



BALTIMORE COUNTY
DEPARTMENT OF PERMITS, APPROVALS & INSPECTIONS
111 WEST CHESAPEAKE AVENUE
TOWSON, MD 21204
410-887-3391

SIGN USE PERMIT

B _____
A 180758
The applicant is authorized to affirm that there are no current violations at this site pursuant to Section 112.7 BCC
Initials KO

Permit Fees are Non-Refundable; Make Check Payable to "Baltimore County, Maryland"

PROPERTY ADDRESS 5317 Edmondson Avenue ZIP CODE 21229
BUSINESS NAME Shell ZONING BL
OWNER'S NAME SMA, Inc. PHONE NO. 301-932-3600 HISTORIC DISTRICT ☐ Yes ☒ No
MAILING ADDRESS PO Box 2810 La Plata, MD 20646
APPLICANT/OWNER'S AGENT Kelley Osbourn PHONE NO. 240-508-2329
SIGN COMPANY NAME By Owner PHONE NO. 301-932-3600
TYPE OF SIGN: ☐ Window Sign TAX ACCOUNT NO. 01 / 19 / 320800

☐ Temporary- Including Real Estate/Construction/Event Temporary Signs in the Last Year: ☐ Yes ☐ No

☒ Permanent ☐ Changeable Copy ☒ Wall ☒ Face Change Only ☒ Non-Illuminated
☒ Freestanding ☐ Pylon ☐ Monument ☒ Illuminated (separate electrical permit required) existing

Size: 6 feet x 9 feet = 54 square feet Height: 25 feet (freestanding signs)

Property Line/Street Right-of-Way Setbacks: front 11, sides 11 and _____, and rear _____.

NOTE: A construction plan, drawn to scale and clearly showing that all requirements have been met, must be attached; a site plan also must be attached for freestanding signs.

Table of Sign Regulations: 450.4. Attachment 1, 1.- An Electronic Changeable Copy Sign may only have a maximum Frequency of one instantaneous message change per 15 second cycle.

450.6.B.3 Changeable copy signs must operate at a constant intensity and not give the appearance of movement by flashing, blinking, strobing, scrolling, oscillating, or alternating lights.

PROHIBITIONS: including roof signs (Sections 450.5.B.7 and 450.6.A, Baltimore County Zoning Regulations):

1. Signs cannot impair motorist's clear view of traffic or government signs. All signs are subject to Section 102.5, BCZR.
2. Signs cannot imitate or resemble government signs, except for private traffic control and notice signs.
3. Signs cannot be placed in or project into or above street right of way or governmental property.
4. Sign or framework cannot obstruct window or opening for light and air or access to building, fire hydrant, or stand pipe.
5. Vehicle cannot be parked for the purpose of displaying an attached sign.
6. Except for flags exempted, flags, pennants, ribbons, streamers, tethered balloons, laser projections, and similar objects are prohibited.
7. Portable signs are prohibited, except for A-frame and sandwich board signs issued a use permit in B.M. - C.T. zones.
8. There can be no display or simulation of moving parts or message, except for an outdoor advertising sign with tri-vision, a changeable copy sign, or a thermometer, barometer, weather vane, barber pole, or clock.
9. No sign may emit sound

Work Description (including number of signs, special conditions, materials, locations and size):

Modifying existing freestanding sign 6'x9'-54sf no structure or electric changes
Relacing existing service center & snack shop fascia non illuminated 65.66sf total
Relacing existing canopy fascia per approved variance 02-399-SPHA CORNER LOT ☒
287.793 sf each S&I WCR

OWNER/AGENT CERTIFICATION

I solemnly affirm under the penalties of perjury and upon personal knowledge that the contents of the above are true and further agree to locate the proposed sign such that it will not violate Baltimore County laws and regulations.

