

MEMORANDUM

DATE: October 11, 2016
TO: Zoning Review Office
FROM: Office of Administrative Hearings
RE: Case No. 2017-0034-A – Appeal Period Expired

The appeal period for the above-referenced case expired on October 7, 2016. There being no appeal filed, the subject file is ready for return to the Zoning Review Office and is placed in the 'pick up box.'

c: ✓ Case File
Office of Administrative Hearings

IN RE: PETITION FOR ADMIN. VARIANCE *
(9624 Mason Avenue)
9th Election District *
3rd Council District *
Kenneth A. and Susan D. Hall *
Petitioners *

BEFORE THE
OFFICE OF ADMINISTRATIVE
HEARINGS FOR
BALTIMORE COUNTY
CASE NO. 2017-0034-A

* * * * *

OPINION AND ORDER

This matter comes before the Office of Administrative Hearings (OAH) as a Petition for Administrative Variance filed by the legal owners of the property, Kenneth A. and Susan D. Hall ("Petitioners"). The Petitioners are requesting Variance relief from § 1B02.3.C.1 (Chart) of the Baltimore County Zoning Regulations (B.C.Z.R.), to permit a side yard setback of 7 ft. for the existing house and to permit a side yard setback of 8 ft. for a proposed addition in lieu of the required 10 ft. The subject property and requested relief is more fully depicted on the site plan that was marked and accepted into evidence as Petitioners' Exhibit 1.

The Zoning Advisory Committee (ZAC) comments were received and are made part of the record of this case. There were no adverse ZAC comments received from any of the County reviewing agencies.

The Petitioners having filed a Petition for Administrative Variance and the subject property having been posted on August 8, 2016, and there being no request for a public hearing, a decision shall be rendered based upon the documentation presented.

The Petitioners have filed the supporting affidavits as required by Section 32-3-303 of the Baltimore County Code (B.C.C.). Based upon the information available, there is no evidence in the file to indicate that the requested variance would adversely affect the health, safety or general

ORDER RECEIVED FOR FILING

Date 9-7-16

By DW

welfare of the public and should therefore be granted. In the opinion of the Administrative Law Judge, the information, photographs, and affidavits submitted provide sufficient facts that comply with the requirements of Section 307.1 of the B.C.Z.R. Furthermore, strict compliance with the B.C.Z.R. would result in practical difficulty and/or unreasonable hardship upon the Petitioners.

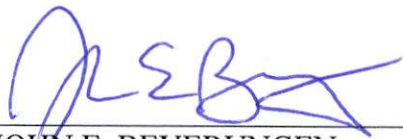
Pursuant to the posting of the property and the provisions of both the Baltimore County Code and the Baltimore County Zoning Regulations, and for the reasons given above, the requested variance should be granted.

THEREFORE, IT IS ORDERED, this 7th day of **September, 2016**, by the Administrative Law Judge for Baltimore County, that the Petition for Variance relief from § 1B02.3.C.1 (Chart) of the Baltimore County Zoning Regulations (B.C.Z.R.), to permit a side yard setback of 7 ft. for the existing house and to permit a side yard setback of 8 ft. for a proposed addition in lieu of the required 10 ft., be and is hereby GRANTED.

The relief granted herein shall be subject to the following:

- Petitioners may apply for their appropriate permits and be granted same upon receipt of this Order; however, Petitioners are hereby made aware that proceeding at this time is at their own risk until such time as the 30-day appellate process from this Order has expired. If, for whatever reason, this Order is reversed, Petitioners would be required to return, and be responsible for returning, said property to its original condition.

Any appeal of this decision must be made within thirty (30) days of the date of this Order.



JOHN E. BEVERUNGEN
Administrative Law Judge
for Baltimore County

JEB:dlw
ORDER RECEIVED FOR FILING

Date 9-7-16

2

By JSW



ADMINISTRATIVE ZONING PETITION

FOR ADMINISTRATIVE VARIANCE – OR – ADMINISTRATIVE SPECIAL HEARING

To be filed with the Department of Permits, Approvals and Inspections

To the Office of Administrative Hearings for Baltimore County for the property located at:

Address 9624 MASON AVENUE Currently zoned DR 5.5
Deed Reference SM 88201228 10 Digit Tax Account # 0923006570
Owner(s) Printed Name(s) KENNETH ALLAN HALL & SUSAN D. HALL

(SELECT THE HEARING(S) BY MARKING **X** AT THE APPROPRIATE SELECTION(S) AND ADDING THE PETITION REQUEST)

For Administrative Variances, the **Affidavit** on the reverse of this Petition form must be completed and notarized.

The undersigned, who own and occupy the property situate in Baltimore County and which is described in the plan/plat attached hereto and made a part hereof, hereby petition for an:

1. **X ADMINISTRATIVE VARIANCE** from Section(s) 1802.3.C.1 (CHART)
TO PERMIT A SIDEYARD SETBACK OF 7 FEET FOR THE EXISTING HOUSE AND TO
PERMIT A SIDEYARD SETBACK OF 8 FEET FOR A PROPOSED ADDITION IN
LIEU OF THE REQUIRED 10 FEET
of the zoning regulations of Baltimore County, to the zoning law of Baltimore County.

2. **ADMINISTRATIVE SPECIAL HEARING** to approve a waiver pursuant to Section 32-4-107(b) of the Baltimore County Code: (indicate type of work in this space: i.e., to raze, alter or construct addition to building)

of the Baltimore County Code, to the development law of Baltimore County.

Property is to be posted and advertised as prescribed by the zoning regulations.

I/ we agree to pay expenses of above petition(s), advertising, posting, etc. and further agree to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

Owner(s)/Petitioner(s):

KENNETH ALLAN HALL / SUSAN D. HALL
Name #1 – Type or Print Name #2 – Type or Print
X Kenneth Allan Hall Susan D. Hall
Signature #1 Signature #2
9624 MASON AVENUE BALTIMORE MD
Mailing Address City State
21284 / 410-668-9642 /
Zip Code Telephone # Email Address

Attorney for Owner(s)/Petitioner(s):

Name- Type or Print
Signature
Mailing Address City State
Zip Code Telephone # Email Address

Representative to be contacted:

BRUCE E. DOAK
BRUCE E. DOAK CONSULTING, LLC
Name – Type or Print
Bruce E. Doak
Signature
3801 BAKER SCHOOLHOUSE ROAD FREE LAND MD
Mailing Address City State
EMAIL BDOAK@BRUCEEDOAKCONSULTING.COM 21053 / 410-419-4906 /
Zip Code Telephone # Email Address

A PUBLIC HEARING having been formally demanded and/or found to be required, it is ordered by the Office of Administrative Hearings for Baltimore County, this _____ day of _____ that the subject matter of this petition be set for a public hearing, advertised, and re-posted as required by the zoning regulations of Baltimore County.

Administrative Law Judge for Baltimore County

CASE NUMBER 2017-0034-A Filing Date 8/2/2016 Estimated Posting Date 8/14/16 Reviewer TM

ORDER RECEIVED FOR FILING

Date 9-7-16

Bv 100

Affidavit in Support of Administrative Variance
(THIS AFFIDAVIT IS NOT REQUIRED FOR AN HISTORIC ADMINISTRATIVE SPECIAL HEARING)

The undersigned hereby affirms under the penalties of perjury and upon personal knowledge to the Administrative Law Judge for Baltimore County, that the information herein given is true and correct and that the undersigned is/are competent to testify in the event that a public hearing is scheduled in the future with regard thereto. In addition, the undersigned hereby affirms that the property is not the subject of an active Code Enforcement case and that the residential property described below is owned and occupied by the undersigned.

Address: 9624 MASON AVENUE BALTIMORE MD 21053
Print or Type Address of property City State Zip Code

Based upon personal knowledge, the following are the facts upon which I/we base the request for an Administrative Variance at the above address. (Clearly state practical difficulty or hardship here)

SEE ATTACHED SHEET

(If additional space for the petition request or the above statement is needed, label and attach it to this Form)

x Kenneth Allan Hall
Signature of Owner (Affiant)

KENNETH ALLAN HALL
Name- Print or Type

x Susan D. Hall
Signature of Owner (Affiant)

SUSAN D. HALL
Name- Print or Type

The following information is to be completed by a Notary Public of the State of Maryland

STATE OF MARYLAND, COUNTY OF BALTIMORE, to wit:

I HEREBY CERTIFY, this 25th day of July, 2016, before me a Notary of Maryland, in and for the County aforesaid, personally appeared:

Print name(s) here: Kenneth Allan Hall and Susan D. Hall

the Affiant(s) herein, personally known or satisfactorily identified to me as such Affiant(s).

AS WITNESS my hand and Notaries Seal



Jennifer M. Columbe
Notary Public
12-02-2017
My Commission Expires

9624 Mason Avenue

Requested Variance:

- 1) To permit a side yard setback of 7 feet for the existing house
- 2) To permit a side yard setback of 8 feet for a proposed addition

In lieu of the required 10 feet per section 1B02.3.C.1 (chart)

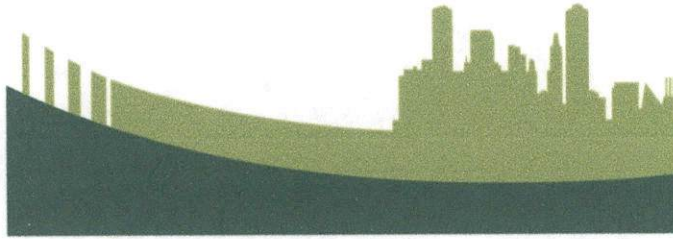
Practical Difficulty or Hardship:

The existing house was built in 1955 within the required 10 foot setback at 7 feet. The owners were not the original owners.

The owners wish to build an addition to the house 8 feet off of the property line on the north side and 9 feet off of the south side. Each side of the addition will be set back 1 foot further than the existing house.

The proposed footprint will allow easy flow from the existing house to the new addition. The addition will be less obtrusive to the setback than the existing house. Much of the house addition will replace the existing screen house. Screening is on the property line.

0034-A



Zoning Description

9624 Mason Avenue
Ninth Election District Third Councilmanic District
Baltimore County, Maryland

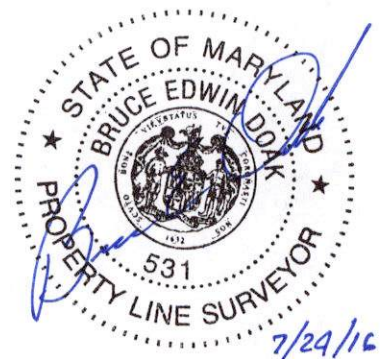
Beginning at a point on the west side of Mason Avenue, variable width, which is 595 feet, more or less, from the center of Joppa Road.

The subject property is Lot 218 and Lot 219 as shown on the plat entitled "Carney View" which is recorded in the Land Records of Baltimore County in Plat Book 7 Page 90.

Containing 9,000 square feet of land, more or less.

This description is part of a zoning petition and is not intended for any conveyance purposes.

Bruce E. Doak Consulting, LLC
3801 Baker Schoolhouse Road
Freeland, MD 21053
410-419-4906 cell / 443-900-5535 office
bdoak@bruceedoakconsulting.com



2017-0034-A

Bruce E. Doak Consulting, LLC

3801 Baker Schoolhouse Road
Freeland, MD 21053
o 443-900-5535 m 410-419-4906
bdoak@bruceedoakconsulting.com

CERTIFICATE OF POSTING

July 31, 2016

Re:

Zoning Case No. 2017-0034-A

Petitioner: Kenneth & Susan Hall

Closing date: August 29, 2016

Baltimore County Department of Permits, Approvals & Inspections
County Office Building
111 West Chesapeake Avenue, Room 111
111 West Chesapeake Avenue Towson, MD 21204

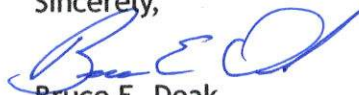
Attention: Kristen Lewis

Ladies and Gentlemen,

This letter is to certify under the penalties of perjury that the necessary sign(s) required by law were posted conspicuously on the property located at **Mason Avenue**.

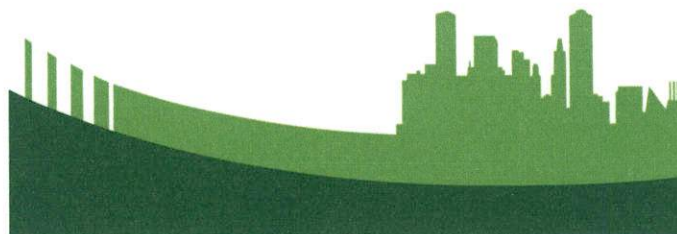
The sign was posted on August 8, 2016.

Sincerely,



Bruce E. Doak
MD Property Line Surveyor #531

See the attached sheet(s) for the photos of the posted sign(s)



Land Use Expert and Surveyor

ZONING NOTICE

ADMINISTRATIVE VARIANCE

CASE NO. 2017-0034-A

9624 Mason Avenue

REQUEST: TO PERMIT A SIDE YARD SETBACK OF 7 FEET FOR THE EXISTING HOUSE AND TO PERMIT A SIDE YARD OF 8 FEET FOR A PROPOSED ADDITION IN LIEU OF THE REQUIRED 10 FEET.

PUBLIC HEARING?

PURSUANT TO SECTION 26-127(b)(1) BALTIMORE COUNTY CODE, AN ELIGIBLE INDIVIDUAL OR GROUP MAY REQUEST A PUBLIC HEARING CONCERNING THE PROPOSED VARIANCE, PROVIDED IT IS DONE IN THE ZONING OFFICE BEFORE AUGUST 29, 2016.

ADDITIONAL INFORMATION IS AVAILABLE AT ZONING ADMINISTRATION AND DEVELOPMENT MANAGEMENT 111 W. CHESAPEAKE AVENUE TOWSON, MD 21204 410-887-3391



ADMINISTRATIVE VARIANCE INFORMATION SHEET AND DATES

Case Number 2017- 0034 -A Address 9624 MASON AVE
Contact Person: LEONARD WASILEWSKI Phone Number: 410-887-3391
Planner, Please Print Your Name.
Filing Date: 8/2/16 Posting Date: 8/14/16 Closing Date: 8/29/16

Any contact made with this office regarding the status of the administrative variance should be through the contact person (planner) using the case number.

