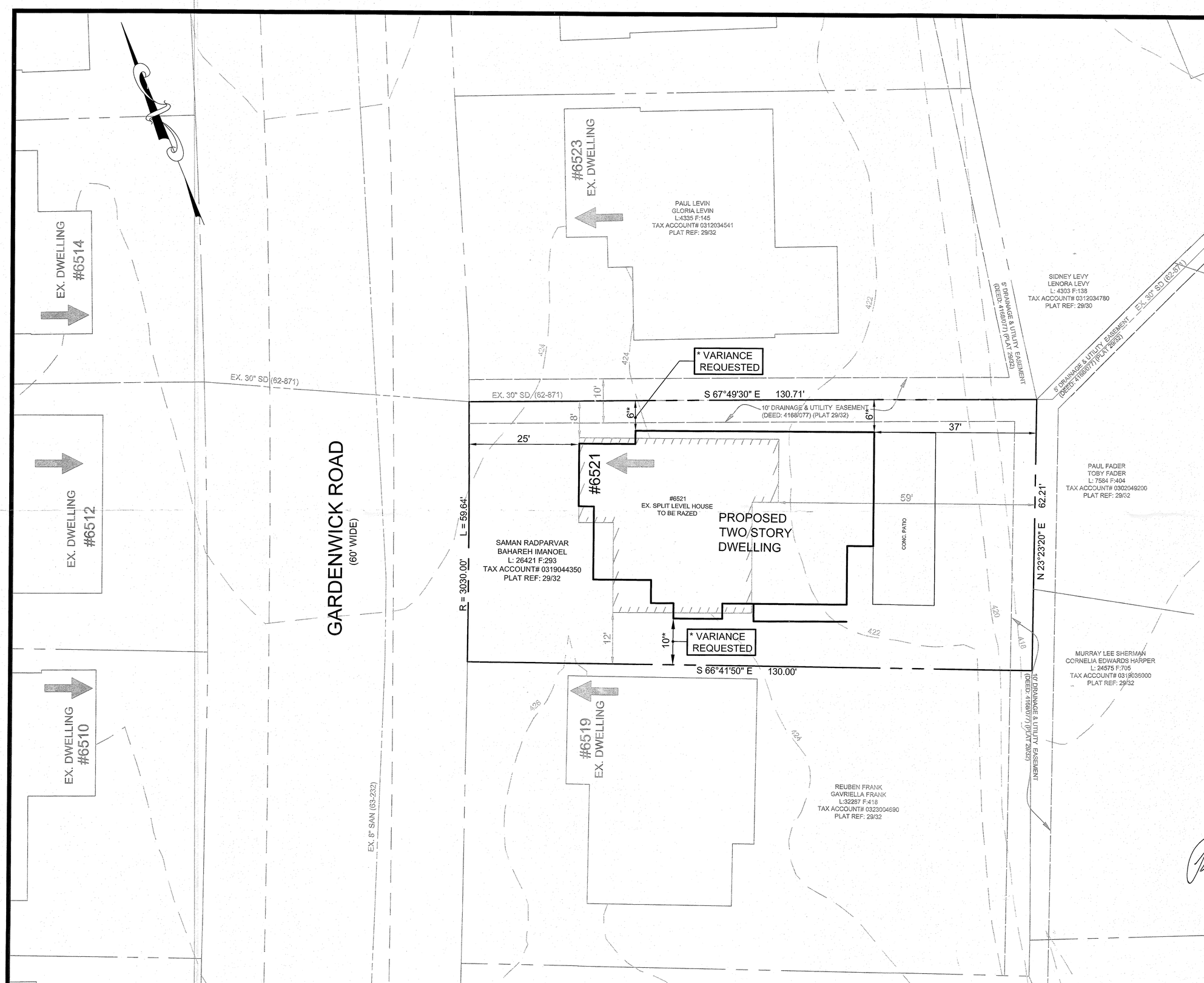
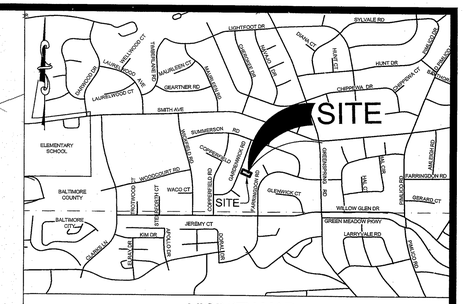
SHEET NUMBER