Kelley Osbourn 2/25/19 Kelley Osbourn
Signature Date Print/Type Name

☐ Require Planning Signature N/A Date _____

Copies: White-Office; Yellow- Applicant (keep this Copy for your permanent records)

REV 10/14

Authority under Section 500.4, BCZR PAI Approval (SIGN ONLY)

Signature [Signature]

Initials JKM

Date 2/26/19



Permits, Approvals & Inspections

111W. Chesapeake Avenue
Towson, MD 21204

Report Generated On:
2/26/2019

Permit Processing Commerical Permit & Development Report

Page 1 of 1

Property Information

Tax Account Number: 0119320800

Election District: 1

Owner Name(s): SMO INCORPORATED

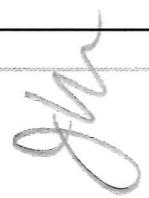
PDM #:

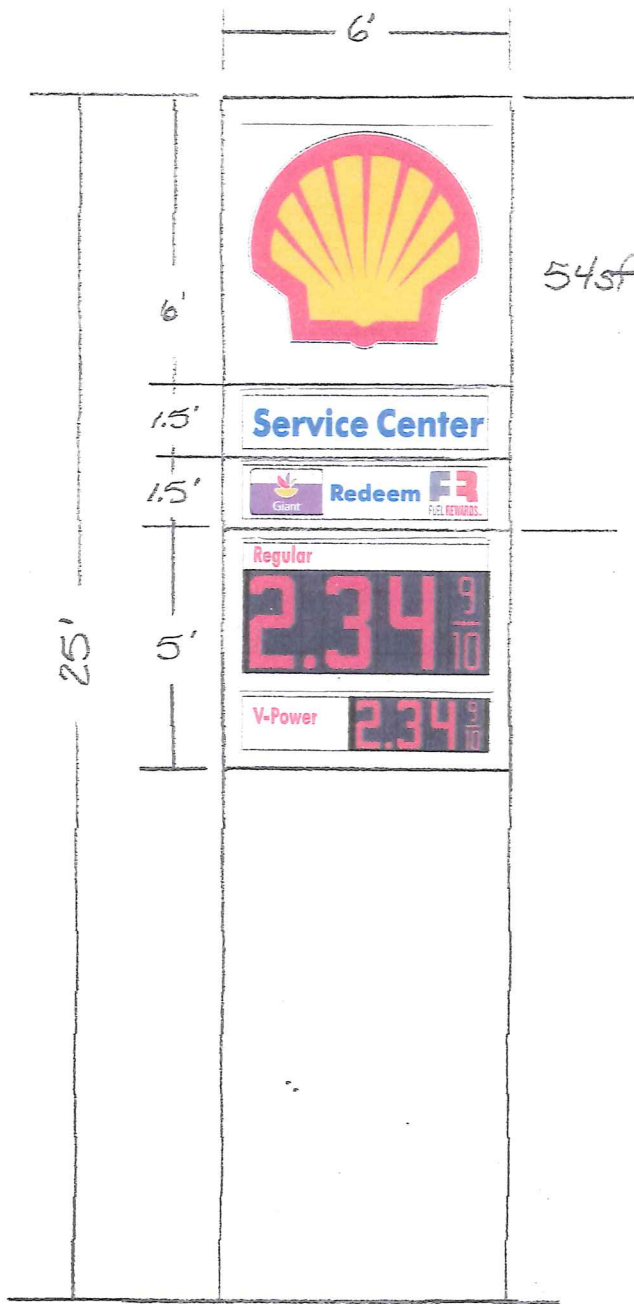
Address: C/O WILLS GROUP 6355 CRAIN HWY
LA PLATA,MD 20646

Zoning District(s): RO
BL AS

Premise Address: 5317 EDMONDSON AVE

Elevation Range: 404ft - 406ft

Affected Overlays	Instructions: Begin review process with Zoning Review, Room 111.	New Com Bldg.	Interior Alts.	Add / Ext. Alts.	Piers/Pilings	Grading/SW	Tanks	Ret.Walls/Bulk	Razing	Chg. of Occup.	Tower Antenna	Signs	Elect. & Plumb	Agency Acknowledgment
Contact Agency	Potential Overlay Issues													Initial & Date
DEPS-Sed. Control Jefferson Building 4th Floor Phone: 410-887-3226	Note: All Razing Permits must be sent to Sediment Control for review.													
PAI-Public Services County Office Building Room 119 Phone: 410-887-3751	Note: All permits for Grading, New Buildings & Building Additions must be sent to Public Services.													
Zoning Review County Office Building Room 111 Phone: 410-887-3391	Zoning Cases: R-1956-3707-X	X		X	X	X	X			X	X	X		