1. **POSTING/COST:** The petitioner must use one of the sign posters on the approved list (on the reverse side of this form) and the petitioner is responsible for all printing/posting costs. Any reposting must be done only by one of the sign posters on the approved list and the petitioner is again responsible for all associated costs. The zoning notice sign must be visible on the property on or before the posting date noted above. It should remain there through the closing date.
2. **DEADLINE:** The closing date is the deadline for an occupant or owner within 1,000 feet to file a formal request for a public hearing. Please understand that even if there is no formal request for a public hearing, the process is not complete on the closing date.
3. **ORDER:** After the closing date, the file will be reviewed by the zoning or deputy zoning commissioner. He may: (a) grant the requested relief; (b) deny the requested relief; or (c) order that the matter be set in for a public hearing. You will receive written notification, usually within 10 days of the closing date if all County agencies' comments are received, as to whether the petition has been granted, denied, or will go to public hearing. The order will be mailed to you by First Class mail.
4. **POSSIBLE PUBLIC HEARING AND REPOSTING:** In cases that must go to a public hearing (whether due to a neighbor's formal request or by order of the zoning or deputy zoning commissioner), notification will be forwarded to you. The sign on the property must be changed giving notice of the hearing date, time and location. As when the sign was originally posted, certification of this change and a photograph of the altered sign must be forwarded to this office.

(Detach Along Dotted Line)

Petitioner: This Part of the Form is for the Sign Poster Only

USE THE ADMINISTRATIVE VARIANCE SIGN FORMAT

Case Number 2017- 0034 -A Address 9624 MASON AVE
Petitioner's Name Kenneth & Susan Hall Telephone 410-668-9642
Posting Date: 8/14/16 Closing Date: 8/29/16
Wording for Sign: To Permit A side yard setback of 7 feet for the existing house
and to permit a side yard of 8 feet for a proposed addition in lieu of the
required 10 ft.

Revised 7/6/16

ADMINISTRATIVE VARIANCE INFORMATION SHEET AND DATES

Case Number 2017- 0034 -A Address 9624 MASON AVE

Contact Person: LEONARD WASILEWSKI Phone Number: 410-887-3391
Planner, Please Print Your Name

Filing Date: 8/2/16 Posting Date: 8/14/16 Closing Date: 8/29/16

Any contact made with this office regarding the status of the administrative variance should be through the contact person (planner) using the case number.

1. **POSTING/COST:** The petitioner must use one of the sign posters on the approved list (on the reverse side of this form) and the petitioner is responsible for all printing/posting costs. Any reposting must be done only by one of the sign posters on the approved list and the petitioner is again responsible for all associated costs. The zoning notice sign must be visible on the property on or before the posting date noted above. It should remain there through the closing date.
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Wording for Sign: To Permit A side yard setback of 7 feet for the existing house
and to permit A side yard of 8 feet for a proposed addition in lieu of the
required 10 ft.

Revised 7/6/16

**DEPARTMENT OF PERMITS AND DEVELOPMENT MANAGEMENT
ZONING REVIEW**

ADVERTISING REQUIREMENTS AND PROCEDURES FOR ZONING HEARINGS

The Baltimore County Zoning Regulations (BCZR) require that notice be given to the general public/neighboring property owners relative to property which is the subject of an upcoming zoning hearing. For those petitions which require a public hearing, this notice is accomplished by posting a sign on the property (responsibility of the petitioner) and placement of a notice in a newspaper of general circulation in the County, both at least fifteen (15) days before the hearing.

Zoning Review will ensure that the legal requirements for advertising are satisfied. However, the petitioner is responsible for the costs associated with these requirements. The newspaper will bill the person listed below for the advertising. This advertising is due upon receipt and should be remitted directly to the newspaper.

OPINIONS MAY NOT BE ISSUED UNTIL ALL ADVERTISING COSTS ARE PAID.

For Newspaper Advertising:

Item Number or Case Number: 2017-0034-A

Petitioner: KENNETH A. HALL & SUSAN D. HALL

Address or Location: 9624 MASON AVENUE

PLEASE FORWARD ADVERTISING BILL TO:

Name: KENNETH A. HALL

Address: 9624 MASON AVENUE

BALTIMORE MO 21239

Telephone Number: 410-668-9642

Revised 2/20/98 - SCJ

2017-0034-A

**CASHIER'S
VALIDATION**



KEVIN KAMENETZ
County Executive

ARNOLD JABLON
*Deputy Administrative Officer
Director, Department of Permits,
Approvals & Inspections*

August 30, 2016

Kenneth Allan & Susan D Hall
9624 Mason Avenue
Baltimore MD 21234

RE: Case Number: 2017-0034 A, Address: 9624 Mason Avenue

Dear Mr. & Ms. Hall:

The above referenced petition was accepted for processing **ONLY** by the Bureau of Zoning Review, Department of Permits, Approvals, and Inspection (PAI) on August 2, 2016. This letter is not an approval, but only a **NOTIFICATION**.

The Zoning Advisory Committee (ZAC), which consists of representatives from several approval agencies, has reviewed the plans that were submitted with your petition. All comments submitted thus far from the members of the ZAC are attached. These comments are not intended to indicate the appropriateness of the zoning action requested, but to ensure that all parties (zoning commissioner, attorney, petitioner, etc.) are made aware of plans or problems with regard to the proposed improvements that may have a bearing on this case. All comments will be placed in the permanent case file.

If you need further information or have any questions, please do not hesitate to contact the commenting agency.

Very truly yours;

A handwritten signature in black ink, reading "W. Carl Richards, Jr.", is written over a horizontal line.

W. Carl Richards, Jr.
Supervisor, Zoning Review

WCR: jaw

Enclosures

c: People's Counsel
Bruce E Doak Consulting LLC, 3801 Baker Schoolhouse Road, Freeland MD 21053

Larry Hogan, Governor
Boyd K. Rutherford, Lt. Governor



Pete K. Rahn, Secretary
Gregory C. Johnson, P.E., Administrator

Date: 8/8/16

Ms. Kristen Lewis
Baltimore County Office of
Permits and Development Management
County Office Building, Room 109
Towson, Maryland 21204

Dear Ms. Lewis:

Thank you for the opportunity to review your referral request on the subject of the Case number referenced below. We have determined that the subject property does not access a State roadway and is not affected by any State Highway Administration projects. Therefore, based upon available information this office has no objection to Baltimore County Zoning Advisory Committee approval of Case No.

2017-0034-A
Administrative Variance
Kenneth Allan & Susan D. Hall
9624 Mason Avenue

Should you have any questions regarding this matter, please contact Mr. Richard Zeller at 410-229-2332 or 1-866-998-0367 (in Maryland only) extension 2332, or by email at (rzeller@sha.state.md.us).

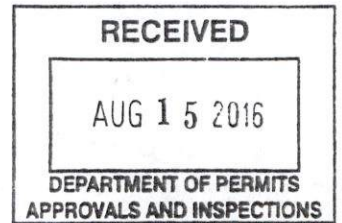
Sincerely,

A handwritten signature in blue ink, appearing to read 'Wendy Wolcott'.

Wendy Wolcott, PLA
Acting Metropolitan District Engineer – District 4
Baltimore & Harford Counties

WW/RAZ

BALTIMORE COUNTY, MARYLAND
INTEROFFICE CORRESPONDENCE



TO: Arnold Jablon, Director
Department of Permits, Approvals
And Inspections

DATE: August 12, 2016

FROM: Dennis A. Kennedy^{DAK}, Supervisor
Bureau of Development Plans Review

SUBJECT: Zoning Advisory Committee Meeting
For August 15, 2016
Item No. 2017-0028, 0029, 0030, 0031, 0032, 0034, 0035 and 0037

The Bureau of Development Plans Review has reviewed the subject zoning items and we have no comments.

DAK:CEN
cc:file

G:\DevPlanRev\ZAC -No Comments\ZAC08152016.doc

BALTIMORE COUNTY, MARYLAND

Inter-Office Correspondence



TO: Hon. Lawrence M. Stahl; Managing Administrative Law Judge
Office of Administrative Hearings

FROM: Jeff Livingston, Department of Environmental Protection and
Sustainability (EPS) - Development Coordination

DATE: August 12, 2016

SUBJECT: DEPS Comment for Zoning Item # 2017-0034-A
Address: 9624 Mason Avenue
(Allan & Hall Property)

Zoning Advisory Committee Meeting of **August 15, 2016.**

X The Department of Environmental Protection and Sustainability has no
comment on the above-referenced zoning item.

Reviewer: Steve Ford

Date: 08-12-2016

C H E C K L I S T

<u>Comment Received</u>	<u>Department</u>	<u>Support/Oppose/ Conditions/ Comments/ No Comment</u>
<u>8-12</u>	DEVELOPMENT PLANS REVIEW (if not received, date e-mail sent _____)	<u>NC</u>
<u>8-12</u>	DEPS (if not received, date e-mail sent _____)	<u>NC</u>
_____	FIRE DEPARTMENT	_____
_____	PLANNING (if not received, date e-mail sent _____)	_____
<u>8-8</u>	STATE HIGHWAY ADMINISTRATION	<u>No objection</u>
_____	TRAFFIC ENGINEERING	_____
_____	COMMUNITY ASSOCIATION	_____
_____	ADJACENT PROPERTY OWNERS	_____
ZONING VIOLATION	(Case No. _____)	
PRIOR ZONING	(Case No. _____)	
NEWSPAPER ADVERTISEMENT	Date: _____	
SIGN POSTING	Date: <u>8-8-16</u> by <u>Dock</u>	
PEOPLE'S COUNSEL APPEARANCE	Yes ☐ No ☐	
PEOPLE'S COUNSEL COMMENT LETTER	Yes ☐ No ☐	

Comments, if any: _____

Real Property Data Search (w2)

Guide to searching the database

Search Result for BALTIMORE COUNTY

View Map		View GroundRent Redemption				View GroundRent Registration			
Account Identifier:		District - 09 Account Number - 0923006570							
Owner Information									
Owner Name:		HALL KENNETH ALLAN HALL SUSAN D				Use: Principal Residence:		RESIDENTIAL YES	
Mailing Address:		9624 MASON AV BALTIMORE MD 21234-2111				Deed Reference:		/08820/ 00228	
Location & Structure Information									
Premises Address:		9624 MASON AVE 0-0000				Legal Description:		LT 218,219 CARNEY VIEW	
Map:	Grid:	Parcel:	Sub District:	Subdivision:	Section:	Block:	Lot:	Assessment Year:	Plat No: Plat Ref:
0071	0015	1112		0000			218	2017	0007/ 0090
Special Tax Areas:					Town: Ad Valorem: Tax Class:		NONE		
Primary Structure Built		Above Grade Enclosed Area		Finished Basement Area		Property Land Area		County Use	
1955		1,275 SF		400 SF		9,000 SF		04	
Stories	Basement	Type	Exterior	Full/Half Bath	Garage	Last Major Renovation			
1 1/2	YES	STANDARD UNIT	SIDING	1 full/ 1 half					
Value Information									
		Base Value		Value As of 01/01/2014		Phase-in Assessments As of 07/01/2016		As of 07/01/2017	
Land:		63,400		63,400					
Improvements		98,400		98,400					
Total:		161,800		161,800		161,800			
Preferential Land:		0							
Transfer Information									
Seller: STRICKER JAMES J Type: ARMS LENGTH IMPROVED				Date: 06/13/1991 Deed1: /08820/ 00228			Price: \$114,000 Deed2:		
Seller: Type:				Date: Deed1:			Price: Deed2:		
Seller: Type:				Date: Deed1:			Price: Deed2:		
Exemption Information									
Partial Exempt Assessments:		Class		07/01/2016		07/01/2017			
County:		000		0.00					
State:		000		0.00					
Municipal:		000		0.00		0.00			
Tax Exempt: Exempt Class:				Special Tax Recapture: NONE					
Homestead Application Information									
Homestead Application Status: Approved 11/12/2008									

9624 Invaslon Avenue 20.7-0034-A



Publication Date: 8/2/2016



Publication Agency: Permits, Approvals & Inspections
Projection/Datum: Maryland State Plane,
FIPS 1900, NAD 1983/91 HARN, US Foot



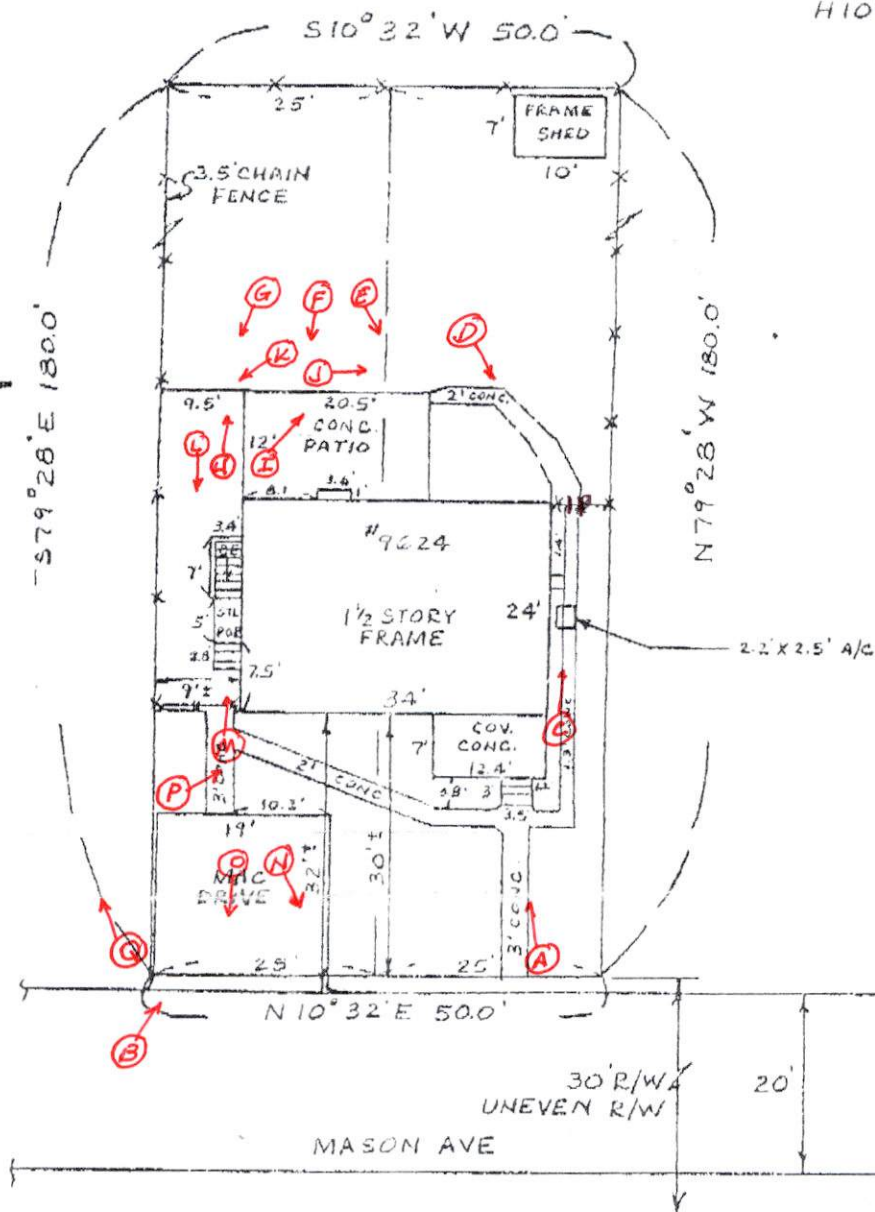
0 5 10 20 30 40 Feet

1 inch = 30 feet

H109

301-
740-
9356
Box #

LOTS 218+219
CARNEY VIEW
PB 7/90



*Plan to Accompany
Photographs*

THE INFORMATION ON THIS PLAT SHOWS ONLY THAT THE IMPROVEMENTS INDICATED HEREON ARE CONTAINED WITHIN THE OUTLINES OF THE LOT UPON WHICH THEY ARE ERRECTED AND IS NOT TO BE CONSTRUED AS ESTABLISHMENT OF PROPERTY LINES.

