

MEMORANDUM

DATE: November 22, 2016
TO: Zoning Review Office
FROM: Office of Administrative Hearings
RE: Case No. 2017-0063-SPH – Appeal Period Expired

The appeal period for the above-referenced case expired on November 21, 2016. There being no appeal filed, the subject file is ready for return to the Zoning Review Office and is placed in the 'pick up box.'

c: ✓ Case File
Office of Administrative Hearings

IN RE: PETITION FOR SPECIAL HEARING	*	BEFORE THE
(1227 Piney Hill Road)		
8 th Election District	*	OFFICE OF
3 rd Council District		
David & Katherine Cox	*	ADMINISTRATIVE HEARINGS
<i>Legal Owners</i>	*	FOR BALTIMORE COUNTY
Petitioners	*	Case No. 2017-0063-SPH

* * * * *

OPINION AND ORDER

This matter comes before the Office of Administrative Hearings (OAH) for consideration of a Petition for Special Hearing filed on behalf of David & Katherine Cox, legal owners ("Petitioners"). The Special Hearing was filed pursuant to § 500.7 of the Baltimore County Zoning Regulations ("B.C.Z.R") to approve an addition to a single-family dwelling to be used as an in-law apartment. David Cox appeared in support of the petition. There were no protestants or interested citizens in attendance. The Petition was advertised and posted as required by the Baltimore County Zoning Regulations. Substantive Zoning Advisory Committee (ZAC) comments were received from the Department of Planning (DOP) and the Department of Environmental Protection and Sustainability (DEPS). Neither agency opposed the request.

The subject property is 6.34 acres in size and zoned RC 7. The property is improved with a single-family dwelling constructed in 1983. Petitioners propose to construct a 1,450 sq. ft. two-story addition to the existing home. The bottom floor (725 sq. ft.) would be used as an accessory apartment for Mr. Cox's in-laws.

Under B.C.Z.R. §400.4.A, I do not believe a hearing was required in this matter. Even so, I will grant the petition for special hearing, and do not believe the proposed apartment would in any way have a detrimental impact upon the community. Petitioners own a large lot, and their only

ORDER RECEIVED FOR FILING

Date 10/21/11 _____
 By Sen _____

adjoining neighbors indicated in a letter (Petitioners' Ex. 2) they "fully support" the zoning request. Petitioners have also prepared for filing in the land records the requisite Declaration of Understanding, which contains all of the information and restrictions pertaining to the use of the accessory apartment. As such, the petition will be granted.

THEREFORE, IT IS ORDERED this 21st day of October, **2016** by this Administrative Law Judge, that the Petition for Special Hearing to approve a 725 sq. ft. addition to an existing single-family dwelling to be used as an accessory (in-law) apartment, be and is hereby GRANTED.

The relief granted herein shall be subject to and conditioned upon the following:

1. Petitioners may apply for necessary permits and/or licenses upon receipt of this Order. However, Petitioners are hereby made aware that proceeding at this time is at their own risk until 30 days from the date hereof, during which time an appeal can be filed by any party. If for whatever reason this Order is reversed, Petitioners would be required to return the subject property to its original condition.
2. Prior to issuance of permits Petitioners must obtain approval from the Ground Water Management section of DEPS.

Any appeal of this decision must be filed within thirty (30) days of the date of this Order.



JOHN E. BEVERUNGEN
Administrative Law Judge
for Baltimore County

JEB:slh

ORDER RECEIVED FOR FILING

Date

10/21/16

By

slh



PETITION FOR ZONING HEARING(S)

To be filed with the Department of Permits, Approvals and Inspections

To the Office of Administrative Law of Baltimore County for the property located at:

Address 1227 Piney Hill Rd., Monkton, MD 21111 which is presently zoned RC7

Deed References: 37650 / 00379 10 Digit Tax Account # 1900008542

Property Owner(s) Printed Name(s) David and Katherine

(SELECT THE HEARING(S) BY MARKING **X** AT THE APPROPRIATE SELECTION AND PRINT OR TYPE THE PETITION REQUEST)

The undersigned legal owner(s) of the property situate in Baltimore County and which is described in the description and plan attached hereto and made a part hereof, hereby petition for:

1. ☒ **a Special Hearing** under Section 500.7 of the Zoning Regulations of Baltimore County, to determine whether or not the Zoning Commissioner should approve

an addition to be used as an In-Law apartment

2. ☐ **a Special Exception** under the Zoning Regulations of Baltimore County to use the herein described property for

3. ☐ **a Variance** from Section(s)

of the zoning regulations of Baltimore County, to the zoning law of Baltimore County, for the following reasons:
(Indicate below your hardship or practical difficulty or indicate below "TO BE PRESENTED AT HEARING". If you need additional space, you may add an attachment to this petition)

Property is to be posted and advertised as prescribed by the zoning regulations.

I, or we, agree to pay expenses of above petition(s), advertising, posting, etc. and further agree to and are to be bounded by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

Legal Owner(s) Affirmation: I / we do so solemnly declare and affirm, under the penalties of perjury, that I / We are the legal owner(s) of the property which is the subject of this / these Petition(s).

Contract Purchaser/Lessee:

Name- Type or Print

Signature

Mailing Address City State

Zip Code Telephone # Email Address

Attorney for Petitioner:

Name- Type or Print

Signature

Mailing Address City State

Zip Code Telephone # Email Address

Legal Owners (Petitioners):

David Cox / Katherine Cox
Name #1 - Type or Print Name #2 - Type or Print

[Signature] / [Signature]
Signature #1 Signature #2

1227 Piney Hill Rd Monkton MD
Mailing Address City State

21111 / 443-238-5918 / coxfam2006@gmail.com
Zip Code Telephone # Email Address

Representative to be contacted:

Name - Type or Print

Signature

Mailing Address City State

Zip Code Telephone # Email Address

CASE NUMBER 2017-0063-SPH Filing Date 8/31/16

Do Not Schedule Dates: _____

Reviewer [Signature]

THEORY OF THE EARTH AND ITS HISTORY

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ZONING PROPERTY DESCRIPTION FOR
1227 PINEY HILL ROAD

Beginning at a point on the southeast side of Piney Hill Road, which is 18 feet wide, at the distance of +/- 680 feet east of the centerline of the nearest improved intersecting street Piney Creek Court, which is 18 feet wide. Being Lot #2, Block A, Section #1 in the subdivision of Richland Estates as recorded in Baltimore County Plat Book #50, Folio #4, containing 6.34 acres. Located in the 8th Election District and the 3rd Councilmanic District.

Item #0063



501 N. Calvert St., P.O. Box 1377
Baltimore, Maryland 21278-0001
tel: 410/332-6000
800/829-8000

WE HEREBY CERTIFY, that the annexed advertisement of Order No 4486126

Sold To:

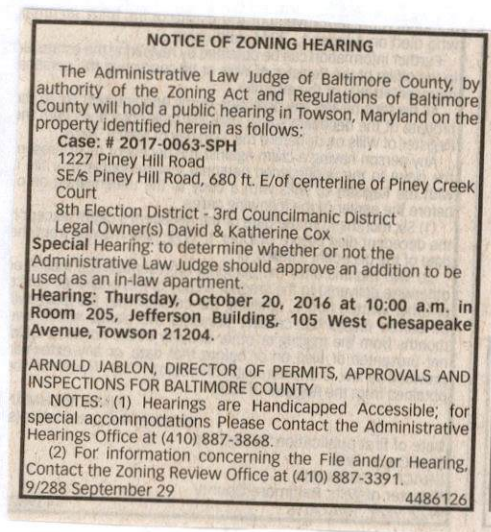
Katherine Cox - CU00563769
1227 Piney Hill Rd
Monkton, MD 21111-1405

Bill To:

Katherine Cox - CU00563769
1227 Piney Hill Rd
Monkton, MD 21111-1405

Was published in "Jeffersonian", "Bi-Weekly", a newspaper printed and published in Baltimore County on the following dates:

Sep 29, 2016



The Baltimore Sun Media Group

By *S. Wilkinson*
Legal Advertising

2. Wilkinson

Legal Advertising

CERTIFICATE OF POSTING

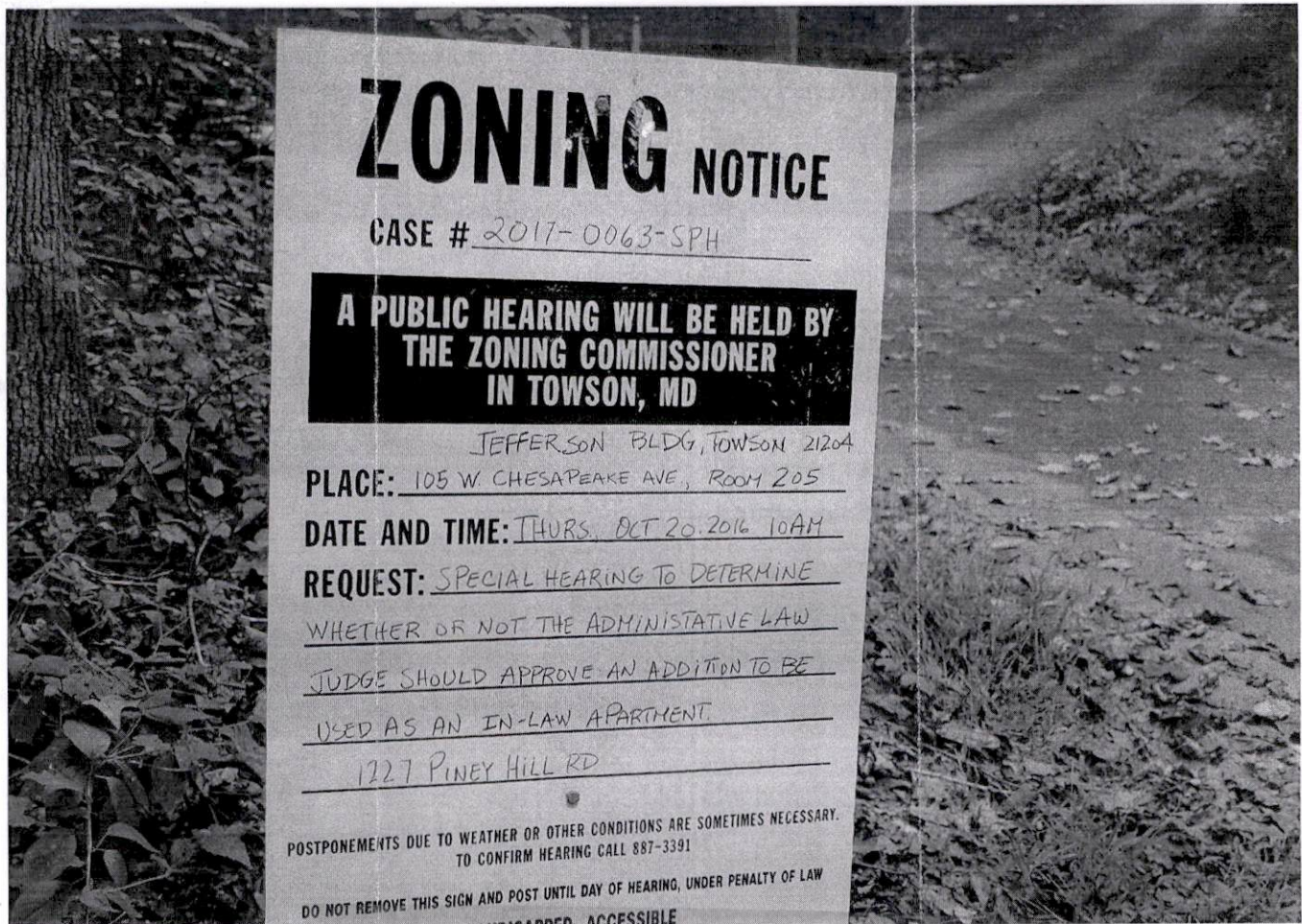
Date: 9-28-16

RE: Case Number: 2017-0063-SPH

Petitioner/Developer: David and Katherine Cox

Date of Hearing/Closing: Oct 20, 2016 10AM

This is to certify under the penalties of perjury that the necessary sign(s) required by law were posted conspicuously on the property located at 1227 Piney Hill Rd





KEVIN KAMENETZ
County Executive

ARNOLD JABLON
Deputy Administrative Officer
Director, Department of Permits,
Approvals & Inspections

September 23, 2016

NOTICE OF ZONING HEARING

The Administrative Law Judge of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing in Towson, Maryland on the property identified herein as follows:

CASE NUMBER: 2017-0063-SPH

1227 Piney Hill Road

SE/s Piney Hill Road, 680 ft. E/of centerline of Piney Creek Court

8th Election District – 3rd Councilmanic District

Legal Owners: David & Katherine Cox

Special Hearing to determine whether or not the Administrative Law Judge should approve an addition to be used as an in-law apartment.

Hearing: Thursday, October 20, 2016 at 10:00 a.m. in Room 205, Jefferson Building,
105 West Chesapeake Avenue, Towson 21204

A handwritten signature in black ink, appearing to read "Arnold Jablon".

Arnold Jablon
Director

AJ:kl

C: Mr. & Mrs. Cox, 1227 Piney Hill Road, Monkton 21111

- NOTES: (1) **THE PETITIONER MUST HAVE THE ZONING NOTICE SIGN POSTED BY AN APPROVED POSTER ON THE PROPERTY BY FRIDAY, SEPTEMBER 30, 2016.**
- (2) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMMODATIONS PLEASE CALL THE ADMINISTRATIVE HEARINGS OFFICE AT 410-887-3868.
- (3) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THE ZONING REVIEW OFFICE AT 410-887-3391.

TO: PATUXENT PUBLISHING COMPANY
Thursday, September 29, 2016 Issue - Jeffersonian

Please forward billing to:
Katherine Cox
1227 Piney Hill Road
Monkton, MD 21111

443-238-5918

NOTICE OF ZONING HEARING

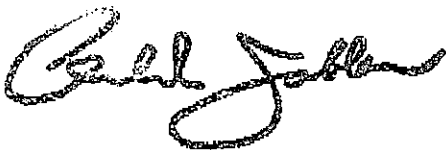
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Arnold Jablon
Director of Permits, Approvals and Inspections for Baltimore County

- NOTES: (1) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMODATIONS, PLEASE CONTACT THE ADMINISTRATIVE HEARINGS OFFICE AT 410-887-3868.
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RE: PETITION FOR SPECIAL HEARING
1227 Piney Hill Road; SE/S Piney Hill Road,
680' E of the c/line Piney Creek Court
8th Election & 3rd Councilmanic Districts
Legal Owner(s): David & Katherine Cox
Petitioner(s)

* BEFORE THE OFFICE
* OF ADMINISTRATIVE
* HEARINGS FOR
* BALTIMORE COUNTY
* 2017-063-SPH

* * * * *

ENTRY OF APPEARANCE

Pursuant to Baltimore County Charter § 524.1, please enter the appearance of People's Counsel for Baltimore County as an interested party in the above-captioned matter. Notice should be sent of any hearing dates or other proceedings in this matter and the passage of any preliminary or final Order. All parties should copy People's Counsel on all correspondence sent and all documentation filed in the case.

RECEIVED

SEP 19 2016

Peter Max Zimmerman

PETER MAX ZIMMERMAN
People's Counsel for Baltimore County

Carole S. Demilio

CAROLE S. DEMILIO
Deputy People's Counsel
Jefferson Building, Room 204
105 West Chesapeake Avenue
Towson, MD 21204
(410) 887-2188

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that on this 16th day of September, 2016, a copy of the foregoing Entry of Appearance was mailed to David & Katherine Cox, 1227 Piney Hill Road, Monkton, Maryland 21111, Petitioner(s).

Peter Max Zimmerman

PETER MAX ZIMMERMAN
People's Counsel for Baltimore County

**DEPARTMENT OF PERMITS, APPROVALS AND INSPECTIONS
ZONING REVIEW OFFICE**

ADVERTISING REQUIREMENTS AND PROCEDURES FOR ZONING HEARINGS

The Baltimore County Zoning Regulations (BCZR) require that notice be given to the general public/neighboring property owners relative to property which is the subject of an upcoming zoning hearing. For those petitions which require a public hearing, this notice is accomplished by posting a sign on the property (responsibility of the legal owner/petitioner) and placement of a notice in a newspaper of general circulation in the County, both at least twenty (20) days before the hearing.

