

M E M O R A N D U M

DATE: January 10, 2017
TO: Zoning Review Office
FROM: Office of Administrative Hearings
RE: Case No. 2017-0089-SPHA- Appeal Period Expired

The appeal period for the above-referenced case expired on January 9, 2017. There being no appeal filed, the subject file is ready for return to the Zoning Review Office and is placed in the 'pick up box.'

c: ✓ Case File
Office of Administrative Hearings

IN RE: **PETITIONS FOR SPECIAL HEARING *
AND VARIANCE**

(5637 Baltimore National Pike) *

1st Election District *

1st Council District *

Beard Properties, LLC *

Legal Owner *

McDonald's Corporation, *Lessee* *

Petitioners *

BEFORE THE

OFFICE OF

ADMINISTRATIVE HEARINGS

FOR BALTIMORE COUNTY

Case No. 2017-0089-SPHA

* * * * *

OPINION AND ORDER

This matter comes before the Office of Administrative Hearings (OAH) for consideration of Petitions for Special Hearing and Variance filed on behalf of Beard Properties, LLC, legal owner and McDonald's Corporation, lessee ("Petitioners"). The Special Hearing was filed pursuant to § 500.7 of the Baltimore County Zoning Regulations ("B.C.Z.R") to approve the amendment of Zoning Case No. 1999-0140-A. In addition, a Petition for Variance seeks: (1) To permit 39 off-street parking spaces in lieu of the required 70 parking spaces; (2) To permit a directional sign of 11.67 ft. in height in lieu of the permitted 6 ft. (Double Arm Gateway); (3) To permit 2 directional signs of 10.17 ft. in height in lieu of the permitted 6 ft. ("Order Here" Signs); (4) To permit 4 order boards of 6.75 ft. in height in lieu of the maximum permitted 6 ft.; (5) To permit 2 projected directional signs in lieu of the permitted wall-mounted or free-standing directional signs ("Window Position Signs" Signs); and (6) To permit 2 stacking spaces behind the order board in lieu of the minimum required 5 stacking spaces. A site plan was marked and accepted into evidence as Petitioners' Exhibit 5.

Professional engineer Geoff Ciniero and Martin Emmer appeared in support of the requests. Caroline L. Hecker, Esq. and Justin Williams, Esq. represented the Petitioners. There were no Protestants or interested citizens in attendance. The Petition was advertised and posted as required by the Baltimore County Zoning Regulations. No substantive Zoning Advisory Committee (ZAC) comments were received.

ORDER RECEIVED FOR FILING

Date 12/8/16

By DLN

The subject property is approximately 1.006 acres in size and is zoned BM-CCC. A McDonald's restaurant has operated at the site since the 1970s. The current building was constructed in 1999, and Petitioners propose to add a second drive-thru lane and related signage. To do so variances are required.

SPECIAL HEARING

The special hearing request is simply a "housekeeping" matter, in that Petitioners seek to amend a prior zoning Order to reflect the relief granted herein. As such the request will be granted.

VARIANCES

A variance request involves a two-step process, summarized as follows:

- (1) It must be shown the property is unique in a manner which makes it unlike surrounding properties, and that uniqueness or peculiarity must necessitate variance relief; and
- (2) If variance relief is denied, Petitioner will experience a practical difficulty or hardship.

Cromwell v. Ward, 102 Md. App. 691 (1995).

Petitioners have met this test. The property has irregular dimensions and is bisected by a private access easement, as shown on the plat admitted as Petitioners' Exhibit 3. As such it is unique. Petitioners would experience practical difficulty if the regulations were strictly interpreted because they would be unable to construct the proposed improvements. Finally, as demonstrated by the lack of County and/or community opposition, I do not believe granting the requests would have a detrimental impact upon the community. The requested signage is not excessive and is identical to that in place at numerous other McDonald's restaurants in Baltimore County and surrounding areas. With respect to the parking variance, Petitioners submitted a "Parking Survey" prepared by Traffic Concepts, Inc. which noted that a commercial parking lot is considered "full" when 90 percent of the spaces are occupied. Petitioners'

ORDER RECEIVED FOR FILING

Date 12/8/16

By Sen

Exhibit 6. Based upon on-site observations during three different time periods, the study concluded that even at peak periods the parking lot occupancy rate at this location would not exceed 80 percent.

THEREFORE, IT IS ORDERED this 8th day of December, **2016**, by this Administrative Law Judge, that the Petition for Special Hearing filed pursuant to § 500.7 of the Baltimore County Zoning Regulations ("B.C.Z.R") to approve the amendment of Zoning Case No. 1999-0140-A, in accordance with the relief granted below, be and is hereby GRANTED.

IT IS FURTHER ORDERED that the petition for variance: (1) To permit 39 off-street parking spaces in lieu of the required 70 parking spaces; (2) To permit a directional sign of 11.67 ft. in height in lieu of the permitted 6 ft. (Double Arm Gateway); (3) To permit 2 directional signs of 10.17 ft. in height in lieu of the permitted 6 ft. ("Order Here" Signs); (4) To permit 4 order boards of 6.75 ft. in height in lieu of the maximum permitted 6 ft.; (5) To permit 2 projected directional signs in lieu of the permitted wall-mounted or free-standing directional signs ("Window Position Signs" Signs); and (6) To permit 2 stacking spaces behind the order board in lieu of the minimum required 5 stacking spaces, be and is hereby GRANTED.

The relief granted herein shall be subject to and conditioned upon the following:

1. Petitioners may apply for necessary permits and/or licenses upon receipt of this Order. However, Petitioners are hereby made aware that proceeding at this time is at their own risk until 30 days from the date hereof, during which time an appeal can be filed by any party. If for whatever reason this Order is reversed, Petitioners would be required to return the subject property to its original condition.

ORDER RECEIVED FOR FILING

Date 12/8/16
By Den

Any appeal of this decision must be made within thirty (30) days of the date of this Order.



JOHN E. BEVERUNGEN
Administrative Law Judge
for Baltimore County

JEB/sln

ORDER RECEIVED FOR FILING

Date 12/8/16

By Den



PETITION FOR ZONING HEARING(S)

To be filed with the Department of Permits, Approvals and Inspections

To the Office of Administrative Law of Baltimore County for the property located at:

Address 5637 Baltimore National Pike which is presently zoned BM - CCC
 Deed References: 30235-196 10 Digit Tax Account # 2 0 0 0 0 0 7 0 6 5
 Property Owner(s) Printed Name(s) Beard Properties LLC

(SELECT THE HEARING(S) BY MARKING X AT THE APPROPRIATE SELECTION AND PRINT OR TYPE THE PETITION REQUEST)

The undersigned legal owner(s) of the property situate in Baltimore County and which is described in the description and plan attached hereto and made a part hereof, hereby petition for:

1. X a **Special Hearing** under Section 500.7 of the Zoning Regulations of Baltimore County, to determine whether or not the Zoning Commissioner should approve

the amendment of Zoning Case no. 99-140-A.

2. a **Special Exception** under the Zoning Regulations of Baltimore County to use the herein described property for

3. X a **Variance** from Section(s)

See Attached

of the zoning regulations of Baltimore County, to the zoning law of Baltimore County, for the following reasons:
 (Indicate below your hardship or practical difficulty or indicate below "TO BE PRESENTED AT HEARING". If you need additional space, you may add an attachment to this petition)

TO BE PRESENTED AT HEARING

Property is to be posted and advertised as prescribed by the zoning regulations.

I, or we, agree to pay expenses of above petition(s), advertising, posting, etc. and further agree to and are to be bounded by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

Legal Owner(s) Affirmation: I / we do so solemnly declare and affirm, under the penalties of perjury, that I / We are the legal owner(s) of the property which is the subject of this / these Petition(s).

Contract Purchaser/Lessee:

McDonald's Corporation

Name- Type or Print

Bruce Neupman, Senior Counsel
 Signature

6903 Rockledge Drive, Suite 100 Bethesda, MD

Mailing Address City State

20817

Zip Code Telephone # Email Address

Attorney for Petitioner:

Caroline L. Hecker, Esq.

Name- Type or Print

Caroline Hecker
 Signature

25 S. Charles Street, 21st Fl., Baltimore, MD

Mailing Address City State

21201

Zip Code Telephone # Email Address

Legal Owners (Petitioners):

Beard Properties LLC

Name #1 - Type or Print

Name #2 - Type or Print

Beard Properties LLC
 Signature #1

Signature # 2

41392 Gloucester Drive, Rehoboth Beach, DE

Mailing Address City State

19971

Zip Code Telephone # Email Address

Representative to be contacted:

Caroline L. Hecker, Esq.

Name - Type or Print

Caroline Hecker
 Signature

25 S. Charles Street, 21st Fl., Baltimore, MD

Mailing Address City State

21201

Zip Code Telephone # Email Address

CASE NUMBER 2017-0089-SPHA Filing Date 10/3/16

ORDER RECEIVED FOR FILING

Do Not Schedule Dates:

Reviewer *RJ*

Date 12/8/16

REV. 10/4/11

By Sen

Attachment

Petition for Variance

5637 Baltimore National Pike

Variance Relief is Requested from the Following Sections of the BCZR:

1. Section 409.6.A.2 to permit 39 off-street parking spaces in lieu of the required 70 parking spaces.
2. Section 450.4 Attachment 1, 3(b)(VII) to permit a directional sign of 11.67 feet in height in lieu of the permitted 6 feet (Double Arm Gateway).
3. Section 450.4 Attachment 1, 3(b)(VII) to permit 2 directional signs of 10.17 feet in height in lieu of the permitted 6 feet ("Order Here" Signs).
4. Section 450.4 Attachment 1, 5(f)(VII) to permit 4 order boards of 6.75 feet in height in lieu of the maximum permitted 6 feet.
5. Section 450.4 Attachment 1, 3(II) to permit 2 projected directional signs in lieu of the permitted wall-mounted or free-standing directional signs ("Window Position Signs" Signs).
6. Section 409.10.A to permit 2 stacking spaces behind the order board in lieu of the minimum required 5 stacking spaces.

Petition for Special Hearing

5637 Baltimore National Pike

Special Hearing is requested to determine whether or not the Administrative Law Judge should approval the amendment of Zoning Case No. 1999-0140-A.

METES AND BOUNDS DESCRIPTION

Lot 3

Paal Property

All of that parcel or tract of land located in the 1st Election District of Baltimore County, Maryland, being all of that parcel of land conveyed to Beard Properties, LLC, A Maryland limited liability company, from Rutland B. Paal, party of the first part, by Deed, dated November 30, 2010, recorded among the Land Records of Baltimore County, Maryland in Liber 30235 at Folio 196, said parcel being Lot C as shown and included on a Subdivision Record Plat, titled Subdivision Plat of the Paal Property, which plat is recorded among the aforesaid Land Records in Plat Book EHK,Jr. 53 at Folio 14, said parcel being more particularly described as follows:

Beginning for the same at a point being the northernmost corner of said Lot C on the southern right-of-way line of Baltimore National Pike, said point being labeled number 2 on said Plat; then leaving said right-of-way along the outline of said Lot C the following six courses and distances

1. South 2° 57' 36" West 202.92 feet to the point labeled number 3 on said plat; then
2. South 73° 27' 36" West 188.12 feet to the point labeled number 14 on said plat; then
3. South 73° 27' 36" West 30.68 feet to the point labeled number 11 on said plat; then
4. North 4° 29' 20" West 190.50 feet to the point labeled number 12 on said plat, said point also being on the southern right-of-way of said Baltimore National Pike; then with a portion of said right-of-way
5. North 72° 18' 13" East 30.82 feet to the point labeled number 13; then continuing with a portion of said right-of-way
6. North 72° 18' 13" East 215.99 feet to the point of beginning containing a computed area of 43,813 Square Feet or 1.0058 Acres of land.

Subject to a 30' Private Access Easement established by Plat Book EHK,Jr. 53 at Folio 14.



Two year MDLLR Professional Land Surveyor's
License Renewal Date: 11/29/2017

Item #0089



501 N. Calvert St., P.O. Box 1377
Baltimore, Maryland 21278-0001
tel: 410/332-6000
800/829-8000

WE HEREBY CERTIFY, that the annexed advertisement of Order No 4589565

Sold To:

ROSENBERG MARTIN GREENBERG LLP - CU00193689
25 S Charles St 21st Floor
BALTIMORE, MD 21201

Bill To:

ROSENBERG MARTIN GREENBERG LLP - CU00193689
25 S Charles St 21st Floor
BALTIMORE, MD 21201



Was published in "Jeffersonian", "Bi-Weekly", a newspaper printed and published in Baltimore County on the following dates:

Nov 15, 2016

The Baltimore Sun Media Group

By

S. Wilkinson

Legal Advertising

32616

NOTICE OF ZONING HEARING

The Administrative Law Judge of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County will hold a public hearing in Towson, Maryland on the property identified herein as follows:

Case: # 2017-0089-SPHA
5637 Baltimore National Pike
S/s Baltimore National Pike, 50 ft. W/of Old Frederick Road
1st Election District - 1st Councilmanic District
Legal Owner(s) Beard Properties, LLC
Contract Purchaser(s): McDonald's Corporation

Special Hearing: to determine whether or not the Administrative Law Judge should approve the amendment of Zoning Case No. 1999-0140-A, Variance to 1. To permit 39 off-street parking spaces in lieu of the required 70 parking spaces. 2. To permit a directional sign of 11.67 ft. in height in lieu of the permitted 6 ft. (Double Arm Gateway). 3. To permit 2 directional signs of 10.17 ft. in height in lieu of the permitted 6 ft ("Order Here" Signs). 4. To permit 4 order boards of 6.75 ft. in height in lieu of the maximum permitted 6. ft. 5. To permit 2 projected directional signs in lieu of the permitted wall-mounted or free-standing directional signs ("Window Position Signs" Signs). 6. To permit 2 stacking spaces behind the order board in lieu of the minimum required 5 stacking spaces.