ATLANTIC ENGINEERING corp. 198 Pennsylvania Ave. Westminster, Md. 21157 (301) 876-1288	<i>J.R. Russell</i>	HOUSE LOCATION SURVEY 9624 MASON AVE BALTIMORE COUNTY LIBER 6773 FOLIO 204 <table border="1"> <tr> <td>Date 4/14/86</td> <td>Signed G.M. / RHC</td> <td>Scale 1"=20'</td> </tr> <tr> <td colspan="3">File # 205-1087</td> </tr> </table>		Date 4/14/86	Signed G.M. / RHC	Scale 1"=20'	File # 205-1087		
Date 4/14/86	Signed G.M. / RHC	Scale 1"=20'							
File # 205-1087									

2017-0034-A

0034-A



(1)



(2)



(3)

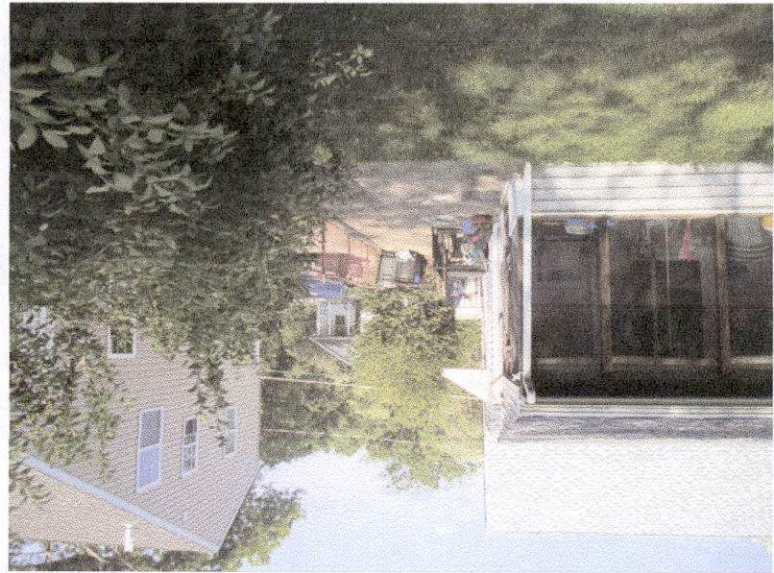


(4)

0034-A



(1)



(2)

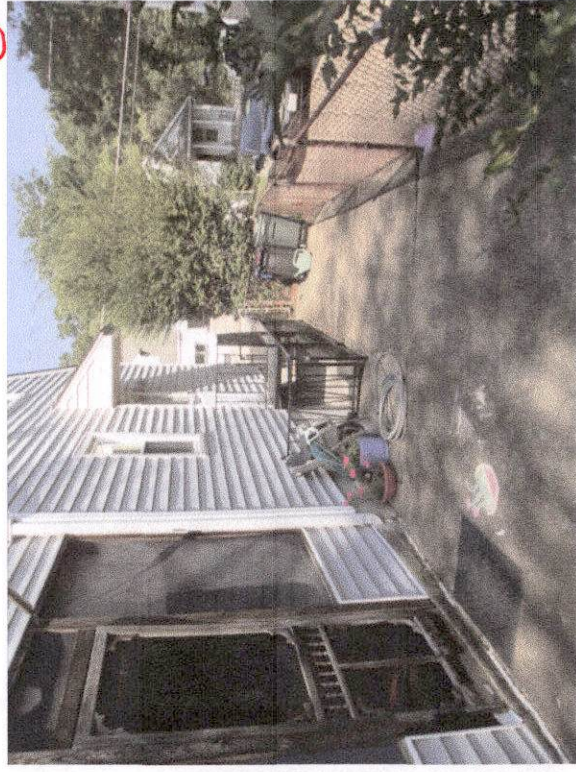


(3)



(4)

0034-A



(2)



(1)



(7)



(5)

(M)



(N)



(O)



(P)



0034-A

Q



0034-A

GENERAL SITE INFORMATION

1. Ownership: Kenneth Allan Hall & Susan D. Hall
9624 Mason Avenue Baltimore MD 21234
2. Address: 9624 Mason Avenue Baltimore, MD 21234
3. Deed references: SM 8820/228
Lots 218 & 219 "Carney View" Plat Book 7 Page 90
4. Area: 9,000 sq. ft. / 0.207 acre (per SDAT)
5. Tax Map / Parcel / Tax account #: 71 / 1112 / 09-23-006570
6. Election District: 9 Councilmanic District: 3
ADC Map: 423406 GIS tile: 07182 Position sheet: 37NE17
Census tract: 492200 Census block: 240054922002012
Schools: Harford Hills ES Pine Grove MS Loch Raven HS
7. The boundary shown hereon is from the deed recorded in the Land Records of Baltimore County. All other information shown hereon was taken from Baltimore County GIS tile 07182 and the information provided by Baltimore County on the internet.
8. Improvements: Single family dwelling & parking area. The existing dwelling and parking area will remain.

OFFICE OF ZONING

Zoning: DR 5.5 There are no previous zoning cases on the subject parcels.

Parking Calculations

Required parking spaces: 2
(5 parking spaces per 1000 square feet of gross floor area per section 409.6A.1 BCZR)
Parking spaces provided on site: 2

DR 5.5 Setbacks for Residential Buildings per 1B02.3.C.1 (chart)

Front: 25 feet from the street right of way or property line
Side: 10 feet
Rear: 30 feet

ENVIRONMENTAL IMPACT

Watershed: Lower Gunpowder Falls URDL land type: 0

1. The existing dwelling is currently serviced by public water and sewer.
2. There are no underground storage tanks on the subject property.
3. The subject property is not in the Chesapeake Bay Critical Area.
4. The subject property is not located within a 100 year flood plain.

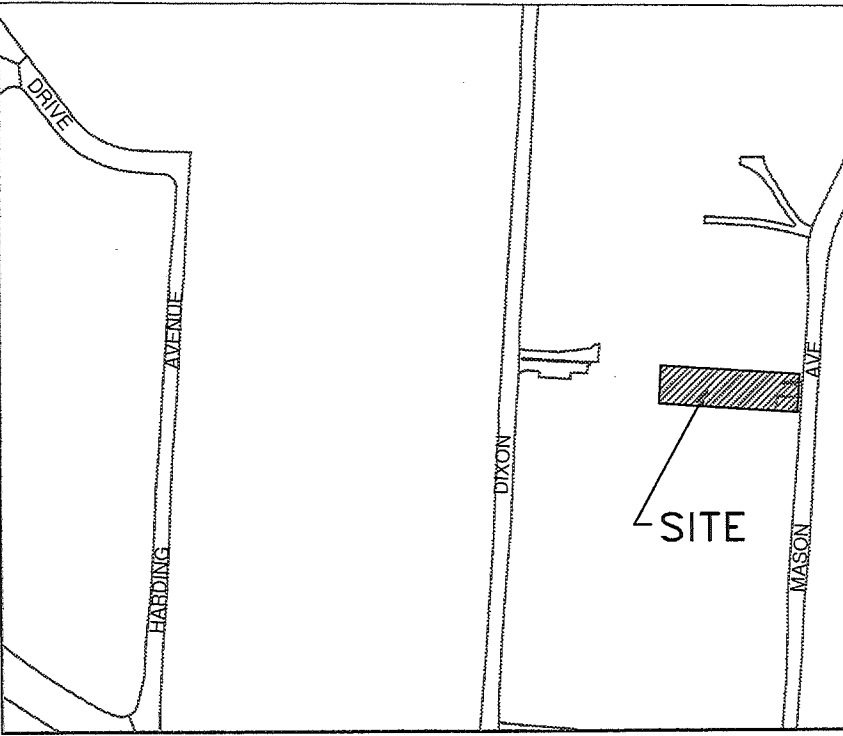
OFFICE OF PLANNING

Regional Planning District: Parkville District Code: 316

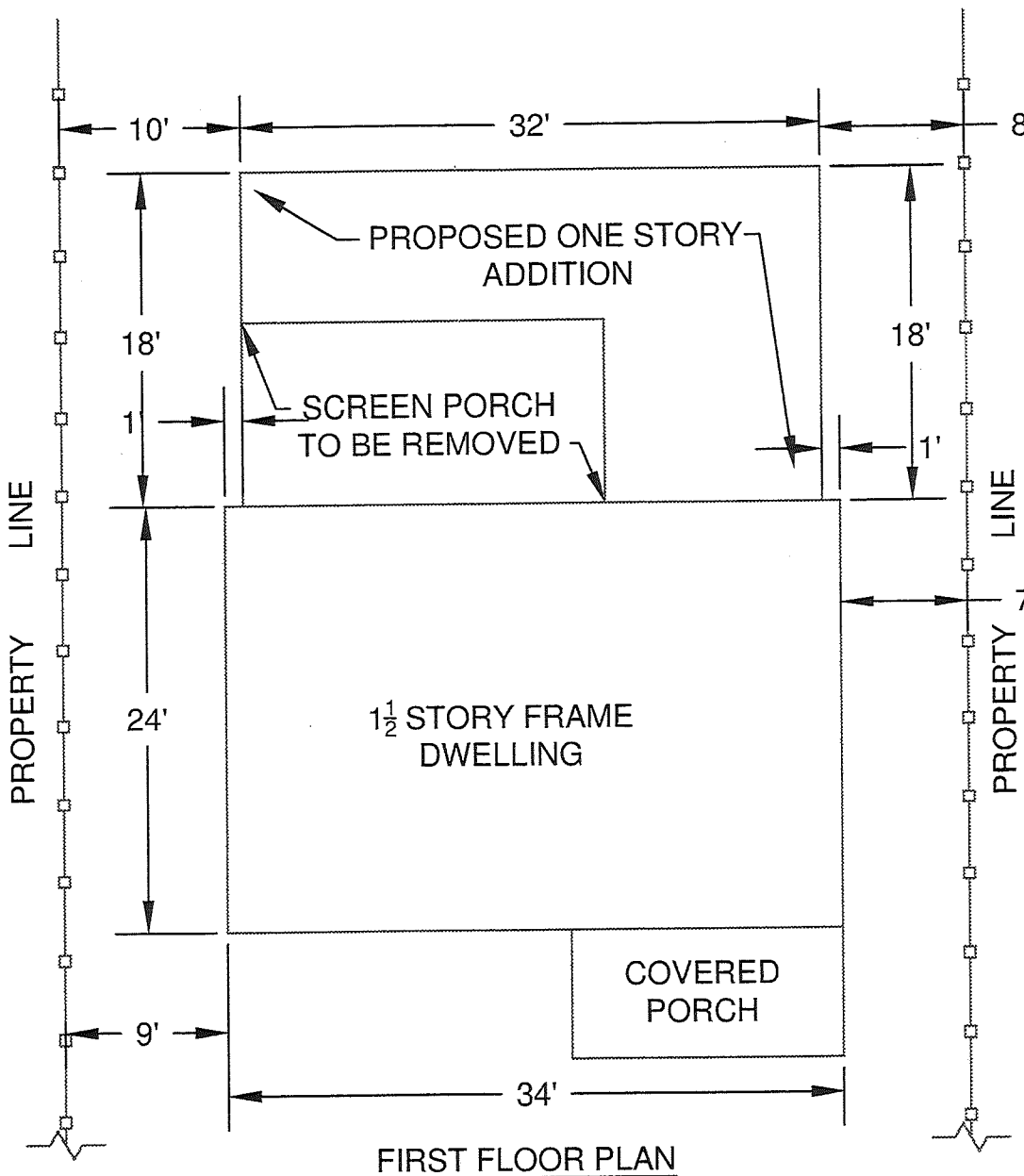
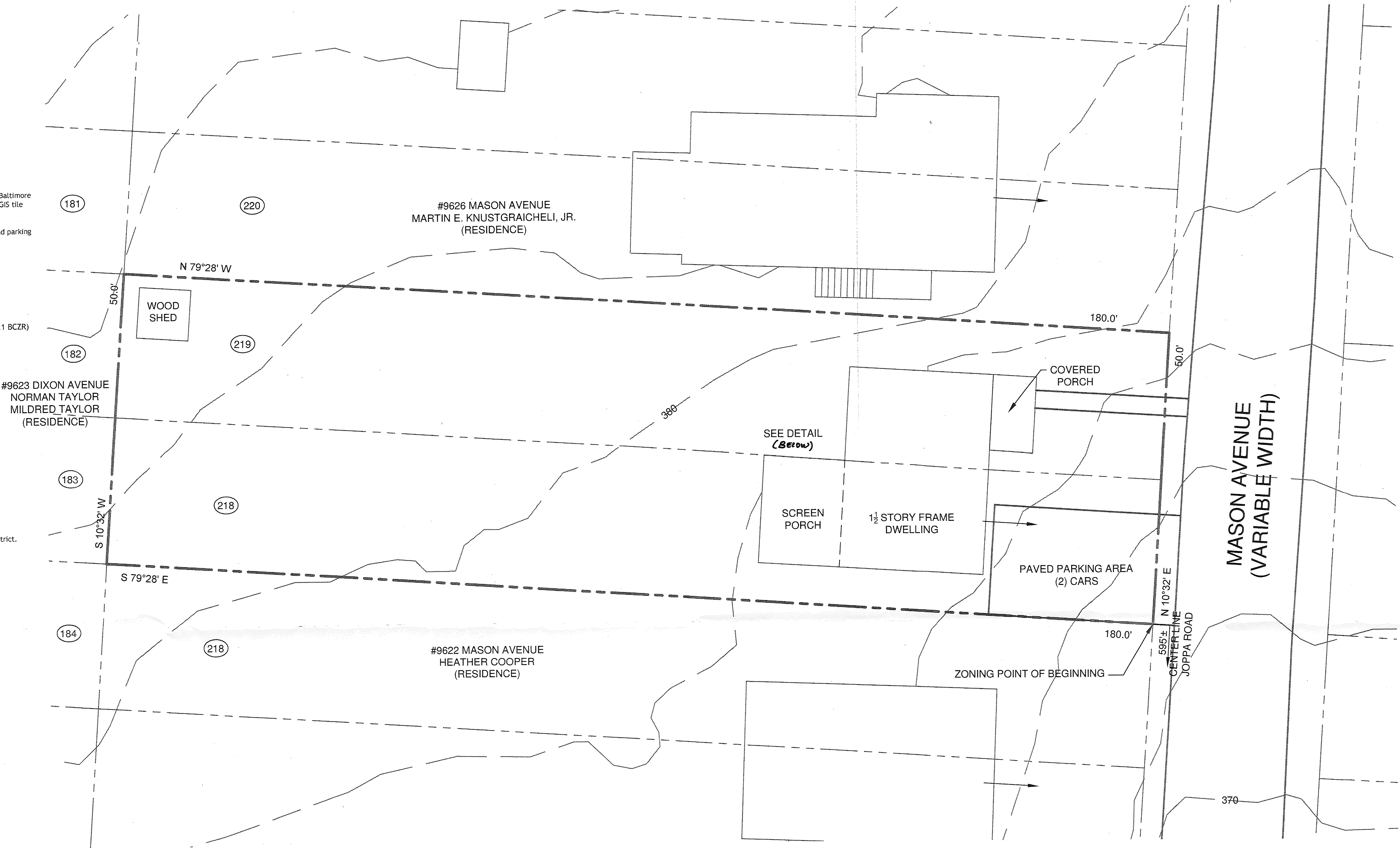
1. The subject dwelling is not historic. The subject property is not in a historic district.

