

M E M O R A N D U M

DATE: May 24, 2016
TO: Zoning Review Office
FROM: Office of Administrative Hearings
RE: Case No. 2016-0230-A – Appeal Period Expired

The appeal period for the above-referenced case expired on May 23, 2016. There being no appeal filed, the subject file is ready for return to the Zoning Review Office and is placed in the 'pick up box.'

c: ✓ Case File
Office of Administrative Hearings

IN RE: PETITION FOR ADMIN. VARIANCE *
(12612 Harewood Road)
15th Election District *
6th Council District *
Christopher S. Trammell *
Petitioner *

BEFORE THE
OFFICE OF ADMINISTRATIVE
HEARINGS FOR
BALTIMORE COUNTY
CASE NO. 2016-0230-A

* * * * *

OPINION AND ORDER

This matter comes before the Office of Administrative Hearings (OAH) for Baltimore County for consideration of a Petition for Administrative Variance filed by the legal owner of the property, Christopher S. Trammell ("Petitioner"). The Petitioner is requesting Variance relief pursuant to §§ 400.1 and 400.3 of the Baltimore County Zoning Regulations ("B.C.Z.R") to permit a proposed garage (accessory structure) to be located in the front yard with a height of 18 ft. in lieu of the required 15 ft. The subject property and requested relief is more fully depicted on the site plan that was marked and accepted into evidence as Petitioner's Exhibit 1.

The Zoning Advisory Committee (ZAC) comments were received and are made part of the record of this case. The property is located within the Chesapeake Bay Critical Area (CBCA) and is subject to Critical Area requirements as noted in the ZAC comment dated April 4, 2016 submitted by the Department of Environmental Protection and Sustainability (DEPS).

The Petitioner having filed a Petition for Administrative Variance and the subject property having been posted on April 3, 2016, and there being no request for a public hearing, a decision shall be rendered based upon the documentation presented.

The Petitioner has filed the supporting affidavits as required by § 32-3-303 of the Baltimore County Code (B.C.C.). Based upon the information available, there is no evidence in

ORDER RECEIVED FOR FILING

Date 4-21-16

By [Signature]

the file to indicate that the requested variance would adversely affect the health, safety or general welfare of the public and should therefore be granted. In the opinion of the Administrative Law Judge, the information, photographs, and affidavits submitted provide sufficient facts that comply with the requirements of § 307.1 of the B.C.Z.R. Furthermore, strict compliance with the B.C.Z.R. would result in practical difficulty and/or unreasonable hardship upon the Petitioner.

Although the Department of Planning did not make any recommendations related to the accessory structure (garage) height and usage, I will impose conditions that the garage shall not be converted into a dwelling unit or apartment, not contain any sleeping quarters, living area, and kitchen or bathroom facilities.

Pursuant to the posting of the property and the provisions of both the Baltimore County Code and the Baltimore County Zoning Regulations, and for the reasons given above, the requested variance should be granted.

THEREFORE, IT IS ORDERED, this 21st day of **April, 2016** by the Administrative Law Judge for Baltimore County, that the Petition for Variance seeking relief from §§ 400.1 and 400.3 of the Baltimore County Zoning Regulations ("B.C.Z.R) to permit a proposed garage (accessory structure) to be located in the front yard with a height of 18 ft. in lieu of the required 15 ft., be and is hereby GRANTED.

The relief granted herein shall be subject to the following:

1. Petitioner may apply for necessary permits and/or licenses upon receipt of this Order. However, Petitioner is hereby made aware that proceeding at this time is at his own risk until 30 days from the date hereof, during which time an appeal can be filed by any party. If for whatever reason this Order is reversed, Petitioner would be required to return the subject property to its original condition.

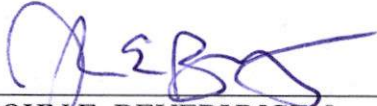
ORDER RECEIVED FOR FILING

Date 4-21-16

By DW

2. The Petitioner or subsequent owners shall not convert the garage into a dwelling unit or apartment. The garage shall not contain any sleeping quarters, living area, and kitchen or bathroom facilities.
3. The garage shall not be used for commercial purposes.
4. The Petitioner must comply with the ZAC comment submitted by DEPS, dated April 4, 2016; a copy of which is attached and made a part hereof.

Any appeal of this decision must be made within thirty (30) days of the date of this Order.



JOHN E. BEVERUNGEN
Administrative Law Judge for
Baltimore County

JEB:dlw

ORDER RECEIVED FOR FILING

Date 4-21-16

By EW

4-18

BALTIMORE COUNTY, MARYLAND

Inter-Office Correspondence

RECEIVED

APR 04 2016

OFFICE OF ADMINISTRATIVE HEARINGS



TO: Hon. Lawrence M. Stahl; Managing Administrative Law Judge
Office of Administrative Hearings

FROM: Jeff Livingston, Department of Environmental Protection and
Sustainability (EPS) - Development Coordination

DATE: April 4, 2016

SUBJECT: DEPS Comment for Zoning Item # 2016-0230-A
Address 12612 Harewood Road
(Trammell Property)

Zoning Advisory Committee Meeting of April 4, 2016.

EPS has reviewed the subject zoning petition for compliance with the goals of the State-mandated Critical Area Law listed in the Baltimore County Zoning Regulations, Section 500.14. Based upon this review, we offer the following comments:

1. Minimize adverse impacts on water quality that result from pollutants that are discharged from structures or conveyances or that have run off from surrounding lands;

The subject property is located within a Resource Conservation Area (RCA) and is subject to Critical Area requirements. The applicant is requesting to allow a garage in the front yard with greater height than permitted. The property is not waterfront, but there appears to be a stream along the north side of the property. The lot is currently developed with a house and driveway. Lot coverage information was not provided. Lot coverage is limited to a maximum of 15%. As shown, the proposed garage may fall within the stream buffer. Without information as to stream location and associated buffers and lot coverage, we cannot determine whether water quality impacts will be minimized.

2. Conserve fish, plant, and wildlife habitat;

No information was provided regarding the amount of impact to the possible stream buffer. Therefore we cannot determine that fish, plant, and wildlife habitat in the Chesapeake Bay will be conserved.

ORDER RECEIVED FOR FILING

3. Be consistent with established land use policies for development in the Chesapeake Bay Critical Area, which accommodate growth and also address the fact that, even if pollution is controlled, the number, movement and activities of persons in that area can create adverse environmental impacts;

As submitted, the Critical Area information is incomplete, and therefore we cannot say the relief requested will be consistent with established land-use policies.