Hearing: Tuesday, December 6, 2016 at 1:30 p.m. in Room 205, Jefferson Building, 105 West Chesapeake Avenue, Towson 21204.

ARNOLD JABLON, DIRECTOR OF PERMITS, APPROVALS AND INSPECTIONS FOR BALTIMORE COUNTY

NOTES: (1) Hearings are Handicapped Accessible; for special accommodations Please Contact the Administrative Hearings Office at (410) 887-3868.
(2) For information concerning the File and/or Hearing, Contact the Zoning Review Office at (410) 887-3391.

11/17/09 November 15 4589565

CERTIFICATE OF POSTING

RE: Case No. 2017-0089-SPHA

Petitioner: Caroline Hecker, attorney

Hearing Date: 12/6/16

Baltimore County Department of
Permits, Approvals and Inspections
Room 111, County Office Building
111 W. Chesapeake Ave.
Towson, Md. 21204

This letter is to confirm, under penalties of perjury, that the necessary sign(s)
were posted conspicuously on the property located at _____

5637 Baltimore National Pike

_____ on 11/16/16

Sincerely,



Richard E. Hoffman

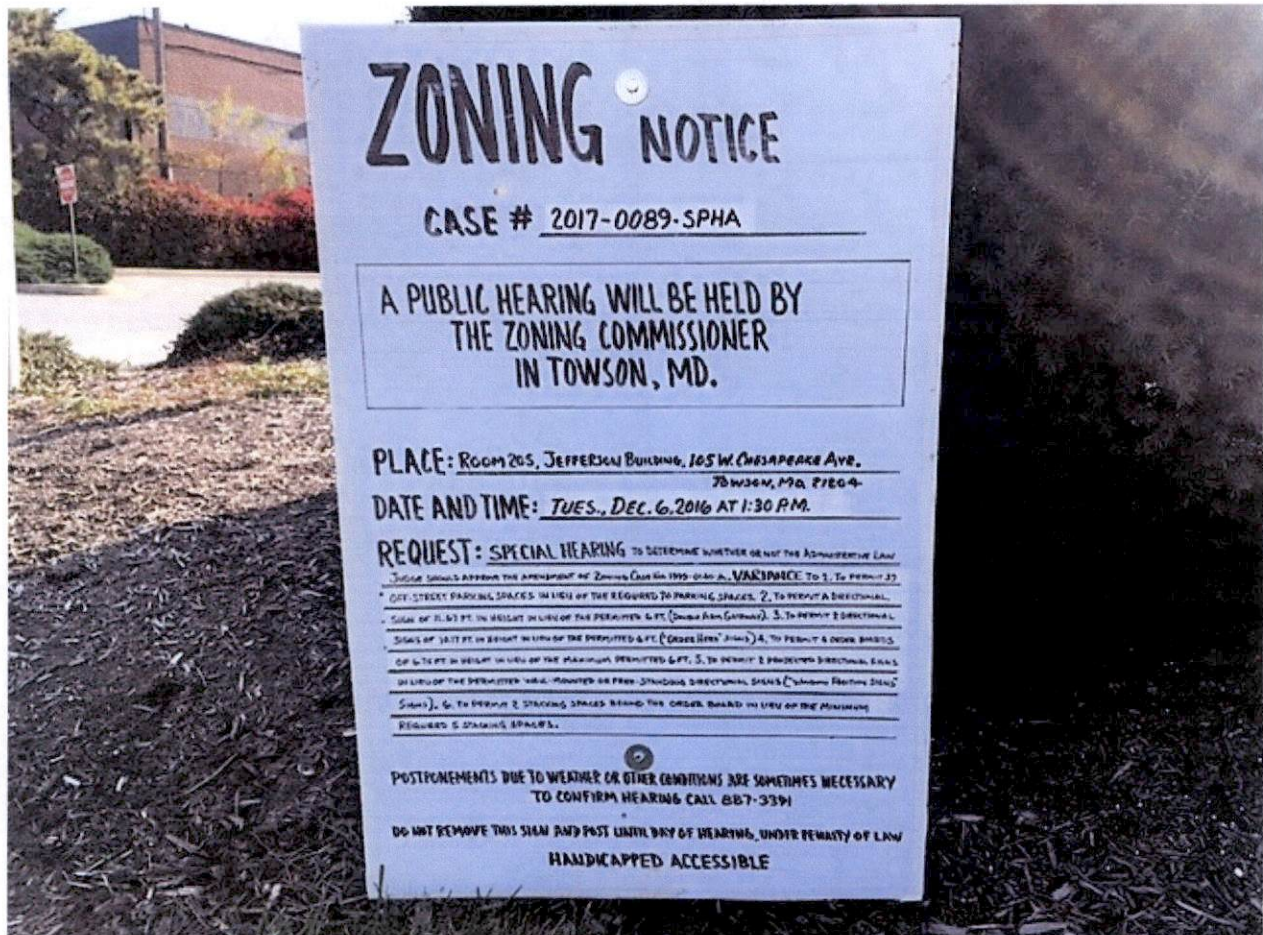
904 Dellwood Drive

Fallston, Md. 21047

(443) 243-7360

Certificate of Posting

Case No. 2017-0089-SPHA



5637 Baltimore National Pike (1 of 2)

(Posted 11/16/16)

Richard E. Hoffman

904 Dellwood Drive

Fallston, Md. 21047

443-243-7360

Certificate of Posting

Case No. 2017-0089-SPHA

PLACE: ROOM 205, JEFFERSON BUILDING, 105 W. CHESAPEAKE AVE.
TOWSON, MD. 21204

DATE AND TIME: TUES., DEC. 6, 2016 AT 1:30 P.M.

REQUEST: SPECIAL HEARING TO DETERMINE WHETHER OR NOT THE ADMINISTRATIVE LAW
JUDGE SHOULD APPROVE THE AMENDMENT OF ZONING CASE No. 1999-0140-A. VARIANCE TO 1. TO PERMIT 39
OFF-STREET PARKING SPACES IN LIEU OF THE REQUIRED 70 PARKING SPACES. 2. TO PERMIT A DIRECTIONAL
SIGN OF 11.67 FT. IN HEIGHT IN LIEU OF THE PERMITTED 6 FT. (DOUBLE ARM GATEWAY). 3. TO PERMIT 2 DIRECTIONAL
SIGNS OF 10.17 FT. IN HEIGHT IN LIEU OF THE PERMITTED 6 FT. ("ORDER HERE" SIGNS) 4. TO PERMIT 4 ORDER BOARDS
OF 6.75 FT IN HEIGHT IN LIEU OF THE MAXIMUM PERMITTED 6 FT. 5. TO PERMIT 2 PROJECTED DIRECTIONAL SIGNS
IN LIEU OF THE PERMITTED WALL-MOUNTED OR FREE-STANDING DIRECTIONAL SIGNS ("WINDOW POSITION SIGNS"
SIGNS). 6. TO PERMIT 2 STACKING SPACES BEHIND THE ORDER BOARD IN LIEU OF THE MINIMUM
REQUIRED 5 STACKING SPACES.

POSTPONEMENTS DUE TO WEATHER OR OTHER CONDITIONS ARE SOMETIMES NECESSARY
TO CONFIRM HEARING CALL 887-3391

DO NOT REMOVE THIS SIGN AND POST UNTIL DAY OF HEARING, UNDER PENALTY OF LAW
HANDICAPPED ACCESSIBLE

5637 Baltimore National Pike (2 of 2)

(Posted 11/16/16)

 11/16/16

Richard E. Hoffman

904 Dellwood Drive

Fallston, Md. 21047

443-243-7360



KEVIN KAMENETZ
County Executive

November 9, 2016

ARNOLD JABLON
Deputy Administrative Officer
Director, Department of Permits,
Approvals & Inspections

NOTICE OF ZONING HEARING

The Administrative Law Judge of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing in Towson, Maryland on the property identified herein as follows:

CASE NUMBER: 2017-0089-SPHA

5637 Baltimore National Pike

S/s Baltimore National Pike, 50 ft. W/of Old Frederick Road

1st Election District – 1st Councilmanic District

Legal Owners: Beard Properties, LLC

Contract Purchaser: McDonald's Corporation

Special Hearing to determine whether or not the Administrative Law Judge should approve the amendment of Zoning Case No. 1999-0140-A. **Variance** to 1. To permit 39 off-street parking spaces in lieu of the required 70 parking spaces. 2. To permit a directional sign of 11.67 ft. in height in lieu of the permitted 6 ft. (Double Arm Gateway). 3. To permit 2 directional signs of 10.17 ft. in height in lieu of the permitted 6 ft. ("Order Here" Signs). 4. To permit 4 order boards of 6.75 ft. in height in lieu of the maximum permitted 6 ft. 5. To permit 2 projected directional signs in lieu of the permitted wall-mounted or free-standing directional signs ("Window Position Signs" Signs). 6. To permit 2 stacking spaces behind the order board in lieu of the minimum required 5 stacking spaces.

Hearing: Tuesday, December 6, 2016 at 1:30 p.m. in Room 205, Jefferson Building,
105 West Chesapeake Avenue, Towson 21204

A handwritten signature in black ink, appearing to read "Arnold Jablon".

Arnold Jablon
Director

AJ:kl

C: Caroline Hecker, 25 S. Charles Street, 21st Fl, Baltimore 21201
McDonald's Corporation, 6903 Rockledge Dr., Ste. 100, Bethesda 20817
Beard Properties, LLC, 41392 Gloucester Drive, Rehoboth Beach DE 19971

- NOTES: (1) **THE PETITIONER MUST HAVE THE ZONING NOTICE SIGN POSTED BY AN APPROVED POSTER ON THE PROPERTY BY WEDNESDAY, NOVEMBER 16, 2016.**
- (2) **HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMMODATIONS PLEASE CALL THE ADMINISTRATIVE HEARINGS OFFICE AT 410-887-3868.**
- (3) **FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THE ZONING REVIEW OFFICE AT 410-887-3391.**

Zoning Review | County Office Building

111 West Chesapeake Avenue, Room 111 | Towson, Maryland 21204 | Phone 410-887-3391 | Fax 410-887-3048

www.baltimorecountymd.gov

TO: PATUXENT PUBLISHING COMPANY
Tuesday, November 15, 2016 Issue - Jeffersonian

Please forward billing to:

Maggie Giordano
Rosenberg, Martin, Greenberg
25 S. Charles Street, 21st Fl.
Baltimore, MD 21201

410-727-6600

NOTICE OF ZONING HEARING

The Administrative Law Judge of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing in Towson, Maryland on the property identified herein as follows:

CASE NUMBER: 2017-0089-SPHA

5637 Baltimore National Pike
S/s Baltimore National Pike, 50 ft. W/of Old Frederick Road
1st Election District – 1st Councilmanic District
Legal Owners: Beard Properties, LLC
Contract Purchaser: McDonald's Corporation

Special Hearing to determine whether or not the Administrative Law Judge should approve the amendment of Zoning Case No. 1999-0140-A. **Variance** to 1. To permit 39 off-street parking spaces in lieu of the required 70 parking spaces. 2. To permit a directional sign of 11.67 ft. in height in lieu of the permitted 6 ft. (Double Arm Gateway). 3. To permit 2 directional signs of 10.17 ft. in height in lieu of the permitted 6 ft. ("Order Here" Signs). 4. To permit 4 order boards of 6.75 ft. in height in lieu of the maximum permitted 6 ft. 5. To permit 2 projected directional signs in lieu of the permitted wall-mounted or free-standing directional signs ("Window Position Signs" Signs). 6. To permit 2 stacking spaces behind the order board in lieu of the minimum required 5 stacking spaces.

Hearing: Tuesday, December 6, 2016 at 1:30 p.m. in Room 205, Jefferson Building,
105 West Chesapeake Avenue, Towson 21204



Arnold Jablon
Director of Permits, Approvals and Inspections for Baltimore County

- NOTES: (1) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMODATIONS, PLEASE CONTACT THE ADMINISTRATIVE HEARINGS OFFICE AT 410-887-3868.
- (2) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THE ZONING REVIEW OFFICE AT 410-887-3391.