PROPOSED DEVELOPMENT

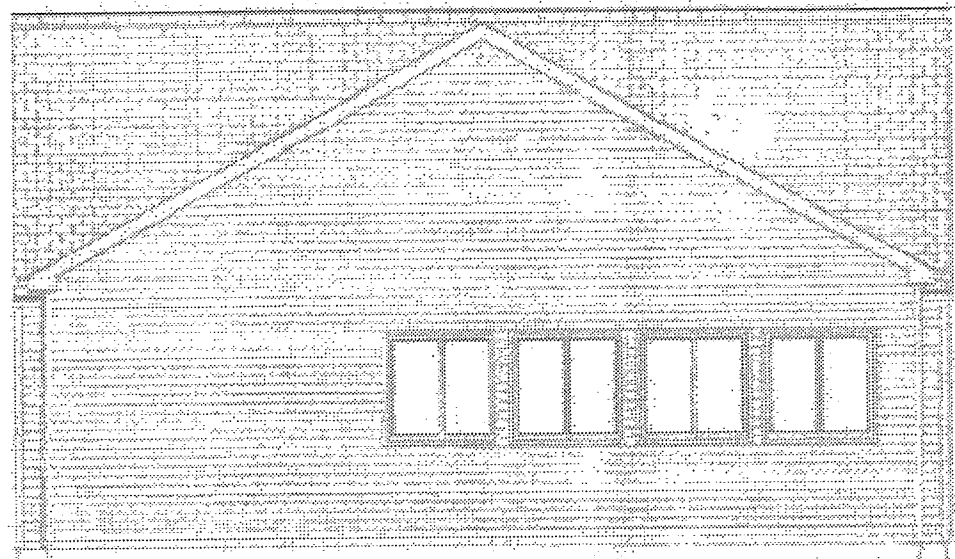
The construction of an addition to the existing house



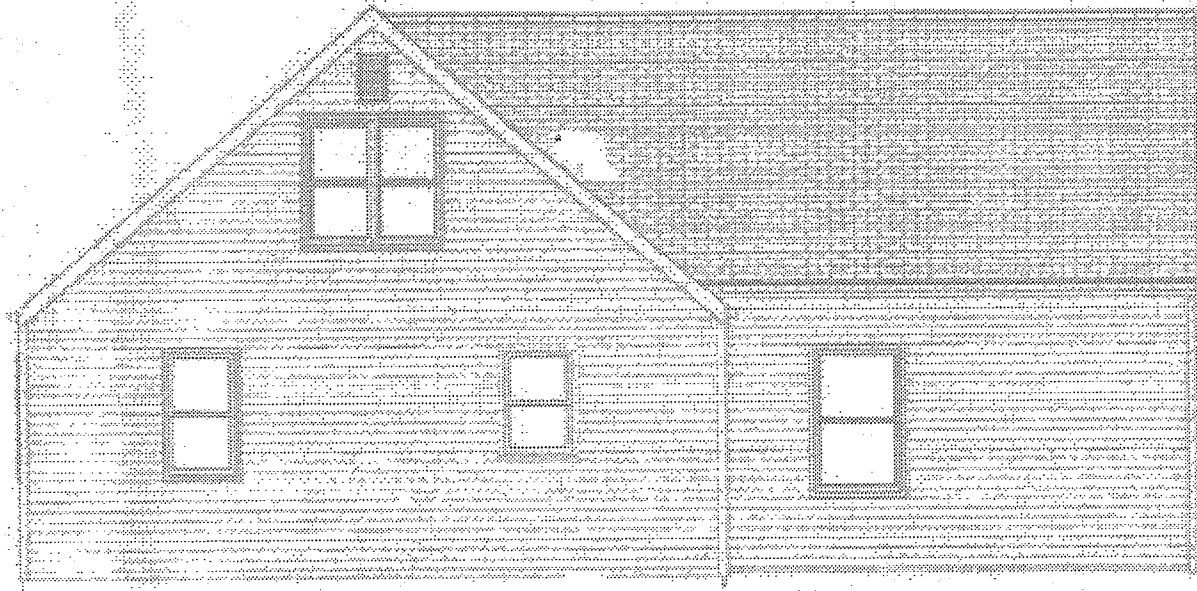
Vicinity Map - Scale: 1" = 250'



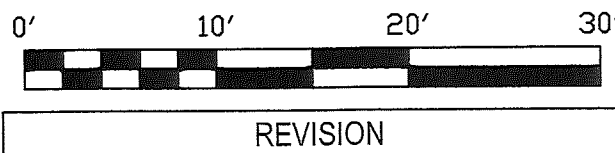
LEFT SIDE ELEVATION



REAR ELEVATION



RIGHT SIDE ELEVATION



Bruce E. Doak Consulting, LLC
Land Use Expert and Surveyor
3801 Baker Schoolhouse Road
Freeland, MD 21053
o 440-900-5535 m 410-419-4906
bdoak@bruceedoakconsulting.com

A PLAN TO ACCOMPANY
A ZONING PETITION FOR
#9624 MASON AVENUE

BALTIMORE COUNTY, MARYLAND
9th ELECTION DISTRICT 3rd COUNCILMANIC DISTRICT



Date: 7/31/2016
Scale: 1"=10'

GENERAL SITE INFORMATION

1. Ownership: Kenneth Allan Hall & Susan D. Hall
9624 Mason Avenue Baltimore, MD 21234
2. Address: 9624 Mason Avenue Baltimore, MD 21234
3. Deed references: SA 8820/228
Lots 218 & 219 "Carney View" Plat Book 7 Page 90
4. Area: 9,000 sq. ft. / 0.207 acre (per SDAT)
5. Tax Map / Parcel / Tax account #: 71 / 1112 / 09-23-006570
6. Election District: 9 Councilmanic District: 3
ADC Map: 4234D6 GIS tile: 071B2 Position sheet: 37NE17
Census tract: 492200 Census block: 240054922002012
Schools: Harford Hills ES Pine Grove MS Loch Raven HS
7. The boundary shown hereon is from the deed recorded in the Land Records of Baltimore County. All other information shown hereon was taken from Baltimore County GIS tile 071B2 and the information provided by Baltimore County on the internet.
8. Improvements: Single family dwelling & parking area. The existing dwelling and parking area will remain.

OFFICE OF ZONING

Zoning: DR 5.5 There are no previous zoning cases on the subject parcels.

Parking Calculations

Required parking spaces: 2
(5 parking spaces per 1000 square feet of gross floor area per section 409.6A.1 BCZR)
Parking spaces provided on site: 2

DR 5.5 Setbacks for Residential Buildings per 1B02.3.C.1 (chart)

Front: 25 feet from the street right of way or property line
Side: 10 feet
Rear: 30 feet

ENVIRONMENTAL IMPACT

Watershed: Lower Gunpowder Falls URDL land type: 0

1. The existing dwelling is currently serviced by public water and sewer.
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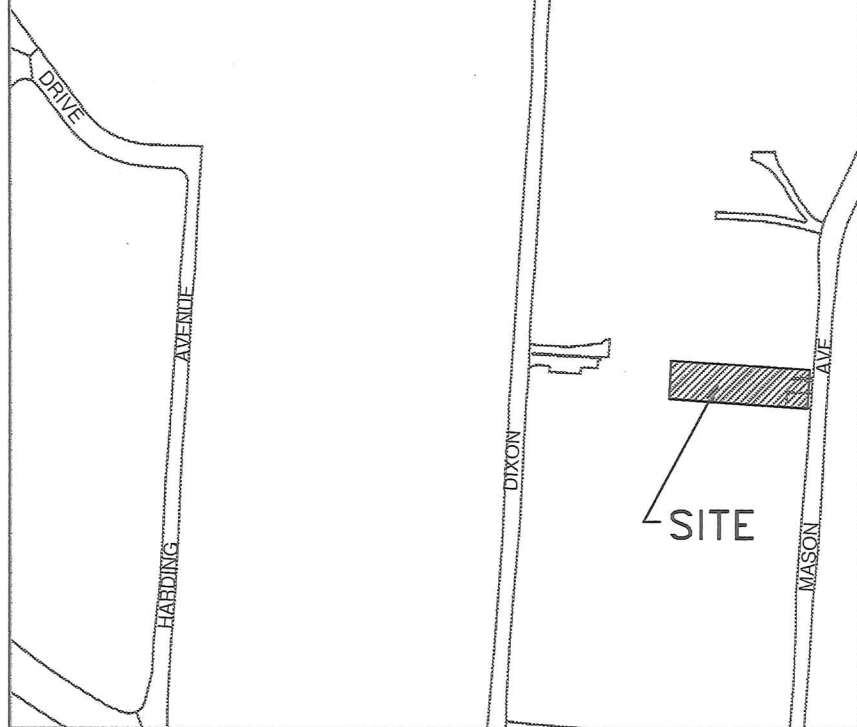
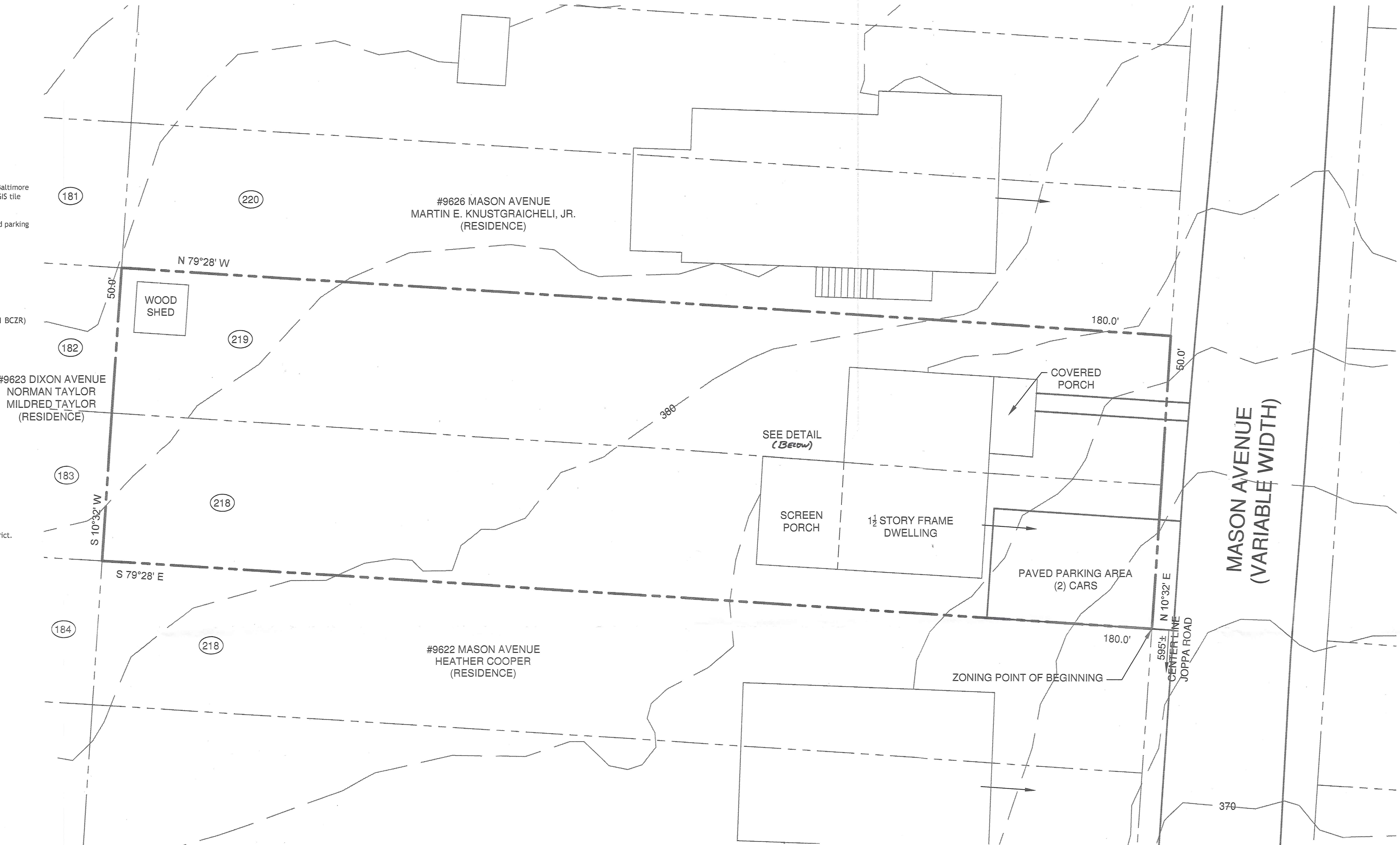
OFFICE OF PLANNING

