



BALTIMORE COUNTY
DEPARTMENT OF PERMITS, APPROVALS & INSPECTIONS
111 WEST CHESAPEAKE AVENUE
TOWSON, MD 21204
410-887-3391

SIGN USE PERMIT

Permit Fees are Non-Refundable; Make Check Payable to "Baltimore County, Maryland"

PROPERTY ADDRESS 8905 Kelso Drive ZIP CODE 21221
BUSINESS NAME RSSI Roofing Company ZONING MLIM
OWNER'S NAME 8905 Kelso Dr LLC PHONE NO. _____ HISTORIC DISTRICT ☐ Yes ☒ No
MAILING ADDRESS 1123 Beaver Street Bristol, PA 19007
APPLICANT/OWNER'S AGENT GARY BRENT PHONE NO. 410-507-0053
SIGN COMPANY NAME AA Signs PHONE NO. 410-662-1100
TYPE OF SIGN: ☐ Window Sign TAX ACCOUNT NO. 180 1001 2840

☐ Temporary- Including Real Estate/Construction/Event

Temporary Signs in the Last Year: ☐ Yes ☒ No

☒ Permanent ☐ Changeable Copy ☐ Wall ☐ Face Change Only ☒ Non-Illuminated

☐ Freestanding ☐ Pylon ☒ Monument ☐ Illuminated (separate electrical permit required)

Size: 5 feet x 7 feet = 35 square feet Height: 5 feet (freestanding signs)

Property Line/Street Right-of-Way Setbacks: front 0, sides 75 and 225, and rear 314.

NOTE: A construction plan, drawn to scale and clearly showing that all requirements have been met, must be attached; a site plan also must be attached for freestanding signs.

Table of Sign Regulations: 450.4. Attachment 1, 1.- An Electronic Changeable Copy Sign may only have a maximum Frequency of one instantaneous message change per 15 second cycle.

450.6.B.3 Changeable copy signs must operate at a constant intensity and not give the appearance of movement by flashing, blinking, strobing, scrolling, oscillating, or alternating lights.

PROHIBITIONS: including roof signs (Sections 450.5.B.7 and 450.6.A, Baltimore County Zoning Regulations):

1. Signs cannot impair motorist's clear view of traffic or government signs. All signs are subject to Section 102.5, BCZR.
2. Signs cannot imitate or resemble government signs, except for private traffic control and notice signs.
3. Signs cannot be placed in or project into or above street right of way or governmental property.
4. Sign or framework cannot obstruct window or opening for light and air or access to building, fire hydrant, or stand pipe.
5. Vehicle cannot be parked for the purpose of displaying an attached sign.
6. Except for flags exempted, flags, pennants, ribbons, streamers, tethered balloons, laser projections, and similar objects are prohibited.
7. Portable signs are prohibited, except for A-frame and sandwich board signs issued a use permit in B.M. - C.T. zones.
8. There can be no display or simulation of moving parts or message, except for an outdoor advertising sign with tri-vision, a changeable copy sign, or a thermometer, barometer, weather vane, barber pole, or clock.
9. No sign may emit sound

Work Description (including number of signs, special conditions, materials, locations and size):

Install (1) non-illuminated monument sign "RSSI"
5 feet height

CORNER LOT ☐

OWNER/AGENT CERTIFICATION

I solemnly affirm under the penalties of perjury and upon personal knowledge that the contents of the above are true and further agree to locate the proposed sign such that it will not violate Baltimore County laws and regulations.

Signature _____

Date 1-16-19

Print/Type Name GARY BRENT

☐ Require Planning Signature _____

Date _____

Copies: White-Office; Yellow- Applicant (keep this Copy for your permanent records)

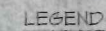
REV 10/14

Authority under Section 500.4, BCZR PAI Approval (SIGN ONLY)

Signature Larry A. [Signature]