Reviewer: Regina Esslinger

Date: April 4, 2016

ORDER RECEIVED FOR FILING

Date 4-21-16

By bw



CBCA

ADMINISTRATIVE ZONING PETITION

FOR ADMINISTRATIVE VARIANCE – OR – ADMINISTRATIVE SPECIAL HEARING

To be filed with the Department of Permits, Approvals and Inspections

To the Office of Administrative Hearings for Baltimore County for the property located at:

Address 12612 Harewood rd Currently zoned BC 20 AE
Deed Reference 29476 100377 10 Digit Tax Account # 1503000710
Owner(s) Printed Name(s) Chris Trammell

(SELECT THE HEARING(S) BY MARKING X AT THE APPROPRIATE SELECTION(S) AND ADDING THE PETITION REQUEST)

For Administrative Variances, the Affidavit on the reverse of this Petition form must be completed and notarized.

The undersigned, who own and occupy the property situate in Baltimore County and which is described in the plan/plat attached hereto and made a part hereof, hereby petition for an:

1. X **ADMINISTRATIVE VARIANCE** from Section(s) 400.1 & 400.3 BCZR. To permit a proposed garage (accessory structure) to be located in the front yard with a height of 18 feet in lieu of the required 15 feet.

of the zoning regulations of Baltimore County, to the zoning law of Baltimore County.

2. **ADMINISTRATIVE SPECIAL HEARING** to approve a waiver pursuant to Section 32-4-107(b) of the Baltimore County Code: (indicate type of work in this space: i.e., to raze, alter or construct addition to building)

of the Baltimore County Code, to the development law of Baltimore County.

Property is to be posted and advertised as prescribed by the zoning regulations.

I/ we agree to pay expenses of above petition(s), advertising, posting, etc. and further agree to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

Owner(s)/Petitioner(s):

Chris Trammell
Name #1 – Type or Print Name #2 – Type or Print

Chris Trammell
Signature #1 Signature #2

12612 Harewood rd Baltimore MD
Mailing Address City State

21220 443-388-0622 CTrammell4242@gmail.com
Zip Code Telephone # Email Address

Attorney for Owner(s)/Petitioner(s):

Name- Type or Print

Signature

Mailing Address City State

Zip Code Telephone # Email Address

Representative to be contacted:

Chris Trammell
Name – Type or Print

Chris Trammell
Signature

12612 Harewood rd Baltimore MD
Mailing Address City State

21220 443-388-0622 CTrammell4242@gmail.com
Zip Code Telephone # Email Address

A PUBLIC HEARING having been formally demanded and/or found to be required, it is ordered by the Office of Administrative Hearings for Baltimore County, this day of , that the subject matter of this petition be set for a public hearing, advertised, and re-posted as required by the zoning regulations of Baltimore County.

Administrative Law Judge for Baltimore County

CASE NUMBER 2016-0230-A Filing Date 3/25/16 Estimated Posting Date 4/3/16 Reviewer JCM

Affidavit in Support of Administrative Variance

(THIS AFFIDAVIT IS NOT REQUIRED FOR AN HISTORIC ADMINISTRATIVE SPECIAL HEARING)

The undersigned hereby affirms under the penalties of perjury and upon personal knowledge to the Administrative Law Judge for Baltimore County, that the information herein given is true and correct and that the undersigned is/are competent to testify in the event that a public hearing is scheduled in the future with regard thereto. In addition, the undersigned hereby affirms that the property is not the subject of an active Code Enforcement case and that the residential property described below is owned and occupied by the undersigned.

Address: 12612 Harewood rd Baltimore MD 21220
Print or Type Address of property City State Zip Code

Based upon personal knowledge, the following are the facts upon which I/we base the request for an Administrative Variance at the above address. (Clearly state practical difficulty or hardship here)

This location is the best area to build because it is next to the driveway so no driveway extension is needed which would add more hard surface. There are several large trees in other locations that I don't want to remove. The septic is also an issue if it was to be installed on the other side of house. Behind the house is a run off stream so it's not possible to build in that area.

(If additional space for the petition request or the above statement is needed, label and attach it to this Form)

Chris Trammell
Signature of Owner (Affiant)

Signature of Owner (Affiant)

Chris Trammell
Name- Print or Type

Name- Print or Type

The following information is to be completed by a Notary Public of the State of Maryland

STATE OF MARYLAND, COUNTY OF BALTIMORE, to wit:

I HEREBY CERTIFY, this 22 day of MARCH, 2016, before me a Notary of Maryland, in and for the County aforesaid, personally appeared:

Print name(s) here: Christopher Trammell

the Affiant(s) herein, personally known or satisfactorily identified to me as such Affiant(s).

AS WITNESS my hand and Notaries Seal

Michael D. [Signature]
Notary Public
7/3/2019
My Commission Expires



CBCA

ADMINISTRATIVE ZONING PETITION

FOR ADMINISTRATIVE VARIANCE – OR – ADMINISTRATIVE SPECIAL HEARING

To be filed with the Department of Permits, Approvals and Inspections

To the Office of Administrative Hearings for Baltimore County for the property located at:

Address 12612 Harewood rd Currently zoned RC 20 AE
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Property is to be posted and advertised as prescribed by the zoning regulations.

I/we agree to pay expenses of above petition(s), advertising, posting, etc. and further agree to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

Owner(s)/Petitioner(s):

Chris Trammell
 Name #1 – Type or Print Name #2 – Type or Print

Chris Trammell
 Signature #1 Signature #2

12612 Harewood rd Baltimore MD
 Mailing Address City State

21220 443-388-0622 CTrammell4242@gmail.com
 Zip Code Telephone # Email Address

Attorney for Owner(s)/Petitioner(s):

Name- Type or Print

Signature

Mailing Address City State

Zip Code Telephone # Email Address

Representative to be contacted:

Chris Trammell
 Name – Type or Print

Chris Trammell
 Signature

12612 Harewood rd Baltimore MD
 Mailing Address City State

21220 443-388-0622 CTrammell4242@gmail.com
 Zip Code Telephone # Email Address

A PUBLIC HEARING having been formally demanded and/or found to be required, it is ordered by the Office of Administrative Hearings for Baltimore County, this _____ day of _____, that the subject matter of this petition be set for a public hearing, advertised, and re-posted as required by the zoning regulations of Baltimore County.

Administrative Law Judge for Baltimore County

CASE NUMBER 2016-0230-A Filing Date 3/25/16 Estimated Posting Date 4/3/16 Reviewer JCM

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The undersigned hereby affirms under the penalties of perjury and upon personal knowledge to the Administrative Law Judge for Baltimore County, that the information herein given is true and correct and that the undersigned is/are competent to testify in the event that a public hearing is scheduled in the future with regard thereto. In addition, the undersigned hereby affirms that the property is not the subject of an active Code Enforcement case and that the residential property described below is owned and occupied by the undersigned.

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This location is the best area to build because it is next to the driveway so no driveway extension is needed which would add more hard surface. There are several large trees in other locations that I don't want to remove. The septic is also an issue if it was to be installed on the other side of house. Behind the house is a run off stream so it's not possible to build in that area.