RE: PETITION FOR SPECIAL HEARING * BEFORE THE OFFICE
AND VARIANCE
5637 Baltimore National Pike; S/S Baltimore * OF ADMINISTRATIVE
National Pike, 50' W of c/line Old Frederick Rd * HEARINGS FOR
1st Election & 1st Councilmanic Districts * BALTIMORE COUNTY
Legal Owner(s): Beard Properties LLC
Contract Purchaser(s): McDonald's Corporation*
Petitioner(s) * 2017-089-SPHA

* * * * *

ENTRY OF APPEARANCE

Pursuant to Baltimore County Charter § 524.1, please enter the appearance of People's Counsel for Baltimore County as an interested party in the above-captioned matter. Notice should be sent of any hearing dates or other proceedings in this matter and the passage of any preliminary or final Order. All parties should copy People's Counsel on all correspondence sent and all documentation filed in the case.

RECEIVED
NOV 14 2016

Peter Max Zimmerman

PETER MAX ZIMMERMAN
People's Counsel for Baltimore County

Carole S. Demilio

CAROLE S. DEMILIO
Deputy People's Counsel
Jefferson Building, Room 204
105 West Chesapeake Avenue
Towson, MD 21204
(410) 887-2188

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that on this 14th day of November, 2016, a copy of the foregoing Entry of Appearance was mailed to Caroline L. Hecker, Esquire, 25 S. Charles Street, 21st Floor, Baltimore, Maryland 21201, Attorney for Petitioner(s).

Peter Max Zimmerman

PETER MAX ZIMMERMAN
People's Counsel for Baltimore County

DEPARTMENT OF PERMITS, APPROVALS AND INSPECTIONS
ZONING REVIEW OFFICE

ADVERTISING REQUIREMENTS AND PROCEDURES FOR ZONING HEARINGS

The Baltimore County Zoning Regulations (BCZR) require that notice be given to the general public/neighbor property owners relative to property which is the subject of an upcoming zoning hearing. For those petitions which require a public hearing, this notice is accomplished by posting a sign on the property (responsibility of the legal owner/petitioner) and placement of a notice in a newspaper of general circulation in the County, both at least twenty (20) days before the hearing.

Zoning Review will ensure that the legal requirements for advertising are satisfied. However, the legal owner/petitioner is responsible for the costs associated with these requirements. The newspaper will bill the person listed below for the advertising. This advertising is due upon receipt and should be remitted directly to the newspaper.

OPINIONS MAY NOT BE ISSUED UNTIL ALL ADVERTISING COSTS ARE PAID.

For Newspaper Advertising:

Case Number: 2017-0089-SPHA
Property Address: 5637 Balto Nat'l Pike
Property Description: south side Balto Nat'l Pike, +/- 50'
west of Old Frederick Rd
Legal Owners (Petitioners): Beard Prop. LLC
Contract Purchaser/Lessee: McDonald's Corp

PLEASE FORWARD ADVERTISING BILL TO:

Name: Maggie Giordano
Company/Firm (if applicable): Rosenberg Martin Greenberg, LLP
Address: 25 S. Charles Street
21st Fl.
Balt., MD 21201
Telephone Number: (410) 727-6600

Revised 7/9/2015

**BALTIMORE COUNTY, MARYLAND
OFFICE OF BUDGET AND FINANCE
MISCELLANEOUS CASH RECEIPT**

№ 145704

Date: 10/3/16

Fund	Dept	Unit	Sub Unit	Rev Source/ Obj	Sub Rev/ Obj	Dept Obj	BS Acct	Amount
001	806	0000		6150				151000

Total: 151000

Rec From: Beard Prop LLC

For: Zoning hearing - case # 2017-0089-SPHA

DISTRIBUTION

WHITE - CASHIER PINK - AGENCY YELLOW - CUSTOMER GOLD - ACCOUNTING
PLEASE PRESS HARD!!!!

PAID RECEIPT

BUSINESS ACTUAL TIME DRN
10/04/2016 10/03/2016 10:23:16 3
REG USD3 WALKIN CASH
>>RECEIPT # 699464 10/03/2016 OFLN
Dept 5 528 ZONING VERIFICATION
CR NO. 145704
Recpt Tot \$1,000.00
\$1,000.00 CR \$0.00 CA
Baltimore County, Maryland

**CASHIER'S
VALIDATION**



KEVIN KAMENETZ
County Executive

ARNOLD JABLON
*Deputy Administrative Officer
Director, Department of Permits,
Approvals & Inspections*

November 29, 2016

Beard Properties LLC
41392 Gloucester Drive
Rehoboth Beach DE 19971

RE: Case Number: 2017-0089 SPHA, Address: 5637 Baltimore National Pike

To Whom It May Concern:

The above referenced petition was accepted for processing **ONLY** by the Bureau of Zoning Review, Department of Permits, Approvals, and Inspection (PAI) on October 3, 2016. This letter is not an approval, but only a **NOTIFICATION**.

The Zoning Advisory Committee (ZAC), which consists of representatives from several approval agencies, has reviewed the plans that were submitted with your petition. All comments submitted thus far from the members of the ZAC are attached. These comments are not intended to indicate the appropriateness of the zoning action requested, but to ensure that all parties (zoning commissioner, attorney, petitioner, etc.) are made aware of plans or problems with regard to the proposed improvements that may have a bearing on this case. All comments will be placed in the permanent case file.

If you need further information or have any questions, please do not hesitate to contact the commenting agency.

Very truly yours,

A handwritten signature in black ink that reads "W. Carl Richards, Jr." The signature is stylized with a large, flowing "J" at the end.

W. Carl Richards, Jr.
Supervisor, Zoning Review

WCR: jaw

Enclosures

c: People's Counsel
Caroline L Hecker, Esquire, 25 S Charles Street, 21st Floor, Baltimore MD 21201
McDonald's Corporation, 6903 Rockledge Drive, Suite 100, Bethesda MD 20817

Larry Hogan, Governor
Boyd K. Rutherford, Lt. Governor



Pete K. Rahn, Secretary
Gregory C. Johnson, P.E., Administrator

Date: 10/11/16

Ms. Kristen Lewis
Baltimore County Department of
Permits, Approvals & Inspections
County Office Building, Room 109
Towson, Maryland 21204

Dear Ms. Lewis:

We have reviewed the site plan to accompany petition for variance on the subject of the Case number referenced below, which was received on 10/11/16. A field inspection and internal review reveals that an entrance onto US40 consistent with current State Highway Administration guidelines is not required. Therefore, SHA has no objection to approval for Variance, Case Number 2017-0089-SPHA

*Beard Properties LLC
5637 Baltimore National Pike
US40*

Should you have any questions regarding this matter feel free to contact Richard Zeller at 410-229-2332 or 1-866-998-0367 (in Maryland only) X 2332 or by email at (rzeller@sha.state.md.us).

Sincerely,

Wendy Wolcott, PLA
Acting Metropolitan District Engineer – District 4
Baltimore & Harford Counties

WW/RAZ

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE MEMORANDUM

TO: Arnold Jablon
Deputy Administrative Officer and
Director of Permits, Approvals and Inspections

DATE: October 31, 2016

FROM: Andrea Van Arsdale
Director, Department of Planning

SUBJECT: ZONING ADVISORY COMMITTEE COMMENTS
Case Number: 17-089

RECEIVED

NOV 03 2016

INFORMATION:

Property Address: 5637 Baltimore National Pike
Petitioner: Beard Properties, LLC
Zoning: BM-CCC
Requested Action: Special Hearing, Variance

OFFICE OF ADMINISTRATIVE HEARINGS

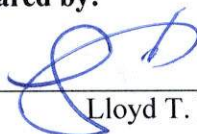
The Department of Planning has reviewed the petition for a Special Hearing to determine whether or not the Administrative Law Judge should approve the amendment of Zoning Case No. 1999-0140-SPHA and variances as listed on the attachment filed in support of said petition.

A site visit was conducted on October 17, 2016. No change is being proposed to the existing building.

The Department of Planning has no objection to granting the petitioned zoning relief.

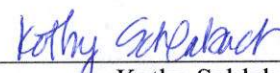
For further information concerning the matters stated herein, please contact Bill Skibinski at 410-887-3480.

Prepared by:



Lloyd T. Moxley

Division Chief:



Kathy Schlabach

AVA/KS/LTM/ka

c: Bill Skibinski
Caroline L. Hecker, Esquire
Office of the Administrative Hearings
People's Counsel for Baltimore County

BALTIMORE COUNTY, MARYLAND
INTEROFFICE CORRESPONDENCE



TO: Arnold Jablon, Director
Department of Permits, Approvals
And Inspections

FROM: *MD* Dennis A. Kennedy, Supervisor
Bureau of Development Plans Review

SUBJECT: Zoning Advisory Committee Meeting
For October 17, 2016
Item No. 2017-0089

DATE: October 17, 2016

The Bureau of Development Plans Review has reviewed the subject zoning item and we have the following comment.

Landscape and Lighting Plans are required per the requirements of the Landscape Manual.

* * * * *

DAK:~~CEN~~
Cc:file
ZAC-ITEM NO 17-0089-10172016.doc

BALTIMORE COUNTY, MARYLAND

RECEIVED

Inter-Office Correspondence

OCT 13 2016

OFFICE OF ADMINISTRATIVE HEARINGS



TO: Hon. Lawrence M. Stahl; Managing Administrative Law Judge
Office of Administrative Hearings

FROM: Jeff Livingston, Department of Environmental Protection and
Sustainability (EPS) - Development Coordination

DATE: October 13, 2016

SUBJECT: DEPS Comment for Zoning Item # 2017-0089-SPHA
Address 5637 Baltimore National Pike
(Beard Properties, LLC)

Zoning Advisory Committee Meeting of **October 17, 2016**.

X The Department of Environmental Protection and Sustainability has no
comment on the above-referenced zoning item.

Reviewer: Steve Ford

Date: 10-13-2016

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE MEMORANDUM

TO: Arnold Jablon
Deputy Administrative Officer and
Director of Permits, Approvals and Inspections

DATE: October 31, 2016

FROM: Andrea Van Arsdale
Director, Department of Planning

SUBJECT: ZONING ADVISORY COMMITTEE COMMENTS
Case Number: 17-089

INFORMATION:

Property Address: 5637 Baltimore National Pike
Petitioner: Beard Properties, LLC
Zoning: BM-CCC
Requested Action: Special Hearing, Variance

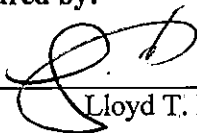
The Department of Planning has reviewed the petition for a Special Hearing to determine whether or not the Administrative Law Judge should approve the amendment of Zoning Case No. 1999-0140-SPHA and variances as listed on the attachment filed in support of said petition.

A site visit was conducted on October 17, 2016. No change is being proposed to the existing building.

The Department of Planning has no objection to granting the petitioned zoning relief.

For further information concerning the matters stated herein, please contact Bill Skibinski at 410-887-3480.

Prepared by:



Lloyd T. Moxley

Division Chief:



Kathy Schlabach

AVA/KS/LTM/ka

c: Bill Skibinski
Caroline L. Hecker, Esquire
Office of the Administrative Hearings
People's Counsel for Baltimore County

CASE NAME 5637 B&H. Nat'l Pike
CASE NUMBER 20187-0089-SPHA
DATE 12/6/16

~~CITIZEN'S SIGN - IN SHEET~~

E - MAIL

[illegible]

C H E C K L I S TComment
ReceivedDepartmentSupport/Oppose/
Conditions/
Comments/
No Comment

_____	DEVELOPMENT PLANS REVIEW (if not received, date e-mail sent _____)	_____
10/13/16	DEPS (if not received, date e-mail sent _____)	N/c
_____	FIRE DEPARTMENT	_____
10/31/16	PLANNING (if not received, date e-mail sent _____)	NO Obj
10/11/16	STATE HIGHWAY ADMINISTRATION	NO Obj
_____	TRAFFIC ENGINEERING	_____
_____	COMMUNITY ASSOCIATION	_____
_____	ADJACENT PROPERTY OWNERS	_____

ZONING VIOLATION (Case No. _____)

PRIOR ZONING (Case No. _____)

