



RE: Job #54719, Aspen Dental

2 SIGNS @
\$150 each
101.2 S.F.

BALTIMORE COUNTY
DEPARTMENT OF PERMITS, APPROVALS & INSPECTIONS
111 WEST CHESAPEAKE AVENUE
TOWSON, MD 21204
410-887-3391

SIGN USE PERMIT

B _____
A 182511
The applicant is authorized to affirm that there are no current violations at this site pursuant to Section 112.7 BCC
Initials AT

Permit Fees are Non-Refundable; Make Check Payable to "Baltimore County, Maryland"

PROPERTY ADDRESS 1220 E Joppa Road, Baltimore, MD ZIP CODE 21286
BUSINESS NAME Aspen Dental ZONING ML IM
OWNER'S NAME Fund IV/Radio Park LLC PHONE NO. 410-769-6100 HISTORIC DISTRICT ☐ Yes ☒ No
MAILING ADDRESS 501 Fairmount Ave, Ste 101, Towson, MD 21286

APPLICANT/OWNER'S AGENT Joe Trabert, Agent PHONE NO. 443-297-5025
SIGN COMPANY NAME Triangle Sign & Service, LLC PHONE NO. 410-247-5300
11-13 Azar Ct., P.O. Box 24186, Baltimore, MD 21227
TYPE OF SIGN: ☐ Window Sign TAX ACCOUNT NO. 17 / 000 / 03320

☐ Temporary- Including Real Estate/Construction/Event Temporary Signs in the Last Year: ☐ Yes ☒ No
☒ Permanent ☐ Changeable Copy ☒ Wall ☐ Face Change Only ☐ Non-Illuminated
☐ Freestanding ☐ Pylon ☐ Monument ☒ Illuminated (separate electrical permit required)

2@Size: 4.33' H feet x 23.37' W feet = 101.2 square feet each Height: _____ feet (freestanding signs)

Property Line/Street Right-of-Way Setbacks: front _____, sides _____ and _____, and rear _____.

NOTE: A construction plan, drawn to scale and clearly showing that all requirements have been met, must be attached; a site plan also must be attached for freestanding signs.

Table of Sign Regulations: 450.4. Attachment 1, 1.- An Electronic Changeable Copy Sign may only have a maximum Frequency of one instantaneous message change per 15 second cycle.

PROHIBITIONS: including roof signs (Sections 450.5.B.7 and 450.6.A, Baltimore County Zoning Regulations):

1. Signs cannot impair motorist's clear view of traffic or government signs. All signs are subject to Section 102.5, BCZR.
2. Signs cannot imitate or resemble government signs, except for private traffic control and notice signs.
3. Signs cannot be placed in or project into or above street right of way or governmental property.
4. Sign or framework cannot obstruct window or opening for light and air or access to building, fire hydrant, or stand pipe.
5. Vehicle cannot be parked for the purpose of displaying an attached sign.
6. Except for flags exempted, flags, pennants, ribbons, streamers, tethered balloons, laser projections, and similar objects are prohibited.
7. Portable signs are prohibited, except for A-frame and sandwich board signs issued a use permit in B.M. - C.T. zones.
8. There can be no display or simulation of moving parts or message, except for an outdoor advertising sign with tri-vision, a changeable copy sign, or a thermometer, barometer, weather vane, barber pole, or clock.
9. No sign may emit sound

450.6.B.3 Changeable copy signs must operate at a constant intensity and not give the appearance of movement by flashing, blinking, strobing, scrolling, oscillating, or alternating lights.

Work Description (including number of signs, special conditions, materials, locations and size):

Install 2 illum channel letter signs, side & rear building elevations, reading:

Dimensions: 4.33'H x 23.37'W = 101.2 sf each

Linear Bldg Dimension: 68' rear x 60' side

AspenDental

CORNER LOT ☒

Proposed work is consistent with Loch Raven Common PUD (PAI #09-0844) attached documents

OWNER/AGENT CERTIFICATION

I solemnly affirm under the penalties of perjury and upon personal knowledge that the contents of the above are true and further agree to locate the proposed sign such that it will not violate Baltimore County laws and regulations.

Signature

April 11, 2019
Date

Joe Trabert c/o Triangle Sign & Service
Print/Type Name

☒ Require Planning Signature

Date

Copies: White-Office; Yellow- Applicant (keep this Copy for your permanent records)

REV 03/12

Authority under Section 500.4, BCZR PAI Approval (SIGN ONLY)

Signature

Initials

Date



Permits, Approvals & Inspections

111 W. Chesapeake Avenue
Towson, MD 21204

Report Generated On:
4/12/2019

Permit Processing Commerical Permit & Development Report

Page 1 of 1

Property Information

Tax Account Number: 1700003320

Plat Ref: 038:083

Election District: 9

Owner Name(s): FUND IV/RADIO PARK LLC

PDM #: 09-0277

Address: C/O HERITAGE PROPERTIES INC 501 FAIRMOUNT AVE STE 101
TOWSON, MD 21286

Zoning District(s): BR ML IM
BM

Premise Address: 1220 E JOPPA RD

Elevation Range: 410ft - 506ft

Affected Overlays	Instructions: Begin review process with Zoning Review, Room 111.	New Com Bldg.	Interior Alts.	Add / Ext. Alts.	Piers/Pilings	Grading/SW	Tanks	Ret Walls/Bulk	Razing	Chg. of Occup.	Tower Antenna	Signs	Elect. & Plumb	Agency Acknowledgment Initial & Date
Contact Agency	Potential Overlay Issues													
	Growth Tier 1: Served by public sewer and inside URDL													
Planning Jefferson Building Room 101 Phone: 410-887-3211	Commercial Revitalization Districts - Loch Raven	X	X									X		Final BMW 4/12/19.
DEPS-Sed. Control Jefferson Building 4th Floor Phone: 410-887-3226	Note: All Razing Permits must be sent to Sediment Control for review.													
PAI-Public Services County Office Building Room 119 Phone: 410-887-3751	Note: All permits for Grading, New Buildings & Building Additions must be sent to Public Services.													
Zoning Review County Office Building Room 111 Phone: 410-887-3391	Zoning Cases: 2000-0403-A; 2006-0185-SPH; R-1962-5739-X; 1983-0022-X; 1985-0360-A; 1998-0225-SPHA; 1996-0061-A; 2001-0405-SPHA; R-1947-0872; 1988-0488-A	X	X	X	X	X				X	X	X		RD 4/12/19 Final