54sf Total

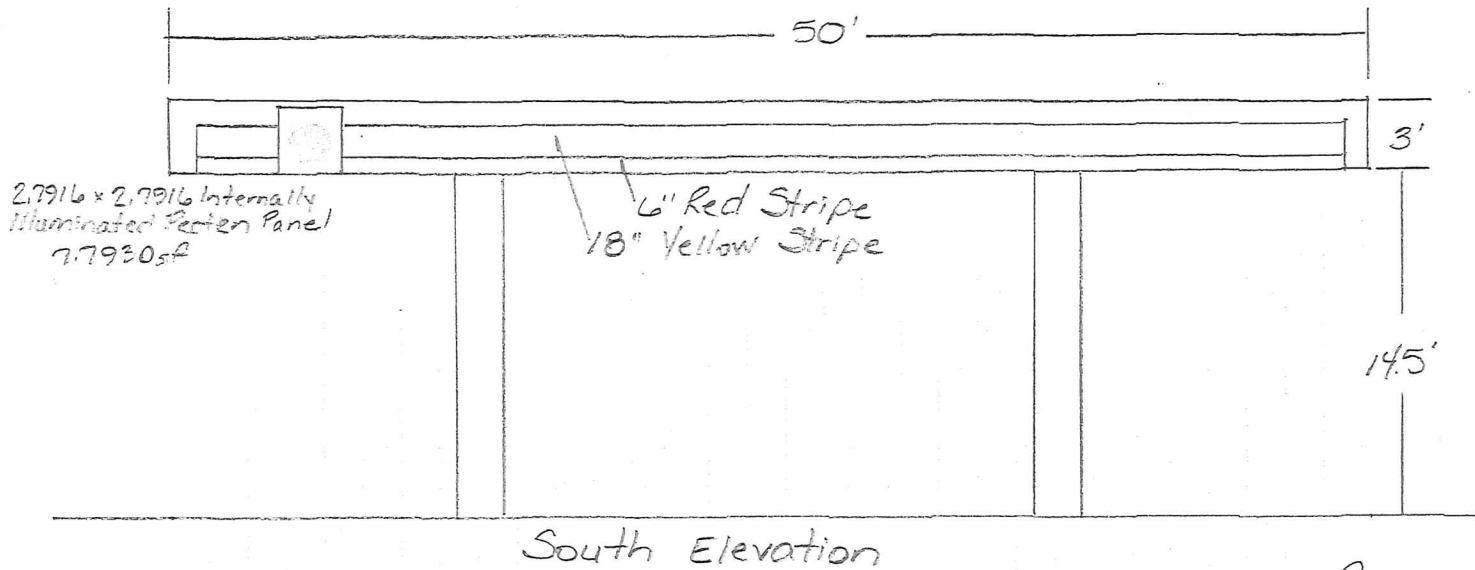
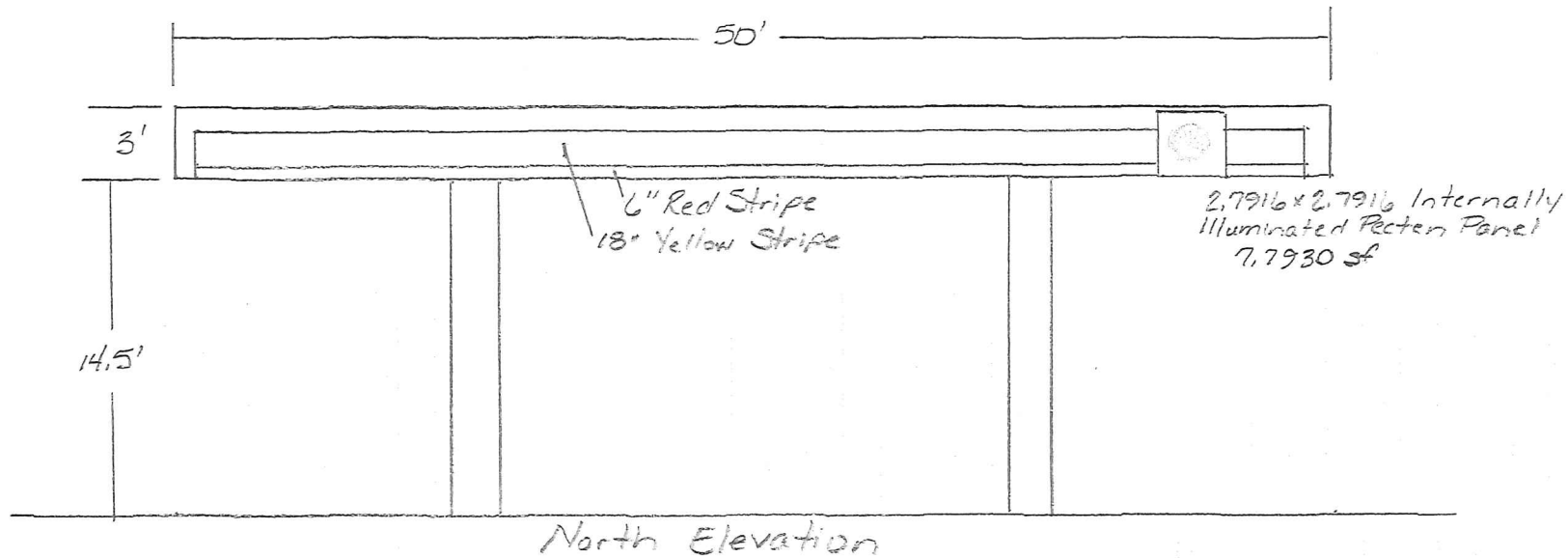