NEWSPAPER ADVERTISEMENT Date: 11/15/16

SIGN POSTING Date: 11/16/16

by Hoffmann

PEOPLE'S COUNSEL APPEARANCE Yes ☒ No ☐PEOPLE'S COUNSEL COMMENT LETTER Yes ☐ No ☐

Comments, if any: _____

Real Property Data Search Guide to searching the database

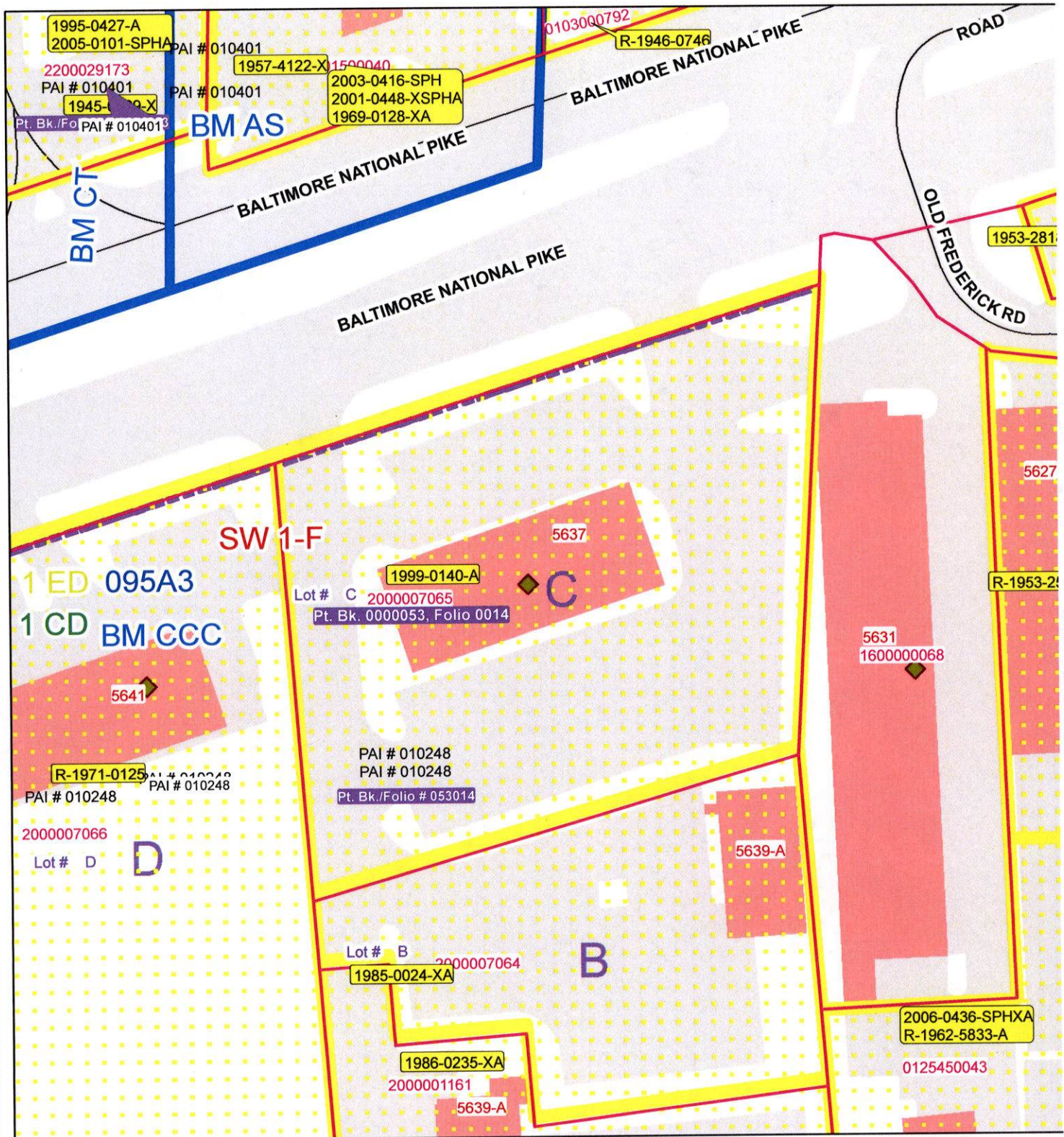
Search Result for BALTIMORE COUNTY

View Map		View GroundRent Redemption				View GroundRent Registration			
Account Identifier:		District - 01 Account Number - 2000007065							
Owner Information									
Owner Name:		BEARD PROPERTIES LLC				Use:		COMMERCIAL	
Mailing Address:		41392 GLOUCESTER DR REHOBOTH BEACH DE 19971-				Principal Residence:		NO	
						Deed Reference:		/30235/ 00196	
Location & Structure Information									
Premises Address:		5637 BALTO NATL PIKE 0-0000				Legal Description:		1.006 AC 5637 BALTO NATL PIKE PAAL PROPERTY	
Map:	Grid:	Parcel:	Sub District:	Subdivision:	Section:	Block:	Lot:	Assessment Year:	Plat No:
0095	0020	0466		0000			C	2015	Plat Ref: 0053/0014
Special Tax Areas:					Town:		NONE		
					Ad Valorem:				
					Tax Class:				
Primary Structure Built		Above Grade Enclosed Area			Finished Basement Area		Property Land Area		County Use
1999		4446					43,821 SF		24
Stories	Basement	Type		Exterior	Full/Half Bath		Garage	Last Major Renovation	
		FAST FOOD							
Value Information									
				Base Value	Value		Phase-in Assessments		
					As of		As of		As of
					01/01/2015		07/01/2016		07/01/2017
Land:				738,900	738,900				
Improvements				574,400	538,100				
Total:				1,313,300	1,277,000		1,277,000		1,277,000
Preferential Land:				0					0
Transfer Information									
Seller: PAAL RUTLAND B				Date: 12/08/2010				Price: \$0	
Type: NON-ARMS LENGTH OTHER				Deed1: /30235/ 00196				Deed2:	
Seller: DYCHALA BENJAMIN J,JR				Date: 11/19/2010				Price: \$0	
Type: NON-ARMS LENGTH OTHER				Deed1: /30156/ 00440				Deed2:	
Seller: PAAL HELEN BEARD				Date: 04/12/1991				Price: \$0	
Type: NON-ARMS LENGTH OTHER				Deed1: /08758/ 00485				Deed2:	
Exemption Information									
Partial Exempt Assessments:		Class		07/01/2016			07/01/2017		
County:		000		0.00					
State:		000		0.00					
Municipal:		000		0.00 0.00			0.00 0.00		
Tax Exempt:				Special Tax Recapture:					
Exempt Class:				NONE					
Homestead Application Information									
Homestead Application Status: No Application									

New Search (<http://sdat.dat.maryland.gov/RealProperty>)

For more information on electronic mapping applications, visit the Maryland Department of Planning web site at www.mdp.state.md.us/OurProducts/OurProducts.shtml (<http://www.mdp.state.md.us/OurProducts/OurProducts.shtml>)

5637 Baltimore National Pike



Publication Date: 10/3/2016



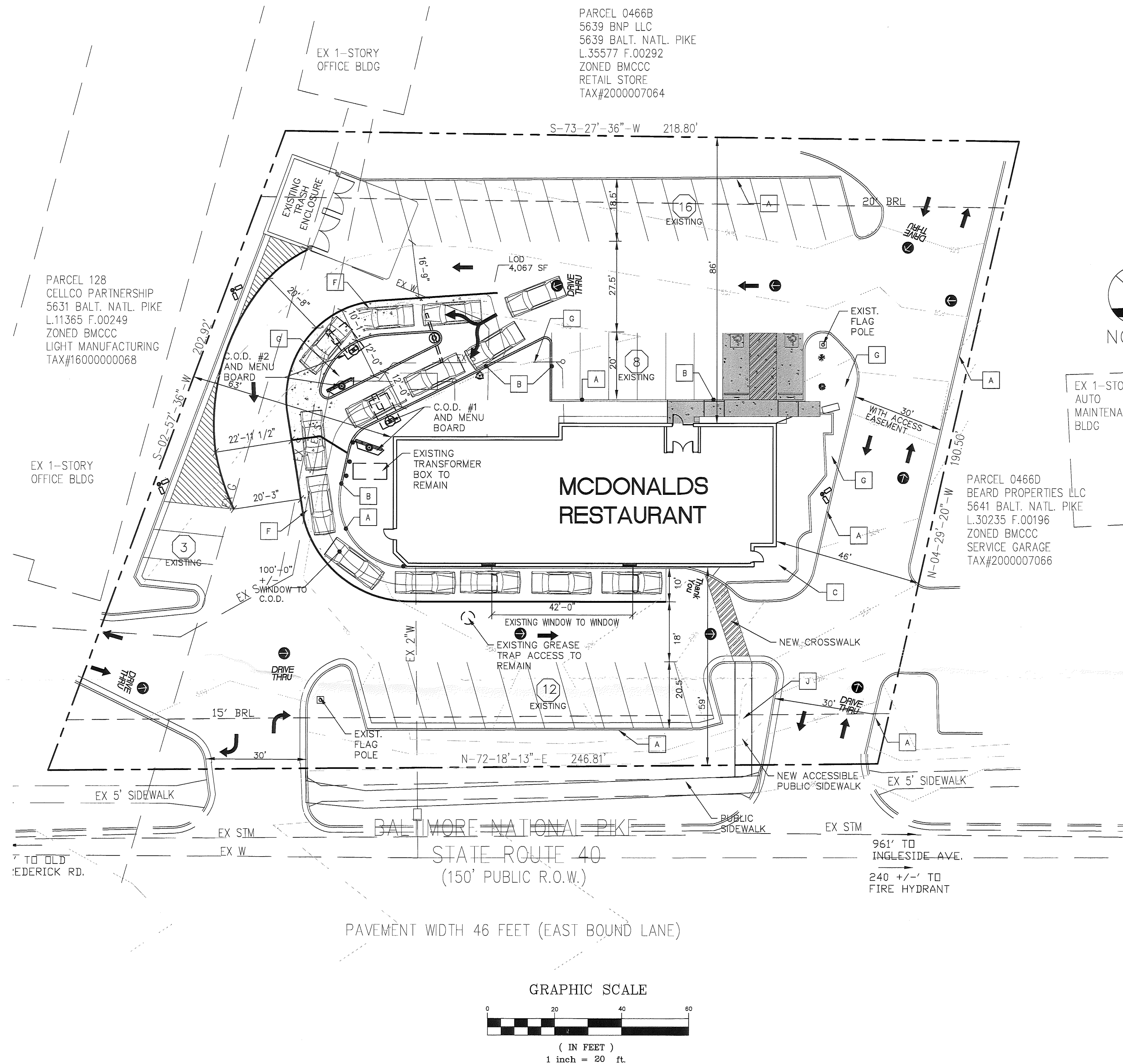
Publication Agency: Permits, Approvals & Inspections
 Projection/Datum: Maryland State Plane,
 FIPS 1900, NAD 1983/91 HARN, US Foot



0 15 30 60 90 120 Feet

1 inch = 60 feet

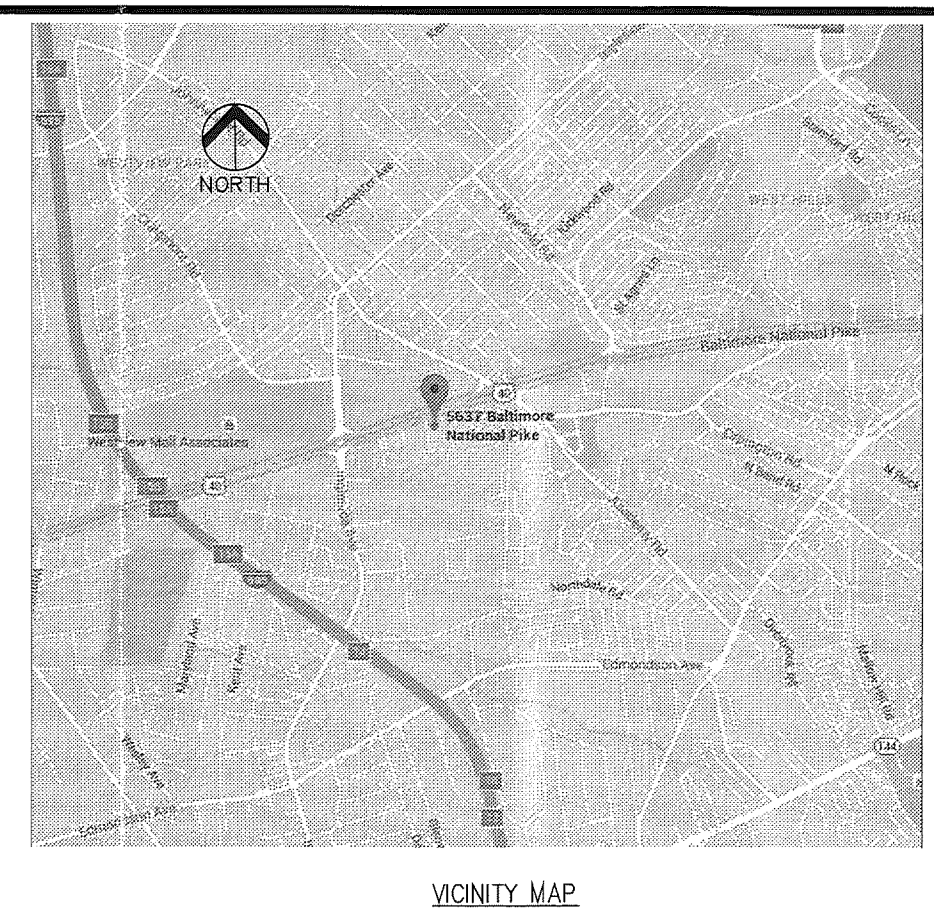
Item #0089



- GENERAL NOTES:**
- OWNER: BEARD PROPERTIES LLC
41392 GLOUCESTER DR.
REHOBOTH BEACH, DE. 19971
 - SITE AREA: 43,821 SF/ 1.006 AC
 - PARCEL: 0466
 - EXISTING BUILDING AREA: 4,361 SF
PROPOSED BUILDING AREA: 4,361 SF
 - UTILITIES:
PUBLIC WATER
PUBLIC SEWER
 - THIS SITE DOES NOT LIE WITHIN THE FLOODPLAIN AS SHOWN ON FIRM 41071C0050D DATED MARCH 02, 2010.
 - PARKING CALCULATION (RESTAURANT W/ DRIVE THRU)
REQUIREMENT: 16/1,000
4,361/1,000=4.361
4.361*16= 70 REQUIRED
WITH EXISTING VARIANCE OF 14 SPACES=56 SPACES