Regional Planning District: Parkville District Code: 316

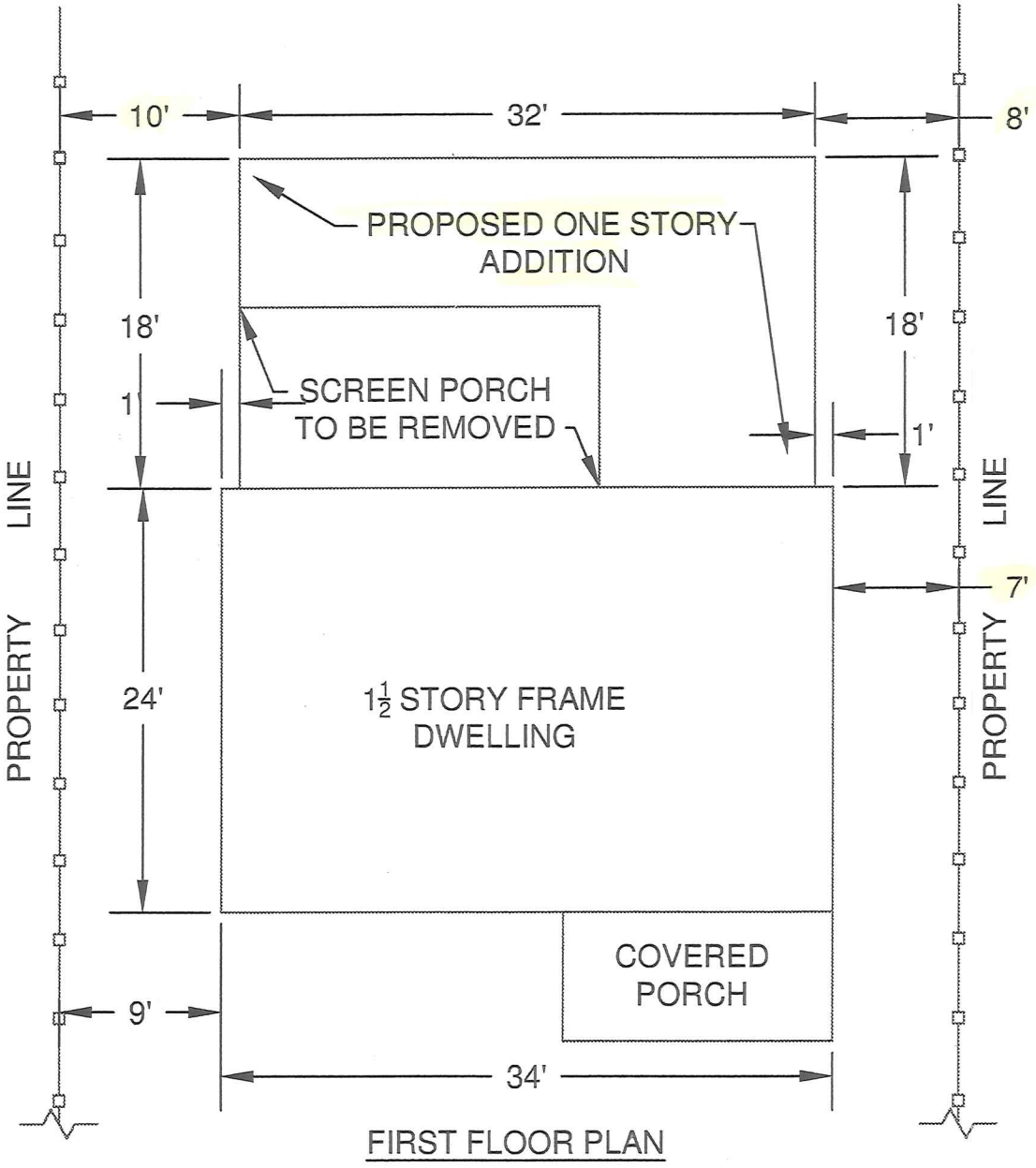
1. The subject dwelling is not historic. The subject property is not in a historic district.

PROPOSED DEVELOPMENT

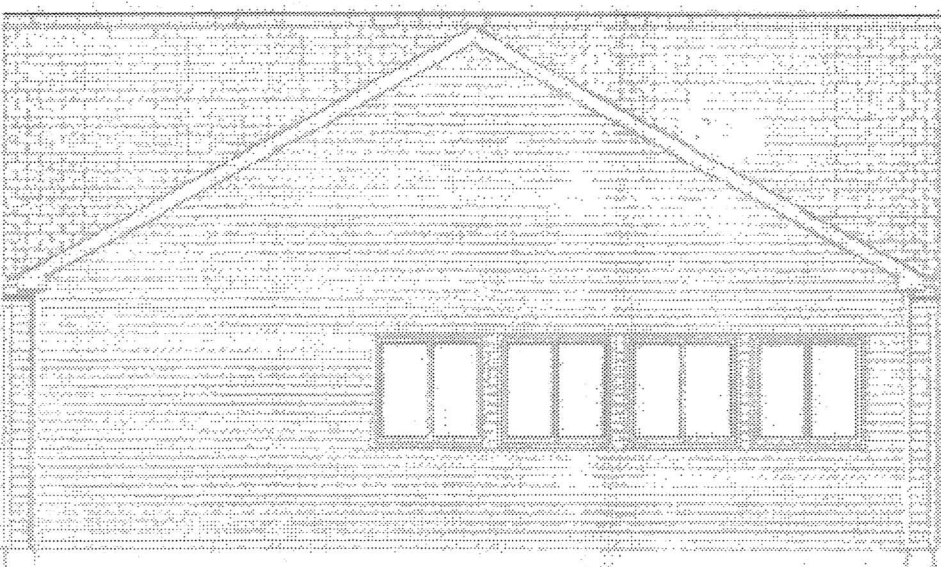
The construction of an addition to the existing house



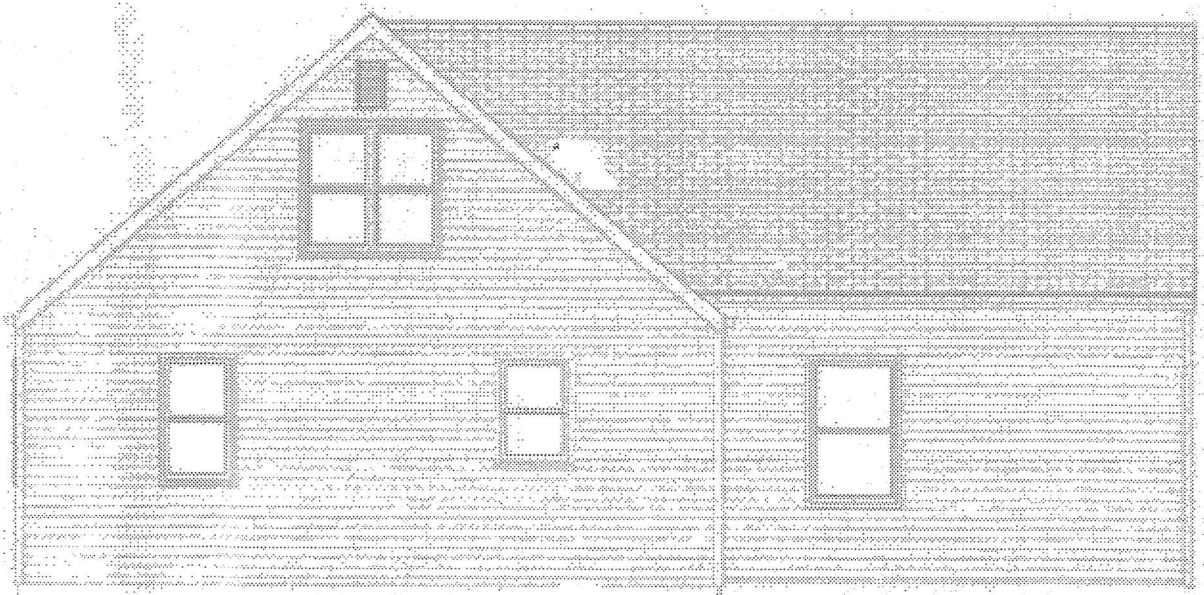
Vicinity Map - Scale: 1' = 250'



LEFT SIDE ELEVATION



REAR ELEVATION

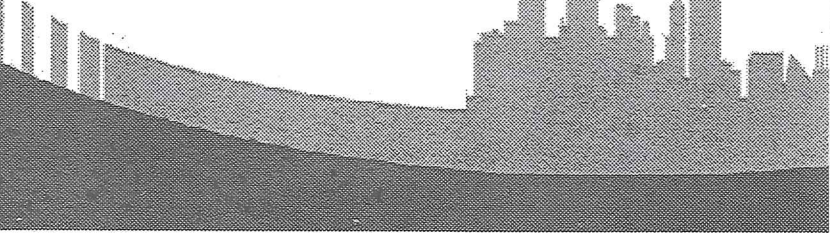


RIGHT SIDE ELEVATION



REVISION

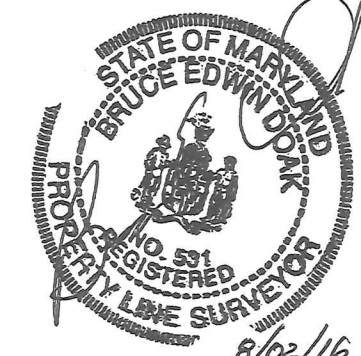
Bruce E. Doak Consulting, LLC
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A PLAN TO ACCOMPANY
A ZONING PETITION FOR
#9624 MASON AVENUE

BALTIMORE COUNTY, MARYLAND
9th ELECTION DISTRICT 3rd COUNCILMANIC DISTRICT

Date: 7/31/2016
Scale: 1"=10'