Existing Sign

Refacing existing freestanding sign. No electric or structure changes.

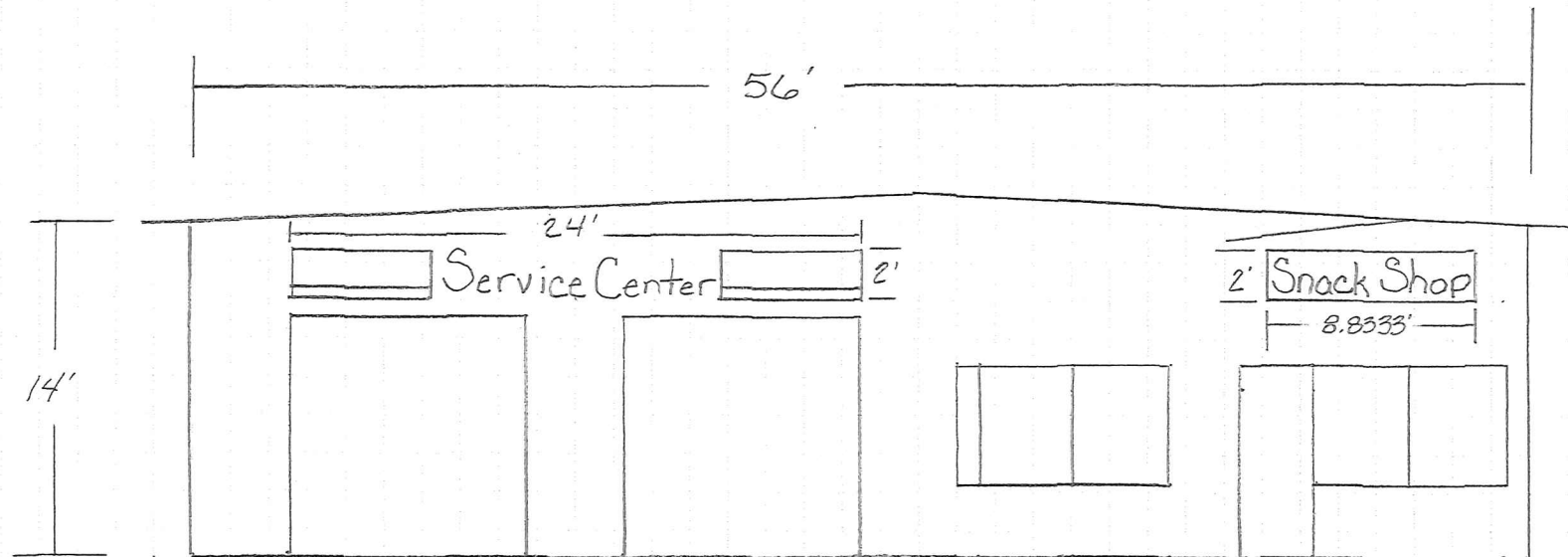
Scale - 1/4" = 1'

Freestanding Sign Reface
SMO Shell Site 511
5317 Edmondson Avenue
Baltimore, MD 21229



Scale - $\frac{1}{8}" = 1'$

Canopy Reface
SMO Shell Site 511
5317 Edmondson Avenue
Baltimore, MD 21229



Front Building Elevation

Removing existing "Service Center" and
 "Snack Shop." Refacing with new.
 Service Center with red & yellow = 48 sf
 Snack Shop = 17.6666 sf
 Total sf = 65.6666 sf

Scale - $\frac{1}{8}" = 1'$

Front Building Reface
 SMO Shell Site 511
 5317 Edmondson Avenue
 Baltimore, MD 21229