Zoning Review will ensure that the legal requirements for advertising are satisfied. However, the legal owner/petitioner is responsible for the costs associated with these requirements. The newspaper will bill the person listed below for the advertising. This advertising is due upon receipt and should be remitted directly to the newspaper.

OPINIONS MAY NOT BE ISSUED UNTIL ALL ADVERTISING COSTS ARE PAID.

For Newspaper Advertising:

Case Number: 2017-0063-SPH
Property Address: 1227 Piney Hill Rd.
Property Description: southeast side of Piney Hill Rd, 680'
east of Piney Creek Ct
Legal Owners (Petitioners): David and Katherine Cox
Contract Purchaser/Lessee: _____

PLEASE FORWARD ADVERTISING BILL TO:

Name: Katherine Cox
Company/Firm (if applicable): _____
Address: 1227 Piney Hill Rd
Monkton, MD 21111

Telephone Number: 410-236-3997

BALTIMORE COUNTY, MARYLAND
OFFICE OF BUDGET AND FINANCE
MISCELLANEOUS CASH RECEIPT

NO 144009

Date: 8/31/16

Fund	Dept	Unit	Sub Unit	Rev Source/ Obj	Sub Rev/ Sub Obj	Dept Obj	BS Acct	Amount
001	306	0000		6150				1575

Total: 875

Rec From: D + K COV

For: Zoning Hearing - case #2017-0063-SPH

DISTRIBUTION

WHITE - CASHIER PINK - AGENCY YELLOW - CUSTOMER GOLD - ACCOUNTING
PLEASE PRESS HARD!!!!

PAID RECEIPT

BUSINESS ACTUAL TIME BGN
9/01/2016 8/31/2016 15:14:52 5
REG WDS WALKIN LRB
>>RECEIPT N 847499 8/31/2016 CFLN
Dept 5 529 ZONING VERIFICATION
LR NO. 144009
Recpt Tot \$75.00
\$75.00 CR \$0.00 CA
Baltimore County, Maryland

CASHIER'S
VALIDATION



KEVIN KAMENETZ
County Executive

ARNOLD JABLON
*Deputy Administrative Officer
Director, Department of Permits,
Approvals & Inspections*

October 12, 2016

David & Katherine Cox
1227 Piney Hill Road
Monkton MD 21111

RE: Case Number: 2017-0063 SPH, Address: 127 Piney Hill Road

Dear Mr. & Ms. Cox:

The above referenced petition was accepted for processing **ONLY** by the Bureau of Zoning Review, Department of Permits, Approvals, and Inspection (PAI) on August 31, 2016. This letter is not an approval, but only a **NOTIFICATION**.

The Zoning Advisory Committee (ZAC), which consists of representatives from several approval agencies, has reviewed the plans that were submitted with your petition. All comments submitted thus far from the members of the ZAC are attached. These comments are not intended to indicate the appropriateness of the zoning action requested, but to ensure that all parties (zoning commissioner, attorney, petitioner, etc.) are made aware of plans or problems with regard to the proposed improvements that may have a bearing on this case. All comments will be placed in the permanent case file.

If you need further information or have any questions, please do not hesitate to contact the commenting agency.

Very truly yours,

A handwritten signature in black ink, reading "W. Carl Richards, Jr." in a cursive style.

W. Carl Richards, Jr.
Supervisor, Zoning Review

WCR: jaw

Enclosures

c: People's Counsel

Larry Hogan, Governor
Boyd K. Rutherford, Lt. Governor



Pete K. Rahn, Secretary
Gregory C. Johnson, P.E., Administrator

Date: 9/12/16

Ms. Kristen Lewis
Baltimore County Office of
Permits and Development Management
County Office Building, Room 109
Towson, Maryland 21204

Dear Ms. Lewis:

Thank you for the opportunity to review your referral request on the subject of the Case number referenced below. We have determined that the subject property does not access a State roadway and is not affected by any State Highway Administration projects. Therefore, based upon available information this office has no objection to Baltimore County Zoning Advisory Committee approval of Case No. 2017-8063-SP4

Special Hearing
David & Katherine Cox
1227 Piney Hill Road

Should you have any questions regarding this matter, please contact Mr. Richard Zeller at 410-229-2332 or 1-866-998-0367 (in Maryland only) extension 2332, or by email at (rzeller@sha.state.md.us).

Sincerely,

A handwritten signature in blue ink, appearing to read "Wendy Wolcott".

Wendy Wolcott, PLA
Acting Metropolitan District Engineer – District 4
Baltimore & Harford Counties

WW/RAZ

10/25

BALTIMORE COUNTY, MARYLAND INTER-OFFICE MEMORANDUM

TO: Arnold Jablon
Deputy Administrative Officer and
Director of Permits, Approvals and Inspections

DATE: September 29, 2016

FROM: Andrea Van Arsdale
Director, Department of Planning

SUBJECT: ZONING ADVISORY COMMITTEE COMMENTS
Case Number: 17-063

RECEIVED

OCT 07 2016

OFFICE OF ADMINISTRATIVE HEARINGS

INFORMATION:

Property Address: 1227 Piney Hill Road
Petitioner: David Cox, Katherine Cox
Zoning: RC 7, RC 8
Requested Action: Special Hearing

The Department of Planning has reviewed the petition for a special hearing to determine whether or not the Zoning Commissioner should approve a 725 sq. ft. addition to be used as an in-law apartment.

A site visit was conducted on September 23, 2016. The petitioner has provided the necessary Declaration of Understanding and has filed an application for a use permit to construct an accessory apartment located on the ground floor of the proposed new construction of an addition to the existing home.

The Department has no objection to granting the petitioned relief provided the provisions of BCZR§ 400.4 A and C are met.

For further information concerning the matters stated herein, please contact Kaylee Justice at 410-887-3480.

Prepared by:


Lloyd T. Moxley

Division Chief:


Kathy Schlabach

AVA/KS/LTM/ka

c: Kaylee Justice
David and Katherine Cox
Office of the Administrative Hearings
People's Counsel for Baltimore County

10-20
RECEIVED

BALTIMORE COUNTY, MARYLAND

Inter-Office Correspondence

SEP 14 2016

OFFICE OF ADMINISTRATIVE HEARINGS



TO: Hon. Lawrence M. Stahl; Managing Administrative Law Judge
Office of Administrative Hearings

FROM: Jeff Livingston, Department of Environmental Protection and
Sustainability (EPS) - Development Coordination

DATE: September 14, 2016

SUBJECT: DEPS Comment for Zoning Item # 2017-0063-SPH
Address 1227 Piney Hill Road
(Cox Property)

Zoning Advisory Committee Meeting of **September 19, 2016.**

X The Department of Environmental Protection and Sustainability offers the following comments on the above-referenced zoning item:

1. Ground Water Management must review any proposed building permit for an in-law apartment addition, especially since the septic system will likely need to be upgraded to accommodate this.

Reviewer: Dan Esser Date: 9/13/16

BALTIMORE COUNTY, MARYLAND

Inter-Office Correspondence



TO: Hon. Lawrence M. Stahl; Managing Administrative Law Judge
Office of Administrative Hearings

FROM: Jeff Livingston, Department of Environmental Protection and
Sustainability (EPS) - Development Coordination

DATE: September 14, 2016

SUBJECT: DEPS Comment for Zoning Item # 2017-0063-SPH
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Reviewer: Dan Esser Date: 9/13/16

BALTIMORE COUNTY, MARYLAND
INTER-OFFICE MEMORANDUM



TO: Arnold Jablon
Deputy Administrative Officer and
Director of Permits, Approvals and Inspections

DATE: September 29, 2016

FROM: Andrea Van Arsdale
Director, Department of Planning

SUBJECT: ZONING ADVISORY COMMITTEE COMMENTS
Case Number: 17-063

INFORMATION:

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Petitioner: David Cox, Katherine Cox
Zoning: RC 7, RC 8
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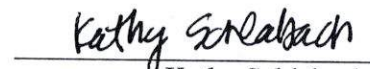
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For further information concerning the matters stated herein, please contact Kaylee Justice at 410-887-3480.

Prepared by:


Lloyd T. Moxley

Division Chief:


Kathy Schlabach

AVA/KS/LTM/ka

c: Kaylee Justice
David and Katherine Cox
Office of the Administrative Hearings
People's Counsel for Baltimore County

BALTIMORE COUNTY, MARYLAND
INTEROFFICE CORRESPONDENCE

TO: Arnold Jablon, Director
Department of Permits, Approvals
And Inspections

DATE: September 19, 2016

FROM: ^{DAK} Dennis A. Kennedy, Supervisor
Bureau of Development Plans Review

SUBJECT: Zoning Advisory Committee Meeting
For September 19, 2016
Item No. 2017-0063, 0064, 0065, 0067 and 0069

The Bureau of Development Plans Review has reviewed the subject zoning items and we have no comments.

DAK:CEN
cc:file

G:\DevPlanRev\ZAC -No Comments\ZAC09192016.doc

CHECKLIST

<u>Comment Received</u>	<u>Department</u>	<u>Support/Oppose/ Conditions/ Comments/ No Comment</u>
_____	DEVELOPMENT PLANS REVIEW (if not received, date e-mail sent _____)	_____
<u>9/14</u>	DEPS (if not received, date e-mail sent _____)	<u>C</u>
_____	FIRE DEPARTMENT	_____
<u>9/29</u>	PLANNING (if not received, date e-mail sent _____)	<u>No Obj w/ comment</u>
<u>9/27/16</u>	STATE HIGHWAY ADMINISTRATION	<u>No Obj</u>
_____	TRAFFIC ENGINEERING	_____
_____	COMMUNITY ASSOCIATION	_____
_____	ADJACENT PROPERTY OWNERS	_____
ZONING VIOLATION (Case No. _____)		
PRIOR ZONING (Case No. _____)		
NEWSPAPER ADVERTISEMENT	Date: <u>9/29/16</u>	
SIGN POSTING	Date: <u>9/28/16</u>	by <u>P. Y. son</u>
PEOPLE'S COUNSEL APPEARANCE	Yes ☒ No ☐	
PEOPLE'S COUNSEL COMMENT LETTER	Yes ☐ No ☐	

Comments, if any: _____

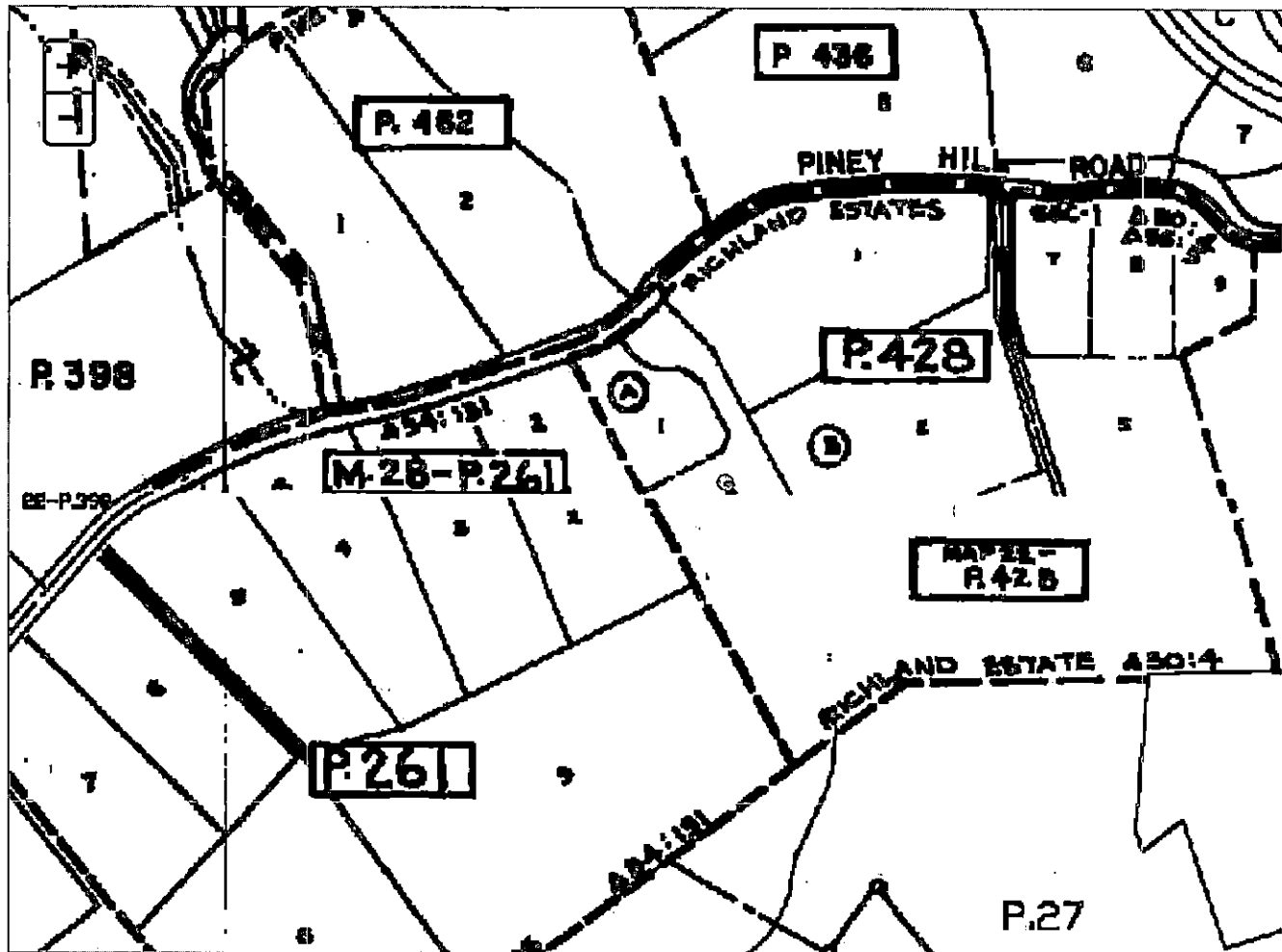
Real Property Data Search (w2)

Guide to searching the database

Search Result for BALTIMORE COUNTY

View Map			View GroundRent Redemption			View GroundRent Registration				
Account Identifier:			District - 08 Account Number - 1900008542							
Owner Information										
Owner Name:			COX KATHERINE MAY COX DAVID WALTER			Use: Principal Residence:		RESIDENTIAL YES		
Mailing Address:			1227 PINEY HILL RD MONKTON MD 21111-			Deed Reference:		/37650/ 00379		
Location & Structure Information										
Premises Address:			1227 PINEY HILL RD MONKTON 21111-			Legal Description:		6.3445 AC RICHLAND ESTATES		
Map:	Grid:	Parcel:	Sub District:	Subdivision:	Section:	Block:	Lot:	Assessment Year:	Plat No:	
0022	0023	0428		0000	1	A	2	2017	Plat Ref:	0050/0004
Special Tax Areas:						Town: Ad Valorem: Tax Class:		NONE		
Primary Structure Built			Above Grade Enclosed Area		Finished Basement Area		Property Land Area		County Use	
1983			1,430 SF				6.3400 AC		04	
Stories Split Foyer	Basement YES	Type SPLIT FOYER	Exterior SIDING	Full/Half Bath 2 full	Garage	Last Major Renovation				
Value Information										
			Base Value		Value As of 01/01/2014		Phase-in Assessments As of 07/01/2016		As of 07/01/2017	
Land:			205,300		205,300					
Improvements			116,900		116,900					
Total:			322,200		322,200		322,200			
Preferential Land:			0							
Transfer Information										
Seller: REESE THOMAS E Type: NON-ARMS LENGTH OTHER				Date: 06/17/2016 Deed1: /37650/ 00379				Price: \$0 Deed2:		
Seller: M KNOTT BUILDERS AND Type: ARMS LENGTH IMPROVED				Date: 09/23/1983 Deed1: /06597/ 00016				Price: \$91,500 Deed2:		
Seller: Type:				Date: Deed1:				Price: Deed2:		
Exemption Information										
Partial Exempt Assessments:			Class		07/01/2016		07/01/2017			
County:			000		0.00					
State:			000		0.00					
Municipal:			000		0.00		0.00			
Tax Exempt:					Special Tax Recapture:					
Exempt Class:					NONE					
Homestead Application Information										
Homestead Application Status: Approved 11/20/2012										

Baltimore County

New Search (<http://sdat.dat.maryland.gov/RealProperty>)District: **08** Account Number: **1900008542**

The information shown on this map has been compiled from deed descriptions and plats and is not a property survey. The map should not be used for legal descriptions. Users noting errors are urged to notify the Maryland Department of Planning Mapping, 301 W. Preston Street, Baltimore MD 21201.