(If additional space for the petition request or the above statement is needed, label and attach it to this Form)

Chris Trammell
Signature of Owner (Affiant)

Signature of Owner (Affiant)

Chris Trammell
Name- Print or Type

Name- Print or Type

The following information is to be completed by a Notary Public of the State of Maryland

STATE OF MARYLAND, COUNTY OF BALTIMORE, to wit:

I HEREBY CERTIFY, this 22 day of MARCH, 2016, before me a Notary of Maryland, in and for the County aforesaid, personally appeared:

Print name(s) here: Christopher TRAMMELL

the Affiant(s) herein, personally known or satisfactorily identified to me as such Affiant(s).

AS WITNESS, my hand and Notaries Seal

Mary D. [Signature]
Notary Public

My Commission Expires 7/3/2019

Affidavit in Support of Administrative Variance

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The undersigned hereby affirms under the penalties of perjury and upon personal knowledge to the Administrative Law Judge for Baltimore County, that the information herein given is true and correct and that the undersigned is/are competent to testify in the event that a public hearing is scheduled in the future with regard thereto. In addition, the undersigned hereby affirms that the property is not the subject of an active Code Enforcement case and that the residential property described below is owned and occupied by the undersigned.

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Signature of Owner (Affiant)

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Chris Trammell
Name- Print or Type

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AS WITNESS my hand and Notaries Seal

[Signature]
Notary Public

My Commission Expires 7/3/2019



CBCA

ADMINISTRATIVE ZONING PETITION

FOR ADMINISTRATIVE VARIANCE - OR - ADMINISTRATIVE SPECIAL HEARING

To be filed with the Department of Permits, Approvals and Inspections

To the Office of Administrative Hearings for Baltimore County for the property located at:

Address 12612 Harewood rdCurrently zoned BC 20 AEDeed Reference 29476 10037710 Digit Tax Account # 1503000710Owner(s) Printed Name(s) Chris Trammell(SELECT THE HEARING(S) BY MARKING **X** AT THE APPROPRIATE SELECTION(S) AND ADDING THE PETITION REQUEST)For Administrative Variances, the **Affidavit** on the reverse of this Petition form must be completed and notarized.

The undersigned, who own and occupy the property situate in Baltimore County and which is described in the plan/plat attached hereto and made a part hereof, hereby petition for an:

1. **X** **ADMINISTRATIVE VARIANCE** from Section(s) 400.1 & 400.3 BCZR. To permit a proposed garage (accessory structure) to be located in the front yard with a height of 18 feet in lieu of the required 15 feet.

of the zoning regulations of Baltimore County, to the zoning law of Baltimore County.

2. **ADMINISTRATIVE SPECIAL HEARING** to approve a waiver pursuant to Section 32-4-107(b) of the Baltimore County Code: (indicate type of work in this space: i.e., to raze, alter or construct addition to building)

of the Baltimore County Code, to the development law of Baltimore County.

Property is to be posted and advertised as prescribed by the zoning regulations.

I/ we agree to pay expenses of above petition(s), advertising, posting, etc. and further agree to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

Owner(s)/Petitioner(s):Chris Trammell

Name #1 - Type or Print

Name #2 - Type or Print

Chris Trammell

Signature #1

Signature #2

12612 Harewood rd Baltimore MD

Mailing Address

City

State

21220 / 443-388-0622 / CTrammell4242@gmail.com

Zip Code

Telephone #

Email Address

Attorney for Owner(s)/Petitioner(s):

Name- Type or Print

Signature

Mailing Address

City

State

Zip Code

Telephone #

Email Address

Representative to be contacted:Chris Trammell

Name - Type or Print

Chris Trammell

Signature

12612 Harewood rd Baltimore MD

Mailing Address

City

State

21220 / 443-388-0622 / CTrammell4242@gmail.com

Zip Code

Telephone #

Email Address

A PUBLIC HEARING having been formally demanded and/or found to be required, it is ordered by the Office of Administrative Hearings for Baltimore County, this 21 day of April, 2016 that the subject matter of this petition be set for a public hearing, advertised, and re-posted as required by the zoning regulations of Baltimore County.

Administrative Law Judge for Baltimore County

CASE NUMBER 2016-0230-AFiling Date 3/25/16Estimated Posting Date 4/3/16Reviewer JCM

Rev 5/8/2014

Baltimore County Zoning Board:

Zoning description for:

12612 Harewood Road, Middle River, MD 21220

The beginning at a point on the north side of Harewood Road which is 50 feet wide. At the corner east side of Schaadts which is 22 feet wide. This property is just over 2 acres. Approximately 1 acre is cleared for the yard and 1 acre of thick woods.

CERTIFICATE OF POSTING

ATTENTION: KRISTEN LEWIS

DATE: 4/3/2016

Case Number: 2016-0230-A

Petitioner / Developer: CHRIS TRAMMELL

Date of Hearing (Closing): APRIL 18, 2016

This is to certify under the penalties of perjury that the necessary sign(s) required by law were posted conspicuously on the property located at:
12612 HAREWOOD ROAD

The sign(s) were posted on: APRIL 3, 2016



Linda O'Keefe
(Signature of Sign Poster)

Linda O'Keefe
(Printed Name of Sign Poster)

523 Penny Lane
(Street Address of Sign Poster)

Hunt Valley, Maryland 21030
(City, State, Zip of Sign Poster)

410 – 666 – 5366
(Telephone Number of Sign Poster)

BALTIMORE COUNTY DEPARTMENT OF PERMITS, APPROVALS AND INSPECTIONS
ZONING REVIEW

ADMINISTRATIVE VARIANCE INFORMATION SHEET AND DATES

Case Number 2016- 0230 -A Address 12612 HAREWOOD RD.

Contact Person: J. MERLEY Phone Number: 410-887-3391
Planner, Please Print Your Name

Filing Date: 3/24/16 Posting Date: 4/3/16 Closing Date: 4/18/16

Any contact made with this office regarding the status of the administrative variance should be through the contact person (planner) using the case number.

1. **POSTING/COST:** The petitioner must use one of the sign posters on the approved list (on the reverse side of this form) and the petitioner is responsible for all printing/posting costs. Any reposting must be done only by one of the sign posters on the approved list and the petitioner is again responsible for all associated costs. The zoning notice sign must be visible on the property on or before the posting date noted above. It should remain there through the closing date.
2. **DEADLINE:** The closing date is the deadline for an occupant or owner within 1,000 feet to file a formal request for a public hearing. Please understand that even if there is no formal request for a public hearing, the process is not complete on the closing date.
3. **ORDER:** After the closing date, the file will be reviewed by the zoning or deputy zoning commissioner. He may: (a) grant the requested relief; (b) deny the requested relief; or (c) order that the matter be set in for a public hearing. You will receive written notification, usually within 10 days of the closing date if all County agencies' comments are received, as to whether the petition has been granted, denied, or will go to public hearing. The order will be mailed to you by First Class mail.
4. **POSSIBLE PUBLIC HEARING AND REPOSTING:** In cases that must go to a public hearing (whether due to a neighbor's formal request or by order of the zoning or deputy zoning commissioner), notification will be forwarded to you. The sign on the property must be changed giving notice of the hearing date, time and location. As when the sign was originally posted, certification of this change and a photograph of the altered sign must be forwarded to this office.