David H. Karceski

T 410.494.6285

F 410.821.0147

dhkarceski@venable.com

March 18, 2019

VIA EMAIL

RECEIVED

APR - 8 2019

DEPARTMENT OF PLANNING

Ms. Jenifer Nugent
Division Chief of Development Review
Department of Planning
Jefferson Building, Suite 101
105 West Chesapeake Avenue
Towson, Maryland 21204

Re: Zoning Confirmation for Aspen Dental / Wall-Mounted Enterprise Signage
Loch Raven Commons PUD
PAI No. 09-0844 - 1300 E. Joppa Road
Tax Map No. 70, Parcel No. 1188
5th Councilmanic District, 9th Election District

Dear Ms. Nugent:

My client Aspen Dental Management, Inc. is an existing tenant within the boundaries of the above-referenced Planned Unit Development (the "Property"). I am writing to request written confirmation from your department as to the acceptable number of wall-mounted enterprise signs my client may install on building facades, which define its individual tenant space.

By way of brief background, the Property is a 9.35± acre site, located on the north side of Joppa Road, west of Mylander Lane in the Loch Raven area. The Property is zoned ML-IM (Manufacturing, Light – Industrial, Major). In 2015, the Administrative Law Judge approved a Planned Unit Development Development Plan for the site reflecting a "mixed-use development," which included "a residential component (maximum of 225 rental apartment units), a commercial component (25,000-35,000 square feet) with a mix of general retail, fuel service station/convenience store, and other possible uses and related amenities, such as a public village center." See attached Opinion and Order, p. 1. The "commercial component" of the PUD includes three buildings – "A", "B", and "C"), and Aspen Dental is located in Building "C".

A pattern book has also been approved by your department for the PUD, which among other things, includes locations for wall-mounted enterprise signs to advertise tenants

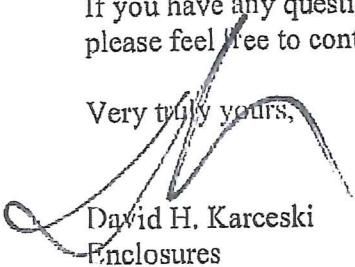
Ms. Jenifer Nugent
Division Chief of Development Review
Department of Planning
March 18, 2019
Page 2

within Retail Building "C." Page 25 of this pattern book, which was last revised on September 17, 2015, indicates acceptable sign locations for Aspen Dental on the front and one side façade of this multi-tenant building. In addition to these two sign locations, Aspen Dental desires to install a sign on the rear façade of Retail Building "C" on the portion of the rear building façade which defines the tenant space. I am also enclosing with this letter photographs, which show the finished front, side and rear façades of the building for Aspen Dental as well as a color sign detail for the sign proposed on the rear façade. It is the positioning of this building within this mixed-use PUD that gives it the appearance of having three (3) "front" or prominent façades rather than the one such façade. A third wall-mounted enterprise sign, as requested by my client, is, therefore, warranted at this location.

After you have reviewed the enclosed materials, please confirm by countersignature below that the wall-mounted sign proposed on the rear façade of Building "C" by Aspen Dental is permitted within the Loch Raven Commons PUD without the need to obtain any additional zoning relief.

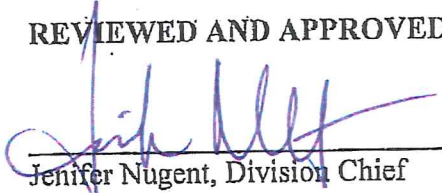
If you have any questions or require any additional information to complete your review, please feel free to contact me. I appreciate your time and attention to this matter.