If a plat for a property is needed, contact the local Land Records office where the property is located. Plats are also available online through the Maryland State Archives at www.plats.net (<http://www.plats.net>).

Property maps provided courtesy of the Maryland Department of Planning.

For more information on electronic mapping applications, visit the Maryland Department of Planning web site at www.mdp.state.md.us/OurProducts/OurProducts.shtml (<http://www.mdp.state.md.us/OurProducts/OurProducts.shtml>).

DECLARATION OF UNDERSTANDING

THIS DECLARATION OF UNDERSTANDING (hereinafter referred to as "Declaration") is made on this 9th day of August 2016, by and between David and Katherine Cox (hereinafter referred to as the "Declarant") and the Department of Permits, Approvals and Inspections (hereinafter referred to as "PAI").

Recitals

A. The Declarant(s) who is/are also the owner(s) of this property has/have filed an application for a use permit to construct an accessory apartment located on the ground floor of the proposed new construction of an addition to the existing home. The addition will consist of two floors and will be connected to the existing house. The ground floor of the addition will consist of a self-contained "in-law" suite that will not have direct access to the existing house. The "in-law" suite will contain a full kitchen, living room, one bedroom, one full bathroom, and a laundry room. The second floor of the addition will be connected to the existing house and include two bedrooms, one full bathroom, and a laundry room.

The property being located at **1227 Piney Hill Rd., Monkton, MD 21111** and is more particularly described by metes and bounds in Exhibit A (The Property) attached hereto and made a part hereof. The property is zoned **RC7**, which is the particular zone in which the property is located.

B. PAI (or) The Administrative Law Judge has approved the Declaration request to create an Accessory Apartment complete with dedicated bathing and cooking facilities, located on this owner-occupied property. The accessory apartment will be the housing for **Tom and Cheryl Reese, father and mother of Katherine Cox**. The other residents of the property are **David Cox (owner), Katherine Cox (owner), Alex Cox (child of owner), Reese Cox (child of owner), and Hailey Cox (child of owner)**, all of which will reside in the existing home. The use permit must be renewed with PAI every two years by filing a renewal on a PAI approved form, to be dated from the month of the initial approval.

C. As a condition of approval of the Declarant(s) request, Bill No. 49-11 requires the filing of this Declaration among the Land Records of Baltimore County, to

Item #0063

provide notice to any future owners, subsequent bona fide purchasers or users of the Property that no part of any improvements or addition on the Property may be used for separate living quarters and that all such improvements shall only be used as a single-family residence, unless otherwise approved by and at the discretion of PAI.

NOW, THEREFORE, in consideration of the premises and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledge, the Declarant(s) and PAI hereby declare as follows:

1. Any and all improvements now existing or to be constructed on the Property shall be used only as a single family residence. No such improvements or additions shall ever be used as a separate living quarter or second residential unit. The kitchen for the Accessory Apartment will be constructed as part of the Property and shall be accessory to the principal use of the Property as a single-family residence. The Accessory Apartment shall house only the immediate family member(s) listed in this Declaration and it is not to be used as an independent residential unit, nor is it to be used for compensation, and it shall not be used by any other person or for any other reason. The use permit and this Declaration are subject to the order, conditions or restrictions of any required zoning hearing.

2. Once the Accessory Apartment is no longer occupied by the persons named in this Declaration or if the property is sold, or the use permit has not been renewed within the 2 year temporary use permit time limit, the use permit shall terminate, and any proposed changes in occupancy to the Accessory Apartment by the property owner or subsequent purchaser shall require a new request for a use permit.

3. Upon use permit termination:

A. In the Accessory Apartment in the principal dwelling, use permit termination requires removal of the second kitchen (range) and the former Accessory Apartment space to be occupied by the Declarant(s) or subsequent purchaser.

B. The Declarant(s) upon termination of the use permit will provide written notification to PAI for the closing of the Department file.

4. The covenants, conditions, and restrictions stated above shall run with and bind the Property and shall be enforceable by Baltimore County, MD and by the owners of all or any portion of the Property.

5. Enforcement of the Covenants shall be by proceedings at law or in equity against any person or persons violating or attempting to violate any of the covenants, either to restrain the violation or to recover damages.

IN WITNESS WHEREOF, the parties hereto have duly executed this Declaration under seal on the date first above written.

WITNESS: Autumn Brooks [Signature]
Declarant
[Signature]
Declarant

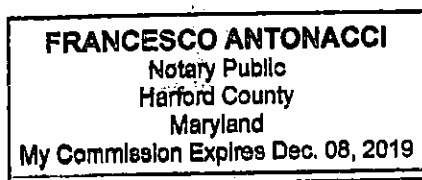
State of Maryland, County of ^{Harford} ~~Baltimore~~ to wit:

I HEREBY CERTIFY that on this 9th August day of 20 16, before the Subscriber, a Notary Public of State of Maryland, personally appeared
David W Cox AND Katherine M Cox

The declarant(s) herein, who is/are also the owner(s) of this property, known to me (or satisfactorily proven) to be the person(s) whose name(s) is/are subscribed to the within instrument, and who acknowledged that he/she/they executed for the foregoing instrument for the purposes therein contained.

IN WITNESS WHEREOF, have hereunto set my hand and Notarial Seal.

My Commission Expires: 12/8/19



[Signature]
Notary Public

Exhibit A

BEING KNOWN AND DESIGNATED as Lot No. 2 in Block A as shown on the Plat entitled, "Section One, Richland Estates," which Plat is recorded among the Plat Records of Baltimore County in Plat Book EHK, Jr. No.50, folio 4. The improvements thereon being known as No. 1227 Piney Hill Road.

BEING THE SAME property which by Deed June 3, 2016 and recorded among the Land Records of Baltimore County in Liber JLE, Jr. No. 37650, Page 0379 was granted and conveyed by Thomas E. Reese and Cheryl J. Reese, his wife, unto David W. Cox and Katherine M. Cox, his wife the Grantors herein.



The Declaration of Understanding for the Accessory Apartment at:

Address of property

is approved: _____
Arnold Jablon, Director-PAI

Date

Case No.: 2017-0063-SPH

Exhibit Sheet

Petitioner/Developer

19W
11-22-16

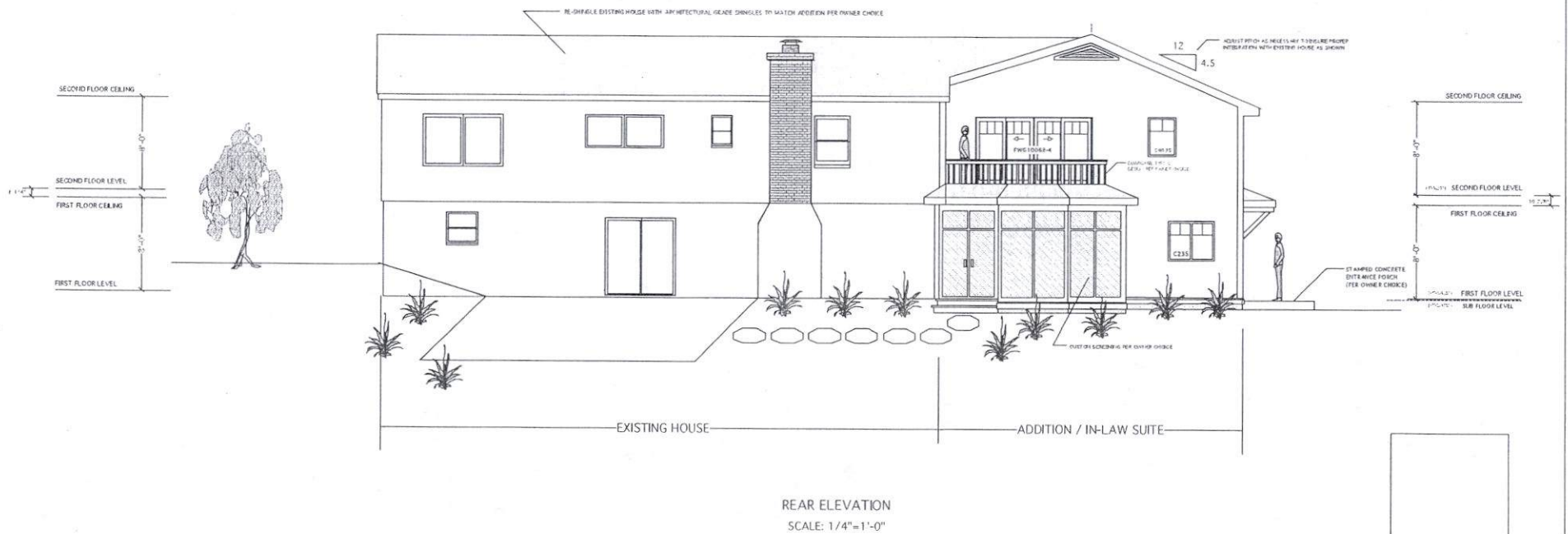
Protestant

SLW
10-21-16

No. 1	Plan	
No. 2	Letter of support	
No. 3		
No. 4		
No. 5		
No. 6		
No. 7		
No. 8		
No. 9		
No. 10		
No. 11		
No. 12		

CASE NAME 2017-0063-SPH
CASE NUMBER 2017-0063-SPH
DATE 10/20/16

[illegible]



REVIEWED FOR STRUCTURAL SUPPORT:
FOUNDATION, FLOOR & WALL, COLUMN
& POSTS, STEEL BEAM, LVL BEAMS,
HEADERS, AND FLOOR JOISTS ONLY.

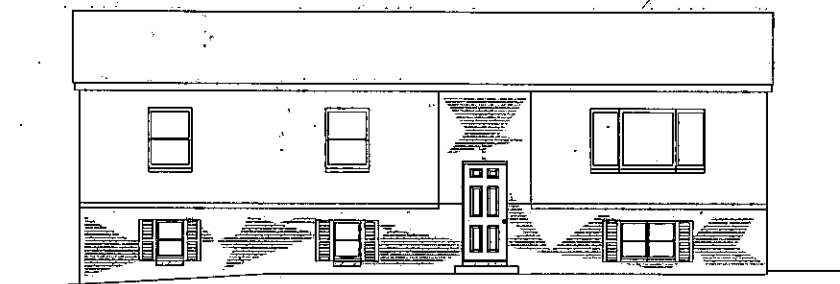
ALL RIGHTS RESERVED RESPECTING DESIGN AND SUBJECT SHOWN ON THIS DRAWING

REAR ELEVATION	SCALE: 1/4"=1'-0"	DWG. NO.	3 of 12
PROPOSED RESIDENCE FOR: DAVID & KATIE COX			
Paul Pare' Associates	Date: 11/14/15	Rev. 2 b	

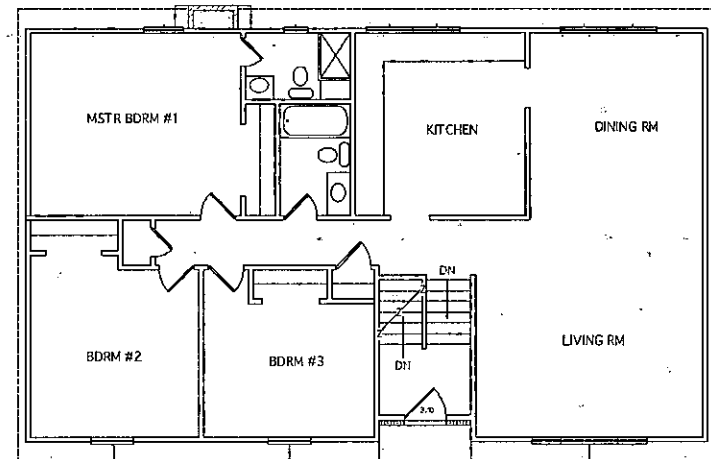
Paul Pare' Associates Inc. P.O. Box 293, Monkton, Md. 21111 / Tele Or Fax: (410) 472-4306

Every attempt has been made to create an accurate set of Construction Drawings that meet most applicable codes, ordinances, and regulations. However, it shall become the responsibility of the Builder/Contractor to verify compliance with all local building codes and ordinances. All critical dimensions should be reviewed and confirmed by the Builder/Contractor and all structural elements should be verified with a local engineer and building official. PPA assumes no responsibility or liability for any damages or claims due to any deficiencies, omissions, or errors in the preparation of these Drawings.

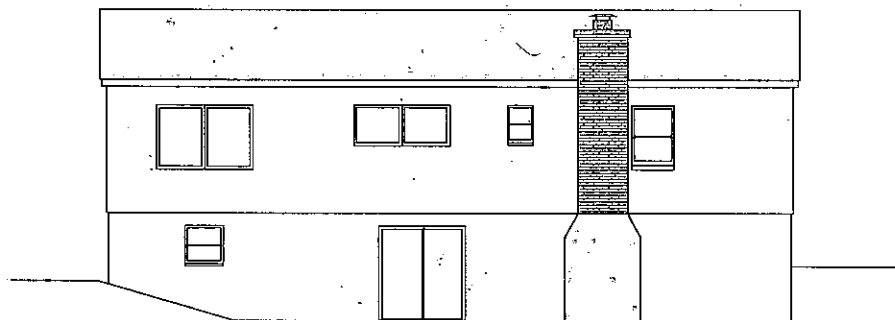
Item #0063



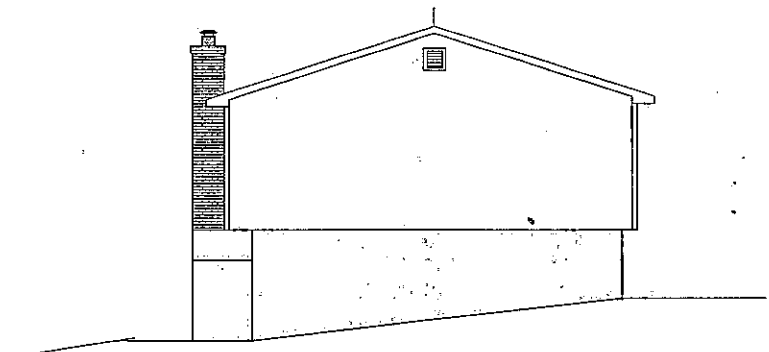
EXISTING FRONT ELEVATION



EXISTING SECOND LEVEL PLAN



EXISTING REAR ELEVATION



EXISTING LEFT ELEVATION

EXISTING HOUSE

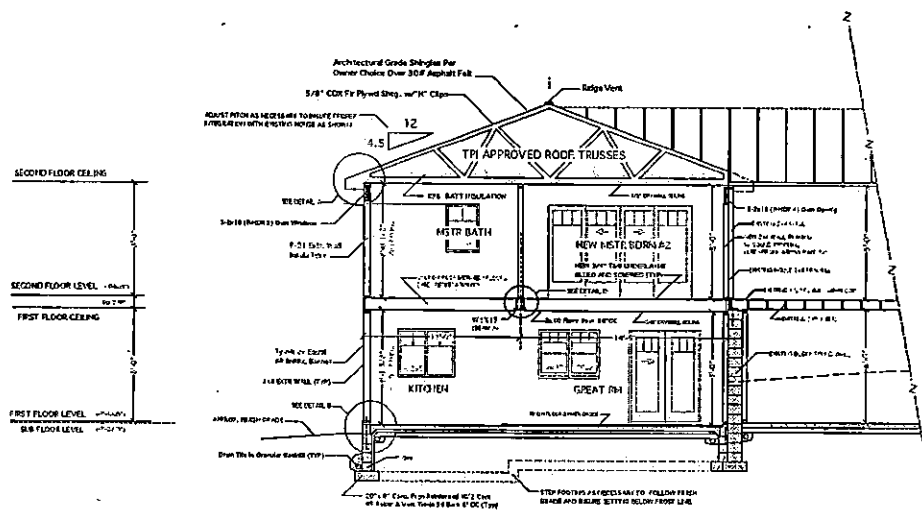
SCALE: 1/4"=1'-0"