SMO Shell Site 511
5317 Edmondson Avenue
Baltimore, MD 21229

STEWART TITLE GUARANTY COMPANY
COMMITMENT NO. 00004139
DATED JUNE 12, 2000
SCHEDULE B SECTION II

- Exceptions 1 & 2 Non survey items.
- Exception 3 All easements in deed or title report to the extent plottable are shown
- Exception 4 No visible evidence of encroachments, overlaps, except the canopy extends more than 25 % into the front building restriction line
- Exceptions 5 & 6 Non survey items.
- Exception 7 Terms and conditions in County Highway Deed to E. C. McDonald for Shell Oil Company, Liber 4739 Folio 304. Widening of North Bend Road. Current legal description excludes area. Not applicable.
- Exception 8 Terms, provisions and easements in Liber 5904 Folio 888, Liber 3198 Folio 341, Liber 3036 Folio 76, Liber 5904 Folio 888 - Baltimore Transit Company Easement for turnaround, as shown on survey. Liber 3198 Folio 341, same easement as Liber 5904 Folio 888. Liber 3036 Folio 76, Baltimore Transit Company Easement for turnaround, as shown on survey.

PARKING

Surveyor cannot determine required parking because code includes "one space per employee on the largest shift" and also involves square foot calculation on internal space used as convenience store.

SERVICE STATION SETBACKS

Current Ordinance Bll No. 172-1993:
"No main structure of a service station shall be set back less than 35 feet from any street right-of-way; no fuel pump shall be set back less than 25 feet from any street right-of-way; no canopy shall be set back less than 15 feet from any street right-of-way."

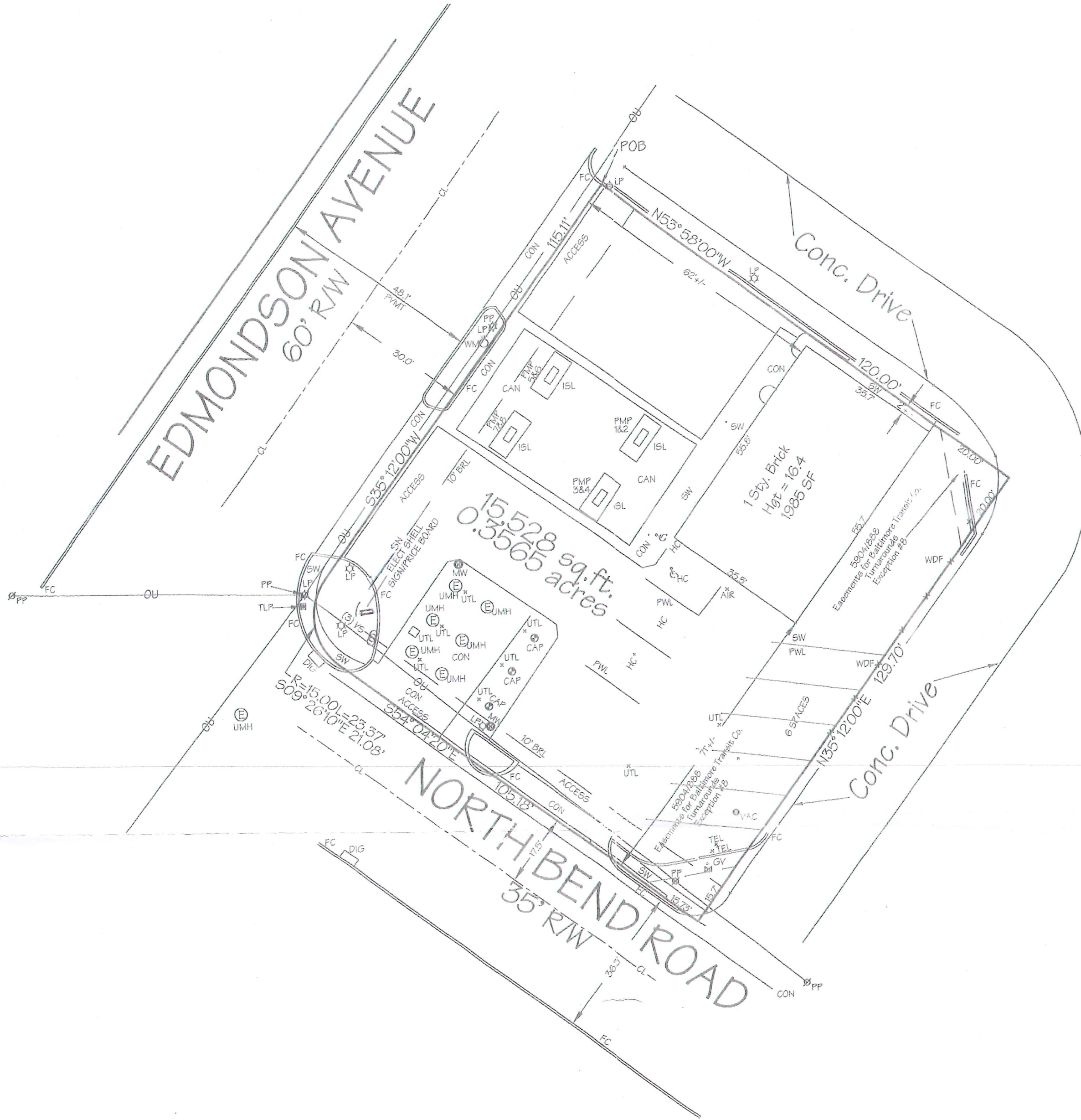
1945-55 Ordinance for Service Stations:

The language from the 1945-55 Ordinance states "These setbacks and front yard requirements shall also apply to signs, gasoline pumps and other service station equipment and to articles and structures of every nature whether fixed or movable."

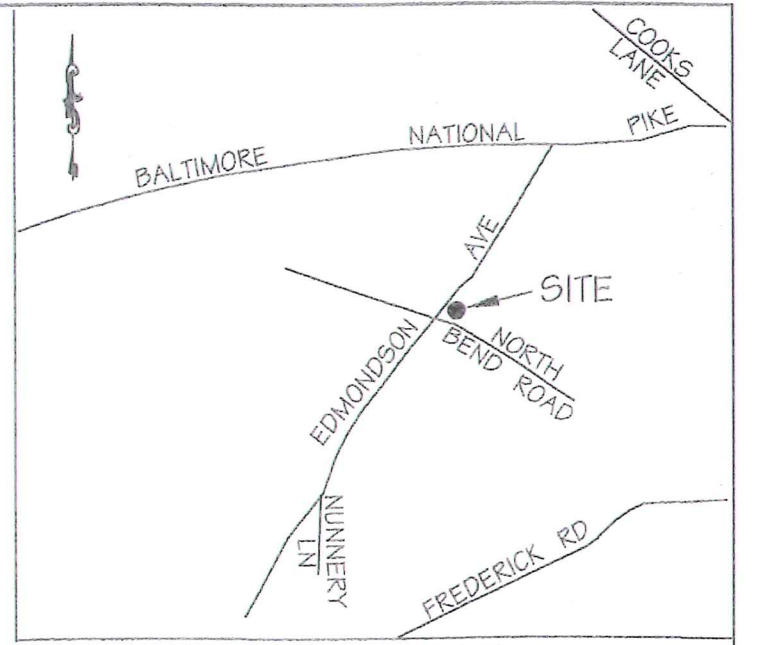
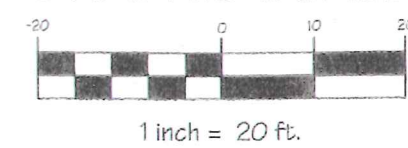
Surveyor cannot determine status of legal non-conforming because dates of approval are not known nor do we have copies of Special Exception Hearings which may have granted approvals for setbacks less than the minimum.