2017-0034-A

Pet. Exp. 1

AES BUILDER AND HOME IMPROVEMENTS

9624 MASON AVENUE
BALTIMORE COUNTY MD. 21234

2015 INTERNATIONAL RESIDENTIAL CODE (IRC)
2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)

2015 IECC CODE COMPLIANCE

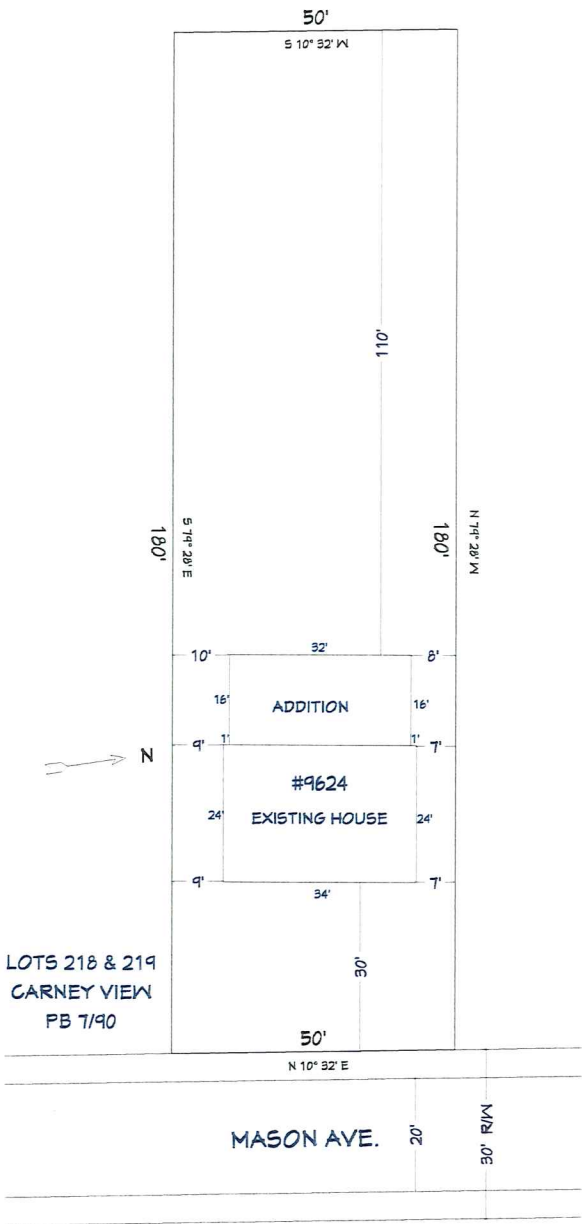
R301.1	CLIMATE CODE 4A	R402.4.5	RECESSED LIGHTING: RECESSED LUMINARIES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE.
R401.2	COMPLIANCE METHOD: MANDATORY AND PRESCRIPTIVE PROVISIONS	R403.1.1	THERMOSTAT: ALL DWELLING UNITS WILL HAVE AT LEAST (1) PROGRAMMABLE THERMOSTAT FOR EACH SEPARATE HEATING AND COOLING SYSTEM PER 2015 IECC SECTION 403.1.1
R402.1.1	VAPOR RETARDER WALL ASSEMBLIES IN THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH VAPOR RETARDER REQUIREMENTS OF SECTION R702.7 OF THE INTERNATIONAL RESIDENTIAL CODE 2015 EDITION	R403.1.2	WHERE A HEAT PUMP SYSTEM HAVING SUPPLEMENTARY ELECTRIC RESISTANCE HEAT IS USED THE THERMOSTAT SHALL PREVENT THE SUPPLEMENTARY HEAT FROM COMING ON WHEN THE HEAT PUMP CAN MEET HEATING LOAD
R402.1.2	ATTIC INSULATION: RAISED HEAL TRUSSES R-49	R403.3.1	MECHANICAL DUCT INSULATION: SUPPLY & RETURN DUCTS IN ATTIC R-8 MINIMUM. R-6 WHEN LESS THAN 3 INCHES. SUPPLY & RETURN DUCTS OUTSIDE OF CONDITIONED SPACES R-8 MINIMUM. ALL OTHER DUCTS EXCEPT THOSE LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE R-6 MINIMUM. DUCTS LOCATED UNDER CONCRETE SLABS MUST BE R-6 MINIMUM.
R402.1.2	WOOD FRAME WALL: R-20 OR R-13 - R-5 CONTINUOUS INSULATION	R403.3.2	DUCT SEALING: ALL DUCTS, AIR HANDLERS, FILTER BOXES WILL BE SEALED. JOINTS AND SEAMS WILL COMPLY WITH SECTION M1601.4.1 OF THE IRC. A DUCT TIGHTNESS TEST ("DUCT BLASTER" DUCT TOTAL LEAKAGE TEST) WILL BE PERFORMED ON ALL HOMES AND SHALL BE VERIFIED BY EITHER A POST CONSTRUCTION TEST OR A ROUGH-IN TEST. DUCT TIGHTNESS IS NOT REQUIRED IF THE AIR HANDLER AND ALL DUCTS ARE LOCATED WITHIN THE CONDITIONED SPACE
R402.1.2	BASEMENT WALL INSULATION: R-13 R-10 FOIL FACED CONTINUOUS. UNINTERRUPTED BATTS FULL HEIGHT.	R403.6	MECHANICAL VENTILATION: OUTDOOR (MAKE-UP AND EXHAUSTS), AIR DUCTS TO BE PROVIDED WITH AN AUTOMATIC OR GRAVITY DAMPER THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING.
R402.1.2	CRAWL SPACE WALL INSULATION: R-13 R-10 FOIL FACED CONTINUOUS BATTS FULL HEIGHT EXTENDING FROM FLOOR ABOVE TO FINISH GRADE LEVEL AND THEN VERTICALLY OR HORIZONTALLY AN ADDITIONAL 2'-0"	R403.6.1	WHOLE HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICIENCY TO COMPLY WITH TABLE R403.6.1
R402.1.2	FLOOR INSULATION OVER UNCONDITIONED SPACE: R-19 BATT INSULATION IN CONTACT WITH SHEATHING ABOVE	R403.7	EQUIPMENT SIZING SHALL COMPLY WITH R403.7
R402.1.2	WINDOW U-VALUE: SHGC 35 (U-VALUE) 40 (SHGC)	R404.1	LIGHTING EQUIPMENT: A MINIMUM OF 75% OF ALL LAMPS (LIGHTS) MUST BE HIGH-EFFICIENCY LAMPS.
R402.2.10	SLAB ON GRADE FLOORS LESS THAN 12" BELOW GRADE: R-10 RIGID FOAM BOARD UNDER SLAB EXTENDING EITHER 2'-0" HORIZONTALLY OR 2'-0" VERTICALLY		THE CONTRACTOR IS ALSO RESPONSIBLE FOR GENERATING CERTIFICATE OF COMPLIANCE AND AFFIXING TO ELECTRICAL PANEL OR WITHIN 6 FEET OF THE ELECTRICAL PANEL AND BE READILY VISIBLE.
R402.2.4	ATTIC ACCESS: ATTIC ACCESS SCUTTLE WILL BE WEATHER STRIPPED AND INSULATED R-49		WATER HEATER: MINIMUM EFFICIENCY ESTABLISHED BY NAECA
R402.4	BUILDING THERMAL ENVELOPE (AIR LEAKAGE): EXTERIOR WALLS AND PENETRATIONS WILL BE SEALED PER THIS SECTION OF THE 2015 IECC WITH CAULK, GASKETS, WEATHERSTRIPPING OR AN AIR BARRIER OF SUITABLE MATERIAL. SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW SEALING FOR DIFFERENTIAL EXPANSION AND CONTRACTION		
R402.4.1.2	BUILDING ENVELOPE TIGHTNESS TEST: BUILDING ENVELOPE SHALL BE TESTED & VERIFIED AS HAVING AND AIR LEAKAGE RATE OF NOT EXCEEDING 3 AIR CHANGES PER HOUR. TESTING TO BE CONDUCTED IN ACCORDANCE WITH ASTM E 779 OR ASTM E 1827 WITH (BLOWER DOOR) AT A PRESSURE OF 0.2 INCHES W.G. (50 PASCALS). TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE BUILDING INSPECTOR.		
R402.4.2	FIREPLACES: NEW WOOD BURNING FIREPLACES WILL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS. AND OUTDOOR COMBUSTION AIR. FIREPLACE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 127 (FACTORY BUILT FIREPLACES) AND UL 907 (MASONRY FIREPLACE)		
R402.4.4	ROOMS CONTAINING FUEL-BURNING APPLIANCES WHERE OPEN COMBUSTION AIR DUCTS PROVIDE COMBUSTION AIR TO OPEN COMBUSTION FUEL BURNING APPLIANCES. THE APPLIANCES AND COMBUSTION AIR SHALL BE LOCATED OUTSIDE THE BUILDING THERMAL ENVELOPE OR ENCLOSED IN A ROOM ISOLATED FROM INSIDE THE THERMAL ENVELOPE. EXCEPTIONS: 1. DIRECT VENT APPLIANCES WITH BOTH INTAKE AND EXHAUST PIPES INSTALLED CONTINUOUS TO THE OUTSIDE 2. FIREPLACES AND STOVES COMPLYING WITH SECTION R402.4.2 AND SECTION R1006 OF THE IRC		

To the best of my (William Storm) knowledge these plans are drawn to comply with owner's and/ or builder's specifications and any changes made on them after prints are made will be done at the Owner's and / or Builder's expense and responsibility. The Contractor shall verify all dimensions and enclosed drawing. 4th Generation Designs & Consulting is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

GENERAL NOTES:

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN. IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).



SITE PLAN

0034-A

SHEET TITLE:

COVER SHEET

AES BUILDER AND
HOME IMPROVEMENTS
410-574-4400

9624 MASON AVENUE
BALTIMORE COUNTY
MD. 21234

4TH GENERATION DESIGNS
& CONSULTING
WILLIAM (SKIP) STORM
443-425-0941 4thgendesigns@gmail.com

DATE
7/18/2016

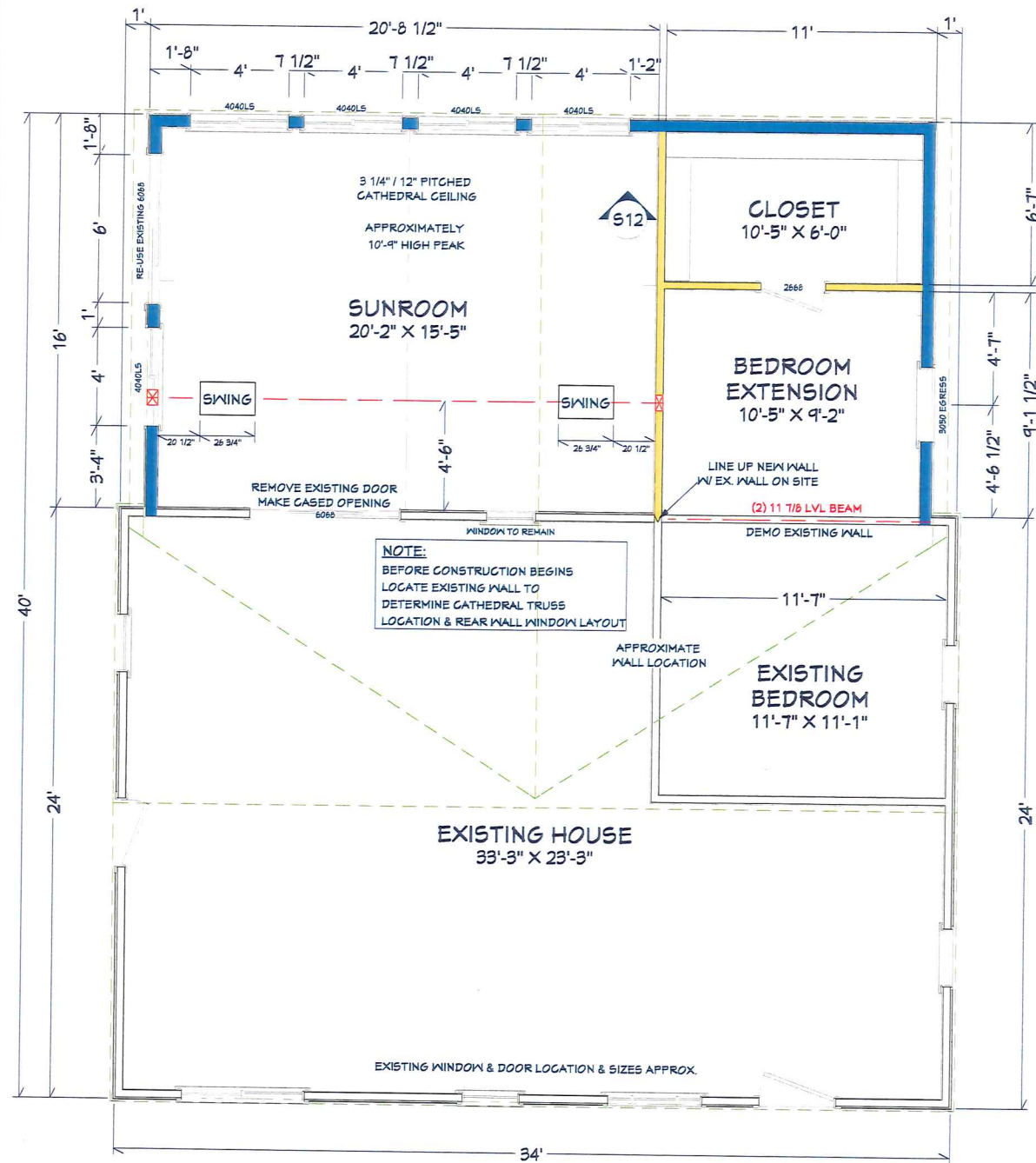
SCALE

Scale Applicable
on 18 x 24 Paper

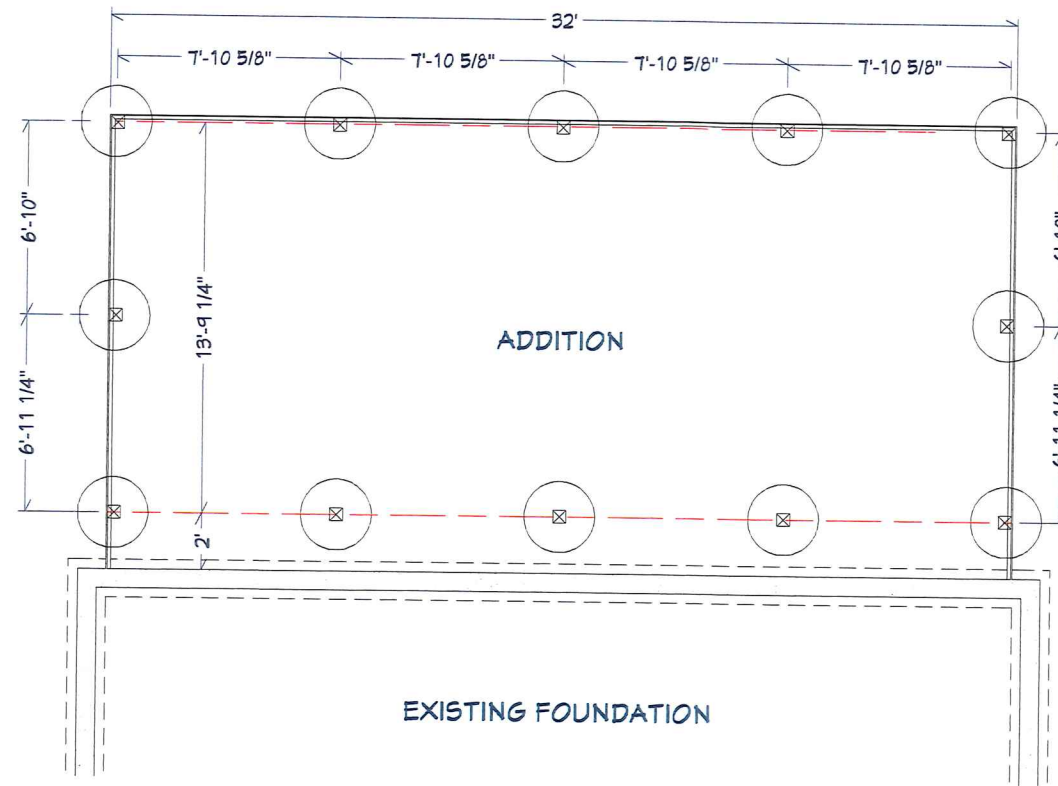
SHEET

C - 1

TRUSS STRUCTURAL SUPPORT FOR SWINGS:
 1- (3) GIRDER TRUSSES (2 x 6 TOP & BOT. CORDS)
 NAILED PER TRUSS SPECS PLUS GLUED & THRU BOLTED
 W/ 5/16" CARRIAGE BOLTS @ 24" O.C. STAGGERED
 @ 2" FROM BOTTOM & TOP OF BOTTOM TRUSS CORD.
 2- 2 x 4 LATERAL BRACING ACROSS BOTTOM CORD OF ALL
 SLOPED TRUSSES @ EYE BOLTS & SPACED MIN. 48" O.C.
 3- GIRDER TRUSS POSTS- (3) JACKS & (1) STUD EACH SIDE OF
 GIRDER TRUSSES UP TO BOTTOM OF ROOF SHEATHING.
 3- SEE DETAIL DRAWINGS