Very truly yours,



David H. Karceski
Enclosures

REVIEWED AND APPROVED



Jenifer Nugent, Division Chief
Development Review - Department of Planning

4/9/2019
Date

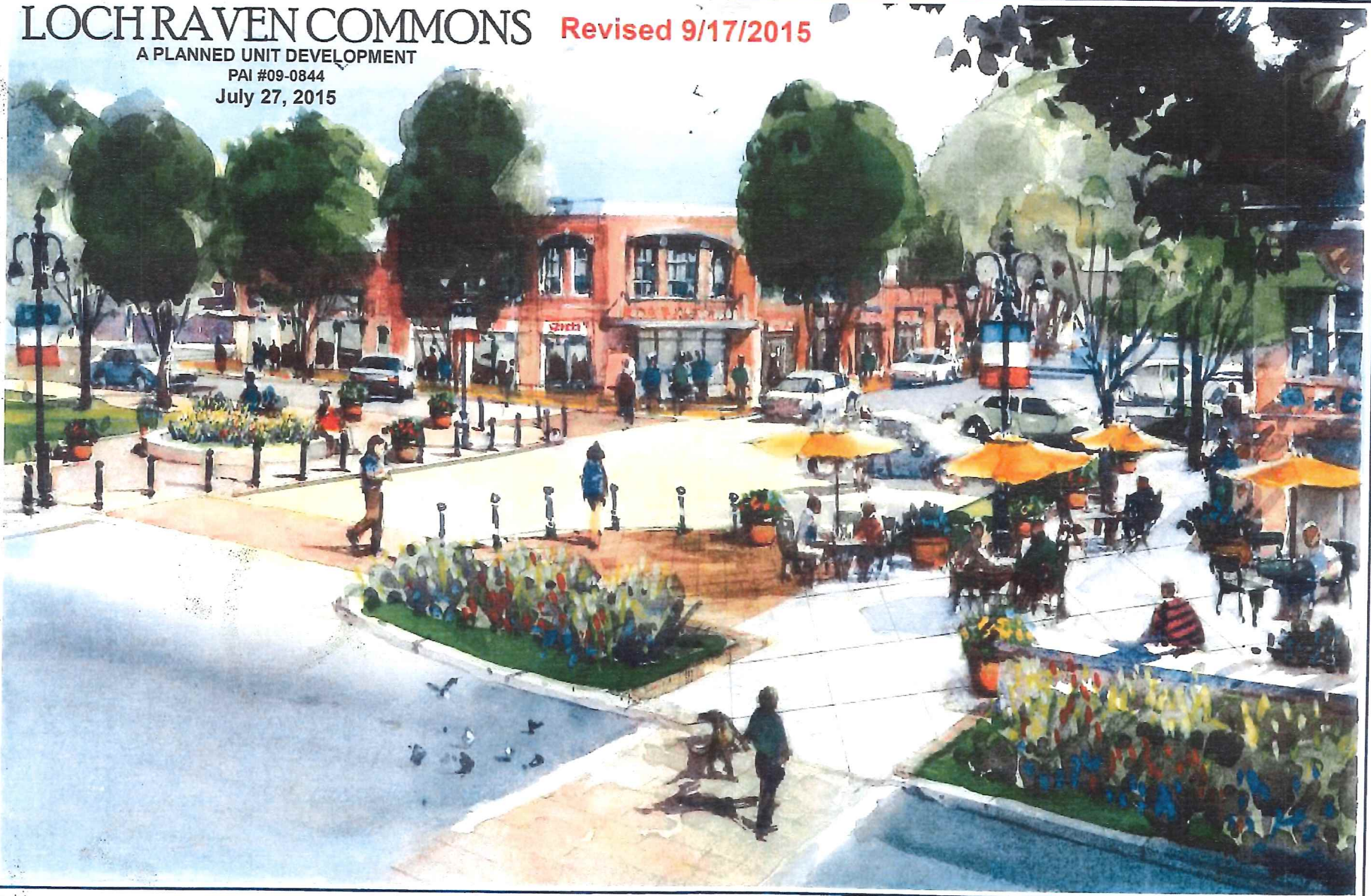
LOCH RAVEN COMMONS

A PLANNED UNIT DEVELOPMENT

PAI #09-0844

July 27, 2015

Revised 9/17/2015



Revised 9/17/2015

LOCH RAVEN COMMONS

A PLANNED UNIT DEVELOPMENT

PAI #09-0844

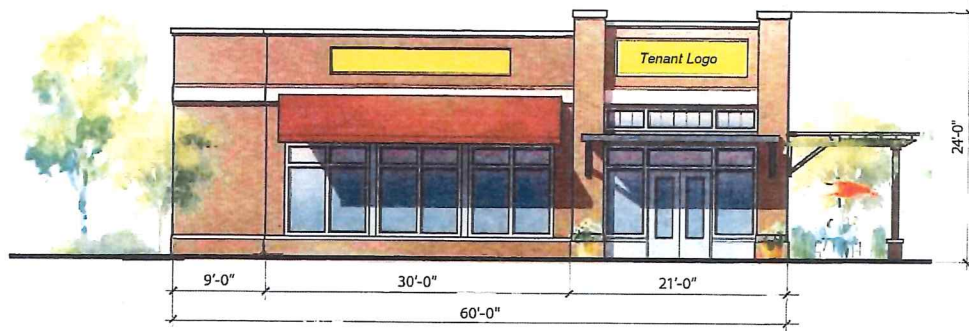
Architectural Elevations

Retail Building C – 6,500 S.F.

Front & Side



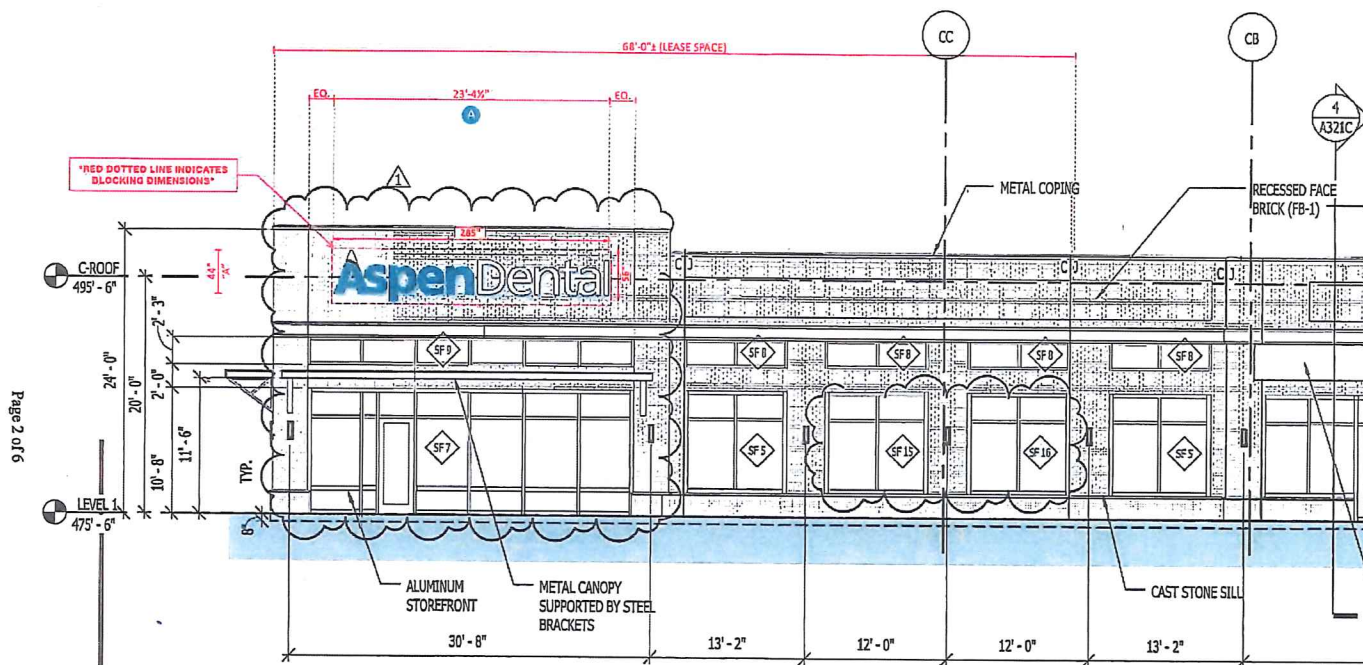
Front Elevation



Side Elevation

Wall-mounted enterprise signs on Retail Building C (single tenant building - pad site) will comply with BCZR Section 450.4 (Attachment 1).