(Detach Along Dotted Line)

Petitioner: This Part of the Form is for the Sign Poster Only

USE THE ADMINISTRATIVE VARIANCE SIGN FORMAT

Case Number 2016- 0230 -A Address 12612 HAREWOOD RD.

Petitioner's Name CHRIS TRAMMELL Telephone 443-388-0622

Posting Date: 4/3/16 Closing Date: 4/18/16

Wording for Sign: To Permit A GARAGE TO BE LOCATED IN THE
FRONT YARD IN LIEU OF THE REQUIRED REAR YARD
WITH A HEIGHT OF 18FT. IN LIEU OF THE PERMITTED
15FT.

Revised 7/21/15

ADVERTISING REQUIREMENTS AND PROCEDURES FOR ZONING HEARINGS

OPINIONS MAY NOT BE ISSUED UNTIL ALL ADVERTISING COSTS ARE PAID.

BALTIMORE COUNTY, MARYLAND
OFFICE OF BUDGET AND FINANCE
MISCELLANEOUS CASH RECEIPT

No. **134721**

Date: **3/25/16**

PAID RECEIPT

BUSINESS ACTUAL TIME DRW
 3/25/2016 3/25/2016 09:16:58 3

RE 45005 WALKIN CHET DAN
 >>> RECEIPT # 872452 3/25/2016 GFLH

Dept 5 322 ZONING VERIFICATION
 NO. 134721

Recpt Tot \$75.00
 \$75.00 CK 1.00 CA
 Baltimore County, Maryland

Fund	Dept	Unit	Sub Unit	Rev Source/	Sub Rev/	Obj	Sub Obj	Dept Obj	BS Acct	Amount
001	806	0000		6150						100 75.00

Total: **75.00**

Rec From: **CHRIS TRAMMELL**

For: **2016-0230-A**

DISTRIBUTION

WHITE - CASHIER PINK - AGENCY YELLOW - CUSTOMER GOLD - ACCOUNTING
 PLEASE PRESS HARD!!!!

**CASHIER'S
 VALIDATION**



KEVIN KAMENETZ
County Executive

ARNOLD JABLON
*Deputy Administrative Officer
Director, Department of Permits,
Approvals & Inspections*

April 19, 2016

Chris Trammell
12612 Harewood Road
Baltimore MD 21220

RE: Case Number: 2016-0230 A, Address: 12612 Harewood Road

To Whom It May Concern:

The above referenced petition was accepted for processing **ONLY** by the Bureau of Zoning Review, Department of Permits, Approvals, and Inspection (PAI) on March 25, 2016. This letter is not an approval, but only a **NOTIFICATION**.

The Zoning Advisory Committee (ZAC), which consists of representatives from several approval agencies, has reviewed the plans that were submitted with your petition. All comments submitted thus far from the members of the ZAC are attached. These comments are not intended to indicate the appropriateness of the zoning action requested, but to ensure that all parties (zoning commissioner, attorney, petitioner, etc.) are made aware of plans or problems with regard to the proposed improvements that may have a bearing on this case. All comments will be placed in the permanent case file.

If you need further information or have any questions, please do not hesitate to contact the commenting agency.

Very truly yours,

A handwritten signature in black ink, reading "W. Carl Richards, Jr.", is written over a horizontal line.

W. Carl Richards, Jr.
Supervisor, Zoning Review

WCR: jaw

Enclosures

c: People's Counsel

BALTIMORE COUNTY, MARYLAND

Inter-Office Correspondence

RECEIVED

APR 04 2016

OFFICE OF ADMINISTRATIVE HEARINGS



TO: Hon. Lawrence M. Stahl; Managing Administrative Law Judge
Office of Administrative Hearings

FROM: Jeff Livingston, Department of Environmental Protection and
Sustainability (EPS) - Development Coordination

DATE: April 4, 2016

SUBJECT: DEPS Comment for Zoning Item # 2016-0230-A
Address 12612 Harewood Road
(Trammell Property)

Zoning Advisory Committee Meeting of April 4, 2016.

EPS has reviewed the subject zoning petition for compliance with the goals of the State-mandated Critical Area Law listed in the Baltimore County Zoning Regulations, Section 500.14. Based upon this review, we offer the following comments:

1. Minimize adverse impacts on water quality that result from pollutants that are discharged from structures or conveyances or that have run off from surrounding lands;

The subject property is located within a Resource Conservation Area (RCA) and is subject to Critical Area requirements. The applicant is requesting to allow a garage in the front yard with greater height than permitted. The property is not waterfront, but there appears to be a stream along the north side of the property. The lot is currently developed with a house and driveway. Lot coverage information was not provided. Lot coverage is limited to a maximum of 15%. As shown, the proposed garage may fall within the stream buffer. Without information as to stream location and associated buffers and lot coverage, we cannot determine whether water quality impacts will be minimized.

2. Conserve fish, plant, and wildlife habitat;

No information was provided regarding the amount of impact to the possible stream buffer. Therefore we cannot determine that fish, plant, and wildlife habitat in the Chesapeake Bay will be conserved.

3. Be consistent with established land use policies for development in the Chesapeake Bay Critical Area, which accommodate growth and also address the fact that, even if pollution is controlled, the number, movement and activities of persons in that area can create adverse environmental impacts;

As submitted, the Critical Area information is incomplete, and therefore we cannot say the relief requested will be consistent with established land-use policies.

Reviewer: Regina Esslinger

Date: April 4, 2016

Larry Hogan, Governor
Boyd K. Rutherford, Lt. Governor



Pete K. Rahn, Secretary
Gregory C. Johnson, P.E., Administrator

Date: 3/28/16

Ms. Kristen Lewis
Baltimore County Office of
Permits and Development Management
County Office Building, Room 109
Towson, Maryland 21204

Dear Ms. Lewis:

Thank you for the opportunity to review your referral request on the subject of the Case number referenced below. We have determined that the subject property does not access a State roadway and is not affected by any State Highway Administration projects. Therefore, based upon available information this office has no objection to Baltimore County Zoning Advisory Committee approval of Case No. 2016-0230-A

*Administrative Variance
Chris Trammell
12612 Harewood Road*

Should you have any questions regarding this matter, please contact Mr. Richard Zeller at 410-229-2332 or 1-866-998-0367 (in Maryland only) extension 2332, or by email at (rzeller@sha.state.md.us).

Sincerely,

A handwritten signature in black ink, appearing to read "Richard Zeller".