S-102





VICINITY MAP
SCALE: 1"=1000'

GENERAL NOTES:

1. OWNERS:
   SAMAN RADPARVAR
   BAHAREH IMANOEL
   6521 GARDENWICK ROAD
   BALTIMORE, MARYLAND 21209

2. SITE DATA:
   TAX ACCOUNT NUMBER: 0319044350
   DEED REFERENCE: LIBER 26421 FOLIO 293
   PLAT REFERENCE: PLAT BOOK R.R.G. 29/32
   TAX MAP: 78 LOT: 45
   GRID: 06 BLOCK: C
   PARCEL: 456 SECTION: 01

3. SITE ZONING: D.R. 5.5 (200 SCALE MAP No. 078C1)

4. SITE AREA: 7,934.4 SF OR 0.182 AC± (PER SURVEY - SEE GENERAL NOTE #13)

5. EXISTING USE: SINGLE FAMILY DWELLING
   PROPOSED USE: SAME AS EXISTING

6. REQUIRED BUILDING SETBACKS IN THE D.R. 5.5 ZONE FOR PLANNING COMMISSION/BOARD APPROVED SUBDIVISIONS FROM MARCH 30, 1955 TO MARCH 30, 1971: (B02.3.B)

	REQUIRED	EXISTING
FRONT YARD:	25'	25'
MIN. SIDE YARD:	8'	8', 12'
SUM OF SIDES:	20'	20'
REAR YARD:	30'	59'

7. ZONING VARIANCES REQUESTED:
   1. 16' SIDE YARD SUM IN LIEU OF THE 20' MINIMUM REQUIRED.
   2. 6' SIDE YARD IN LIEU OF THE 8' MINIMUM REQUIRED.

8. ZONING HISTORY CASE:
   R-1953-2575

9. THIS SITE IS SERVED BY PUBLIC WATER AND SEWER.

10. THIS SITE IS NOT LOCATED WITHIN THE 100 YEAR FLOODPLAIN.

11. THIS SITE IS NOT LOCATED WITHIN THE CHESAPEAKE BAY CRITICAL AREA.

12. THERE ARE NO STRUCTURES LOCATED ON SITE INCLUDED IN THE MARYLAND INVENTORY OF HISTORIC PROPERTIES OR THE BALTIMORE COUNTY FINAL LANDMARKS LIST.

13. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON A FIELD RUN SURVEY PERFORMED BY COLBERT MATZ ROSENFELT, INC., DATED APRIL 02, 2015. ADDITIONAL INFORMATION TAKEN FROM DEEDS AND AVAILABLE BALTIMORE COUNTY RECORDS.

PLAN TO ACCOMPANY ADMINISTRATIVE VARIANCE

6521 GARDENWICK ROAD

BALTIMORE COUNTY, MARYLAND, 21209-2537
PLAT OF PICKWICK, LOT 45, BLOCK C, SECTION 1
R.R.G. L: 029 F: 032
2ND COUNCILMANIC DISTRICT
3RD ELECTION DISTRICT

GRAPHIC SCALE

10 0 5 10 20 40

(IN FEET)
1 inch = 10 ft.

STATE OF MARYLAND — RICHARD E. MATZ — No. 12203 — PROFESSIONAL ENGINEER

Colbert Matz Rosenfelt, Inc.
*Engineers * Surveyors * Planners*
2835 Smith Avenue, Suite G
Baltimore, Maryland 21209
Telephone: (410) 653-3838
Facsimile: (410) 653-7953

Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 12203 Expiration Date: 11-2-16

NO.	DATE	REVISIONS:	BY

SCALE:	1" = 10'
DATE:	2/18/16
JOB NO.:	2015046
DESIGNED:	CMR
DRAWN:	AC/MS
CHECKED:	CMR
FILE:	2015046 BASE.dwg
DRAWING NUMBER:	VAR-1
SHEET	1 OF 1