PROVIDED: 39 SPACES (37 REGULAR & 2 H.C.)
 - SETBACKS

	REQUIRED	EXISTING/PROVIDED
FRONT	15'	59'
SIDE	NONE	46'
REAR	20'	86'
 - HEIGHT OF STRUCTURE:
PROVIDED: 17'-11"
 - DEED REFERENCE: 30235/00196
 - TAX ACCOUNT #: 2000007065
 - ELECTION DISTRICT: 1
 - COUNTY COUNCIL DISTRICT: 1
 - WATERSHED: GWYNN FALLS
 - ZONING: BM CCC
 - ZONING MAP # 095A3
 - TAX MAP: 0095
 - PREVIOUS ZONING CASES:
1999-0140-A - DECEMBER 14, 1998 PARKING VARIANCE TO PERMIT 56 PARKING SPACES IN LIEU OF THE REQUIRED 70.
 - PREVIOUS DRC MEETINGS: None
 - FLOOR AREA RATIO FOR BM CCC:
MAXIMUM PERMITTED: 4.0
PROVIDED: 0.1
 - THE SITE DOES NOT LIE WITHIN THE CHESAPEAKE CRITICAL AREA.
 - THERE ARE NO HISTORIC FEATURES ON SITE NOR IS THE SITE ITSELF HISTORIC.
 - PERMITS OF FILE:
 - LIMIT OF DISTURBANCE = 4,561 SF
 - THIS SITE IS NOT WITHIN THE BASIC SERVICES MAP AREAS.



Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
Licence No.: 22538
Expiration Date: 11-24-17

CMS
CMS Associates LLC
4925 Ellis Lane
Ellicott City, Md 21043
(410) 988-2436
gciniero@cms-engineering.net
c/o Geoffrey Ciniero

REVISIONS		
NO.	DESCRIPTION	DATE
0	FIRST ISSUE	05/04/16

DATE: 05/04/16
SCALE: AS NOTED
BUILDING AREA NA SQ. FT.
DINING ROOM SEATING NA SQ. FT.
PROJECT # :15RA79
DRAWN BY:JDM CHECKED BY:RCG

PROJECT TITLE
ALTERATIONS TO
McDONALD'S
WESTVIEW
5637 BALTIMORE NAT'L PIKE
BALTIMORE, MD 21228
REGION: CAPITAL
LC NO. 019-0080

SHEET TITLE
SITE PLAN TO
ACCOMPANY
THE ZONING
HEARING

SHEET NO.SPL-1.00-00

- 1 SITE PLAN
SCALE: 1"=20'
- A

B

C

D

E

F

G

H

J

EXISTING CONCRETE CURB.
PROPOSED CONCRETE CURB.
EXISTING CONCRETE SIDEWALK.
RECONFIGURED CONCRETE SIDEWALK.
EXISTING CONCRETE PAD.
PROPOSED REINFORCED CONCRETE PAD.
EXISTING LANDSCAPE.
PROPOSED LANDSCAPED.
PROPOSED SIDEWALK.
- 2 SITE PLAN KEYED NOTES
SCALE: N.T.S.

- GENERAL SITE NOTES:
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT LOCAL, STATE AND FEDERAL REGULATIONS.
 - THE EXISTING UTILITIES AND OBSTRUCTIONS SHOWN ARE FROM THE BEST AVAILABLE RECORDS AND SHALL BE VERIFIED BY THE CONTRACTOR TO HIS SATISFACTION PRIOR TO CONSTRUCTION. NECESSARY PRECAUTIONS SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING SERVICES AND MAINS, AND ANY DAMAGE TO THEM SHALL BE REPAIRED IMMEDIATELY AT HIS OWN EXPENSE.
 - IT SHALL BE UNDERSTOOD THAT THE CONTRACTOR IS REQUIRED TO COMPLETE ALL WORK THAT IS DISCUSSED WITH THE ACD AND IS REQUIRED BY McDONALD'S STANDARD SPECIFICATIONS, REGARDLESS OF INCLUSION OF SAID WORK ON DOCUMENTS.
 - NO UTILITY, SEWER, WATER OR STORM DRAINAGE CONSTRUCTION IS ANTICIPATED AS PART OF SITE IMPROVEMENTS, UNLESS NOTED OTHERWISE.
 - AREAS INDICATED AS HANDICAPPED PARKING SPACES, LANDINGS AND CROSSWALKS WILL BE CONSTRUCTED AT GRADE, NOT TO EXCEED 1.8% SLOPE IN ANY DIRECTION, UNLESS INDICATED ON SITE PLAN.
 - CONTRACTOR SHALL REMOVE AND REPLACE ONLY THAT ASPHALT PAVEMENT NECESSARY TO CONSTRUCT IMPROVEMENT SHOWN ON THE SITE PLAN. THE CONTRACTOR SHALL MILL AND REPLACE EXISTING ASPHALT PAVEMENT, IF NECESSARY, TO PROVIDE POSITIVE DRAINAGE AND SMOOTH TRANSITION TO AND FROM IMPROVEMENTS. ONCE CONSTRUCTION HAS BEEN COMPLETED, CONTRACTOR SHALL SEAL COAT ASPHALT PARKING AREA AND STRIPE PARKING LOT AS SHOWN ON SITE PLAN.
- = NEW CONCRETE CURB RAMPS, CONCRETE PAD AND WALKWAY

- 3 SITE PLAN GENERAL NOTES
SCALE: N.T.S.

#2017-0089-SPHA
R.D.T.



CMS
CMS Associates LLC

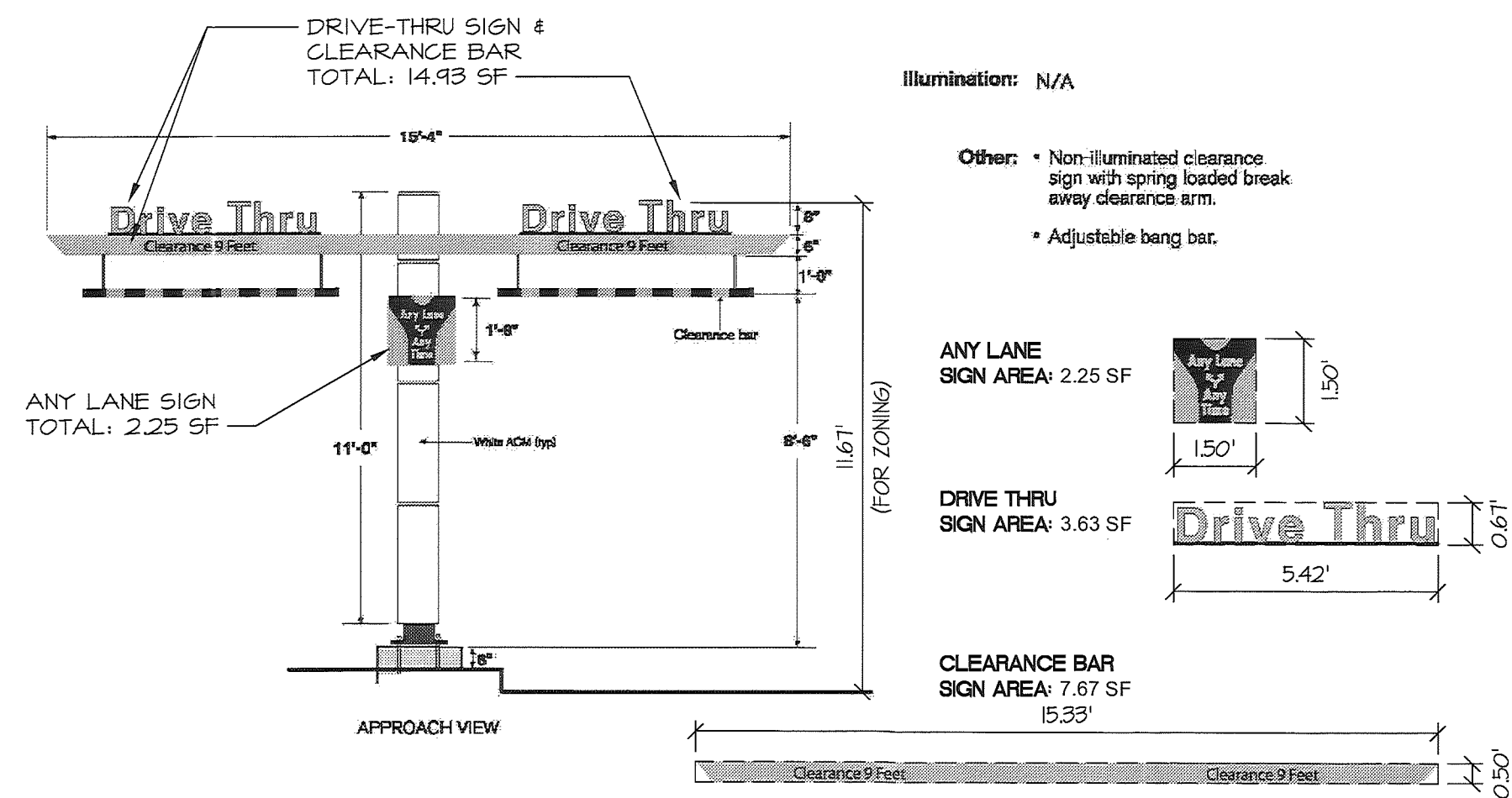
4925 Ellis Lane
Ellicott City, Md 21043
(410) 988-2436
gciniero@cms-engineering.net
c/o Geoffrey Ciniero

[illegible]

PROJECT TITLE
ALTERATIONS TO
McDONALD'S
WESTVIEW
5637 BALTIMORE NAT'L PIKE
BALTIMORE, MD 21228
REGION: CAPITAL
LC NO. 019-0080

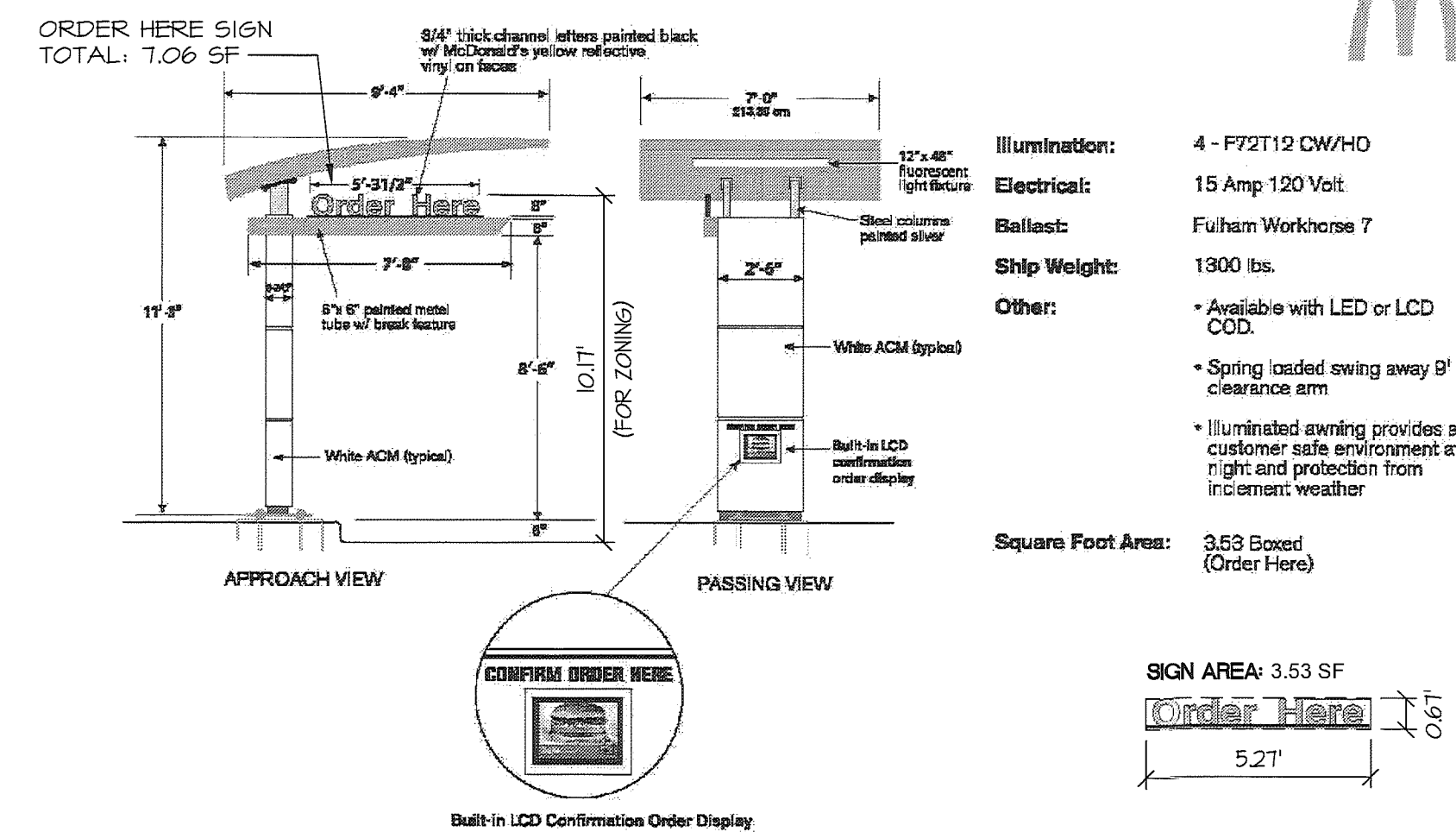
SHEET NO. SIGN 2

Double Welcome Point Gateway



NOT USED

Drive-Thru Twin Pole Canopy w/ Built-In COD (Preferred)
LCD Confirmation Order Display



DOUBLE WELCOME GATEWAY

SCALE: N.T.S.