David W. Peake
Metropolitan District Engineer – District 4
Baltimore & Harford Counties

DWP/RAZ

CHECKLIST

<u>Comment Received</u>	<u>Department</u>	<u>Support/Oppose/ Conditions/ Comments/ No Comment</u>
_____	DEVELOPMENT PLANS REVIEW (if not received, date e-mail sent _____)	_____
<u>4-4</u>	DEPS (if not received, date e-mail sent _____)	<u>C</u>
_____	FIRE DEPARTMENT	_____
_____	PLANNING (if not received, date e-mail sent _____)	_____
<u>3-28</u>	STATE HIGHWAY ADMINISTRATION	<u>No objection</u>
_____	TRAFFIC ENGINEERING	_____
_____	COMMUNITY ASSOCIATION	_____
_____	ADJACENT PROPERTY OWNERS	_____
ZONING VIOLATION	(Case No. _____)	
PRIOR ZONING	(Case No. _____)	
NEWSPAPER ADVERTISEMENT	Date: _____	
SIGN POSTING	Date: <u>4-3-16</u> by <u>O'Keefe</u>	
PEOPLE'S COUNSEL APPEARANCE	Yes ☐ No ☐	
PEOPLE'S COUNSEL COMMENT LETTER	Yes ☐ No ☐	

Comments, if any: _____

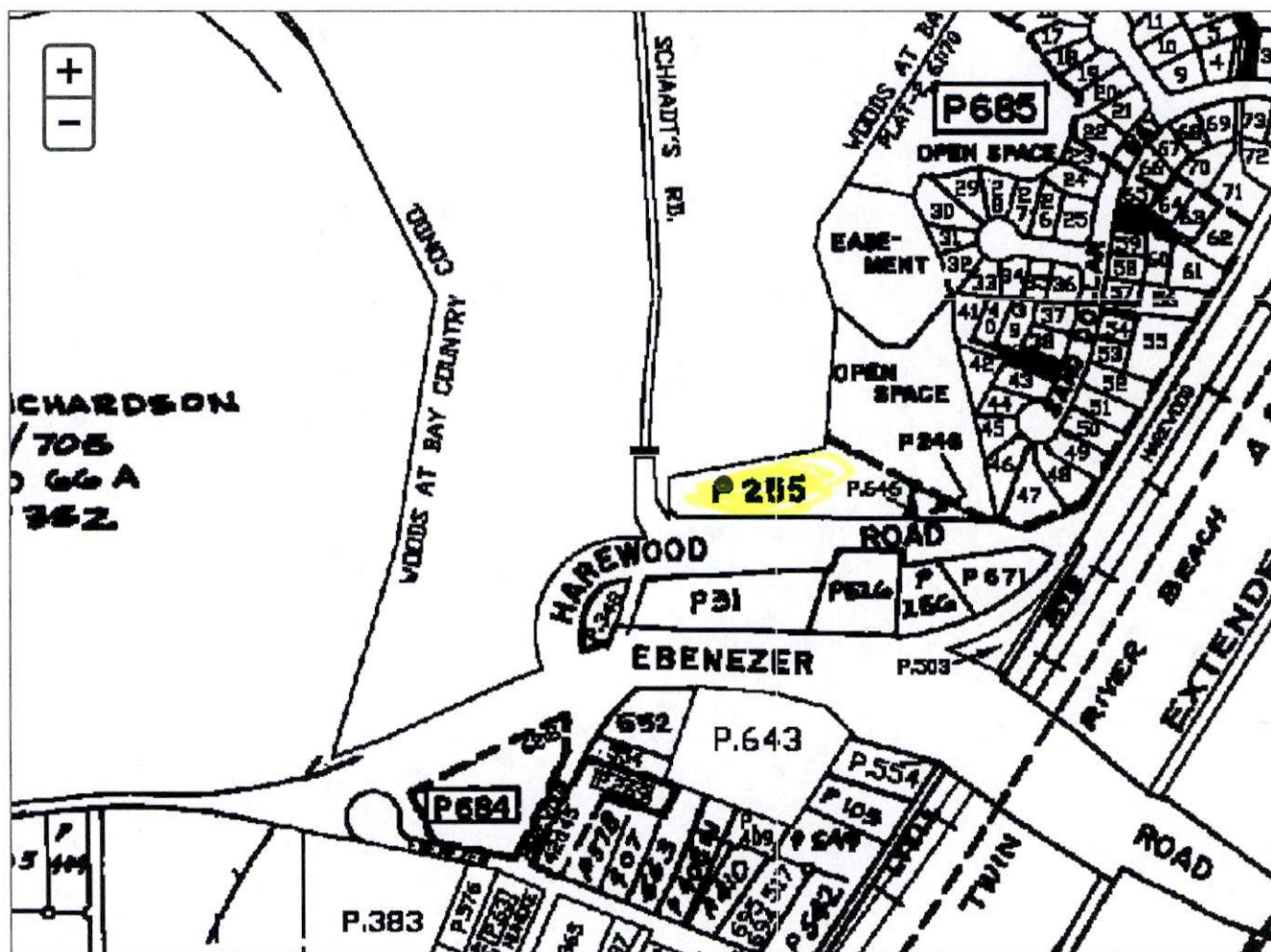
Real Property Data Search (w3)

Guide to searching the database

Search Result for BALTIMORE COUNTY

View Map		View GroundRent Redemption		View GroundRent Registration	
Account Identifier:		District - 15 Account Number - 1503000710			
Owner Information					
Owner Name:		TRAMMELL CHRISTOPHER S		Use:	RESIDENTIAL
Mailing Address:		12612 HAREWOOD RD BALTIMORE MD 21220-1281		Principal Residence:	YES
				Deed Reference:	/29476/ 00377
Location & Structure Information					
Premises Address:		12612 HAREWOOD RD BALTIMORE 21220-1281		Legal Description:	2.07 AC 12612 HAREWOOD RD NE COR SCHARDT RD
Map:	Grid:	Parcel:	Sub District:	Subdivision:	Section: Block: Lot: Assessment Year: Plat No: Plat Ref:
0083	0012	0255		0000	2015
Special Tax Areas:			Town: NONE		
			Ad Valorem:		
			Tax Class:		
Primary Structure Built	Above Grade Enclosed Area	Finished Basement Area	Property Land Area	County Use	
1934	1,460 SF		2.0700 AC	04	
Stories	Basement	Type	Exterior	Full/Half Bath	Garage Last Major Renovation
2	YES	STANDARD UNIT	SIDING	1 full	
Value Information					
		Base Value	Value As of 01/01/2015	Phase-in Assessments As of 07/01/2015 As of 07/01/2016	
Land:		78,500	105,100		
Improvements		52,100	50,700		
Total:		130,600	155,800	139,000	147,400
Preferential Land:		0			0
Transfer Information					
Seller: GROVER JOHN C		Date: 05/17/2010		Price: \$195,000	
Type: ARMS LENGTH IMPROVED		Deed1: /29476/ 00377		Deed2:	
Seller: NOWACKI GREGORY A		Date: 06/03/1999		Price: \$0	
Type: NON-ARMS LENGTH OTHER		Deed1: /13791/ 00363		Deed2:	
Seller: CAVANO GEORGE E GREGORY A		Date: 01/26/1982		Price: \$17,000	
Type: ARMS LENGTH IMPROVED		Deed1: /06364/ 00712		Deed2:	
Exemption Information					
Partial Exempt Assessments:	Class	07/01/2015		07/01/2016	
County:	000	0.00			
State:	000	0.00			
Municipal:	000	0.00 0.00		0.00 0.00	
Tax Exempt:		Special Tax Recapture:			
Exempt Class:		NONE			
Homestead Application Information					
Homestead Application Status: No Application					