FRONT FACADE



Page 2 of 6

ADM

AspenDental

Design #	0395178A1
Sheet	3 of 8
Client	ASPEN DENTAL
Address	TOWSON, MD
Account Rep.	AMCM / VB
Designer	BR
Date	12/15/17
Approval / Date	
Client	
Sales	
Estimating	
Art	
Engineering	
Landlord	
Revision / Date	
r1-BB/12-21-17:Del DM36 options.	

Chandler Signs

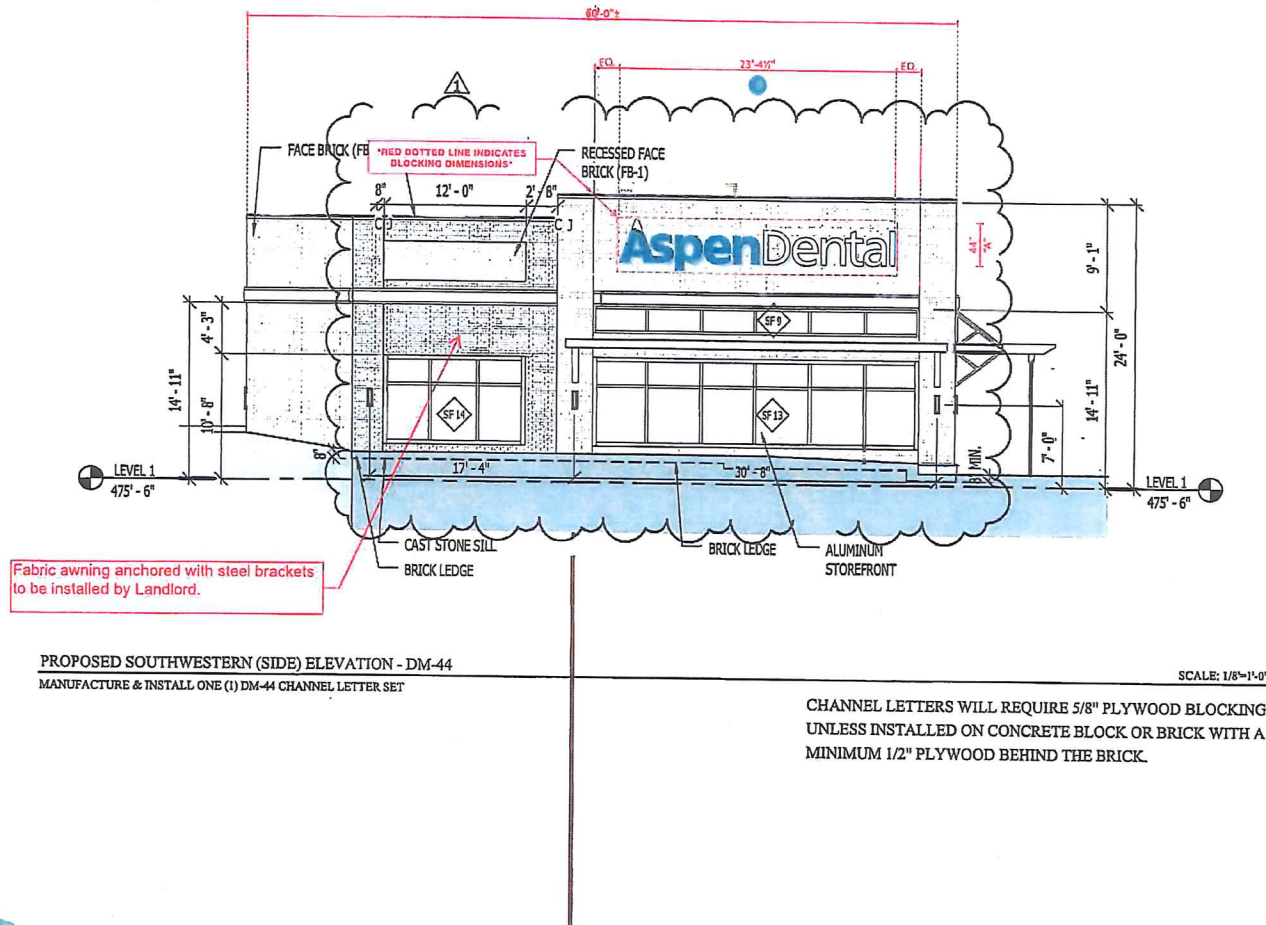
chandlersigns.com	
Headquarters	2515 Mainway Boca Raton, FL 33433 (561) 995-1111
Sales Offices	1275 S. Pine Street San Antonio, TX 78203 (214) 209-1111
West Coast	2225 Levee Road Folsom, CA 95630 (916) 995-1111
Northeast US	1000 W. 10th Street Tulsa, OK 74103 (918) 436-1111
Florida	2000 E. 10th Street Gainesville, FL 32601 (352) 339-1111
Georgia	22 Westwood Park Court Lawrenceville, GA 30043 (770) 962-1111
South Texas	PO Box 533 Houston, TX 77250 (281) 416-1111

FINAL ELECTRICAL CONNECTION BY CUSTOMER

UL

SIDE FACADE

Page 3 of 6



ADMI

AspenDental

Design # 0395178A.r

Sheet 5 of 8

Client ASPEN DENTAL

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Account Rep. AMCM/VB

Designer BR

Date 12/15/17

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Art

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1211 Main St
San Antonio, TX 78208