LEGEND

SYMBOL	CODE	DESCRIPTION
x	AIR	AIR PUMP STATION
SN	SN	SIGN
RS	RS	ROAD SIGN
MISC.	MISC.	MISCELLANEOUS
VL	VL	UTILITY VAULT
UMH	UMH	UTILITY MANHOLE (UNKNOWN)
TEL	TEL	TELEPHONE BOOTH
TMH	TMH	TELEPHONE MANHOLE
PP	PP	POWER POLE
OU	OU	OVERHEAD UTILITY
OHE	OHE	OVERHEAD ELEC.
LP	LP	LIGHT POLE
GW	GW	GUY WIRE
ELE	ELE	ELECTRIC BOX
CAN	CAN	METAL CANOPY OVERHEAD
BLD	BLD	BUILDING
CAP	CAP	GAS FILLER CAP
CO	CO	CLEAN OUT
SMH	SMH	SANITARY MANHOLE
SDM	SDM	STORM MANHOLE
DIG	DIG	STORM-GRATE INLET
MW	MW	MONITORING WELL
HYD	HYD	FIRE HYDRANT
TLP	TLP	TRAFFIC LIGHT POLE
PRK	PRK	PARKING SPACE
		HANDICAPPED RAMP
CON	CON	EDGE OF CONCRETE
CGF	CGF	CURB & GUTTER
FC	FC	CURB
ISL	ISL	ISLAND
EP	EP	EDGE OF PAVEMENT
CL	CL	CENTER LINE
WDF	WDF	WOOD FENCE
BOL	BOL	BOLLARD
FEN	FEN	FENCE
PYL	PYL	PAINTED YELLOW LINE
PWL	PWL	PAINTED WHITE LINE
PKS	PKS	P.K. NAIL SET
TRA	TRA	SURVEY CONTROL POINT
PMP	PMP	GAS PUMP
VS	VS	VENT
VAC	VAC	CAR VACUUM STATION
GRD	GRD	GUARD RAIL
GV	GV	GAS VALVE
WV	WV	WATER VALVE
PD	PD	TELEPHONE BOX
TRN	TRN	ELECTRIC TRANSFORMER
SW	SW	SIDEWALK
EW	EW	EDGE OF WALL



GRAPHIC SCALE



VICINITY MAP
Not to Scale

GENERAL NOTES

- The bearing basis of this survey was the deed bearings.
 - Owners: Shell Oil Company (in Fee)
Liber 5904, folio 888
 - Address: 5317 Edmondson Avenue
Baltimore, Maryland
 - Total Area: 0.3565 Acres more or less.
 - Zoning: Zone: B1, Business Local, Special Exception use, except in Planned Shopping Center or Drive-In Cluster
- Setbacks: Front 10'
Side None - Except
a. Adjoining residential equal to setback in R Zone
b. Corner Lot 10' on side street
Rear None - Adjoining R Zone 20'
Building Ht.: 40' subject to multiple provisions
Floor Area Ratio: 3.0
- Parking:
a. One space per employee on the largest shift.
b. Three spaces per 1000 SF of gross floor area for a convenience store up to 1500 SF. (Convenience stores larger than 1500 SF shall be subject to the parking requirements for retail uses in accordance with Section 409, including the first 1500 SF)
c. Three spaces per service bay, not counting service spaces in the bays.
d. One space per self-service air or vacuum cleaner unit.
e. One space per automatic teller machine.
f. 6 ex. striped standard parking spaces and 3 ex. handicapped space on-site
- Flood Zone Zone "C" (area of minimal flooding) as shown on Flood Insurance Rate Map Community Panel No. 240010-0390B, dated 3/2/81
 - This site has access from Edmondson Ave. and North Bend Rd. public right of ways
 - This survey shows the visible improvements as of the last day in the field being Oct. 4, 2000
 - The boundary was established by finding property corners as shown on drawing or by establishing the right of ways of the streets.
 - Boundary was established by the methodology shown in General Note #9. All property corners on the site have neither been found or set. Found corners are as shown.
 - On the day of the field survey noted herein, there was no observable evidence of construction activity or use as a dump or landfill.
 - Canopy extends more than 25% into required front building restriction line

Surveyed and Drawn by:
LDE INC.

Surveyors, Engineers, Planners
9250 Rumsey Road Suite 106
Columbia, Maryland 21045
(410) 715-1070
(410) 715-9540 Fax

ALTA/ACSM LAND TITLE SURVEY

PREPARED FOR:

HAYES & MATTHEWS, INC.
NATIONAL DIVISION - ALTA SURVEYS

17220 Newhope Street - Suites 106/108
Plaza Del Lago Bldg.
Fountain Valley, CA 92708
714-979-7181
Fax 714-691-2640

SURVEYOR'S CERTIFICATE

TO: FFCA ACQUISITION CORPORATION, A DELAWARE CORPORATION, FRANCHISE FINANCE CORPORATION OF AMERICA, A DELAWARE CORPORATION, FFCA CAPITAL HOLDING CORPORATION, A DELAWARE CORPORATION, FFCA FUNDING CORPORATION, A DELAWARE CORPORATION AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, STEWART TITLE GUARANTY COMPANY, THE WILLS GROUP, INC., SMO, INC., SMO REALTY, LLC, AND MERCANTILE SAFE DEPOSIT & TRUST COMPANY