Baltimore County

New Search (<http://sdat.dat.maryland.gov/RealProperty>)District: **15** Account Number: **1503000710**

The information shown on this map has been compiled from deed descriptions and plats and is not a property survey. The map should not be used for legal descriptions. Users noting errors are urged to notify the Maryland Department of Planning Mapping, 301 W. Preston Street, Baltimore MD 21201.

If a plat for a property is needed, contact the local Land Records office where the property is located. Plats are also available online through the Maryland State Archives at www.plats.net (<http://www.plats.net>).

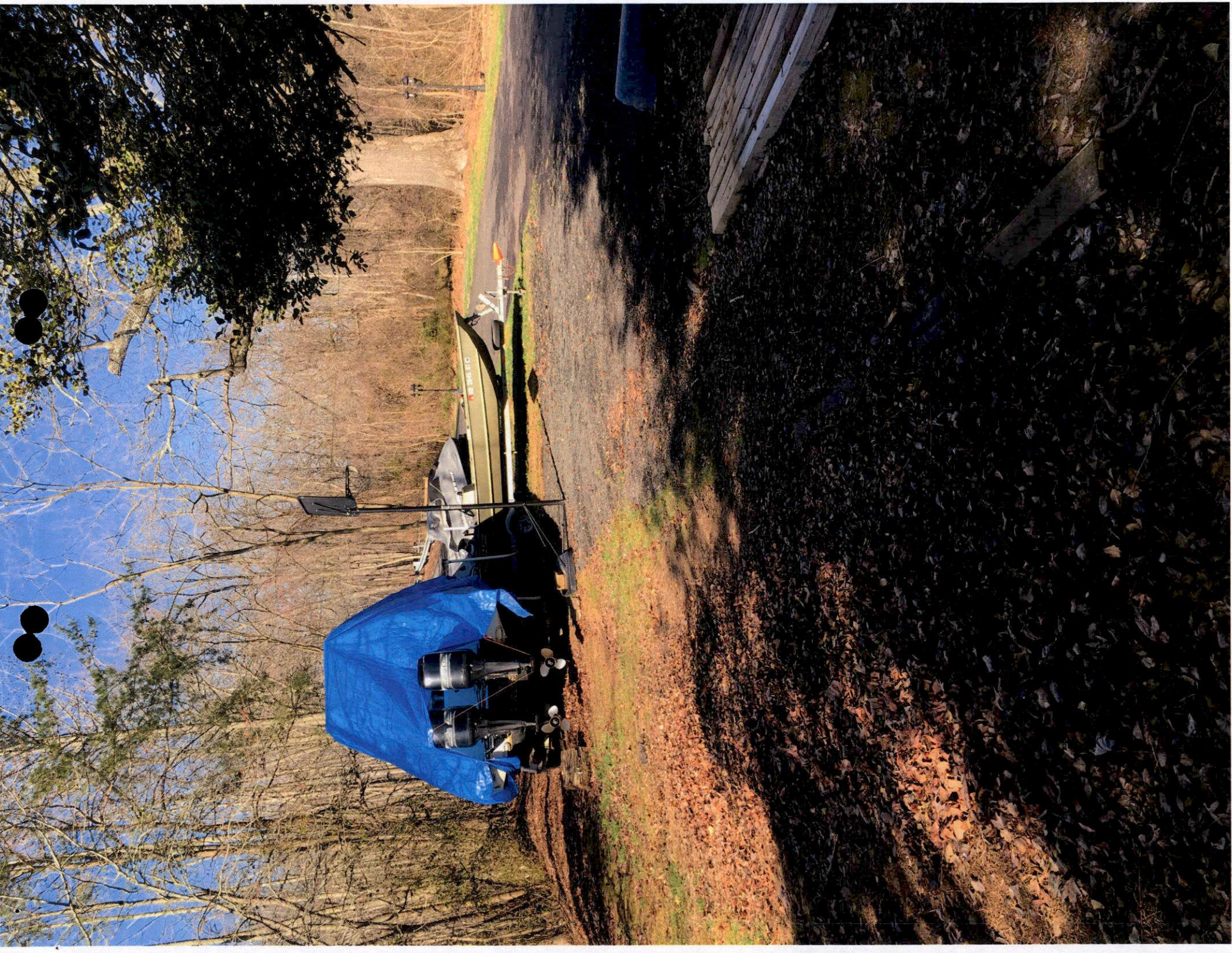
Property maps provided courtesy of the Maryland Department of Planning.

For more information on electronic mapping applications, visit the Maryland Department of Planning web site at www.mdp.state.md.us/OurProducts/OurProducts.shtml (<http://www.mdp.state.md.us/OurProducts/OurProducts.shtml>).