FIRST FLOOR PLAN



FOUNDATION PLAN

0034-A

FLOOR PLANS

**AES BUILDER AND
HOME IMPROVEMENTS**
 410-574-4400

**9624 MASON AVENUE
BALTIMORE COUNTY
MD. 21234**

**4TH GENERATION DESIGNS
& CONSULTING**
 WILLIAM (SKIP) STORM
 443-425-0941 4thgendesigns@gmail.com

DATE
 7/18/2016

SCALE
 1/4" = 1'

Scale Applicable
 on 18 x 24 Paper

SHEET

A - 1



REAR ELEVATION



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

EXISTING HOUSE ADDITION

0034-A

SHEET TITLE:

ELEVATIONS

AES BUILDER AND
HOME IMPROVEMENTS
410-574-4400

9624 MASON AVENUE
BALTIMORE COUNTY
MD. 21234

4TH GENERATION DESIGNS
& CONSULTING
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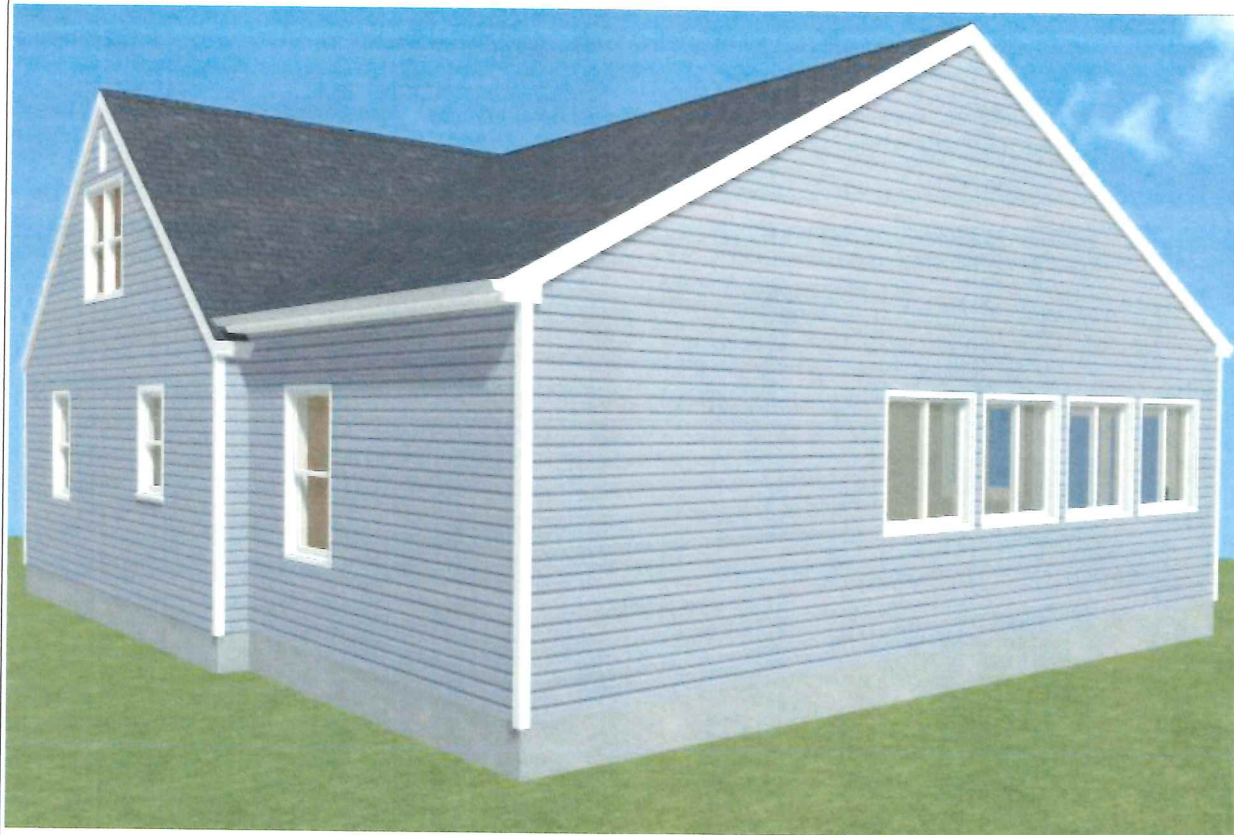
DATE
7/18/2016

SCALE

1/4" = 1'
Scale Applicable
on 18 x 24 Paper

SHEET

A - 3



2017-0034-A

SHEET TITLE:

PERSPECTIVES

**AES BUILDER AND
HOME IMPROVEMENTS**
410-574-4400

9624 MASON AVENUE
BALTIMORE COUNTY
MD. 21234

**4TH GENERATION DESIGNS
& CONSULTING**
WILLIAM (SKIP) STORM
443-425-0941 4thgendesigns@gmail.com

DATE
7/18/2016

SCALE

Scale Applicable
on 18 x 24 Paper

SHEET

T-1

AES BUILDER AND HOME IMPROVEMENTS

9624 MASON AVENUE
BALTIMORE COUNTY MD. 21234

2015 INTERNATIONAL RESIDENTIAL CODE (IRC)
2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)

2015 IECC CODE COMPLIANCE

R401.1 CLIMATE CODE 4A

R401.2 COMPLIANCE METHOD

R402.1 MANDATORY AND PRESCRIPTIVE PROVISIONS

R402.1.1 VAPOR RETARDER

WALL ASSEMBLIES IN THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH VAPOR RETARDER REQUIREMENTS OF SECTION R702.7 OF THE INTERNATIONAL RESIDENTIAL CODE 2015 EDITION

R402.1.2 ATTIC INSULATION: RAISED HAE TRUSSES

R-49

R-38

R402.1.2 WOOD FRAME WALL.

R-20 OR R-13 - R-5 CONTINUOUS INSULATION.

R402.1.2 BASEMENT WALL INSULATION

R-13 R-10 FOIL FACED CONTINUOUS, UNINTERRUPTED BATTS FULL HEIGHT.

R402.1.2 CRAWL SPACE WALL INSULATION

R-13 R-10 FOIL FACED CONTINUOUS BATTS FULL HEIGHT EXTENDING FROM FLOOR ABOVE TO FINISH GRADE LEVEL AND THEN VERTICALLY OR HORIZONTALLY AN ADDITIONAL 2'-0".

R402.1.2 FLOOR INSULATION OVER UNCONDITIONED SPACE.

R-19 BATT INSULATION IN CONTACT WITH SHEATHING ABOVE.

R402.1.2 WINDOW U VALUE SHGC

35 (U-VALUE) .40 (SHGC)

R402.2.10 SLAB ON GRADE FLOORS LESS THAN 12" BELOW GRADE:

R-10 RIGID FOAM BOARD UNDER SLAB EXTENDING EITHER 2'-0" HORIZONTALLY OR 2'-0" VERTICALLY

R402.2.4 ATTIC ACCESS

ATTIC ACCESS SCUTTLE WILL BE WEATHER STRIPPED AND INSULATED R-49

R402.4 BUILDING THERMAL ENVELOPE (AIR LEAKAGE)

EXTERIOR WALLS AND PENETRATIONS WILL BE SEALED PER THIS SECTION OF THE 2015 IECC WITH CAULK, GASKETS, WEATHERSTRIPPING OR AN AIR BARRIER OF SUITABLE MATERIAL. SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW SEALING FOR DIFFERENTIAL EXPANSION AND CONTRACTION

R402.4.1.2 BUILDING ENVELOPE TIGHTNESS TEST:

BUILDING ENVELOPE SHALL BE TESTED & VERIFIED AS HAVING AND AIR LEAKAGE RATE OF NOT EXCEEDING 3 CHANGES PER HOUR

TESTING TO BE CONDUCTED IN ACCORDANCE WITH ASTM E 779 OR ASTM E 1227 WITH (BLOWER DOOR) AT A PRESSURE OF 0.2 INCHES WG (50 PASALS). TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE BUILDING INSPECTOR

R402.4.2 FIREPLACES

NEW WOOD BURNING FIREPLACES WILL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS. AND OUTDOOR COMBUSTION AIR FIREPLACES DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 127 (FACTORY BUILT FIREPLACE) AND UL 907 (MASONRY FIREPLACE).

R402.4.4 ROOMS CONTAINING FLUE-BURNING APPLIANCES WHERE OPEN COMBUSTION AIR DUCTS PROVIDE COMBUSTION AIR TO OPEN COMBUSTION FLUE GAS APPLIANCES, THE APPLIANCES AND COMBUSTION AIR SHALL BE LOCATED OUTSIDE THE BUILDING THERMAL ENVELOPE OR ENCLOSED IN A ROOM ISOLATED FROM INSIDE THE THERMAL ENVELOPE.

EXCEPTIONS:

1 DIRECT VENT APPLIANCES WITH BOTH INTAKE AND EXHAUST PIPES INSTALLED CONTINUOUS TO THE OUTSIDE

2 FIREPLACES AND STOVES COMPLYING WITH SECTION R402.4.2 AND SECTION R1006 OF THE IRC.

R402.4.5 RECESSED LIGHTING:
RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE.

R403.1.1 THERMOSTAT:
ALL DWELLING UNITS WILL HAVE AT LEAST (1) PROGRAMMABLE THERMOSTAT FOR EACH SEPARATE HEATING AND COOLING SYSTEM PER 20.5 IECC SECTION 403.1.1

R403.1.2 WHERE A HEAT PUMP SYSTEM HAVING SUPPLEMENTARY ELECTRIC RESISTANCE HEAT IS USED THE THERMOSTAT SHALL PREVENT THE SUPPLEMENTARY HEAT FROM COMING ON WHEN THE HEAT PUMP CAN MEET HEATING LOAD.

R403.3.1 MECHANICAL DUCT INSULATION
SUPPLY & RETURN DUCTS IN ATTIC R-8 MINIMUM. R-6 WHEN LESS THAN 3 INCHES. SUPPLY & RETURN DUCTS OUTSIDE OF CONDITIONED SPACES R-4 MINIMUM. ALL OTHER DUCTS EXCEPT THOSE LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE R-6 MINIMUM. DUCTS LOCATED UNDER CONCRETE SLABS MUST BE R-6 MINIMUM.

R403.3.2 DUCT SEALING
ALL DUCTS, AIR HANDLERS, FILTER BOXES WILL BE SEALED. JOINTS AND SEAMS WILL COMPLY WITH SECTION M601.4.1 OF THE IRC. A DUCT TIGHTNESS TEST ("DUCT BLASTER" DUCT TOTAL LEAKAGE TEST) WILL BE PERFORMED ON ALL HOMES AND SHALL BE VERIFIED BY EITHER A POST CONSTRUCTION TEST OR A ROUGH-IN TEST. DUCT TIGHTNESS IS NOT REQUIRED IF THE AIR HANDLER AND ALL DUCTS ARE LOCATED WITHIN THE CONDITIONED SPACE.

R403.6 MECHANICAL VENTILATION:
OUTDOOR (MAKE-UP AND EXHAUSTS) AIR DUCTS TO BE PROVIDED WITH AN AUTOMATIC OR GRAVITY DAMPER THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING

R403.6.1 WHOLE HOUSE MECHANICAL VENTILATION SYSTEM PLAN EFFICIENCY TO COMPLY WITH TABLE R403.6.1.

R403.7 EQUIPMENT SIZING SHALL COMPLY WITH R403.7

R404.1 LIGHTING EQUIPMENT:
A MINIMUM OF 75% OF ALL LAMPS (LIGHTS) MUST BE HIGH-EFFICIENCY LAMPS.

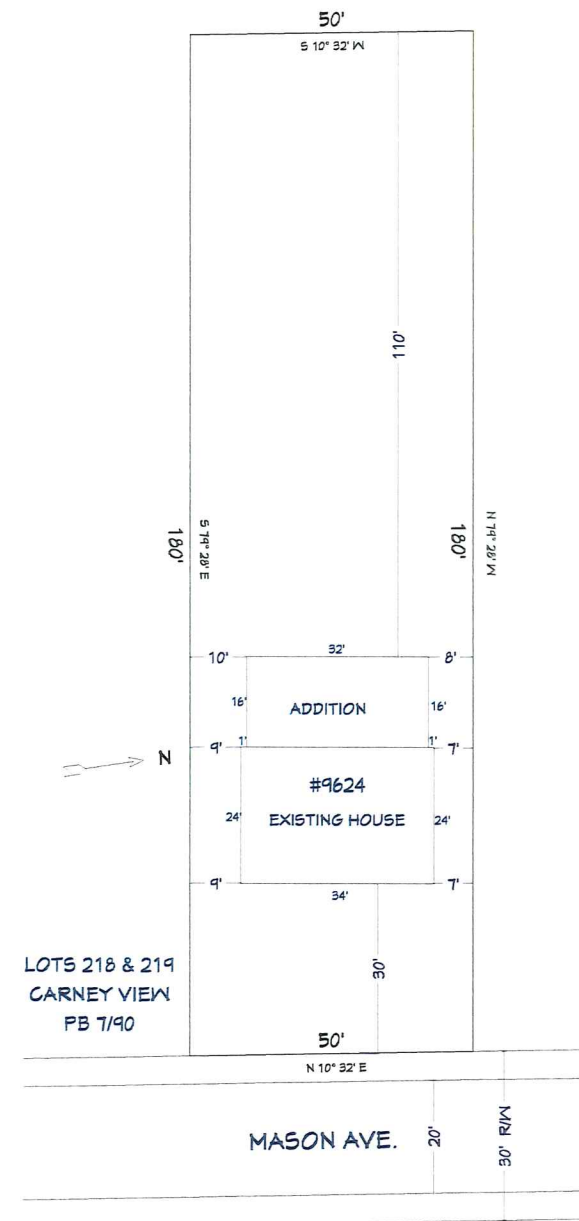
THE CONTRACTOR IS ALSO RESPONSIBLE FOR GENERATING CERTIFICATE OF COMPLIANCE AND AFFIXING TO ELECTRICAL PANEL OR WITHIN 6 FEET OF THE ELECTRICAL PANEL AND BE READILY VISIBLE

WATER HEATER:
MINIMUM EFFICIENCY ESTABLISHED BY NAECA

GENERAL NOTES:

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).