This is to certify that this map or plat of survey (this "Survey Map") of the real property ("Property") specifically described in Stewart Title Guaranty Company Title Commitment No. 00004139 dated June 12, 2000 (the "Title Commitment"), (1) is based on a field survey made on Oct. 4, 2000, by me or directly under my supervision in accordance with the most recently adopted Minimum Standard Detail Requirements and Classifications for ALTA/ACSM Land Title Surveys, Items 1, 2, 3, 4, 6, 7(a), 7(b), 7(c), 9, 9.1, 10, 11a and 13 through 16 of Table A thereof, pursuant to the Accuracy Standards as adopted by ALTA, NSPS and ACSM, and in effect on the date of this certification, undersigned further certifies that the proper field procedures, instrumentation, and adequate survey personnel were employed in order to achieve results comparable to those outlined in the "Minimum Angle, Distance and Closure Requirements for Survey Measurements Which Control Land Boundaries for ALTA/ACSM Land Title Surveys" (2) was prepared in accordance with and includes all items and information required by the document titled "Survey Requirements for Franchise Finance Corporation of America, FFCA Acquisition Corporation and FFCA Capital Holding Corporation" dated May 16, 2000, and (3) to the best of my professional knowledge, information and belief,

- This Survey Map correctly represents the facts found at the time of the survey;
- There are no discrepancies between the boundary lines of the Property as shown on this Survey Map and as described in the legal description presented in the Title Commitment;
- The boundary line dimensions as shown on this Survey Map form a mathematically closed figure within +/- 0.1 foot;
- The boundary lines of the Property are contiguous with the boundary lines of all adjoining streets, highways, rights of way and easements, public or private, as described in their most recent respective legal descriptions of record; and
- Except as otherwise noted below, if the Property consists of two or more parcels, there are no gaps or gores between said parcels.

The undersigned understands and agrees that the parties to whom this certification is addressed will be relying upon this survey with respect to the Property.

By: D. Wayne Weller, L.S.
Registration No. 10685
Within the State of Maryland



The property described and shown hereon is the same property described in Stewart Title Guaranty Company Title Commitment No. 00004139 dated June 12, 2000.

Section XI Non-Conforming Uses

A lawful non-conforming use existing on the effective date of the adoption of these Regulations may continue, provided, however, that upon any change from such non-conforming use to a conforming use or any attempt to change from such non-conforming use to a different type non-conforming use or any discontinuance of such non-conforming use for a period of one year, or in case of a non-conforming commercial or industrial structure shall be damaged by fire or otherwise to the extent of seventy-five (75%) per cent of its value, the right to continue or resume such a non-conforming use shall terminate. No non-conforming use of a building, structure or parcel of land shall hereafter be extended more than twenty-five (25%) per cent of the area of land or buildings.

LEGAL DESCRIPTION

BEGINNING for the same at a point on the southeast side of Edmondson Avenue at the beginning of that parcel of land which by deed dated June 3, 1957 was conveyed by Shell Oil Company to Philip D. Reed, et al, Trustees of the General Electric Pension Trust and recorded among the Land Records of Baltimore County in Liber 3198, folio 341, thence running and binding along the Southeast side of Edmondson Avenue and with a portion of the first line of said Liber 3198, folio 341 South 35 degrees 12 minutes 00 seconds West 115.11 feet to the point of curve for the road widening of North Bend Road as shown on Baltimore County Department of Public Works Bureau of Land Acquisition Plat No. R.W. 65-053, thence leaving Edmondson Avenue and said first line and running along the new lines of North Bend Road as shown on the above-referenced plat 23.37 feet along a curve to the left having a radius of 15.00 feet and a chord bearing and distance of South 9 degrees 26 minutes 10 seconds East 21.08 feet and South 54 degrees 04 minutes 20 seconds East 106.18 feet, thence leaving North Bend Road and running with a portion of the fourth line of aforesaid Liber 3198, folio 341 North 35 degrees 12 minutes 00 seconds East 129.70 feet thence running with the fifth line North 53 degrees 55 minutes 00 seconds West 120.00 feet to the place of beginning.

Containing 0.3565 acres of land, more or less.

BEING a portion of that parcel of land which by deed dated June 3, 1957 was conveyed by Shell Oil Company to Philip D. Reed, et al, Trustees of the General Electric Pension Trust and recorded among the aforesaid Land Records in Liber 3198, folio 341.