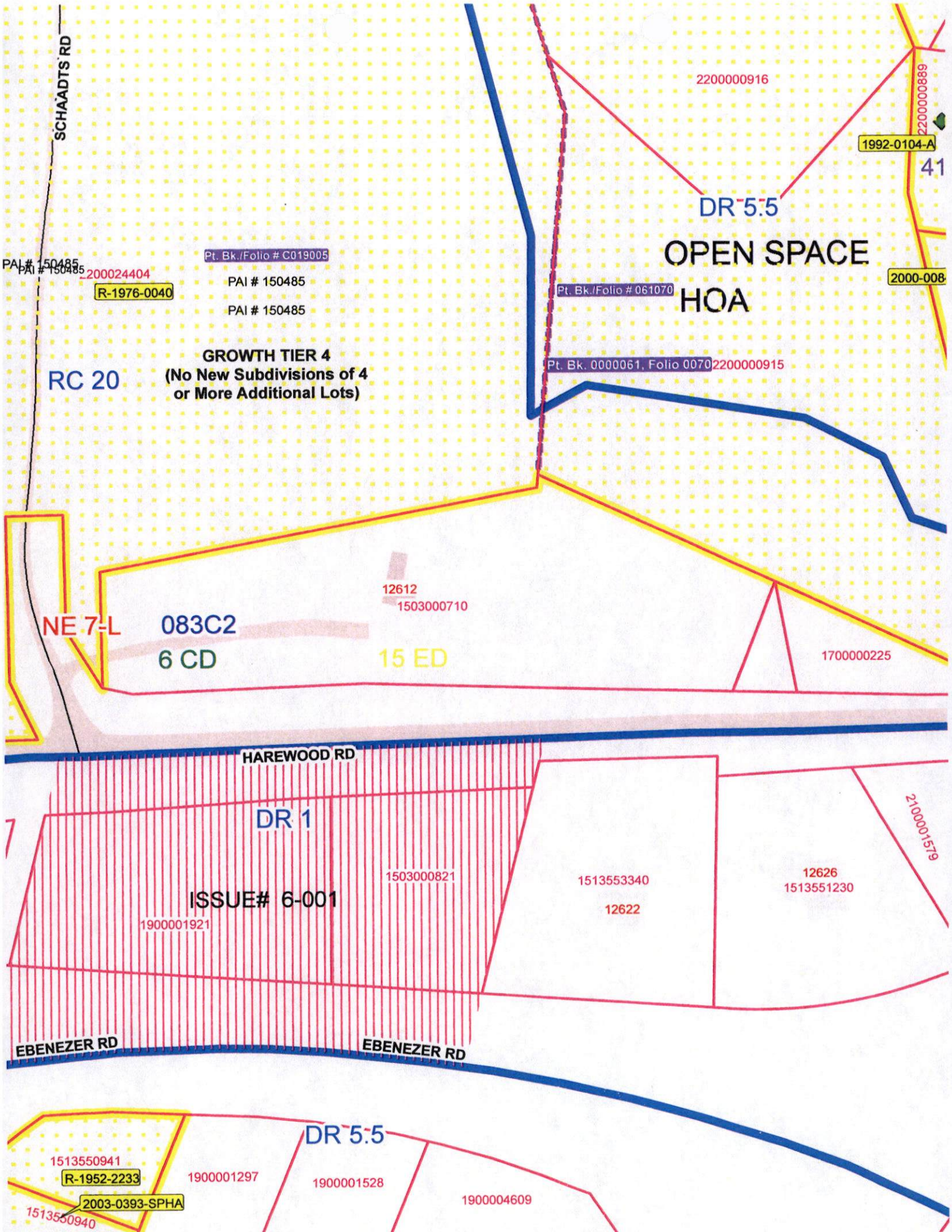












SCHADTS RD

PAI # 150485
PAI # 150485

200024404
R-1976-0040

Pt. Bk./Folio # C019005

PAI # 150485
PAI # 150485

RC 20

GROWTH TIER 4
(No New Subdivisions of 4
or More Additional Lots)