SITE PLAN

To the best of my (William Storm) knowledge these plans are drawn to comply with owner's and/ or builder's specifications and any changes made on them after prints are made will be done at the Owner's and / or Builder's expense and responsibility. The Contractor shall verify all dimensions and enclosed drawing. 4th Generation Designs & Consulting is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

0034-A

SHEET TITLE:

COVER SHEET

AES BUILDER AND
HOME IMPROVEMENTS
410-574-4400

9624 MASON AVENUE
BALTIMORE COUNTY
MD. 21234

**4TH GENERATION DESIGNS
& CONSULTING**
WILLIAM (SKIP) STORM
443-425-0941 4thgendesigns@gmail.com

DATE
7/18/2016

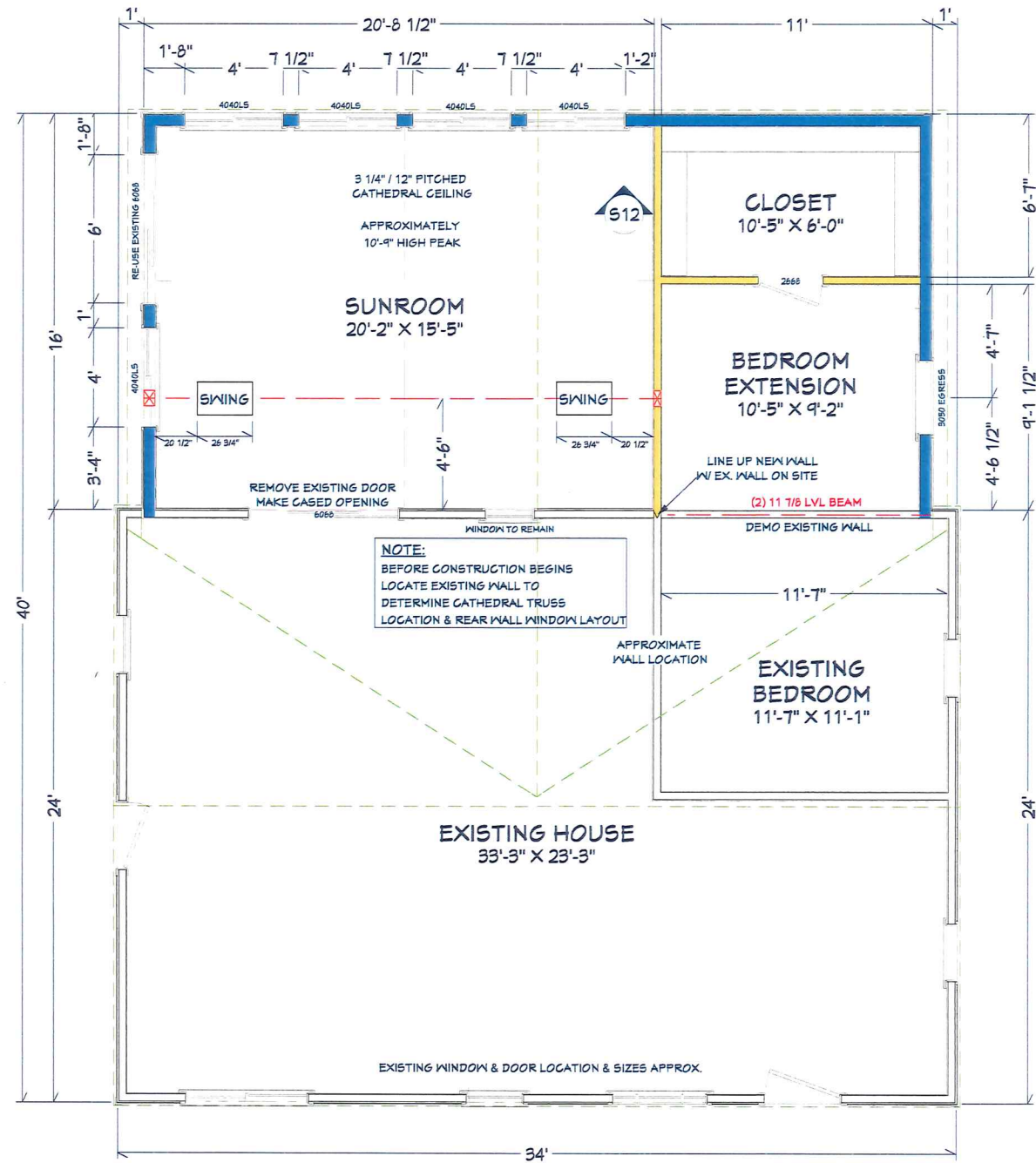
SCALE

Scale Applicable
on 18 x 24 Paper

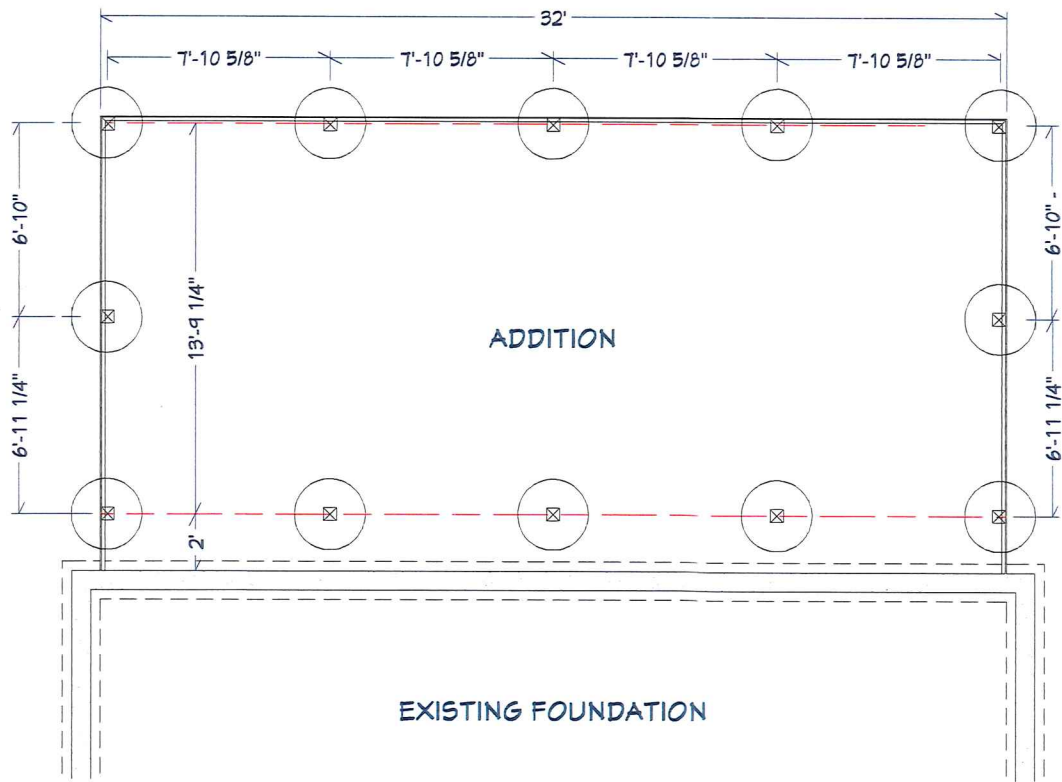
SHEET

C - 1

TRUSS STRUCTURAL SUPPORT FOR SWINGS:
 1- (3) GIRDER TRUSSES (2 x 6 TOP & BOT. CORDS)
 NAILED PER TRUSS SPECS PLUS GLUED & THRU BOLTED
 W/ 5/16" CARRIAGE BOLTS @ 24" O.C. STAGGERED
 @ 2" FROM BOTTOM & TOP OF BOTTOM TRUSS CORD.
 2- 2 x 4 LATERAL BRACING ACROSS BOTTOM CORD OF ALL
 SLOPED TRUSSES @ EYE BOLTS & SPACED MIN. 48" O.C.
 3- GIRDER TRUSS POSTS- (3) JACKS & (1) STUD EACH SIDE OF
 GIRDER TRUSSES UP TO BOTTOM OF ROOF SHEATHING.
 5- SEE DETAIL DRAWINGS



FIRST FLOOR PLAN



FOUNDATION PLAN

0034-A

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 WILLIAM (SKIP) STORM
 443-425-0941 4thgendesigns@gmail.com

DATE
 7/18/2016

SCALE
 1/4" = 1'

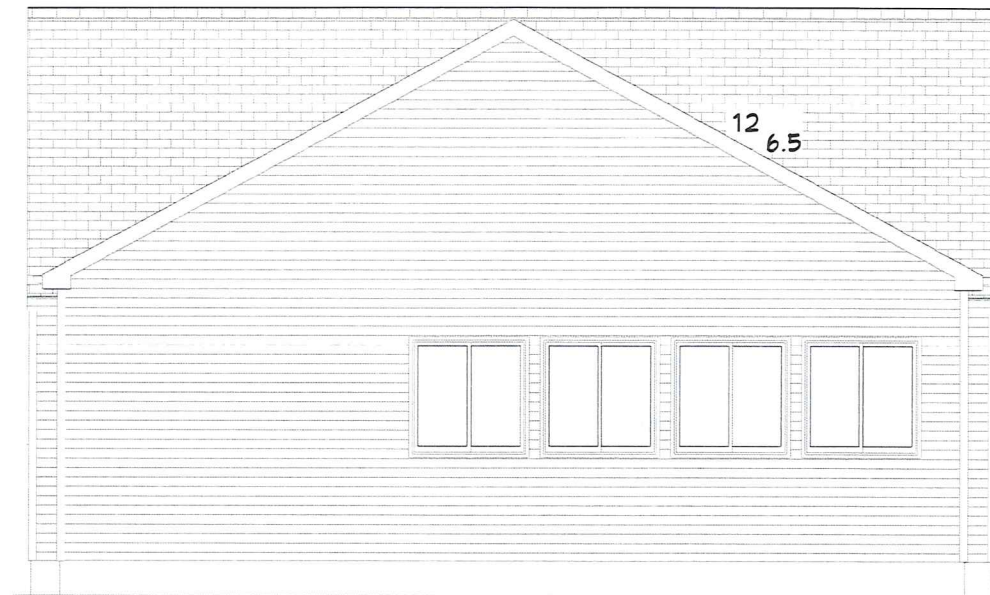
Scale Applicable on 18 x 24 Paper

SHEET
 A - 1

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BALTIMORE COUNTY
MD. 21234

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FLOOR PLANS



REAR ELEVATION



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

EXISTING HOUSE | ADDITION

0034-A

SHEET TITLE:

ELEVATIONS

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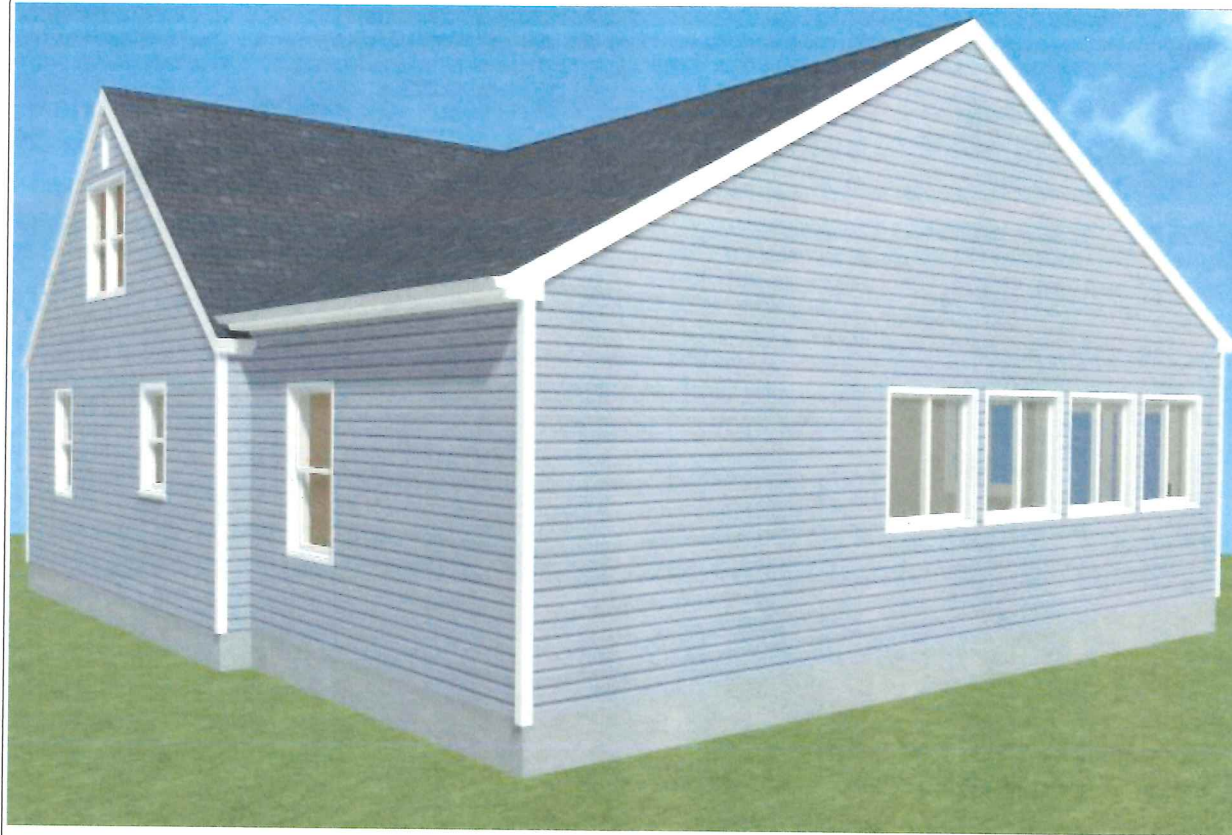
DATE
7/18/2016

SCALE

1/4" = 1'
Scale Applicable
on 18 x 24 Paper

SHEET

A - 3



SHEET TITLE:

PERSPECTIVES

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SCALE

Scale Applicable
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SHEET

T - 1

2017-0034-A