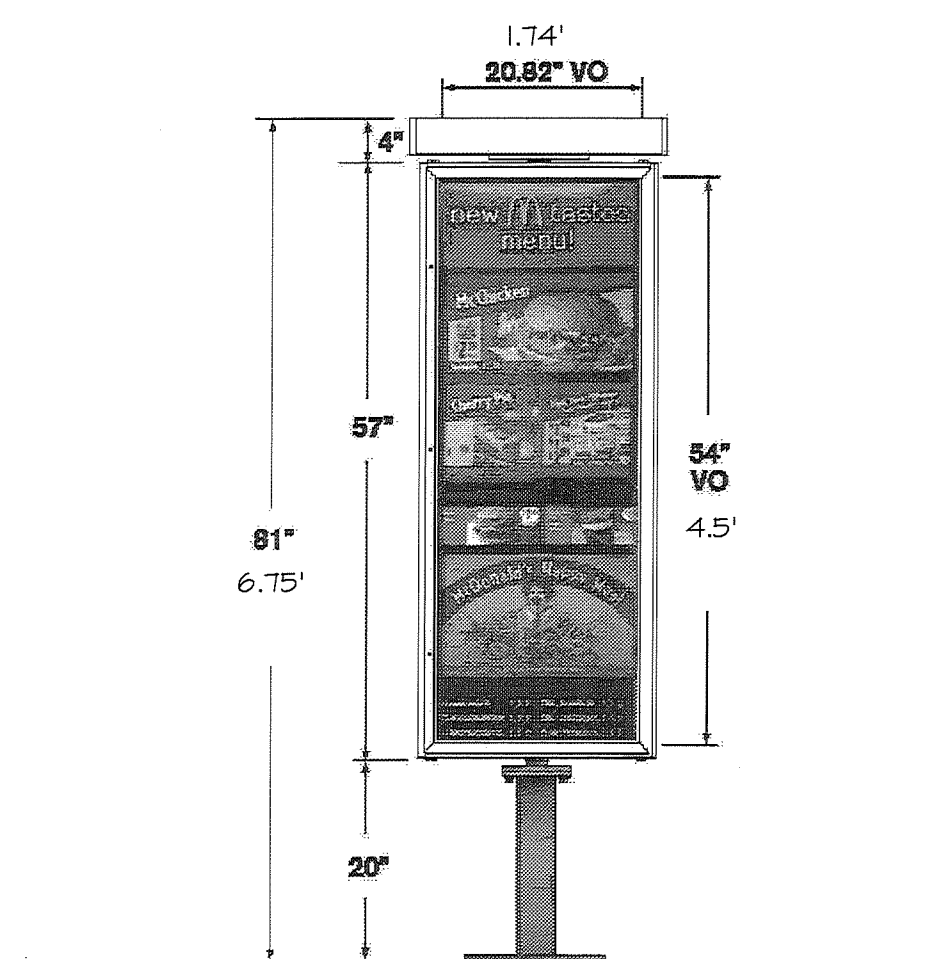
INTEGRATED MENU BOARD

SCALE: N.T.S.

ORDER HERE CANOPY

SCALE: N.T.S.

OPO Pre-Sell Board



Illumination: LED

Electrical: First Circuit: 120V/1/60, 15 amp
Second Circuit: 120V/1/60, 15 amp

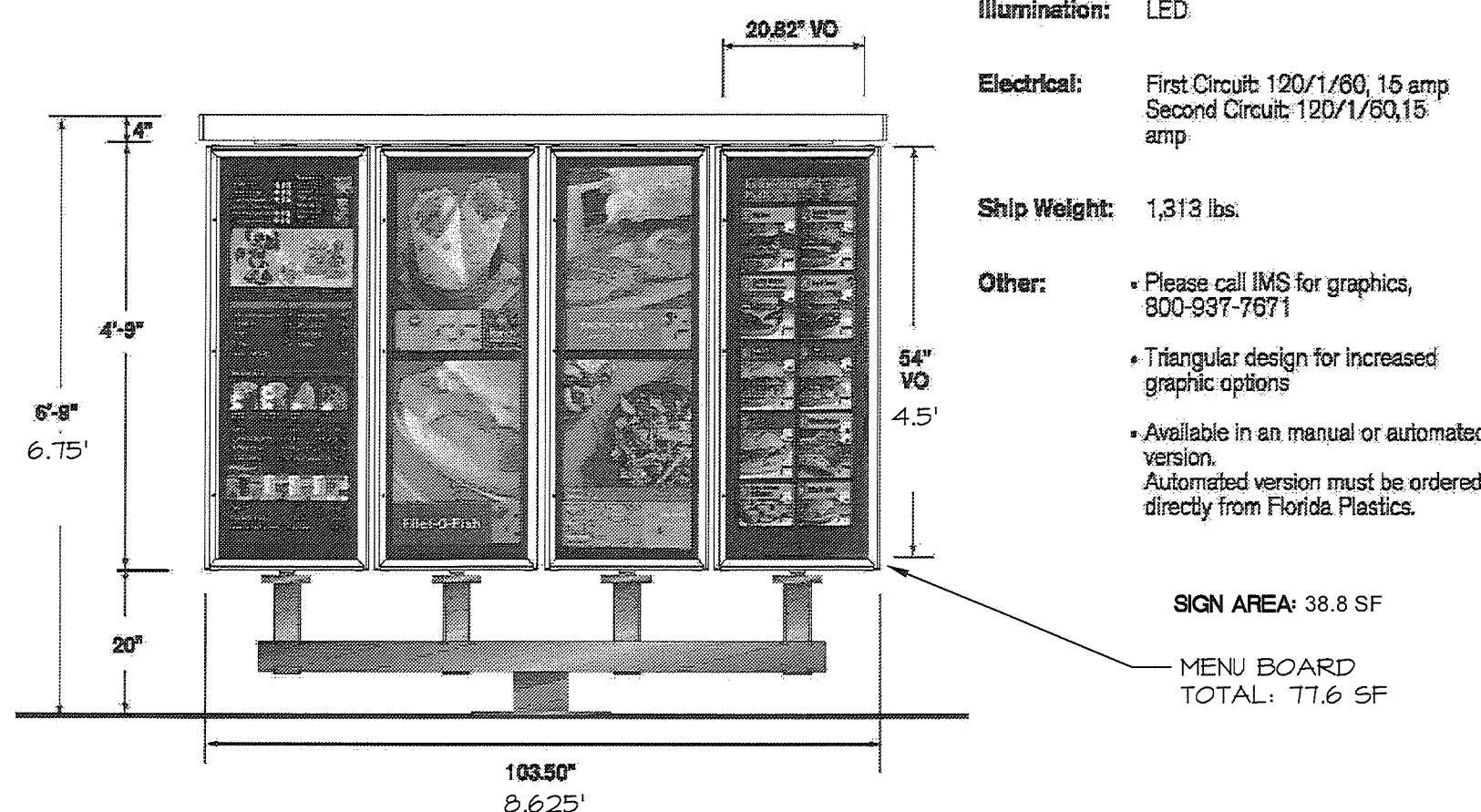
Ship Weight: 243 lbs.

Other:

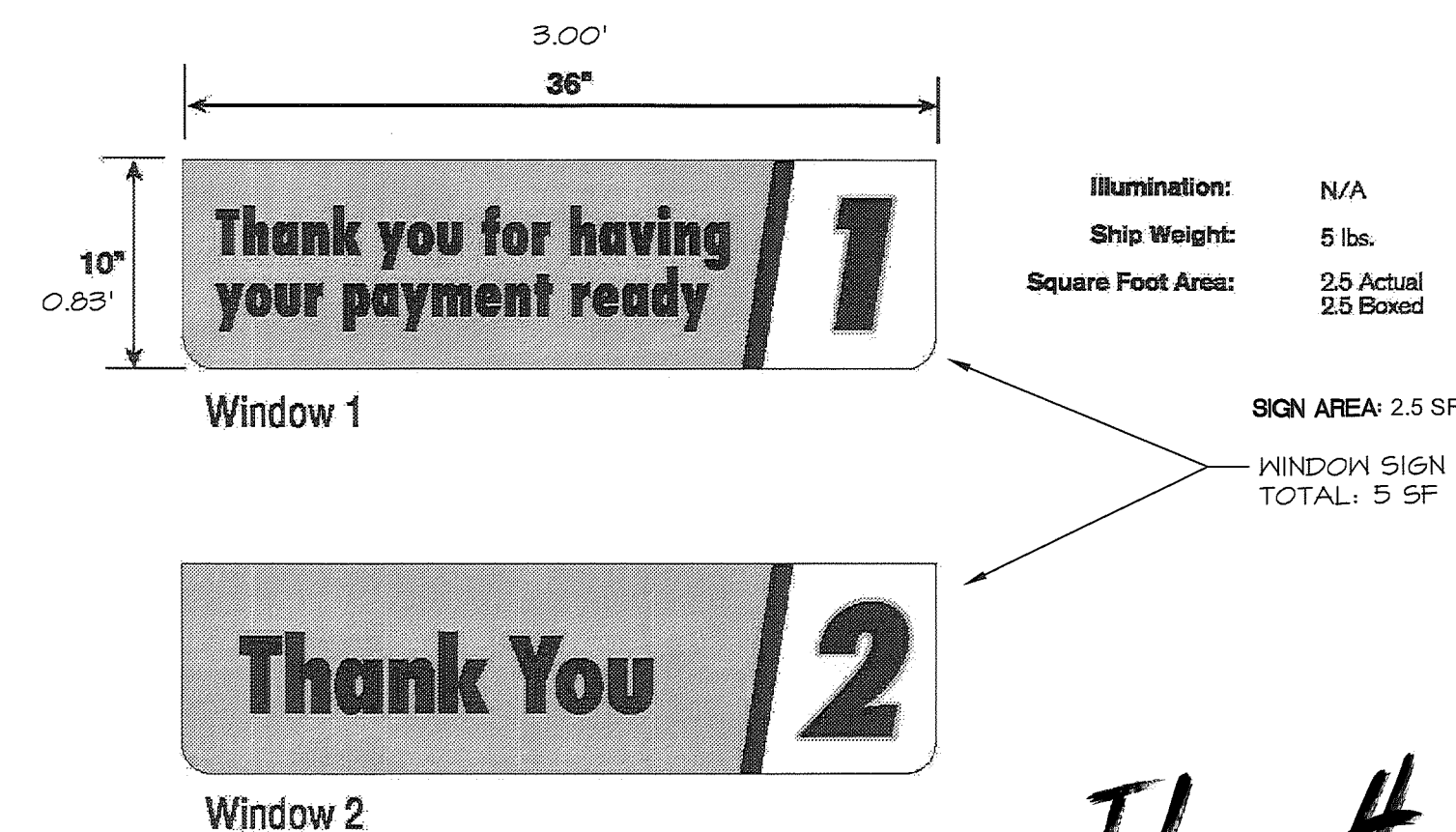
- Please call IMS for graphics, 800-937-7671
- Triangular design for increased graphic options
- Available in an manual or automated version. Automated version must be ordered directly from Florida Plastics.
- Optional 2-column pressell

SIGN AREA: 7.83 SF

OPO Outdoor Menu Board



Window Position Signs



Item # 0089

OPO PRE-SELL BOARD

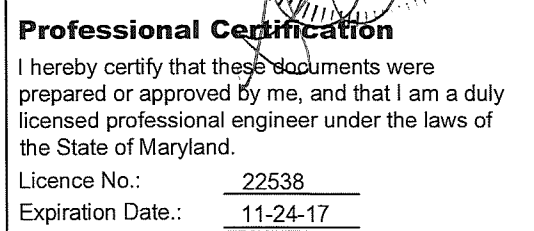
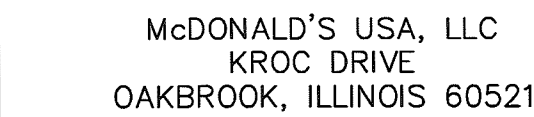
SCALE: N.T.S.