West Coast
1211 Main St
West Coast, CA 94028

Northeast US
1211 Main St
Northeast US, NY 10001

Florida
1211 Main St
Florida, FL 33101

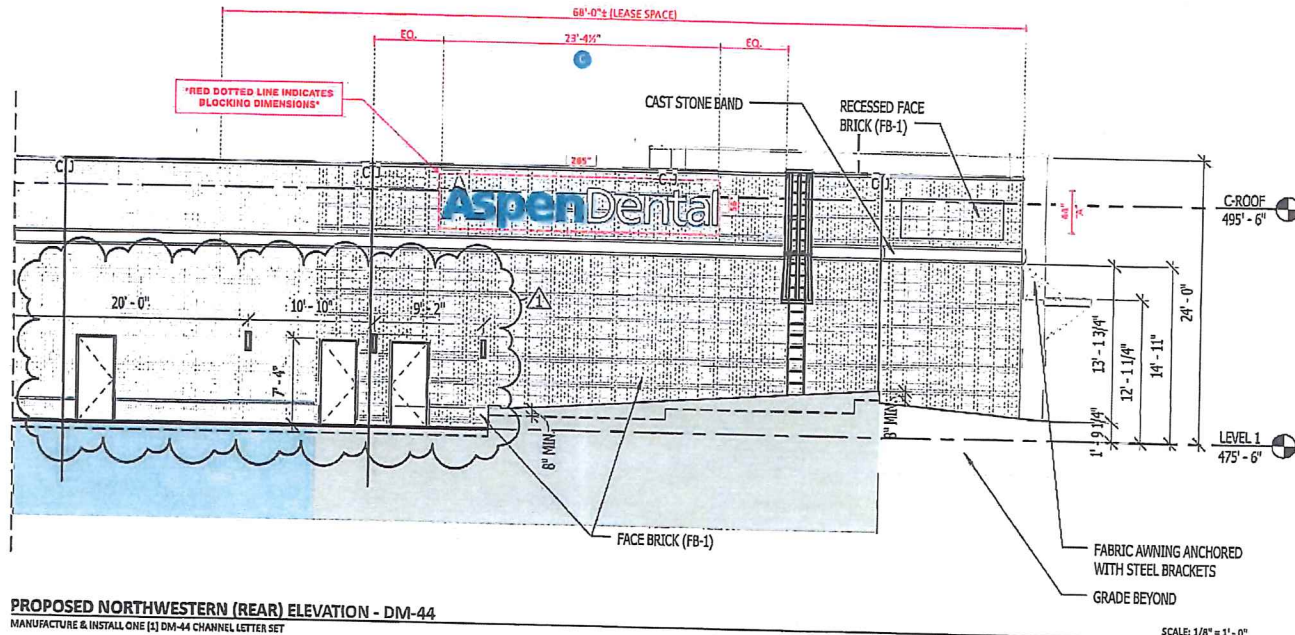
Georgia
1211 Main St
Georgia, GA 30301

South Texas
1211 Main St
South Texas, TX 78101

Final Electrical Connection by Customer

REAR FACADE

Page 4 of 6



CHANNEL LETTERS WILL REQUIRE 5/8" PLYWOOD BLOCKING UNLESS INSTALLED ON CONCRETE BLOCK OR BRICK WITH A MINIMUM 1/2" PLYWOOD BEHIND THE BRICK.

AWNINGS WILL REQUIRE 2" X 6" DIMENSIONAL WOOD BACKING UNLESS ON CONCRETE BLOCK OR BRICK - TO BE PROVIDED BY LANDLORD.

AspenDental

Design # 0395178Ar1

Sheet 6 of 8

Client ASPEN DENTAL

Address TOWSON, MD

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Designer BR

Date 12/15/17

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Art

Engineering

Landlord

Revision / Date

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West Coast 4500 West 10th Street, Suite 100, Los Angeles, CA 90048

Northeast 1000 Broadway, Suite 100, New York, NY 10018

Florida 3501 Market Street, Suite 100, San Antonio, TX 78209

Georgia 3501 Market Street, Suite 100, San Antonio, TX 78209

South Texas 3501 Market Street, Suite 100, San Antonio, TX 78209

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FINAL ELECTRICAL CONNECTION BY CUSTOMER

UL

ADMI

FRONT
FACADE



*SIDE
FACADE*



REAR
FACADE



Design #

0395178Ar1

Sheet 1 of 8

Client

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Account Rep. AMcM / VB

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Vista, CA 92081
(760) 734-1708 Fax (760) 734-3752

Northeast US
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Louisville, KY 40204
(502) 479-3075 Fax (502) 412-0013

Florida
2584 Sand Hill Point Circle
Davenport, FL 33837
(888) 420-1300 Fax (888) 426-1100

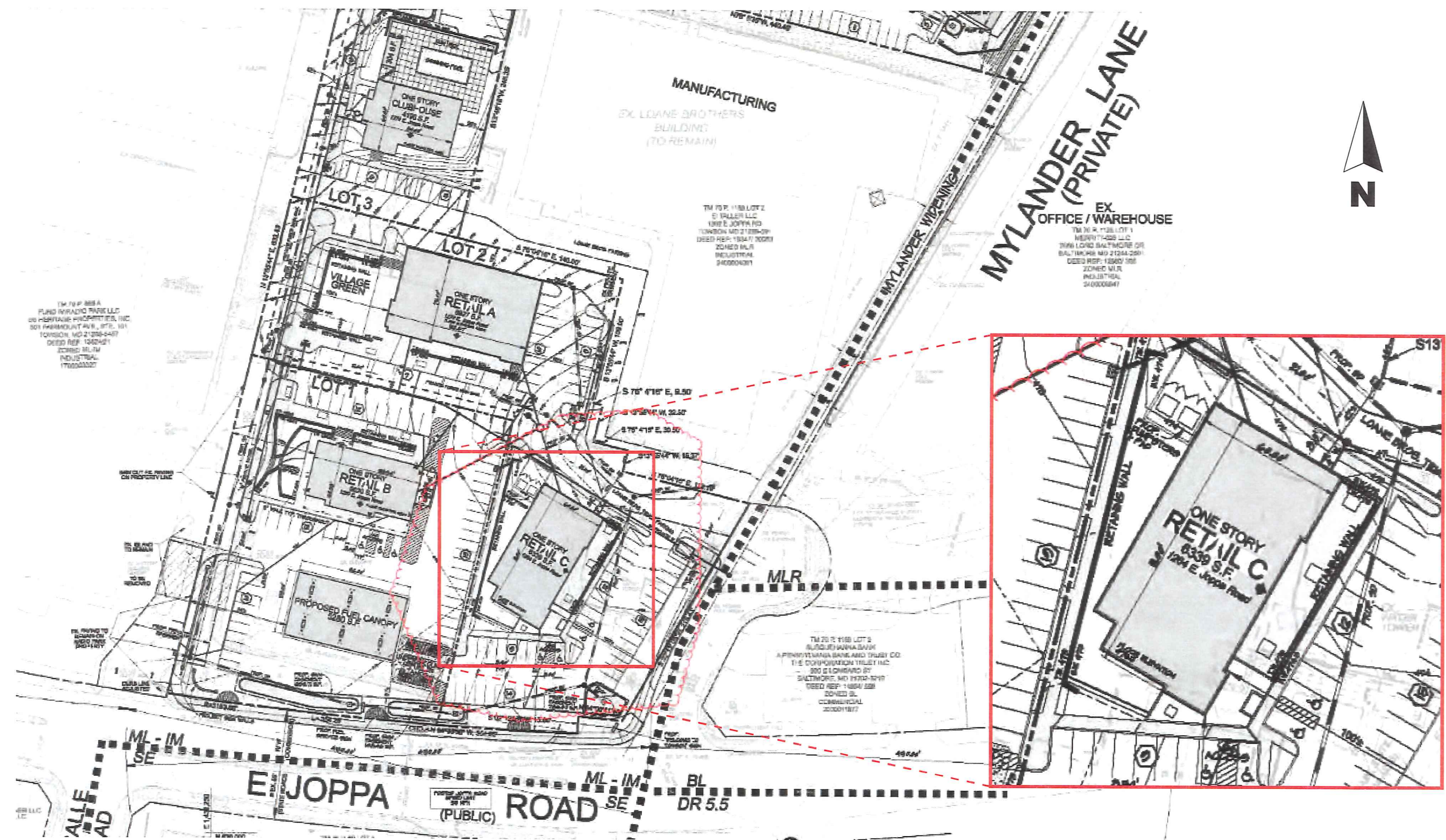
Georgia
37 Waterfront Park Court
Dawsonville, GA 30534
(770) 725-6852 Fax (210) 349-8724