2200000916

DR 5.5

OPEN SPACE
HOA

Pt. Bk./Folio # 061070

Pt. Bk. 0000061, Folio 0070 2200000915

2000-008

41

2200000889

1992-0104-A

NE 7-L

083C2
6 CD

12612
1503000710

15 ED

1700000225

HAREWOOD RD

DR 1

ISSUE# 6-001

1900001921

1503000821

1513553340

12622

12626
1513551230

2100001579

EBENEZER RD

EBENEZER RD

DR 5.5

1513550941
R-1952-2233

1900001297

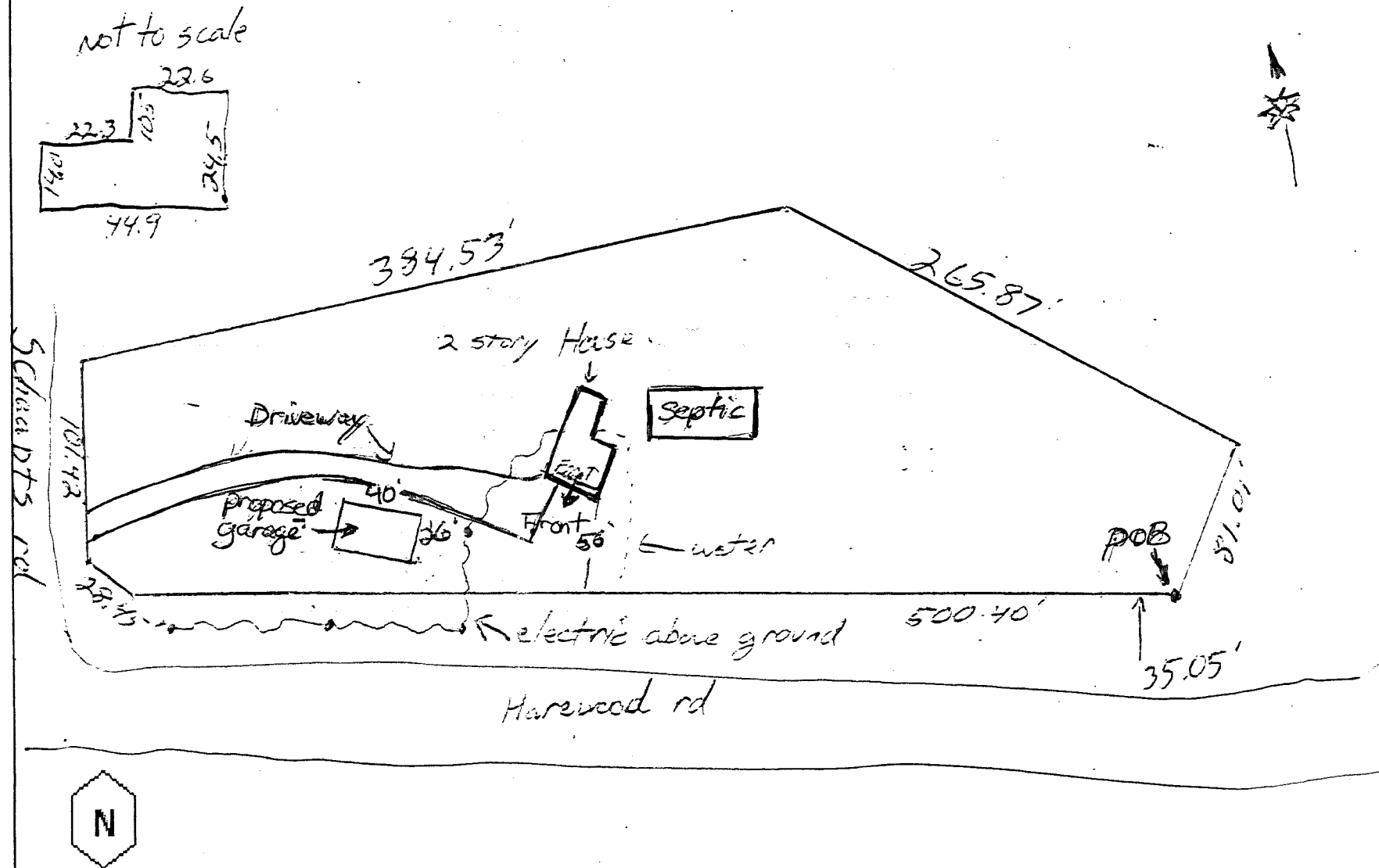
1900001528

1900004609

2003-0393-SPHA

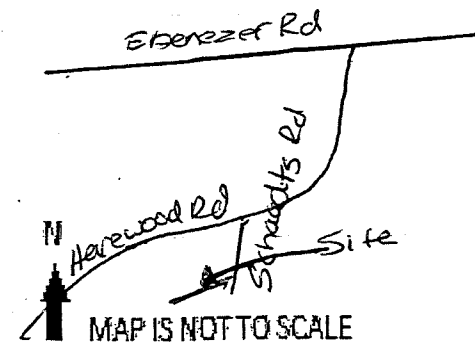
1513550940

ZONING HEARING PLAN FOR VARIANCE X FOR SPECIAL HEARING _____ (MARK TYPE REQUESTED WITH X)
ADDRESS 12612 Harewood rd OWNER(S) NAME(S) Chris Trammell
SUBDIVISION NAME _____ LOT # _____ BLOCK # _____ SECTION # _____
PLAT BOOK # _____ FOLIO # _____ 10 DIGIT TAX # 1503000710 DEED REF. # 29426100322



PLAN DRAWN BY Chris Trammell DATE 3-16-16 SCALE: 1 INCH = 80 FEET

SITE VICINITY MAP



MAP IS NOT TO SCALE
ZONING MAP# C083C2
SITE ZONED BC20
ELECTION DISTRICT 15th
COUNCIL DISTRICT 6th
LOT AREA ACREAGE 2.070
OR SQUARE FEET /
HISTORIC? NO
IN CBCA? yes
IN FLOOD PLAIN? NO
UTILITIES? MARK WITH X
WATER IS:
PUBLIC X PRIVATE _____
SEWER IS:
PUBLIC _____ PRIVATE X
PRIOR HEARING? NO
IF SO GIVE CASE NUMBER
AND ORDER RESULT BELOW

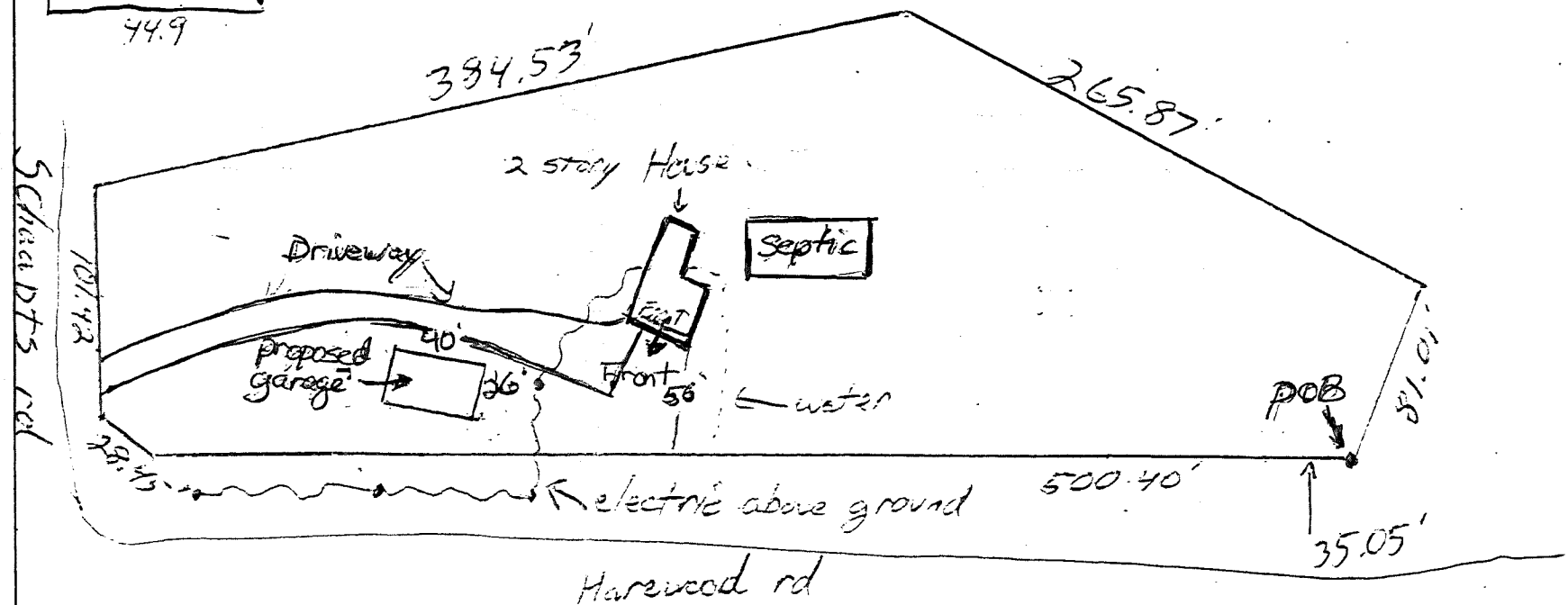
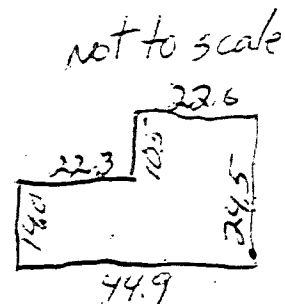
NO
NONE

VIOLATION CASE INFO:

NONE

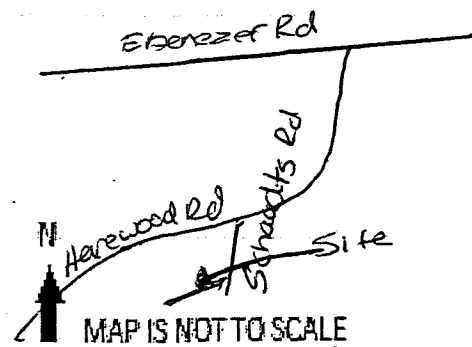
Pet. Ear. 1

ZONING HEARING PLAN FOR VARIANCE X FOR SPECIAL HEARING _____ (MARK TYPE REQUESTED WITH X)
ADDRESS 12612 Harewood rd OWNER(S) NAME(S) Chris Trammell
SUBDIVISION NAME _____ LOT # _____ BLOCK # _____ SECTION # _____
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COUNCIL DISTRICT 6th
LOT AREA ACREAGE 2.070
OR SQUARE FEET _____
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IN CBCA? yes
IN FLOOD PLAIN? NO
UTILITIES? MARK WITH X
WATER IS: PUBLIC X PRIVATE _____
SEWER IS: PUBLIC _____ PRIVATE X
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IF SO GIVE CASE NUMBER
AND ORDER RESULT BELOW

NO

VIOLATION CASE INFO:

NONE