OPO OUTDOOR MENU BOARD

SCALE: N.T.S.

WINDOW SIGNAGE

SCALE: N.T.S.

[illegible]

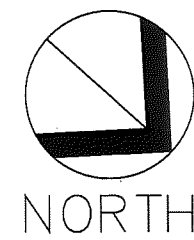
DRAWN BY:JDM CHECKED BY:RCG

LC NO. 019-0080

SHEET NO.SPL-1.00-00



25. THIS SITE IS NOT WITHIN THE BASIC SERVICES MAP AREAS.



= NEW CONCRETE
CURB RAMPS,
CONCRETE PAD AND
WALKWAY

SCALE: N.T.S.



5637 Baltimore National Pike

Viewing Easterly



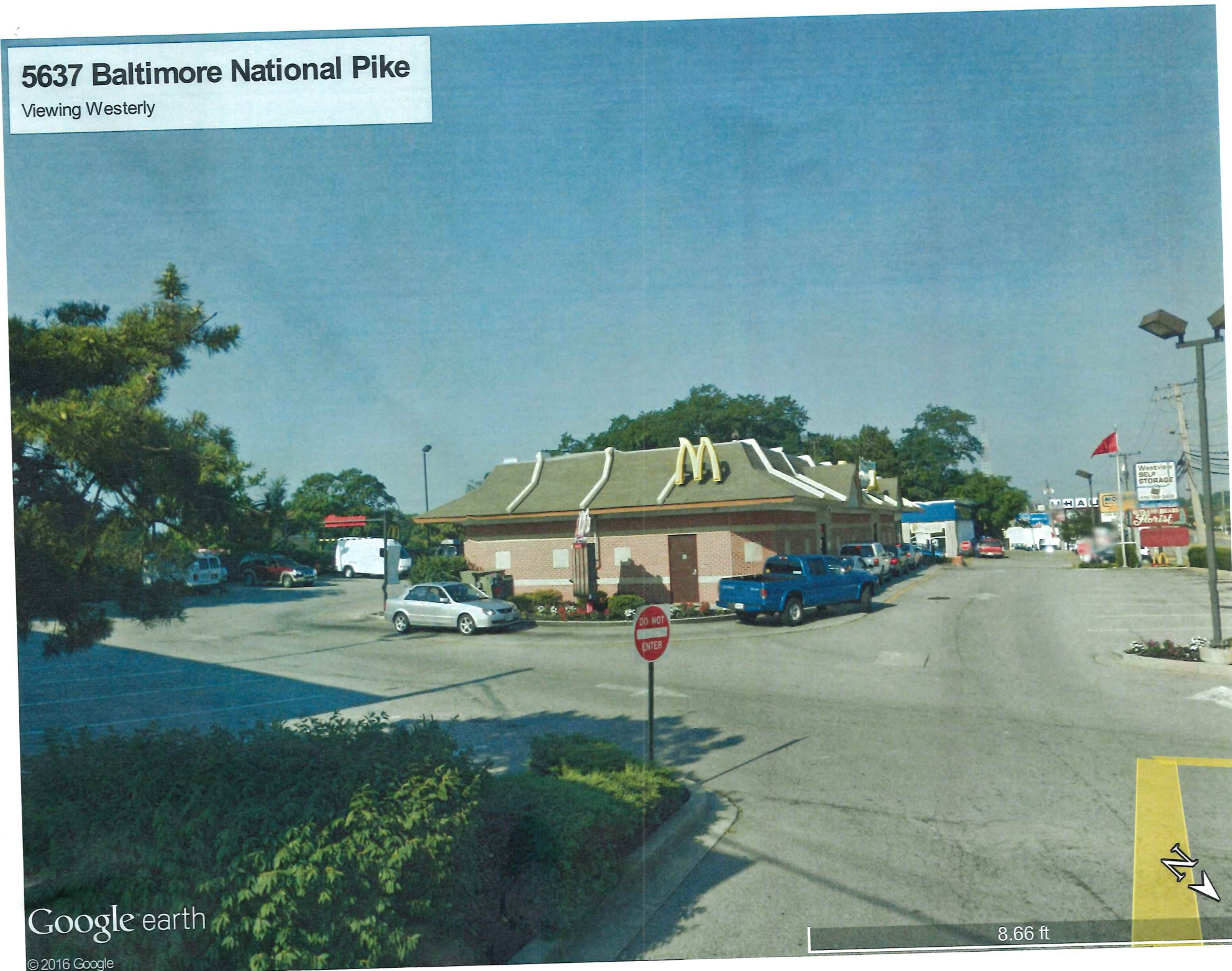
Google earth

© 2016 Google

8.76 ft

5637 Baltimore National Pike

Viewing Westerly



Google earth

© 2016 Google

8.66 ft



SEAL

Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
Licence No.: 22538
Expiration Date: 11-24-17

CMS
CMS Associates LLC
4925 Ellis Lane
Ellicott City, Md 21043
(410) 988-2436
gciniero@cms-engineering.net
c/o Geoffrey Ciniero

REVISIONS

NO.	DESCRIPTION	DATE

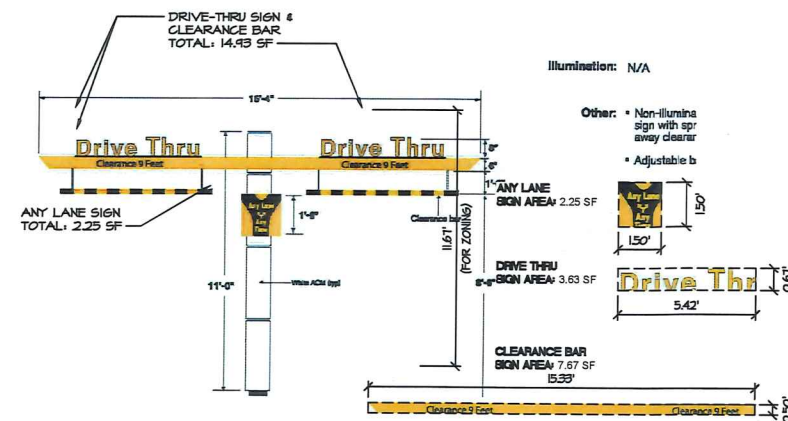
DATE: 09/21/16
SCALE: AS NOTED
BUILDING AREA NA SQ. FT.
DINING ROOM SEATING NA SQ. FT.
PROJECT #: 15RA79
DRAWN BY: JDM CHECKED BY: RCG

PROJECT TITLE
ALTERATIONS TO
McDONALD'S
WESTVIEW
5637 BALTIMORE NATL PIKE
BALTIMORE, MD 21228
REGION: CAPITAL
LC NO. 019-0080

EXHIBIT
7
SHEET NO. SIGN 2

SIGNAGE SET 09/21/16

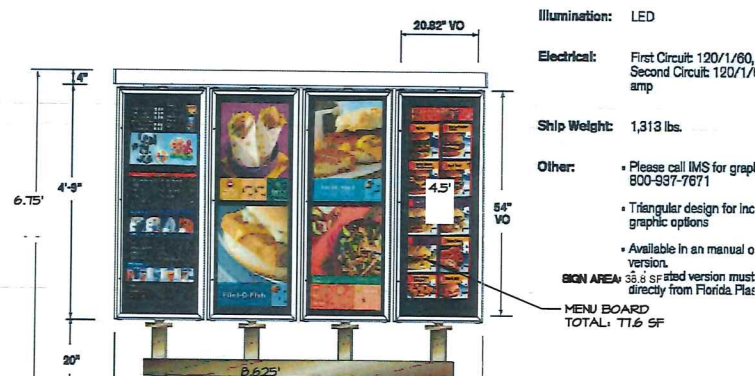
Double Welcome Point Gateway



1 DOUBLE WELCOME GATEWAY

SCALE: N.T.S.

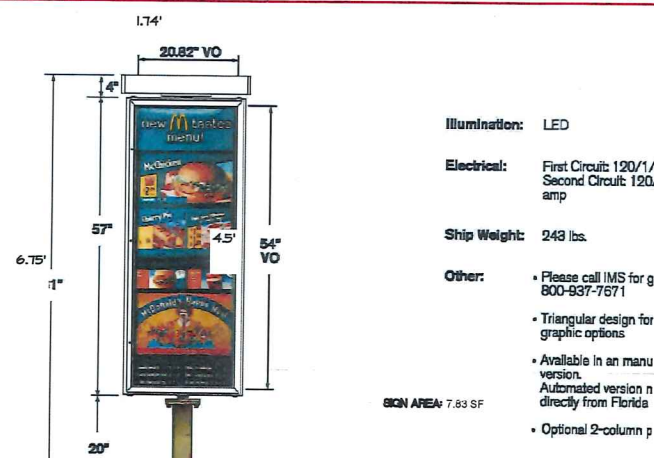
OPO Outdoor Menu Board



5 OPO OUTDOOR MENU BOARD

SCALE: N.T.S.

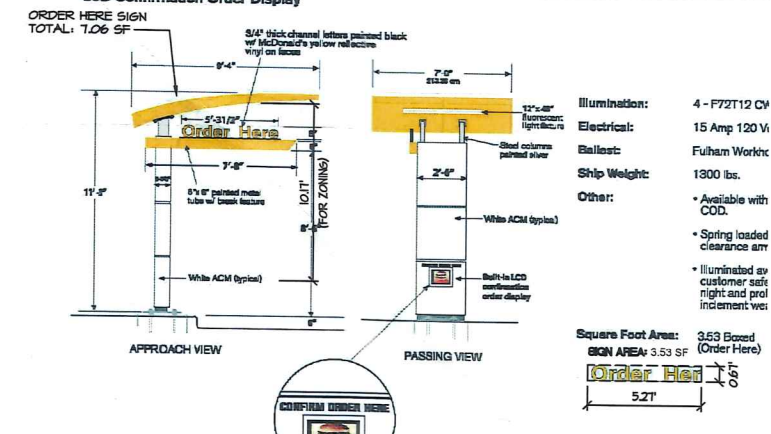
OPO Pre-Sell Board



4 OPO PRE-SELL BOARD

SCALE: N.T.S.

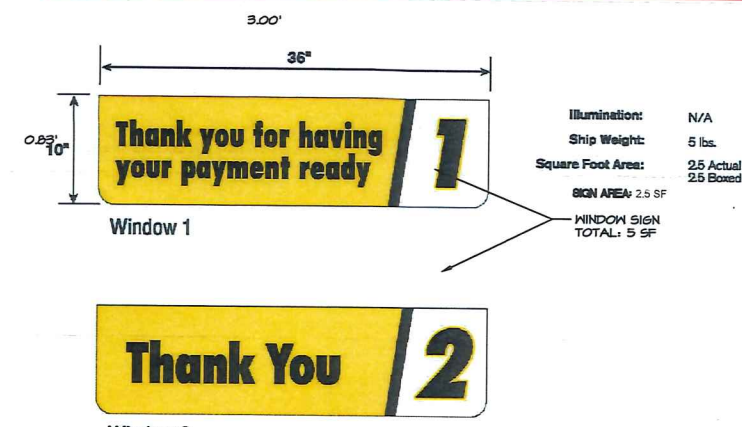
Drive-Thru Twin Pole Canopy w/ Built-In COD (Preferred) LCD Confirmation Order Display



3 ORDER HERE CANOPY

SCALE: N.T.S.

Window Position Signs



6 WINDOW SIGNAGE

SCALE: N.T.S.