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PROPER GROUNDING & BONDING OF THE SIGN.
SIGN WILL BEAR UL LABEL(S).



SITE PLAN

NO SCALE

Design #

0395178Ar1

Sheet 5 of 8

Client

ASPEN DENTAL

Address

TOWSON, MD

Account Rep. AMcM / VB

Designer BR

Date 12/15/17

Approval / Date

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Estimating	
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(502) 479-3075 Fax (502) 412-0013

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(863) 420-1100 Fax (863) 424-1160

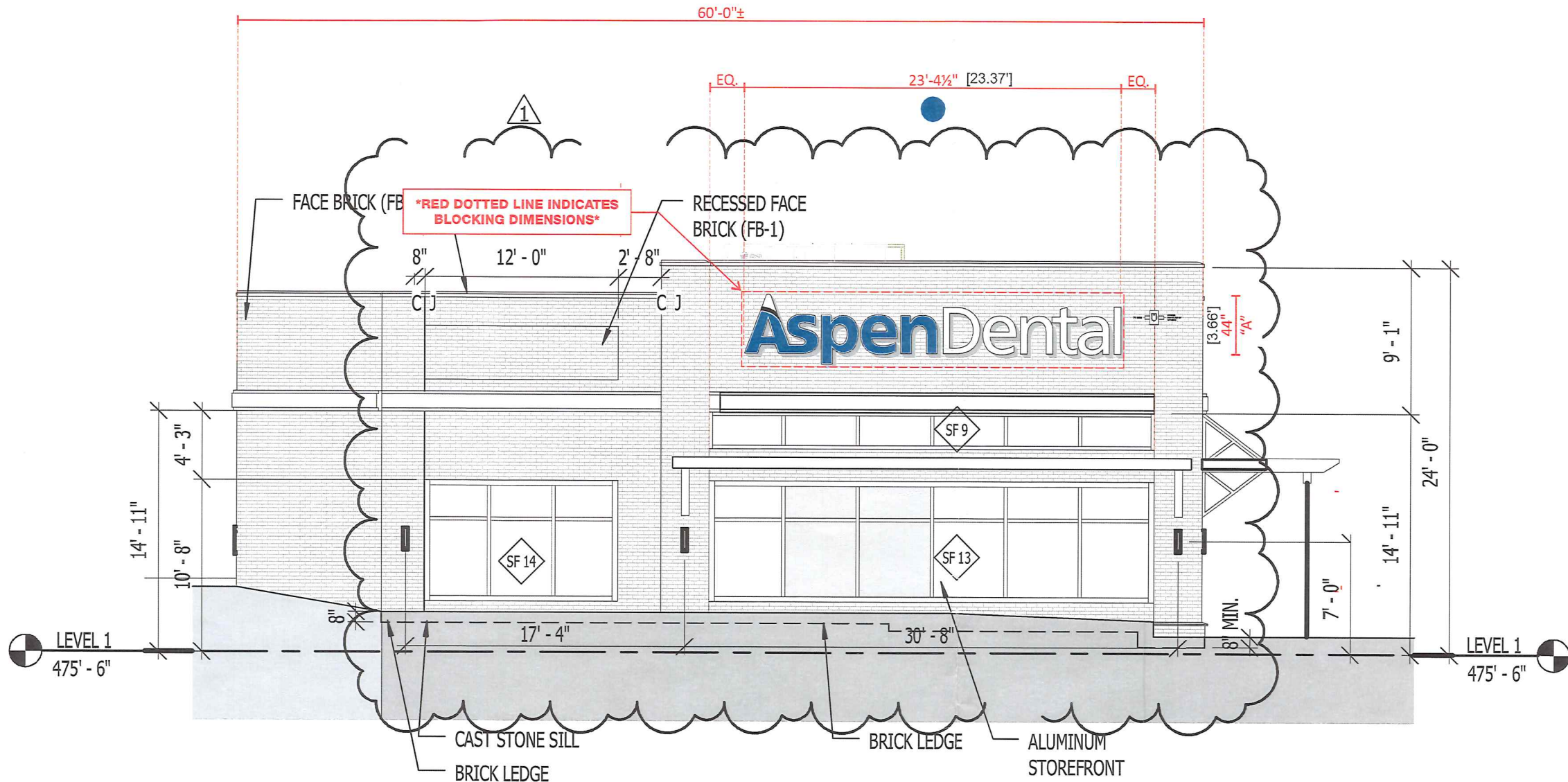
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Design #