Paul Pare' Associates Inc. P.O. Box 293, Monkton, Md. 21111 / Tele Or Fax: (410) 472-4306

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ALL RIGHTS RESERVED RESPECTING DESIGN AND SUBJECT SHOWN ON THIS DRAWING

EXISTING HOUSE	SCALE: 1/4"=1'-0"	DWG. NO. 12 of 12
PROPOSED RESIDENCE FOR: DAVID & KATIE COX		
Paul Pare' Associates	Date: 11/14/15	



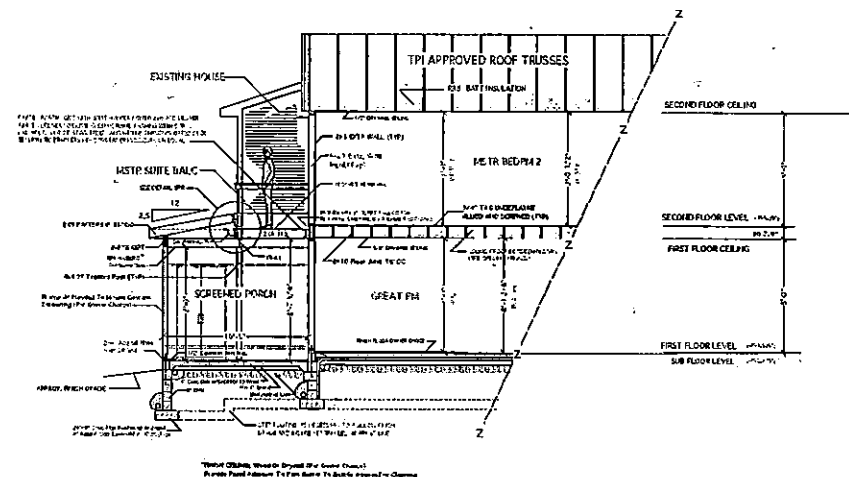
Soils and reinforcement of all concrete footings, grade beams, and foundations will meet or exceed local codes and regulations. (Note: Soil bearing has been assumed to have a minimum capacity of 2500 P.S.F.)

"SOLID ROOFING SPECIFICATIONS (BETWEEN FLOORS)

1. Fill Space between floors with Quikrete Acoustic Batts
2. Install 5/8" dry wall first floor ceiling
3. Seal all ceiling electrical fixtures & outlets

SECTION AA

SCALE: 1/4"=1'-0"



SECTION BB

SCALE: 1/4"=1'-0"

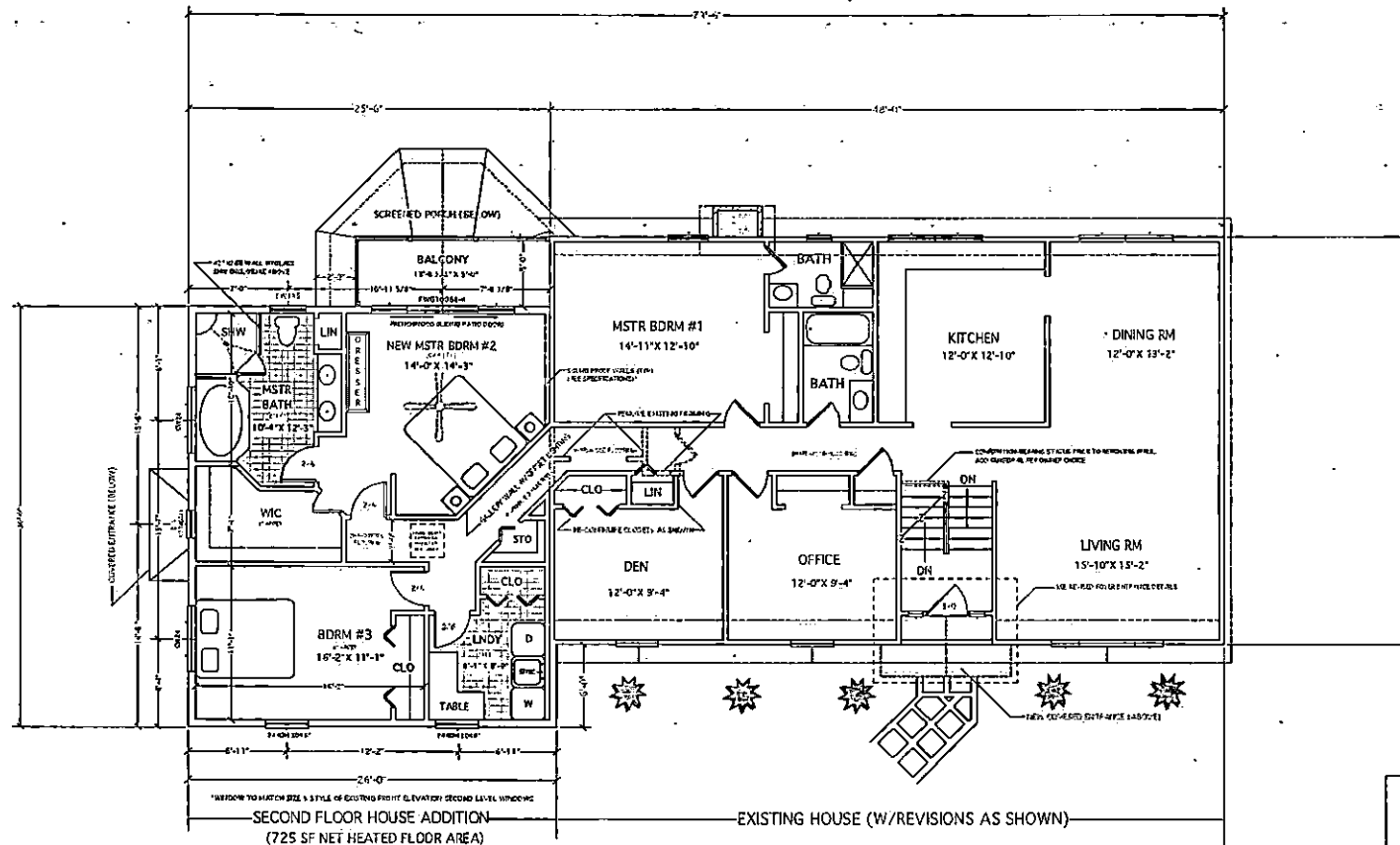
REVIEWED FOR STRUCTURAL SUPPORT, FOUNDATION, FDS & FDS, COLLARS & PORTS, STEEL, BEAMS, HEADERS, AND FLOOR JOISTS ONLY.

ALL RIGHTS RESERVED RESPECTING DESIGN AND SUBJECT MATTER ON THIS DRAWING

AS NOTED	SCALE: 1/4"=1'-0"	DWG. NO.	9 of 12
PROPOSED RESIDENCE FOR: DAVID & KATIE COX			
Paul Pare' Associates	Date: 11/14/15	Rev:	B

Paul Pare' Associates Inc. P.O. Box 293, Monkton, Md. 21111 / Tele Or Fax: (410) 472-4306

Every attempt has been made to create an accurate set of General Notes/Drawings that meet most applicable codes, ordinances, and regulations. However, it shall become the responsibility of the Builder/Contractor to verify compliance with all local building codes and ordinances. All critical dimensions should be reviewed and confirmed by the Builder/Contractor and all structural elements should be worked with a local engineer and building official. PPA assumes no responsibility or liability for any damages or claims due to any deficiencies, omissions, or errors in the preparation of these Drawings.



WINDOWS & PATIO DOORS ARE TO BE ANDERSEN 200 SERIES OR 400 SERIES (EXCEPT AS SPECIFIED PER OWNER'S CHOICE)
(Contractor To Verify With Owner Type, Style, Size And Orientation Of All Windows And Doors Before Purchasing)

2020/10 REVISION SPECIFICATIONS

1. Fill wall with Owens Corning Acoustic Batt
2. Provide 5/8" drywall
3. Caulk between studs at floor
4. Frame all exterior wall joints and corners
5. Do not run HVAC ducts in this wall

DESIGNED FOR STRUCTURAL SUPPORT:
FOUNDATION, FLOOR & WALLS, CEILING,
& PARTIAL STEEL BEAMS, WALLS,
HEADERS, AND FLOOR JOISTS ONLY.

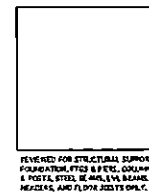
SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

ALL RIGHTS RESERVED RESPECTING DESIGN AND SUBJECT SHOWN ON THIS DRAWING

SECOND FLOOR PLAN	SCALE: 1/4"=1'-0"	DWG. NO.	5 of 12
PROPOSED RESIDENCE FOR: DAVID & KATIE COX			
Paul Pare' Associates	Date: 11/14/15	Rev. B	

Paul Pare' Associates Inc. P.O. Box 293, Monkton, Md. 21111/Tele Or Fax: (410) 472-4306

Every attempt has been made to create an accurate set of Construction Drawings that meet with applicable codes, ordinances, and regulations. However, it shall become the responsibility of the Submitter/Contractor to verify compliance with all local building codes and ordinances. All critical dimensions should be reviewed and confirmed by the Builder/Contractor and all structural elements should be verified with a local engineer or building official. PPA assumes no responsibility or liability for any damages or claims due to any omissions, errors, or errors in the preparation of these Drawings.



SCALE: 1/4"=1'-0"

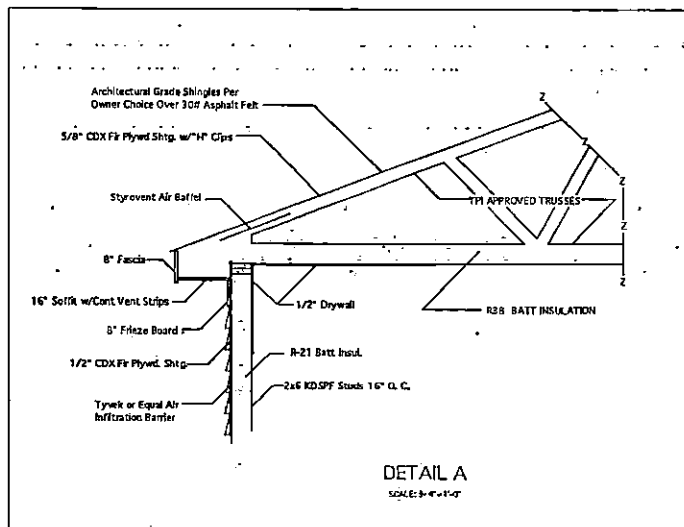
ALL STRUCTURAL MEMBERS MUST BE VERIFIED BY THE GENERAL CONTRACTOR/ BUILDER TO INSURE COMPLIANCE WITH LOCAL BUILDING CODES AND REGULATIONS.

11/2/15

ALL RIGHTS RESERVED RESPECTING DESIGN AND SUBJECT SHOWN ON THIS DRAWING

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Every attempt has been made to create an accurate set of General Notes Drawings that meet most applicable codes, ordinances, and regulations. However, it shall become the responsibility of the Builder/Contractor to verify compliance with all local building codes and ordinances. All critical dimensions should be reviewed and confirmed by the Builder/Contractor and all structural elements should be verified with a local engineer and building official. PPA assumes no responsibility or liability for any damages or claims due to any deficiencies, omissions, or errors in the preparation of these Drawings.



GENERAL SPECIFICATIONS

- DOUBLE FLOOR JOISTS ARE REQUIRED UNDER ALL PARALLEL PARTITIONS OVER 5'-0" IN LENGTH OR 2X LADDER FRAMING @ 16" O.C.
- DOUBLE JACK STUDS ARE REQUIRED ON EACH SIDE OF ALL OPENINGS GREATER THAN 6" WIDE.
- STRUCTURAL FRAMING LUMBER TO BE #2 SDR HEM-FIR GRADE UNLESS NOTED OTHERWISE.
- ALL LOAD BEARING WALLS MUST HAVE A MIN. OF TWO TOP PLATES.
- FRAME ALL DOORS & CASED OPENINGS TO ALLOW SPACE FOR 3 1/2" CASINGS ONLY.
- PROVIDE SOLID BLOCKING UNDER ALL HEADERS, BEAMS, AND POSTS BEARING POINTS.
- ALL STEEL BEAMS AND PIPE COLUMNS MUST BE WELDED, OR FASTENED AND SECURED PER LOCAL GOVERNING CODES.
- EXTERIOR & INTERIOR WALLS FRAMED WITH KDSF STUDS GRADE MATERIAL.
- RECOMMENDED INSULATION: R-21 WALLS / R-38 CEILING & ROOF.
- APPLY "WEB STIFFENERS" AND "SQUASH BLOCKS" AT ALL BEARING POINTS PER MANUFACTURER'S SPECIFICATIONS. USE R38 BOX NAILS (5 1/2" Min. Product Cat.)
- CUT OPENINGS THROUGH WEB OF JOIST ONLY AS AUTHORIZED IN MFG'S PRODUCT LITERATURE OR IN WRITING BY MFG. DO NOT CUT FLANGES.
- INSTALL PLYWOOD OR OSB SHEATHING BETWEEN WEBS ON ALL JOIST MEMBERS.
- GLUE & NAIL @ 6" OC FROM BOTH SIDES, STAGGER ROWS, JOINTS NAILS FROM OPPOSITE SIDES.
- ALL RM. BOARDS FOR JOISTS TO BE 1" OSB "1/4" LVL PM BOARD" (SEE DETAIL) EXCEPT, WHEN USE IN CONJUNCTION WITH JOIST HANGERS USE 1 3/4" LVL AS RM BOARD (SEE DETAIL).
- USE ONLY APPROVED JOIST & LVL BEAM HANGERS AS MANUFACTURED FOR USE WITH ENGINEERED LUMBER.
- FASTEN AND INSTALL ALL ENGINEERED LUMBER IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION.
- ALL 4-PLY LVL BEAMS MUST BE BOLTED WITH 1/2" HEX HD BOLTS W/ FENDER WASHERS INSTALLED 12" O.C. STAGGERED 3" FROM TOP AND BOTTOM.
- APPLY 2-2X12 BORED HEADERS OVER ALL WINDOWS & EXTERIOR DOOR OPENINGS UNLESS NOTED OTHERWISE.
- ALL EXTERIOR WALLS ADJACENT TO CATH. AND/OR VAULTED CEILING MUST BE BALCON FRAMED.
- ALL WINDOWS IN THESE WALLS MUST BE STRUCTURALLY REINFORCED PER MFG'S SPECIFICATIONS.
- AT LEAST ONE SMOKE DETECTOR SHALL BE INSTALLED ON EACH FLOOR TO INCLUDE ALL SLEEPING AREAS AND AT THE BOTTOM OF STAIRS.
- ONE WINDOW IN EACH BEDROOM MUST HAVE A CLEAR OPENING OF AT LEAST 24" HIGH AND 20" WIDE AND HAVE A MIN. CLEAR OPENING OF 5.7 sq ft. SLL SHALL BE NO MORE THAN 44" ABOVE FINISH FLOOR.
- ALL STRUCTURAL MEMBERS ARE SUBJECT TO REVIEW BY THE BUILDER/GENERAL CONTRACTOR TO INSURE COMPLIANCE WITH ALL LOCAL BUILDING CODES.
- THE BUILDER/GENERAL CONTRACTOR MUST FIELD VERIFY ALL DIMENSIONS PRIOR TO STARTING CONSTRUCTION.
- WRITTEN DIMENSIONS OVERRIDE SCALE.
- DESIGN LOADS MEET OR EXCEED BOCA 93 CHAPTER 16.