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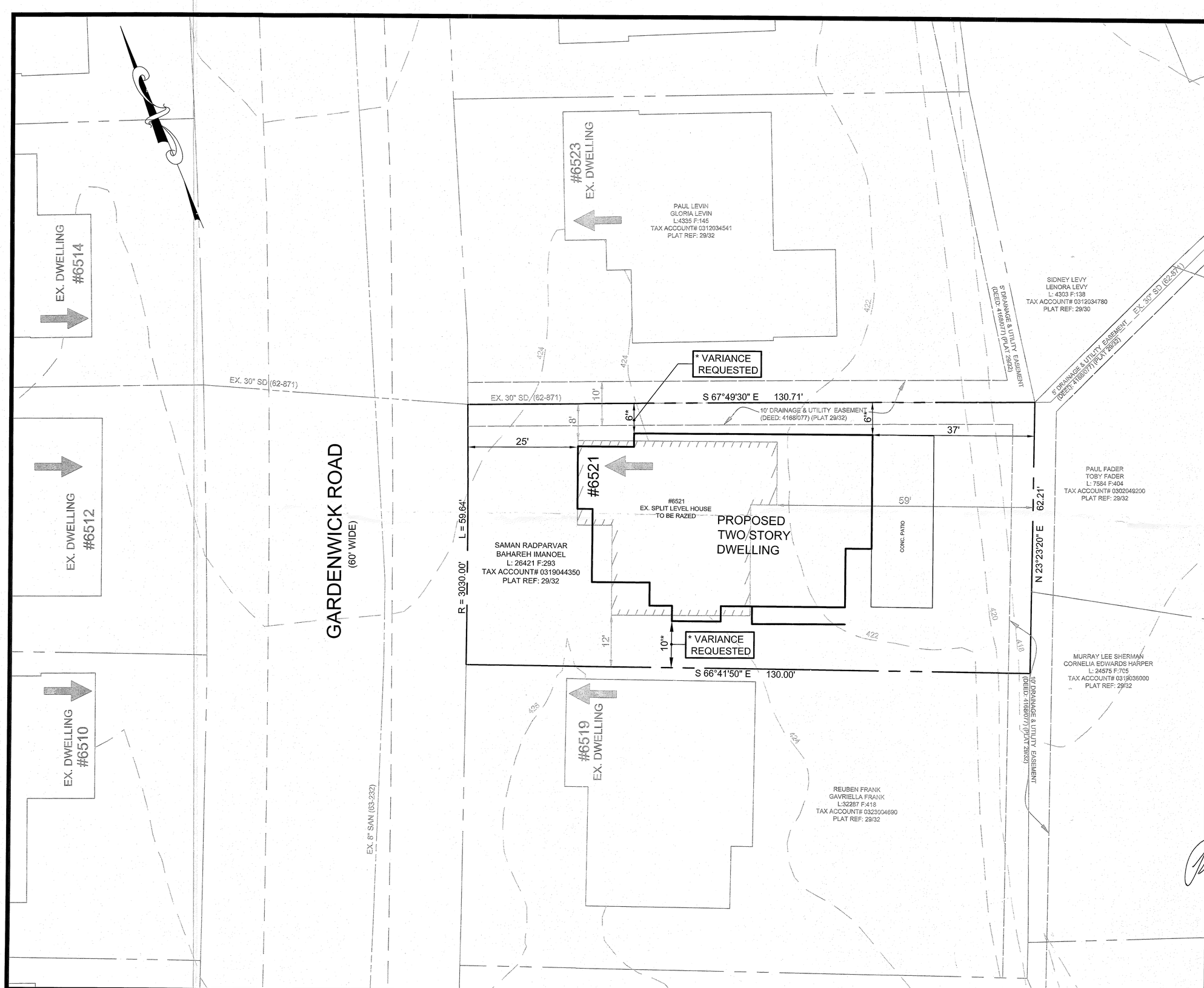

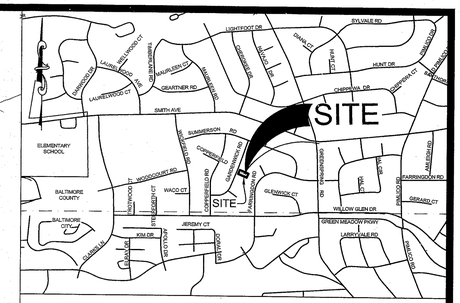

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PROFESSIONAL ENGINEER

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