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Sheet 6 of 8

Client

ASPEN DENTAL

Address

TOWSON, MD

Account Rep. AMcM / VB

Designer BR

Date 12/15/17

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Landlord

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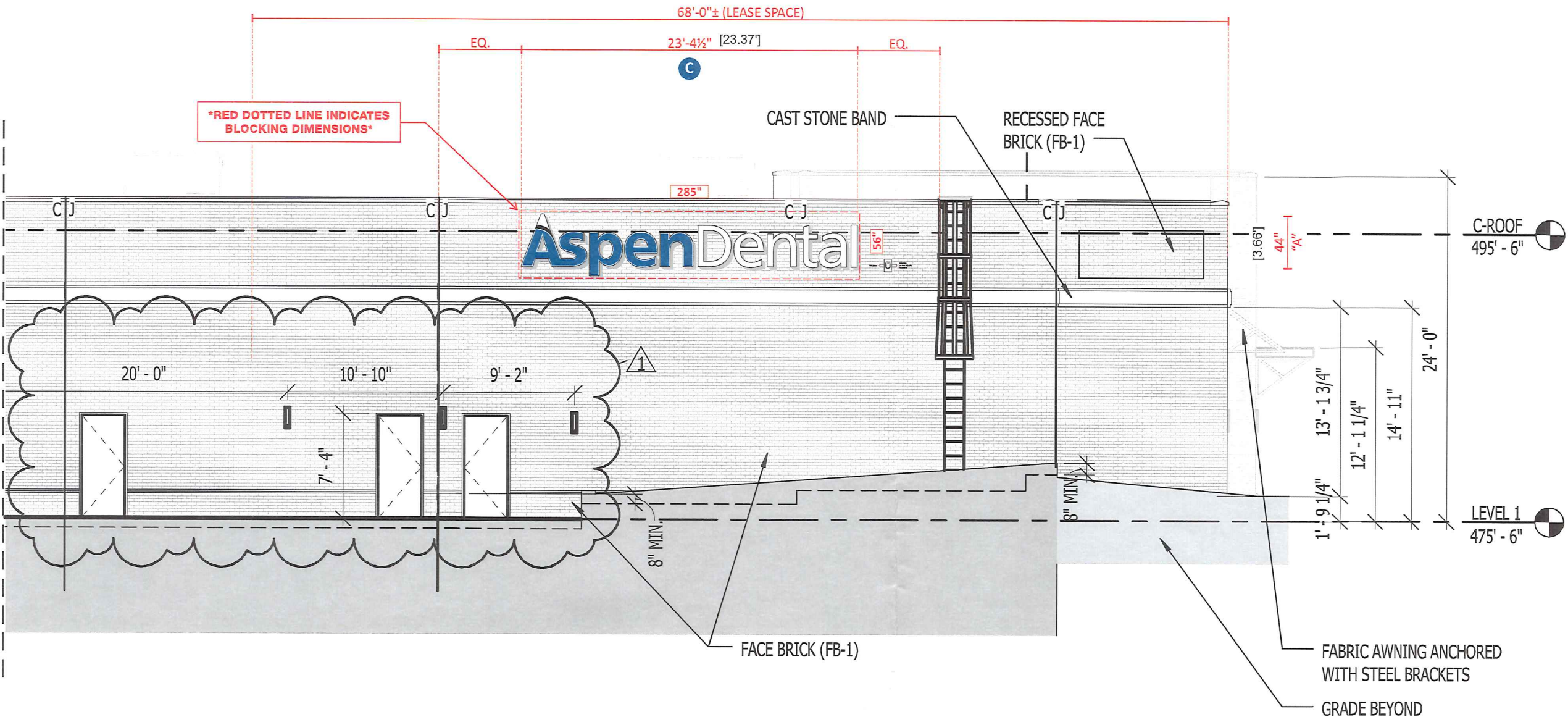
Georgia
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Dawsonville, GA 30534
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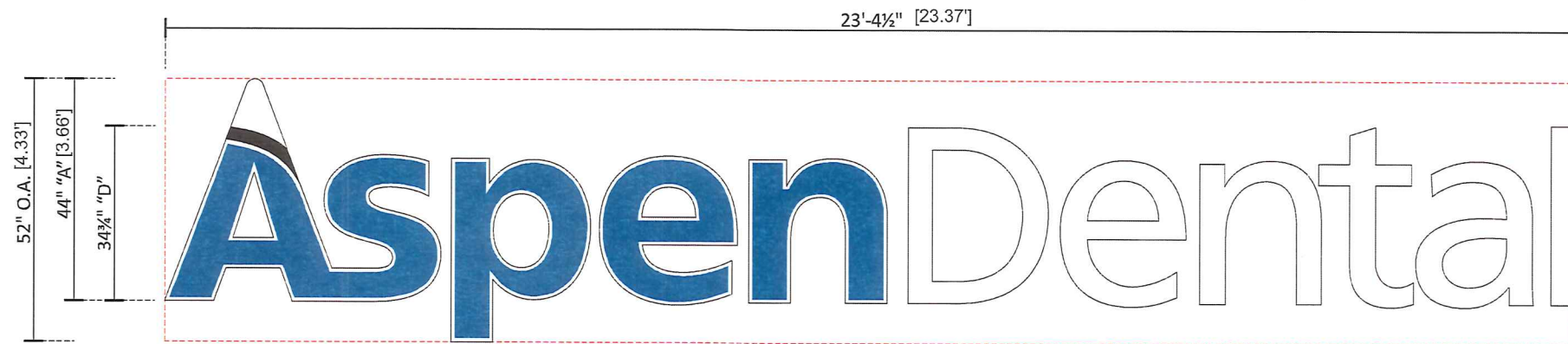
PROPOSED NORTHWESTERN (REAR) ELEVATION - DM-44

MANUFACTURE & INSTALL ONE [1] DM-44 CHANNEL LETTER SET

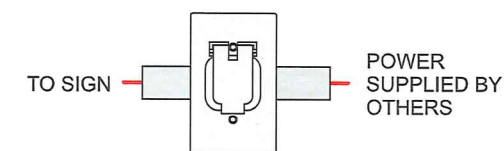
SCALE: 1/8" = 1' - 0"