STRUCTURAL SPECIFICATIONS

FOUNDATION:

- The footings have been designed for a minimum bearing capacity of 2500 psf provided at the foundation depth by original undisturbed soil. If these conditions do not exist, notify the Architect/Engineer for correction.
- All exterior (exposed) wall footings shall be founded in 36" (min.) below final exterior grade.
- Footing reinforcing is to be continuous placed in accordance with the construction plans.
- Subfill under the slab on grade shall be compacted to a dry density of 95% as determined by AASHTO T-99.
- Provide adequate shoring for foundation and/or retaining walls. Backfill cautiously only after bracing and flooring is securely in place.

CONCRETE:

- All concrete work shall conform to the provisions as outlined in "Specification For Structural Concrete For Buildings" (ACI 301-85), and "Building Code Requirements For Reinforced Concrete" (ACI 318-89). As applicable, the work shall also conform to: ACI 305-82, ACI 306-83, and ACI 347-88.
- All concrete shall be stone and aggregate type of design compressive strength of 3000psi @ 28 days. Concrete exposed to weather shall have air entrainment of +5%. No other admixtures shall be used without approval.
- All concrete specified for use as fill for masonry walls shall be a pre-cast aggregate mix of 3000psi design strength. Grout, when specified, shall conform to ASTM C-476.

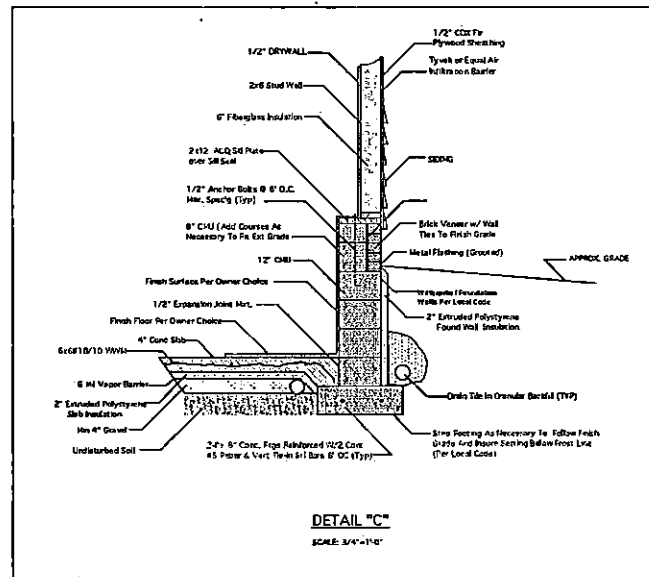
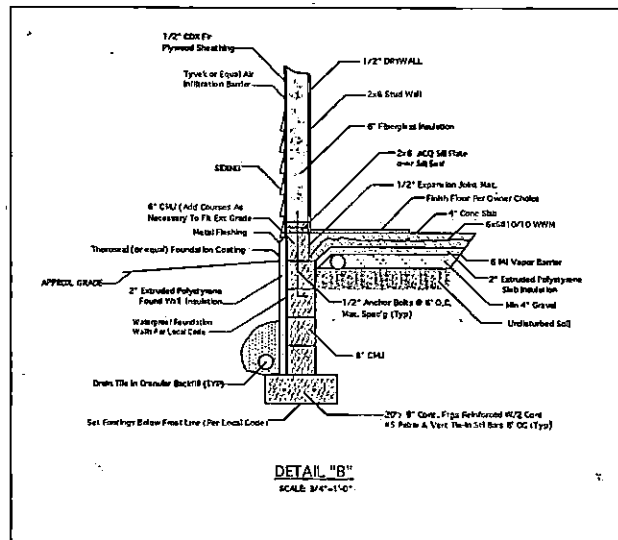
MASONRY:

- All exterior walls, and all walls supporting loads, shall be constructed of load bearing concrete masonry units, conforming to ASTM C-90, Type N-1.
- All CMU bearing walls to be laid with type "S" mortar.
- Masonry walls shall be reinforced with bed joints reinforced with "Dur-O-Wall", or equal, at 16" vertical.
- All masonry materials and installation shall conform to the standards and recommendations of NMMA.

STEEL LINTELS FOR BRICK VENEER

- Steel lintels must be design for L/600 with a maximum deflection of 0.3", and must bear on solid masonry.
- For typical window and door openings use: 3 1/2" x 3" x 1/4" for 0' to 5.0' span
4" x 3 1/2" x 1/4" for 5.0' to 6.5' span
5" x 3 1/2" x 5/16" for 6.5' to 8.0' span
6" x 4" x 7/16" for 8.0' to 10' span

- If special conditions exist, notify the Architect/Engineer for review.



SECTION DETAILS & SPECIFICATIONS

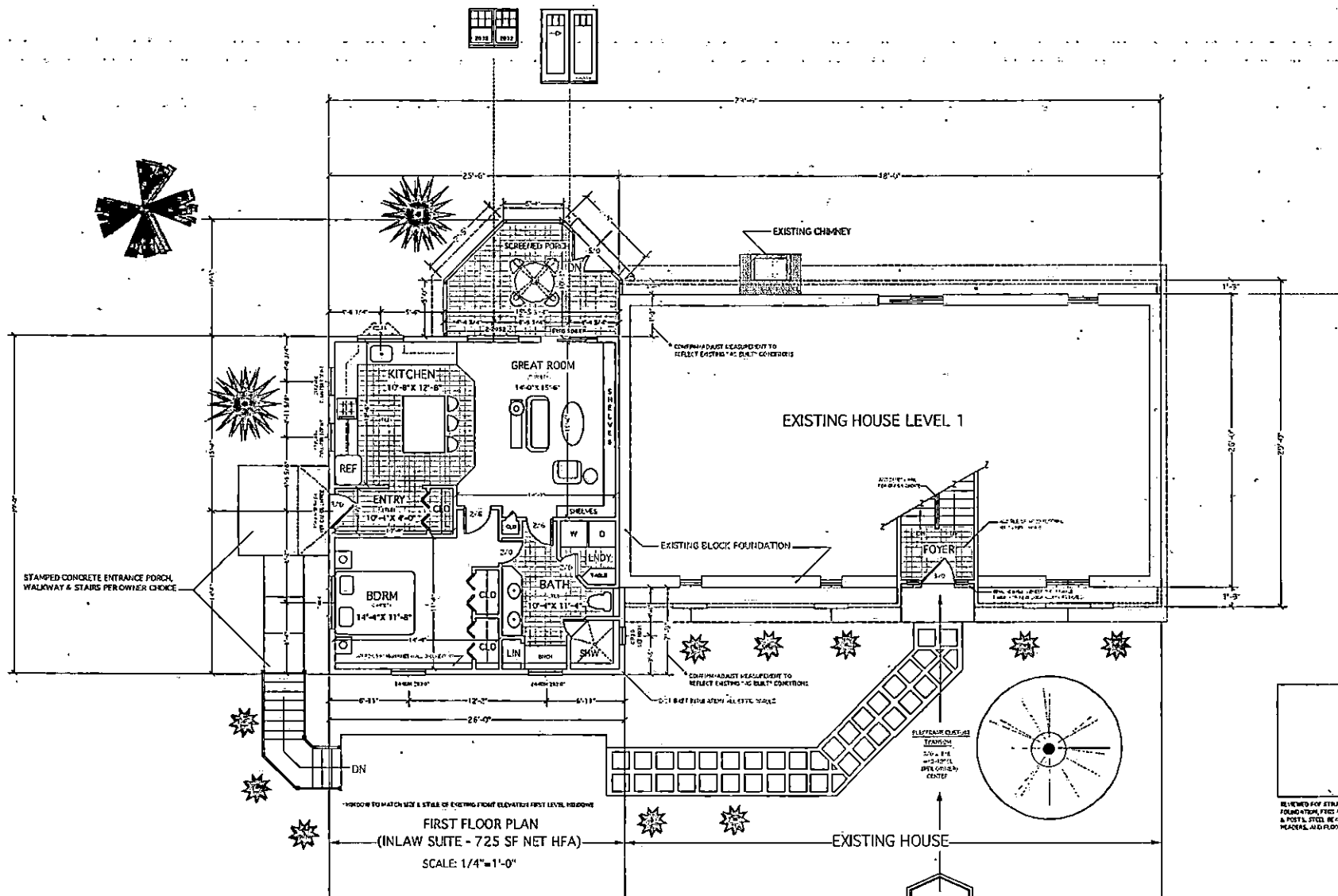
SCALE: 1/4"=1'-0"

ALL RIGHTS RESERVED RESPECTING DESIGN AND SUBJECT SHOWN ON THIS DRAWING.

AS NOTED	SCALE: 1/4"=1'-0"	DWG. NO.	11 of 12
PROPOSED RESIDENCE FOR: DAVID & KATIE COX			
Paul Pare' Associates	Date: 11/14/15	Rev. B	

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Every attempt has been made to create an accurate set of Construction Drawings that meet most applicable codes, ordinances, and regulations. However, it shall become the responsibility of the Builder/Contractor to verify compliance with all local building codes and ordinances. All critical dimensions should be reviewed and confirmed by the Builder/Contractor and all structural elements should be verified with a local engineer and building official. PPA assumes no responsibility or liability for any damages or claims due to any deficiencies, omissions, or errors in the preparation of these Drawings.



WINDOWS & PATIO DOORS ARE TO BE REDESIGNED TO SERIES OF 400 SERIES (EXCEPT AS SPECIFIED PER OWNER CHOICE)
(Consult or To Verify With Owner, Type, Style, Size and Orientation of All Windows and Doors Before Purchasing)

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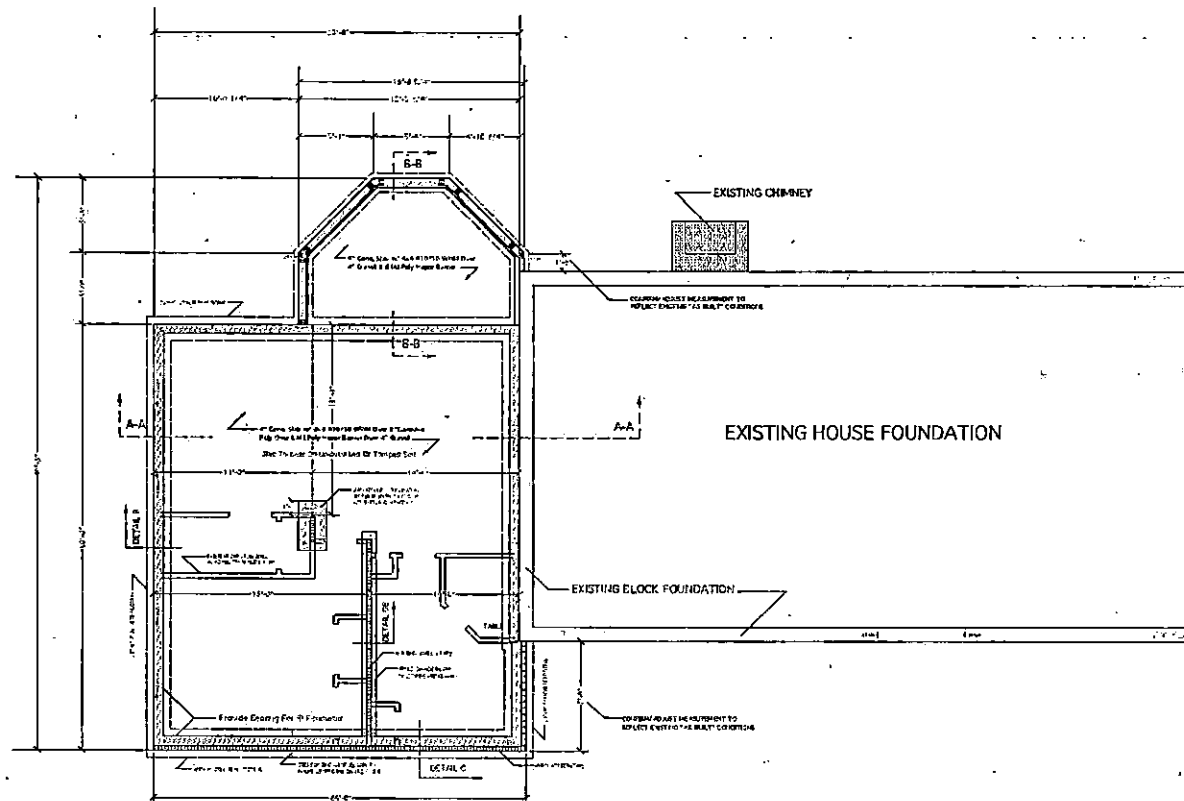
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REVIEWED FOR STRUCTURAL SUPPORT;
FOUNDATION, FLOOR, CEILING,
& ROOF SYSTEMS, BEAMS, LVL, BRIMS,
MEASURES, AND FLOOR JOISTS ONLY.

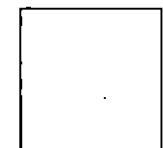
ALL RIGHTS RESERVED RESPECTING DESIGN AND SUBJECT SHOWN ON THIS DRAWING

FIRST FLOOR PLAN	SCALE: 1/4" = 1'-0"	DWG. NO.	4 of 12
PROPOSED RESIDENCE FOR: DAVID & KATIE COX			
Paul Pare Associates	Date: 11/14/15	Rev. 1A	



FOUNDATION PLAN

SCALE: 1/4"=1'-0"



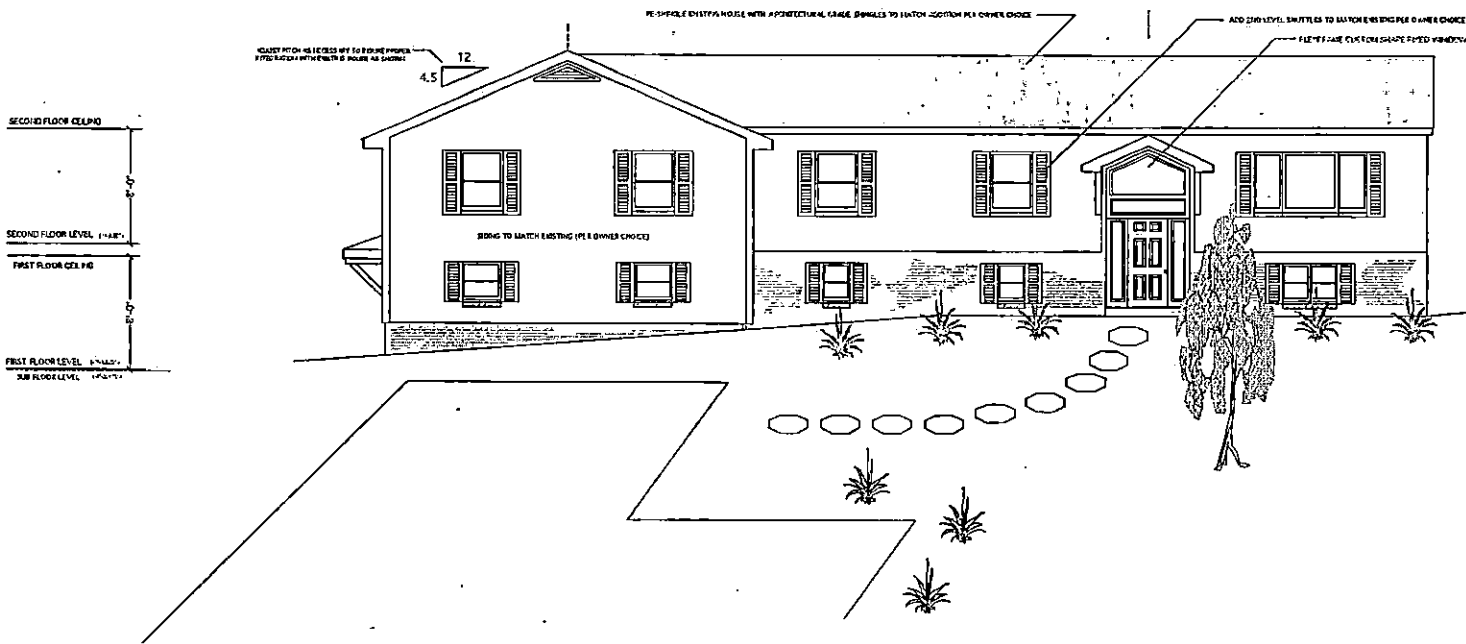
REVIEWED FOR STRUCTURAL SUPPORT:
FOUNDATION, PIER & PIER, COLUMN &
ROOF, STEEL BEAMS, LVL BEAMS,
BRACES, AND FLOOR JOISTS ETC.