NOT USED

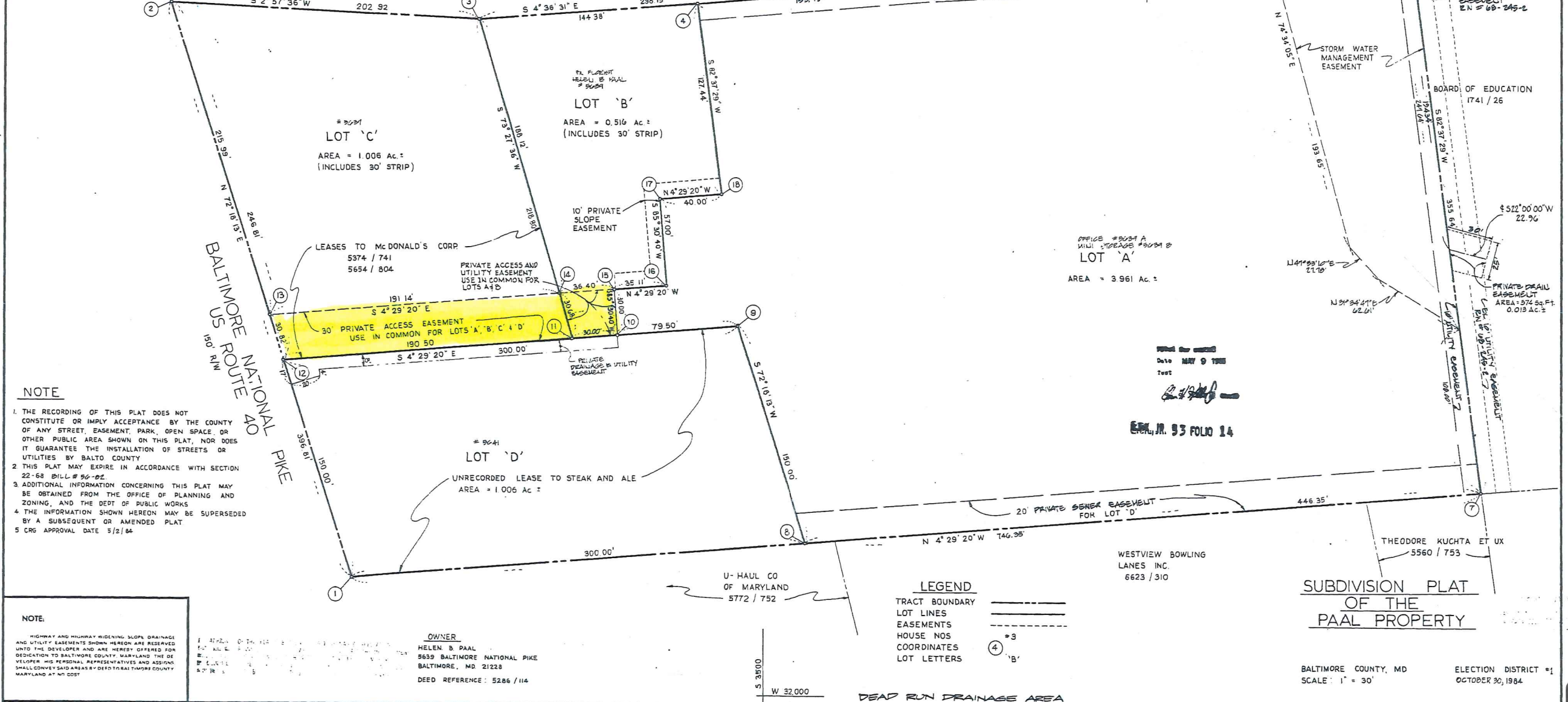
MADE BY 11/02/83 MC 001

COORDINATES

NO	WEST	SOUTH
1	31,923.31	3228.64
2	31,545.27	3108.02
3	31,555.75	3310.67
4	31,544.15	3454.58
5	31,531.80	3607.84
6	31,512.19	3927.05
7	31,864.89	3972.70
8	31,899.83	3527.72
9	31,756.93	3482.12
10	31,763.15	3402.87
11	31,765.50	3372.96
12	31,780.41	3183.04
13	31,751.05	3173.68
14	31,736.09	3364.23
15	31,733.24	3400.52
16	31,730.49	3435.53
17	31,673.67	3431.06
18	31,670.54	3470.94

TABULATION

EX ZONING - BR & BR - CSA
NO OF PROPOSED LOTS - 4
TOTAL AREA OF TRACT - 6.488 Ac. ±



NOTE

1. THE RECORDING OF THIS PLAT DOES NOT CONSTITUTE OR IMPLY ACCEPTANCE BY THE COUNTY OF ANY STREET, EASEMENT, PARK, OPEN SPACE, OR OTHER PUBLIC AREA SHOWN ON THIS PLAT, NOR DOES IT GUARANTEE THE INSTALLATION OF STREETS OR UTILITIES BY BALTO COUNTY
2. THIS PLAT MAY EXPIRE IN ACCORDANCE WITH SECTION 22-68 BILL # 96-02
3. ADDITIONAL INFORMATION CONCERNING THIS PLAT MAY BE OBTAINED FROM THE OFFICE OF PLANNING AND ZONING, AND THE DEPT OF PUBLIC WORKS
4. THE INFORMATION SHOWN HEREON MAY BE SUPERSEDED BY A SUBSEQUENT OR AMENDED PLAT
5. CRG APPROVAL DATE 5/2/84

NOTE

HIGHWAY AND HIGHWAY RIGHT-OF-WAY, DRAINAGE AND UTILITY EASEMENTS SHOWN HEREON ARE RESERVED TO THE DEVELOPER AND ARE HEREBY OFFERED FOR DEDICATION TO BALTIMORE COUNTY, MARYLAND. THE DEVELOPER, HIS PERSONAL REPRESENTATIVES AND ASSIGNS, SHALL CONVEY SAID AREAS TO BALTIMORE COUNTY, MARYLAND AT NO COST.

NOTE

COORDINATES AND BEARINGS SHOWN ON THIS PLAT ARE REFERRED TO THE SYSTEM OF COORDINATES ESTABLISHED IN THE BALTIMORE COUNTY METROPOLITAN DISTRICT AND ARE BASED ON THE FOLLOWING TRAVEL STATIONS:
1+585 5301.97 W 31,452.21
1+600 53430.60 W 32,702.47

NOTE

THE STREETS AND ROADS AS SHOWN HEREON AND THE MENTION THEREOF IN DEEDS ARE FOR THE PURPOSE OF DESCRIPTION ONLY AND THE SAME ARE NOT INTENDED TO BE DEDICATED TO PUBLIC USE. THE FEE SIMPLE TITLE TO THE BEES THEREOF IS EXPRESSLY RESERVED IN THE GRANTORS OF THE DEED TO WHICH THIS PLAT IS ATTACHED. THEIR HEIRS AND ASSIGNS.

OWNER

HELEN B. PAAL
5639 BALTIMORE NATIONAL PIKE
BALTIMORE, MD 21228
DEED REFERENCE: 5286 / 114

OWNERS CERTIFICATE

THE UNDERSIGNED OWNER OF THE LAND SHOWN ON THIS PLAT HEREBY CERTIFIES THAT TO THE BEST OF ITS KNOWLEDGE, THE REQUIREMENT OF SUBSECTION 1(C) OF SECTION 3-108 OF THE REAL PROPERTY ARTICLE OF THE ANNOTATED CODE OF MARYLAND HAS BEEN COMPLIED WITH INsofar AS SAME CONCERN THE MAKING OF THE PLAT AND THE SETTING OF THE MARKERS.

SURVEYORS CERTIFICATE

THE UNDERSIGNED, A REGISTERED LAND SURVEYOR OF THE STATE OF MARYLAND, DOES HEREBY CERTIFY THAT HE IS THE SURVEYOR WHO PREPARED THIS PLAT AND THAT THE LAND SHOWN ON THIS PLAT WAS BELAYED OUT AND THE PLAT THEREOF WAS BELAYED IN CONFORMANCE WITH SUBSECTION 1(C) OF SECTION 3-108 OF THE REAL PROPERTY ARTICLE OF THE ANNOTATED CODE OF MARYLAND, PARTICULARLY INsofar AS SAME CONCERN THE MAKING OF THE PLAT AND THE SETTING OF THE MARKERS.

LEGEND

- TRACT BOUNDARY
- LOT LINES
- EASEMENTS
- HOUSE NOS
- COORDINATES
- LOT LETTERS

SUBDIVISION PLAT OF THE PAAL PROPERTY

BALTIMORE COUNTY, MD
SCALE: 1" = 30'
ELECTION DISTRICT #1
OCTOBER 30, 1984

GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.

CIVIL ENGINEERS & LAND SURVEYORS

TOWSON, MARYLAND 21204

BEL-AIR, MARYLAND 21014

P.W.A. COMPLETED 5/2/85
FINAL PLAT CHECKED
PLANNING
ENGINEERING
NO. 11004 5/2/85

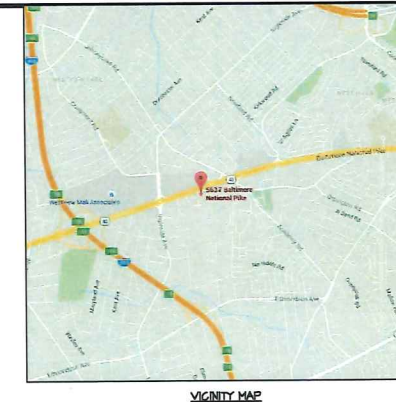
COMPUTED BY: W.E.E. CHECKED BY: PC/HK
DRAWN BY: J.R.E. W.O. NO. 64958

EXHIBIT

3

MSA 355U1236 - 3083

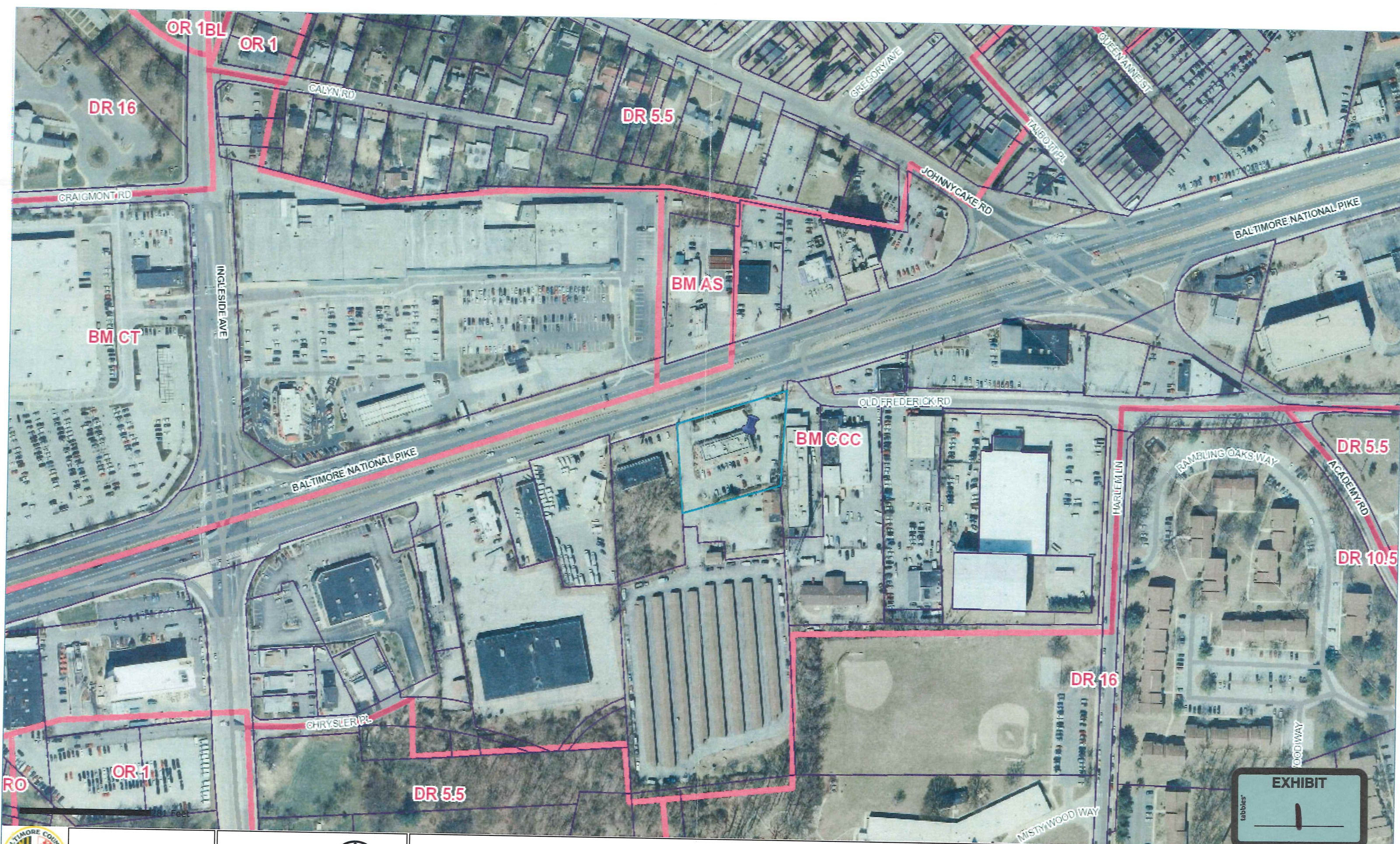
53-14



25. THIS SITE IS NOT WITHIN THE BASIC SERVICES MAP AREAS.

SIGNAGE SET 09/21/16

EXHIBIT
5



5637 Baltimore
National Pike

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Baltimore County
My Neighborhood



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