**CHANNEL LETTERS WILL REQUIRE 5/8" PLYWOOD BLOCKING
UNLESS INSTALLED ON CONCRETE BLOCK OR BRICK
WITH A MINIMUM 1/2" PLYWOOD BEHIND THE BRICK.**

**AWNINGS WILL REQUIRE 2" X 6" DIMENSIONAL WOOD BACKING
UNLESS ON CONCRETE BLOCK OR BRICK -
TO BE PROVIDED BY LANDLORD.**

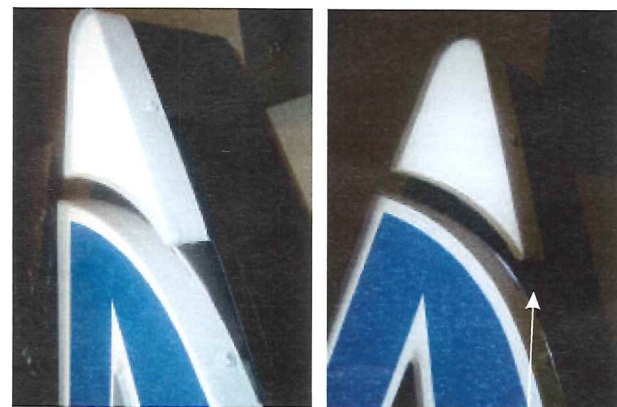


B C FACE-LIT CHANNEL LETTER ID# DM-44 SCALE: 3/8" = 1'-0"
THREE [3] SETS REQUIRED - MANUFACTURE & INSTALL 101.3 Sq.Ft. (PER SIGN)

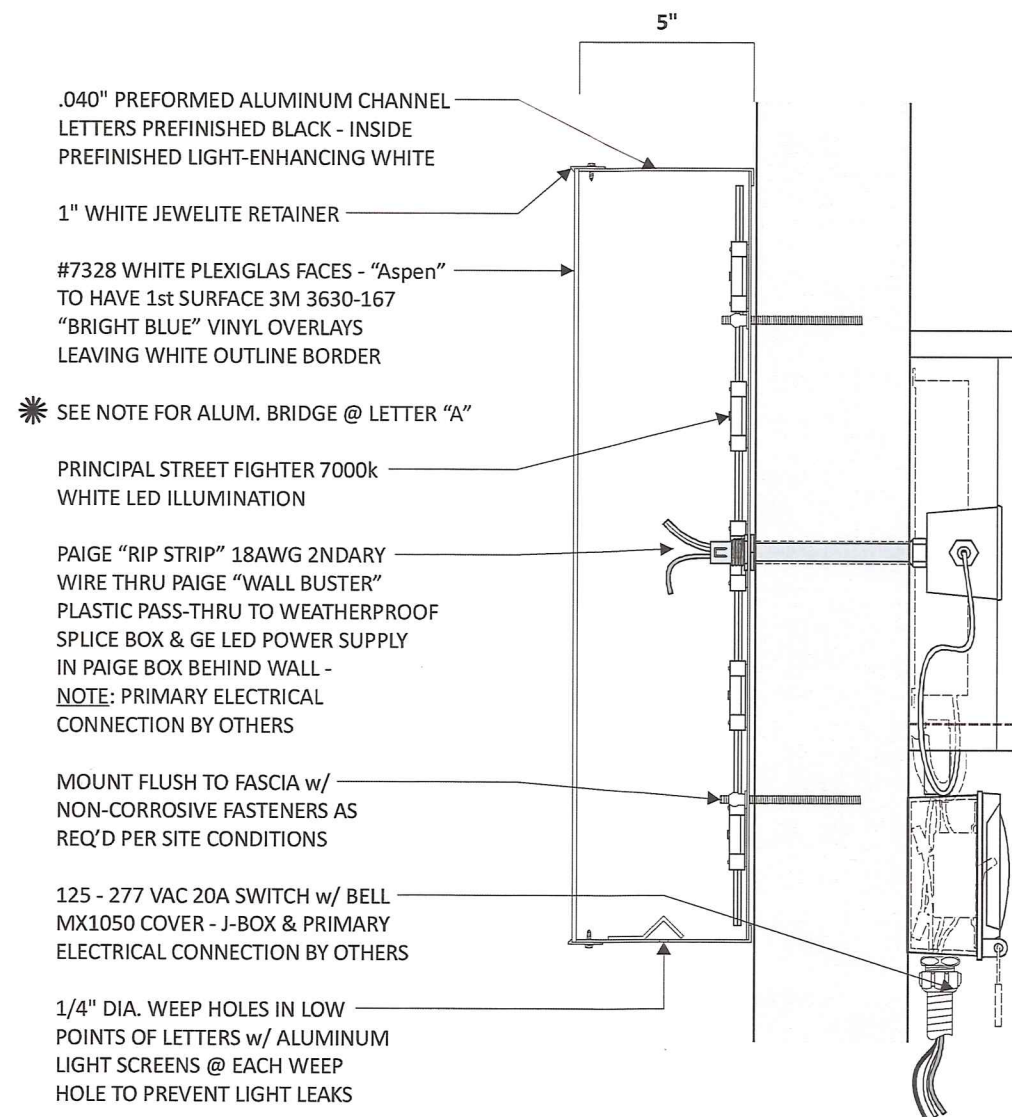


- FIREMAN'S SWITCH MOUNTS TO THE WALL BETWEEN PRIMARY FEED & SIGN.
- SWITCH MUST BE SEPARATE FROM THE SIGN.
- SWITCH MUST BE WITHIN SITE FROM THE SIGN.
- EXACT PLACEMENT T.B.D BASED ON SURVEY & LL REQUIREMENTS.

CHANNEL LETTERS WILL REQUIRE 5/8" PLYWOOD BLOCKING UNLESS TO BE INSTALLED ON CONCRETE BLOCK OR BRICK - TO BE PROVIDED BY LANDLORD



✱ ALUMINUM BRIDGE TO SEPARATE UPPER & LOWER SECTIONS OF "A"



A B C FACE-LIT CHANNEL LETTER SECTION
DIRECT-MOUNT - REMOTE POWER SUPPLIES 3/16" = 1"

AspenDental

Design #	0395178Ar1
Sheet	7 of 8
Client	ASPEN DENTAL
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UL