ALL RIGHTS RESERVED RESPECTING DESIGN AND SUBJECT SHOWN ON THIS DRAWING

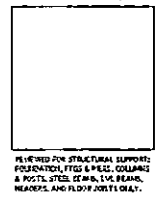
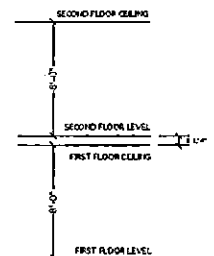
FOUNDATION PLAN	SCALE: 1/4"=1'-0"	DWG. NO.	6 of 12
PROPOSED RESIDENCE FOR: DAVID & KATIE COX			
Paul Pare' Associates	Date: 11/14/19	Rev. B	

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FRONT ELEVATION
SCALE: 1/4"=1'-0"

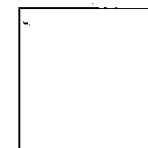
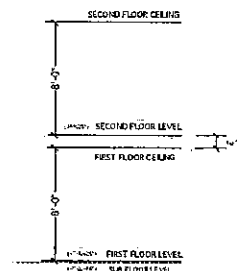
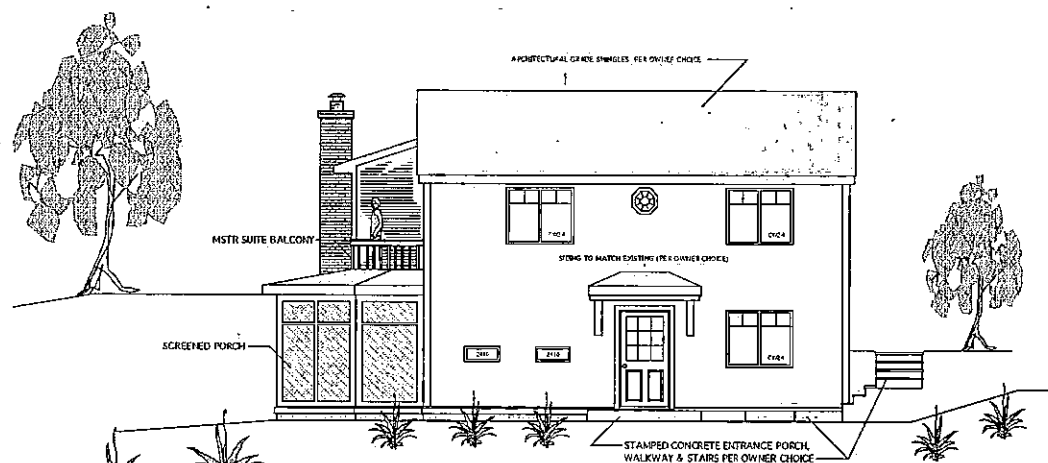


ALL RIGHTS RESERVED RESPECTING DESIGN AND SUBJECT SHOWN ON THIS DRAWING

FRONT ELEVATION	SCALE: 1/4"=1'-0"	DWG. NO. 1 of 12
PROPOSED RESIDENCE FOR: DAVID & KATIE COX		
Paid Pare' Associates	Date: 11/14/15	Rev. 1A

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REVIEWED FOR STRUCTURAL SURFACES,
FOUNDATION, FLOOR & WALL, CEILING &
POSTAL STEEL BEAM, LVL, BEAMS,
HEADERS, AND FLOOR JOISTS ONLY.

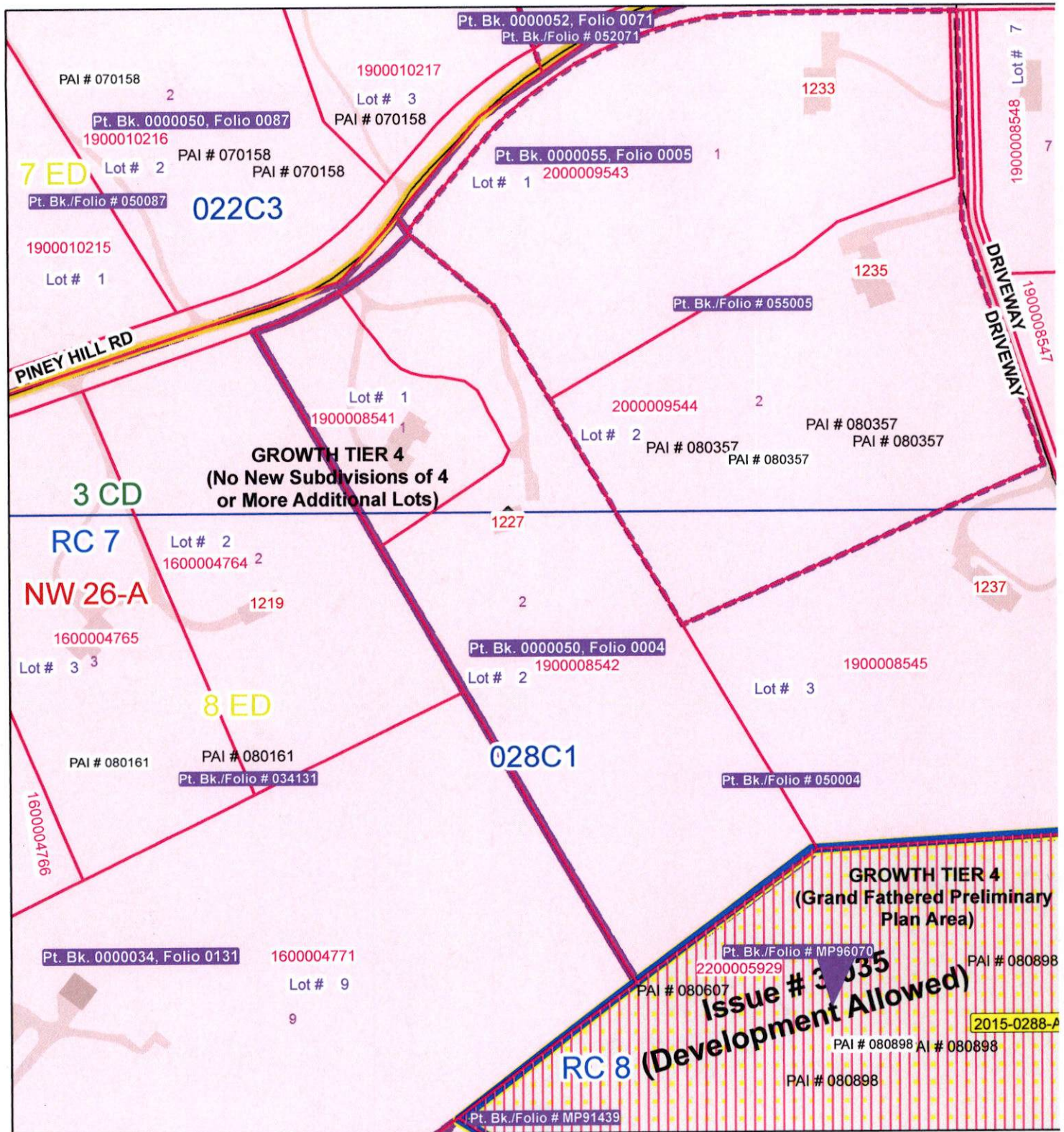
ALL RIGHTS RESERVED RESPECTING DESIGN AND SUBJECT SHOWN ON THIS DRAWING

LEFT ELEVATION	SCALE: 1/4"=1'-0"	DWG. NO. 2 of 12
PROPOSED RESIDENCE FOR: DAVID & KATIE COX		
Paul Pare' Associates	Date: 11/14/15	Rev. 1A b

Paul Pare' Associates Inc. P.O. Box 293, Monkton, Md. 21111 / Tele Or Fax: (410) 472-4306

Every attempt has been made to create an accurate set of Construction Drawings that meet most applicable codes, ordinances, and regulations. However, it shall become the responsibility of the Builder/Contractor to verify compliance with all local building codes and ordinances. All critical dimensions should be reviewed and confirmed by the Builder/Contractor and all structural elements should be verified with a local engineer and building official. PPA assumes no responsibility or liability for any damages or claims due to any deficiencies, omissions, or errors in the preparation of these Drawings.

227 Piney Hill Road



Publication Date: 8/23/2016



Publication Agency: Permits, Approvals & Inspections
 Projection/Datum: Maryland State Plane,
 FIPS 1900, NAD 1983/91 HARN, US Foot



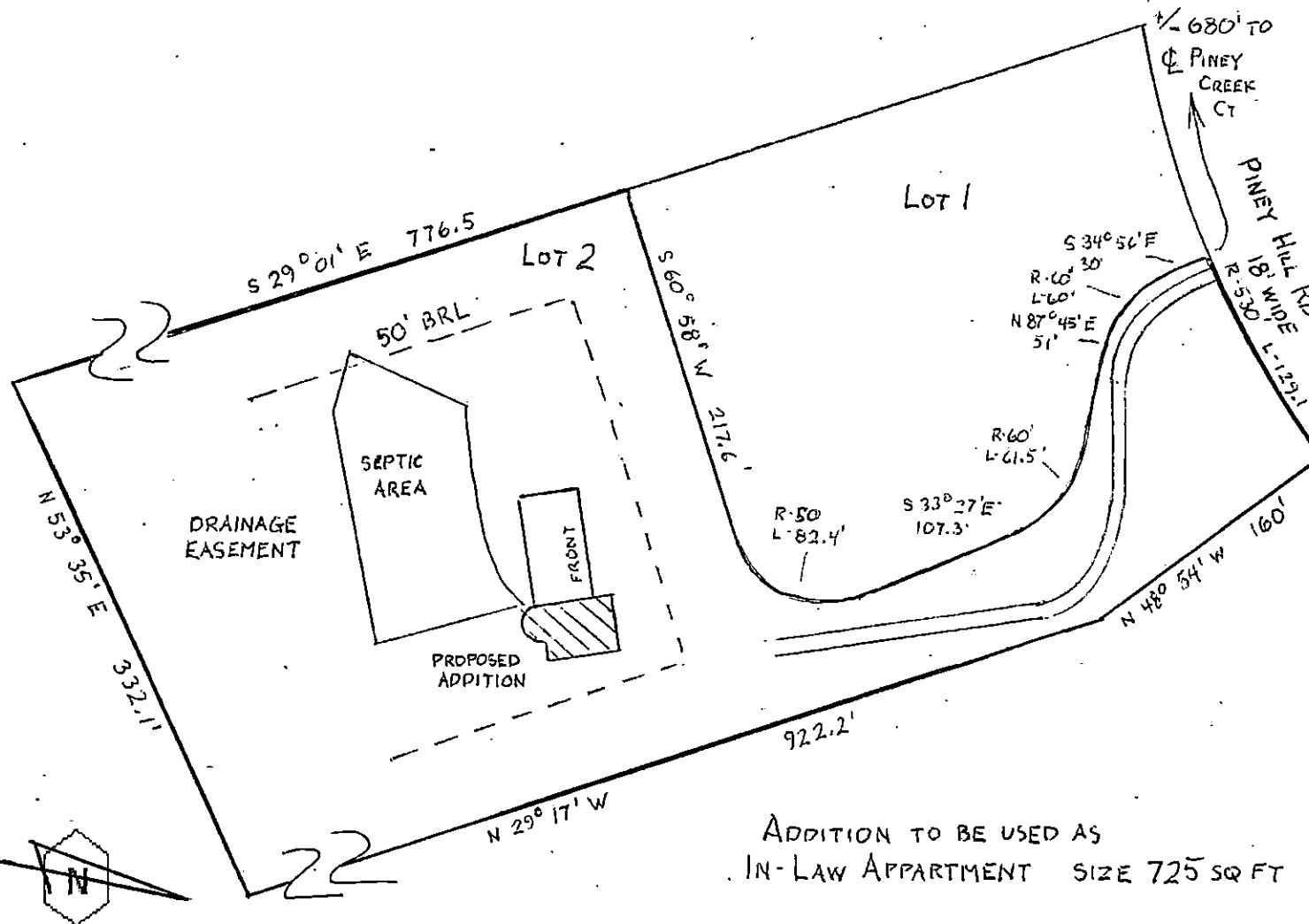
0 55 110 220 330 440 Feet

1 inch = 200 feet

Issue # 3035
(Development Allowed)

Item #0063

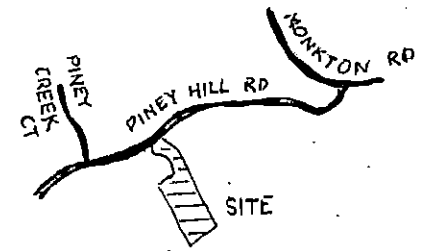
ZONING HEARING PLAN FOR VARIANCE _____ FOR SPECIAL HEARING X (MARK TYPE REQUESTED WITH X)
 ADDRESS 1227 PINEY HILL RD OWNER(S) NAME(S) DAVID & KATHERINE COX
 SUBDIVISION NAME RICHLAND ESTATES LOT # 2 BLOCK # A SECTION # 1
 PLAT BOOK # 50 FOLIO # 4 10 DIGIT TAX # 1900008542 DEED REF. # 37650/00379



ADDITION TO BE USED AS
 IN-LAW APARTMENT SIZE 725 SQ FT

PLAN DRAWN BY _____ DATE _____ SCALE: 1 INCH = 100 FEET

SITE VICINITY MAP



N
 MAP IS NOT TO SCALE

ZONING MAP# 022C3/028C1

SITE ZONED RC7

ELECTION DISTRICT 8TH

COUNCIL DISTRICT 3RD

LOT AREA ACREAGE 6.34

OR SQUARE FEET _____

HISTORIC? No

IN CBCA? No

IN FLOOD PLAIN? No

UTILITIES? MARK WITH X

WATER IS:

PUBLIC _____ PRIVATE X

SEWER IS:

PUBLIC _____ PRIVATE X

PRIOR HEARING? No

IF SO GIVE CASE NUMBER

AND ORDER RESULT BELOW

VIOLATION CASE INFO:

#2017-0063-SPH

Handwritten signature/initials

Petitioners No. 1

October 10, 2016

To whom it may concern,

I am writing this letter on behalf of Dave and Katie for their request to have an addition built onto their property on Piney Hill Rd. as we have been neighbors for over twenty years. We are their immediate neighbors at 1225 Piney Hill Rd., Kelly and Ric Evans, and have absolutely no objection what so ever for this addition to be built. We fully support their effort and would help in any way possible. Please feel free to contact us: Kelly – 410 343-3653 or contact Ric at 410 456-9426.

Sincerely yours,


Ric and Kelly Evans



Petitioners No 2

DAVID & KATIE COX

Architectural Grade Shingles Per
Owner Choice Over 30# Asphalt Felt

5/8" CDX Fir Plywd Shtg. w/"H" Clips

Ridge Vent

ADJUST PITCH AS NECESSARY TO INSURE PROPER
INTEGRATION WITH EXISTING HOUSE AS SHOWN

12
4.5

TPI APPROVED ROOF TRUSSES

SECOND FLOOR CEILING

SEE DETAIL A

3-2x10 (R-HDR 3) Over Windows

R-21 Extr. Wall
Insul. (Typ)

SECOND FLOOR LEVEL (1'-9.25")
10 7/8"

FIRST FLOOR CEILING

FIRST FLOOR LEVEL (-7'-1.625")
SUB FLOOR LEVEL (-7'-2.375")

APPROX. FINISH GRADE

Drain Tile In Granular Backfill (Typ)

8" CMU

20"x 8" Conc. Ftgs Reinforced W/2 Cont
#5 Rebar & Vert Tie-in Std Bars 6' OC (Typ)

STEP FOOTING AS NECESSARY TO FOLLOW FINISH
GRADE AND INSURE SETTING BELOW FROST LINE

*SOUND PROOFING SPECIFICATIONS (BETWEEN FLOORS)

1. Fill space between floors with QuietZone Acoustic Batts
2. Provide 5/8" drywall first floor ceiling
3. Foam all ceiling electrical fixture Boxes & outlets

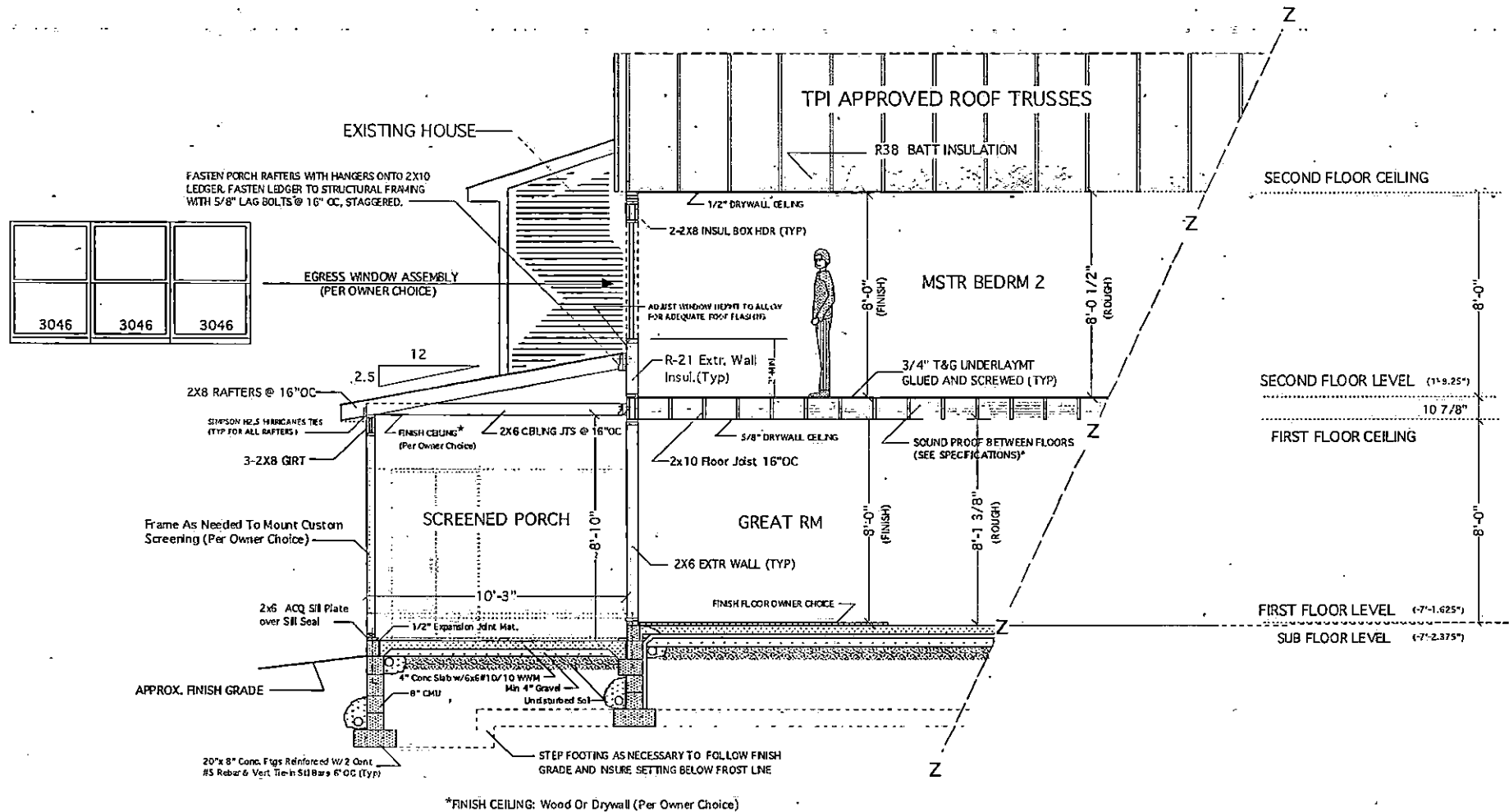
Size and reinforcement of all concrete footings, pads & piers, and foundation walls must
be verified to insure compliance with local codes and local site and soil conditions.
(Note: Soil bearing has been assumed to have a minimum capacity of 2500 P.S.F.)

SECTION AA

SCALE: 1/4"=1'-0"

Item #0063

DAVID & KATIE COX



SECTION BB

SCALE: 1/4"=1'-0"

DAVID & KATIE COX

10'-3"

5'-0"

5'-3"

10'-0 1/4"

2x10 JOISTS 16" OC

6x6 POST

2x10 JOISTS 18" OC

FASTEN NEW 2X10 RM BOARD TO EXISTING STRUCTURAL FRAMING WITH 5/8" LAG BOLTS @ 16" OC, STAGGERED.

ALL FLOOR JOISTS TO BE CANADIAN SPRUCE (FB=1050 psi E=1400000 psi) UNLESS OTHERWISE SPECIFIED

STL-A (PLUS) W/BOLTS

11'-0"

2x10 JOISTS 16" OC

2x10 JOISTS 16" OC

15'-0"

INTERIOR BEARING WALL BELOW (TYP)

HDR C

2x10 JOISTS 16" OC

KNEE WALL SHELVES (BELOW)

2X6 EXTERIOR WALL (TYP)

EXTERIOR WALLS AND STRUCTURAL POSTS TO BEAR ON FOOTINGS TO BELOW FROSTLINE

26'-0"

B-B

5'-3"

5'-1"

4'-10 3/4"

HP DEL RAFTER

2x4 P.O.C.T.S (TYP)

BAFFLES (TYP) (DOWN POS)

HP DEL RAFTER

HP DEL RAFTER

2x10 LEDG

HDR D

2-2x8 INCL BOX ROR (TYP)

CONTRACTOR TO CONFIRM EXISTING BUILDING DIMENSIONS AND STRUCTURAL CONSTRUCTION TO INSURE PROPER ARCHITECTURAL AND STRUCTURAL ALIGNMENT & INTEGRATION

A-A

REMOVE EXISTING 2ND LEVEL FRAMING. ADJUST AS NEEDED TO REFLECT EXISTING "AS BUILT" CONDITION (SEE 2nd FLR PLAN)

EXISTING HOUSE 2X4 WALL

RE-FRAME EXISTING EXTR WALL TO ACCOMMODATE NEW WINDOWS, SIDELIGHTS, AND COVERED ENTRANCE AS SHOWN

NEW COVERED ENTRANCE (ABOVE)

EXISTING BRICK VENEER

5"x 3 1/2"x 5/16" STEEL LINTEL

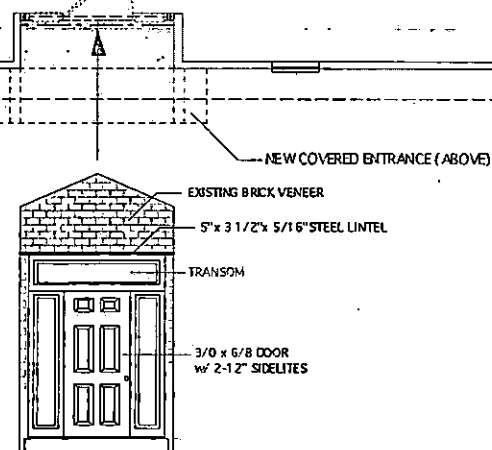
TRANSOM

SCALE: 3/16"=1'-0"

ALL STRUCTURAL MEMBERS MUST BE VERIFIED BY THE GENERAL CONTRACTOR/ BUILDER TO INSURE COMPLIANCE WITH LOCAL BUILDING CODES AND REGULATIONS

Paul Pare' Associates, Inc. P.O. Box 293, Monkton, MD. 21111 Telephone or Fax: (410) 472-4306, e-mail: ppadesign@comcast.net

5/15/16 REVISION



DAVID & KATIE COX

RE-SHINGLE EXISTING HOUSE WITH ARCHITECTURAL GRADE SHINGLES TO MATCH ADDITION PER OWNER CHOICE

ADD 2ND LEVEL SHUTTERS TO MATCH EXISTING PER OWNER CHOICE

ADJUST PITCH AS NECESSARY TO INSURE PROPER
INTEGRATION WITH EXISTING HOUSE AS SHOWN

12
4.5

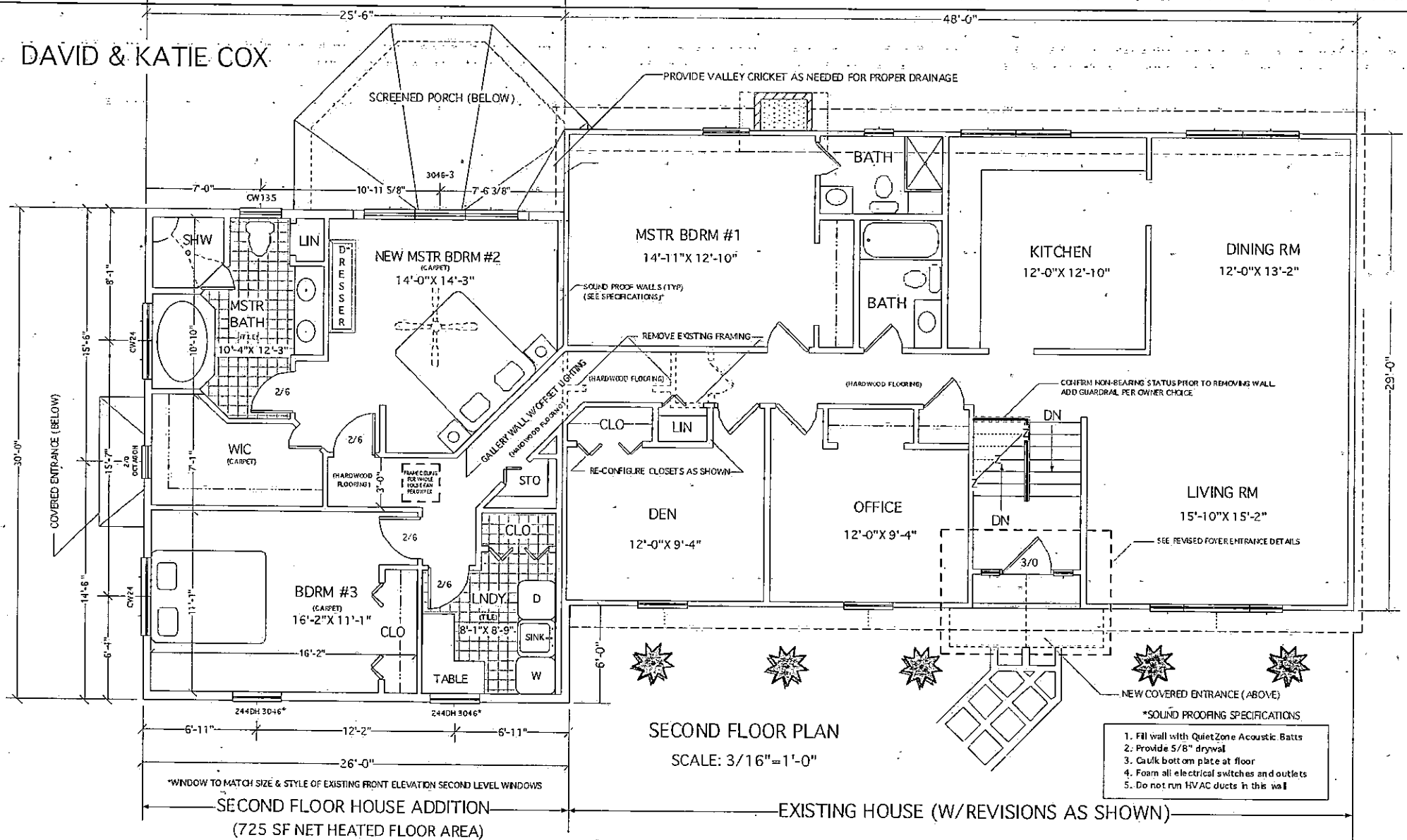
SIDING TO MATCH EXISTING (PER OWNER CHOICE)

2016 REVISIONS TO CONSTRUCTION DRAWINGS DATED 11/14/15:

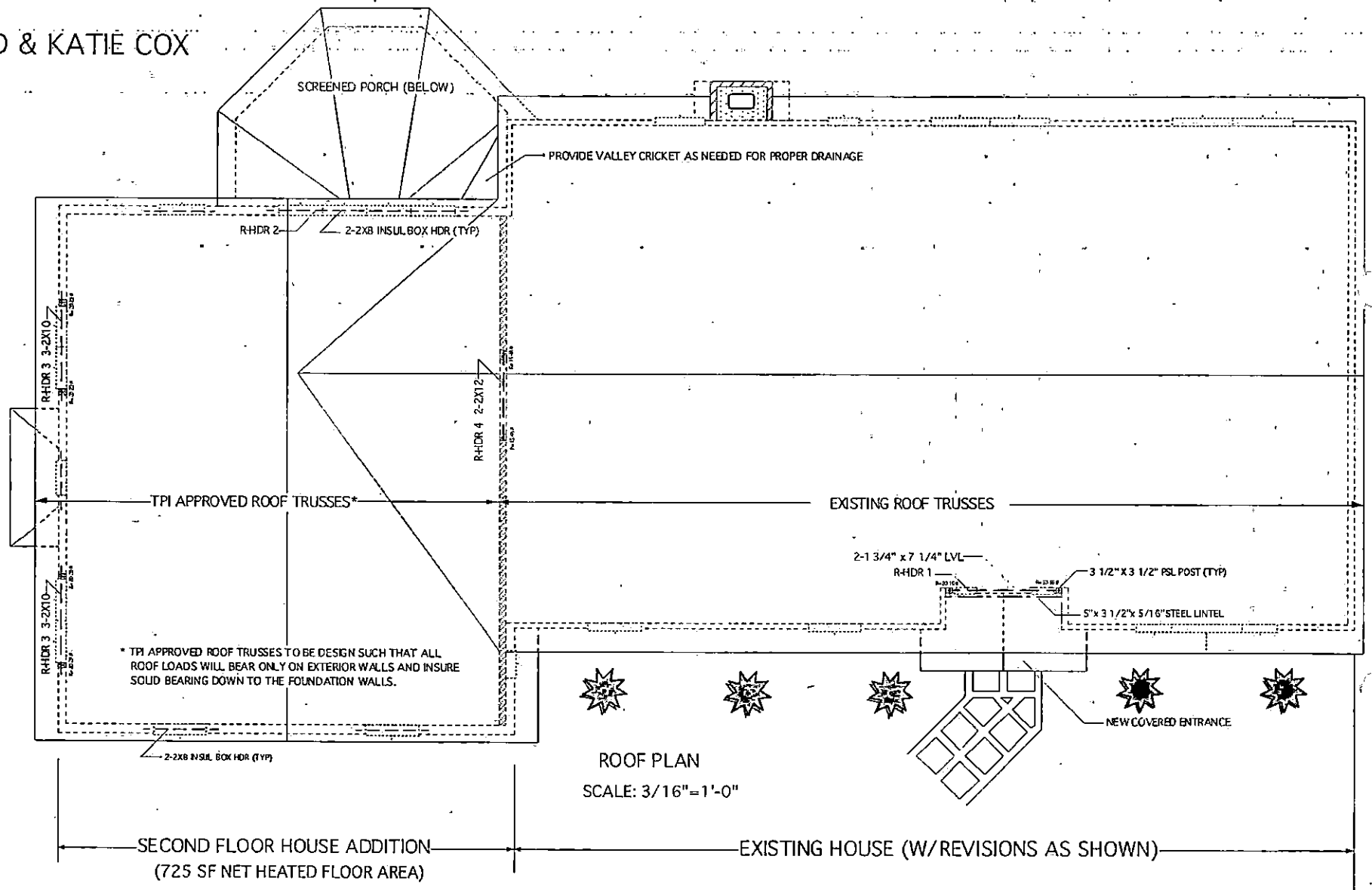
PAGE 1 - FRONT ELEVATION
PAGE 2 - LEFT ELEVATION
PAGE 3 - REAR ELEVATION
PAGE 5 - SECOND FLOOR PLAN
PAGE 7 - SECOND FLOOR FRAMING PLAN
PAGE 8 - ROOF PLAN
PAGE 9 - SECTION AA
PAGE 9 - SECTION BB

FRONT ELEVATION - OPT A
SCALE: 3/16"=1'-0"

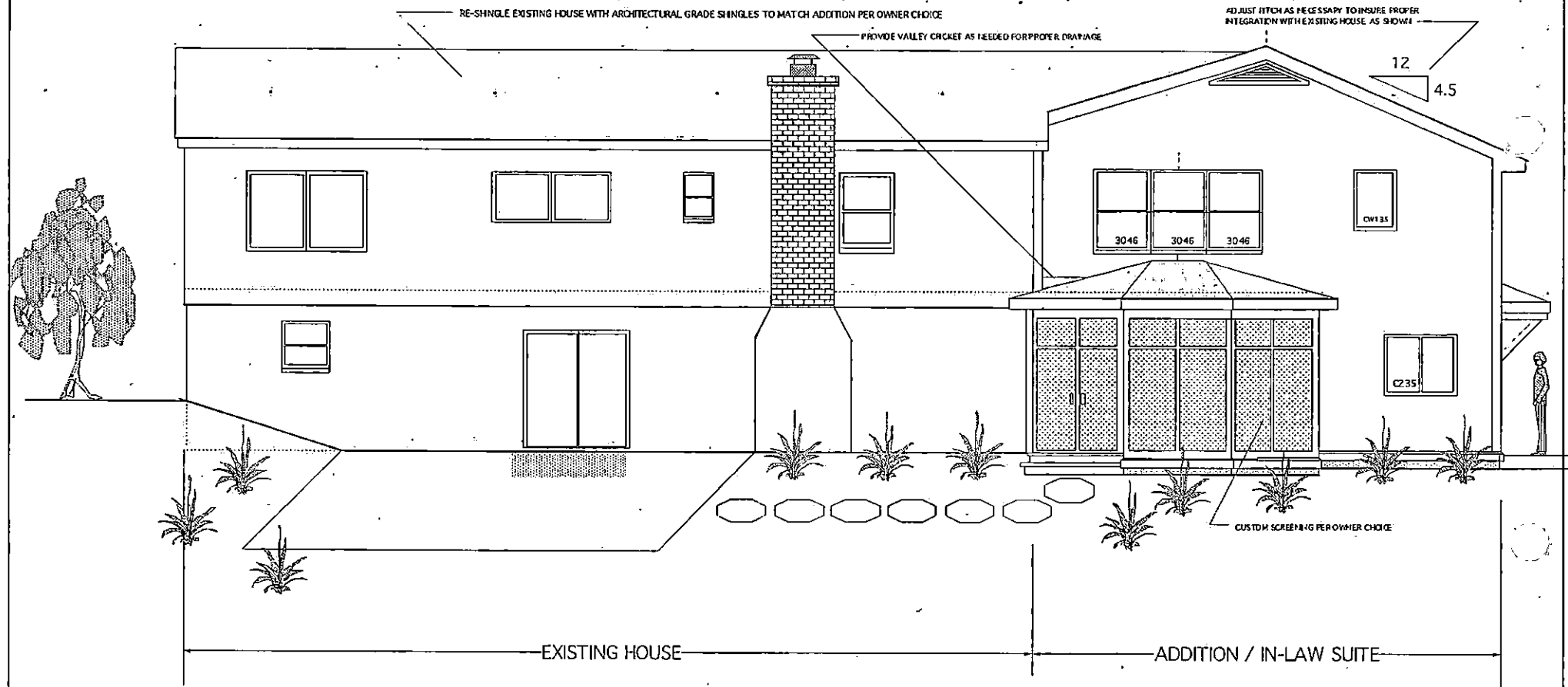
DAVID & KATIE COX



DAVID & KATIE COX



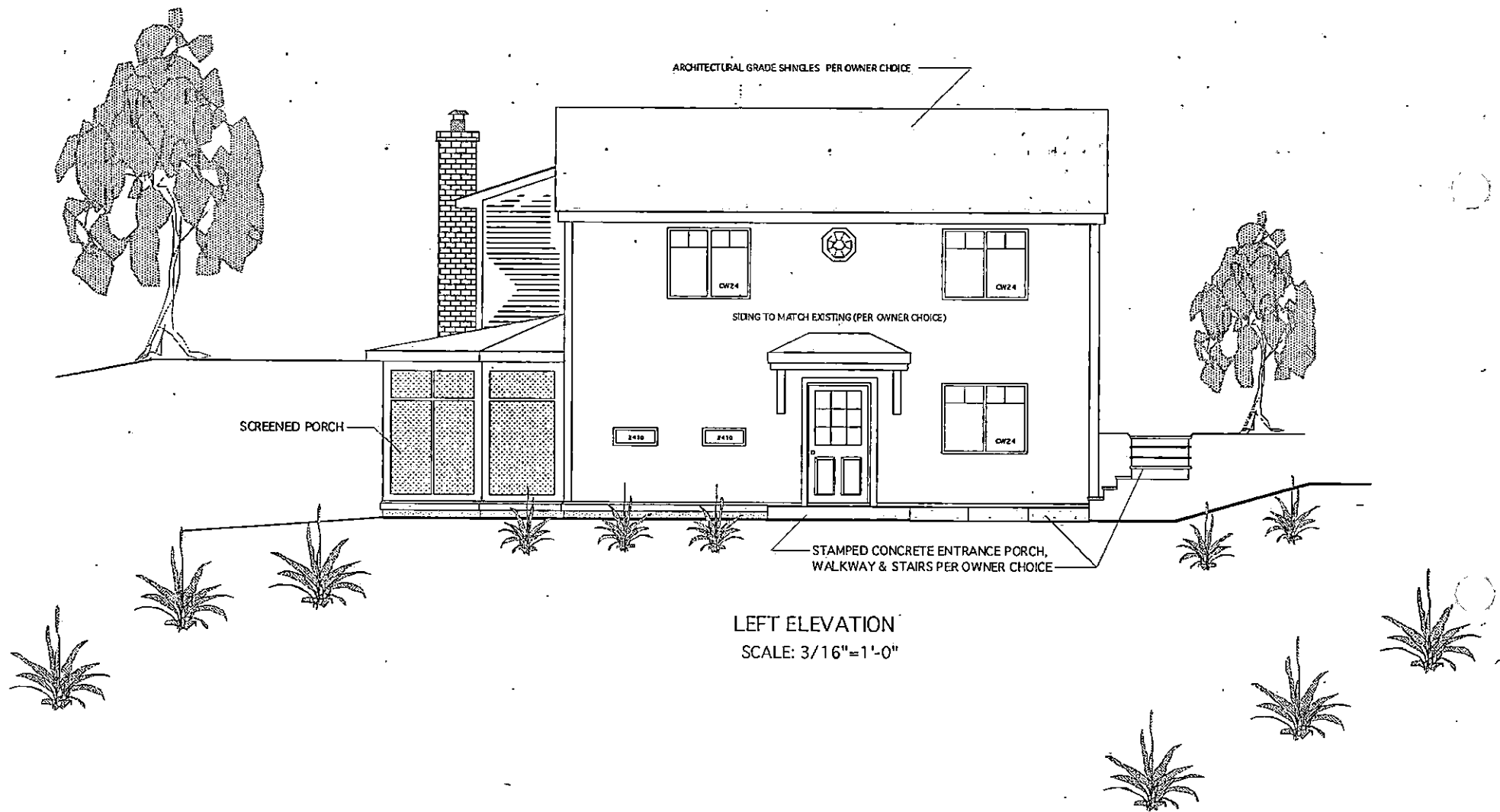
DAVID & KATIE COX



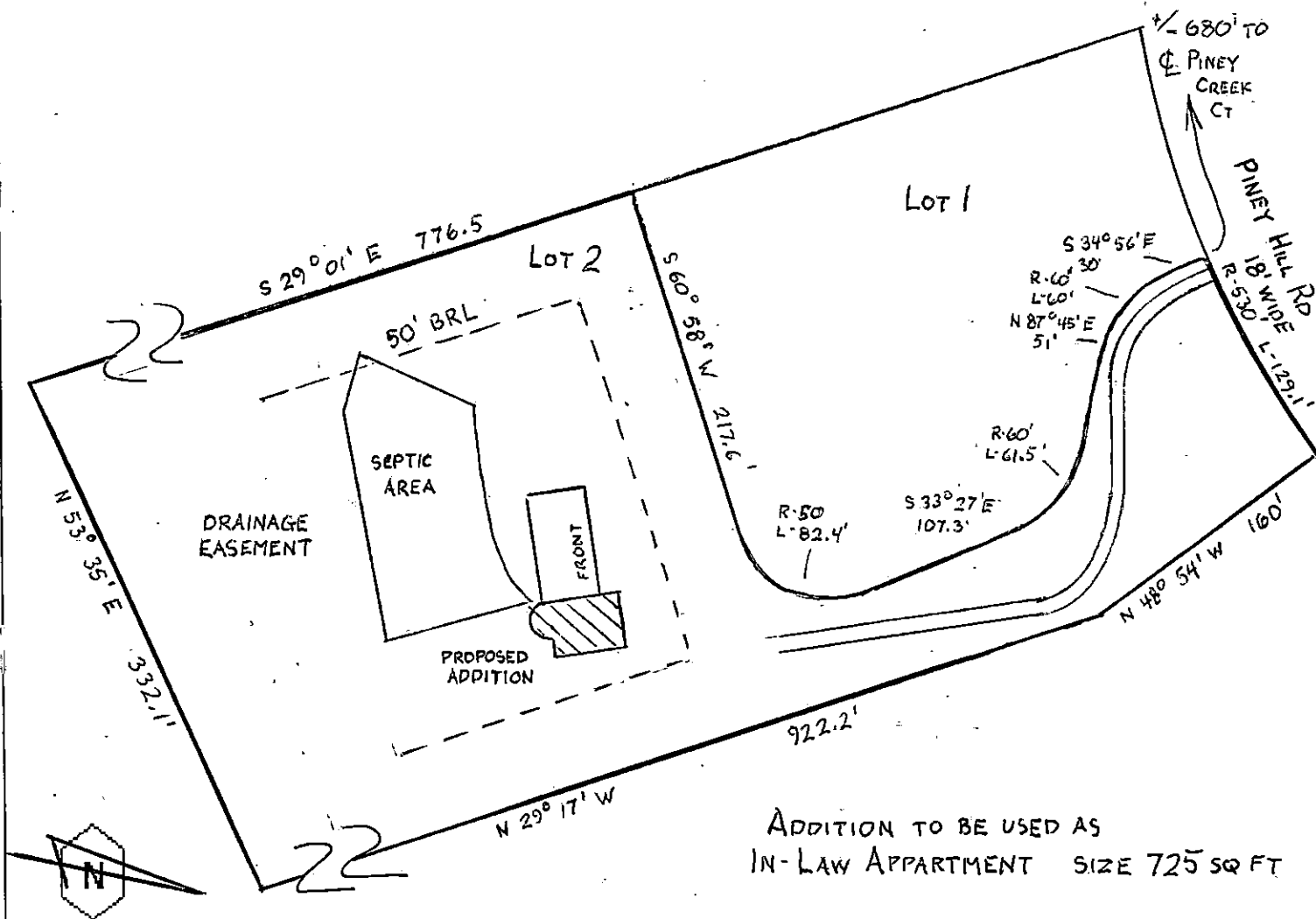
REAR ELEVATION - REV OPT A

SCALE: 3/16"=1'-0"

DAVID & KATIE COX



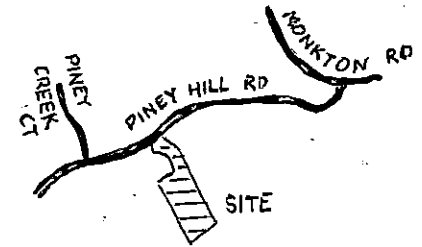
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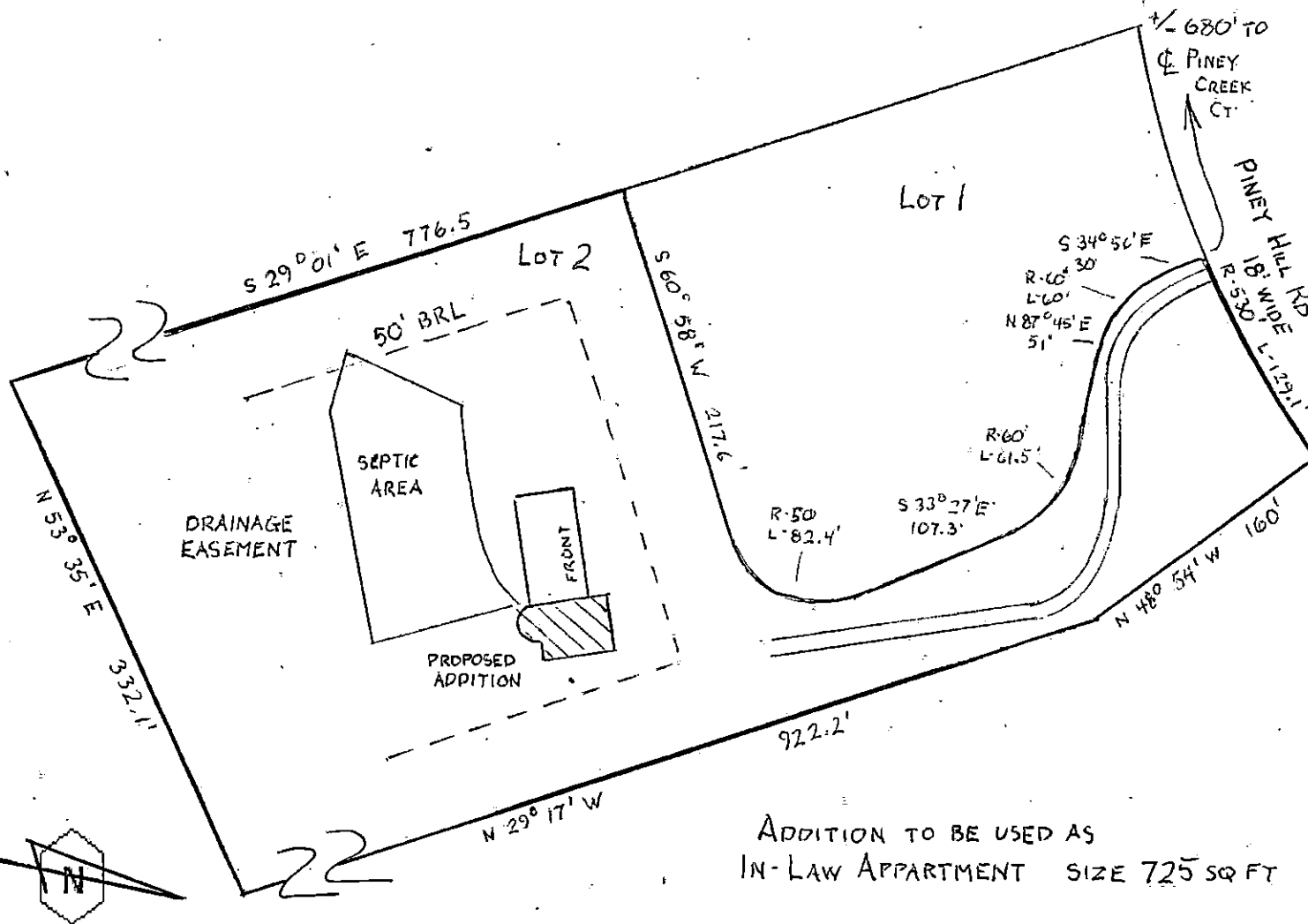
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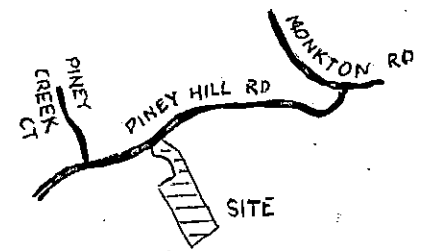
R.D.

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