Initials gh

Date 2/4/19



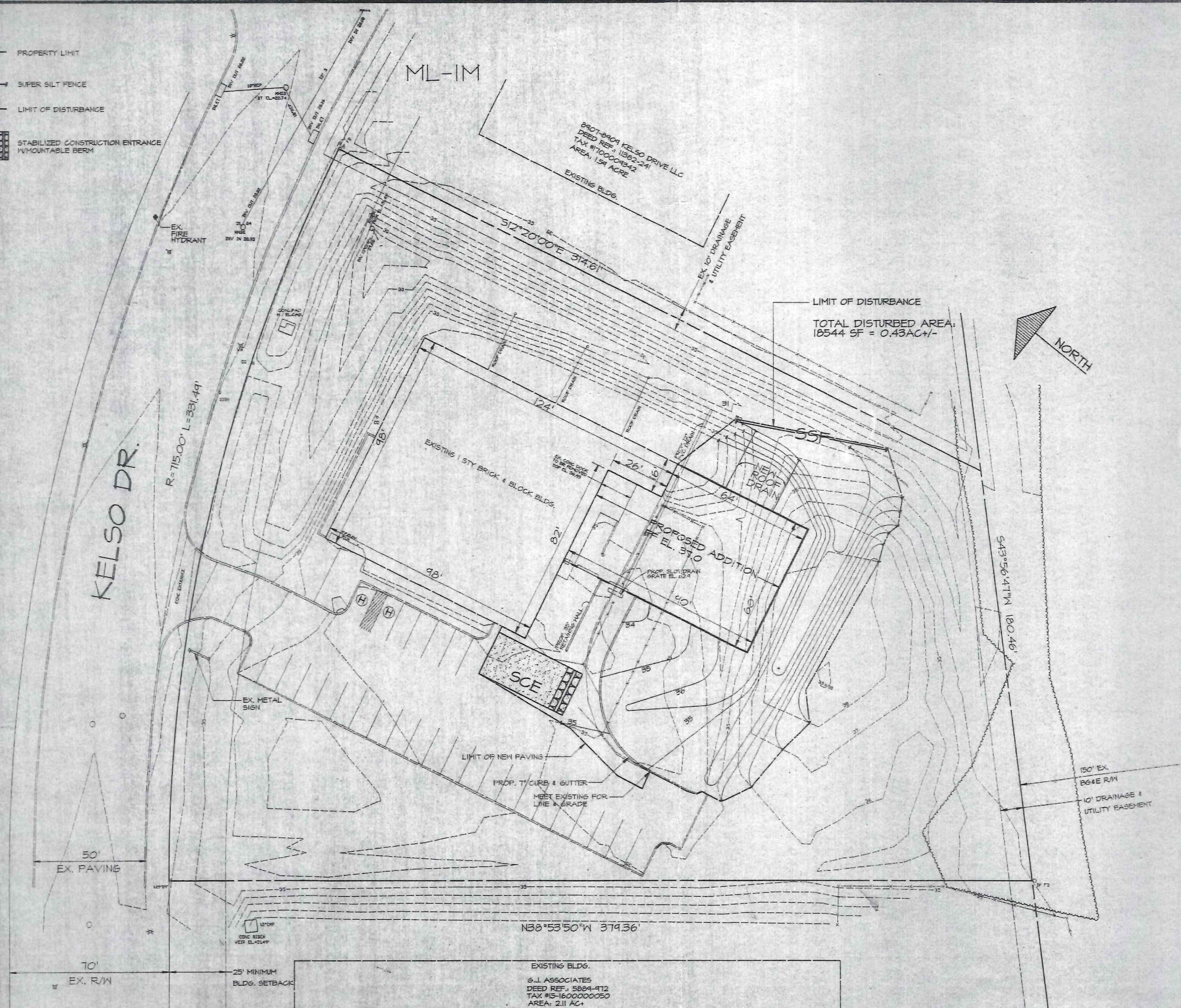
PROPERTY LIMIT

—SSF— SUPER SILT FENCE

LIMIT OF DISTURBANCE



STABILIZED CONSTRUCTION ENTRANCE
W/MOUNTABLE BERM



VICINITY MAP

SCALE: 1"=500'

BENCHMARK:

HUB NO. 11104.
GAL. SPIKE IN MAG. T' OFF NW FACE CURB ON NW SIDE OF
KELSO DRIVE, 19264/- 6W OF MARTIN BLVD.
N14762.01 E4155.84. ELEV. 33.101

SEQUENCE OF OPERATIONS:

- 1) CONTRACTOR SHALL NOTIFY OWNER, SOILS ENGINEER AND BALTIMORE COUNTY DEPARTMENT OF ENVIRONMENTAL PROTECTION AND RESOURCE MANAGEMENT SEDIMENT CONTROL DIVISION, 887-8226, AT LEAST 48 HOURS PRIOR TO BEGINNING ANY WORK.
- 2) CLEAR AND GRUB FOR SEDIMENT AND EROSION CONTROL MEASURES OR DEVICES ONLY.
- 3) INSTALL SUPER SILT FENCE # SCB, STABILIZE ALL SEDIMENT CONTROL MEASURES WITH TEMPORARY SEED MIXTURE AS SPECIFIED ON THE SEDIMENT CONTROL PLANS.
- 4) NOTIFY BALTIMORE COUNTY DEPARTMENT OF ENVIRONMENTAL PROTECTION AND RESOURCE MANAGEMENT SEDIMENT CONTROL DIVISION, 887-8226, UPON COMPLETION OF SAID INSTALLATION.
- 5) WITH THE APPROVAL OF BALTIMORE COUNTY DEPARTMENT OF ENVIRONMENTAL PROTECTION AND RESOURCE MANAGEMENT, AND THE SEDIMENT CONTROL INSPECTOR, CLEAR AND GRUB REMAINDER OF THE SITE.
- 6) ROUGH GRADE SITE AND START BUILDING CONSTRUCTION.
- 7) INSTALL CURB, GRITTER AND STONE BAGE IN PARKING LOT.
- 8) INSTALL ALL PAVING, FINE GRADE AND REFINELY STABILIZE ALL DISTURBED AREAS THAT ARE NOT TO BE PAVED.
- 9) WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, REMOVE THE SEDIMENT TRAP, EARTH DIKES AND ANY OTHER DEVICES, AND REFINELY STABILIZE AND STABILIZE ANY REMAINING DISTURBED AREAS.

SEDIMENT CONTROL PLAN

8905 KELSO DRIVE
LOT 7, BLK. "C"
REVISED PLAT, SECTION 1
"PULASKI INDUSTRIAL PARK"

6th COUNCILMANIC DISTRICT
 DRG NO. 01026H, JANUARY 2, 1996, DIST. 1506
 15th ELECTION DISTRICT BALTIMORE COUNTY, MD

HOFF &
ANTONUCCI
ASSOCIATES

Land Development
Consultants
and Landscape
Architects

1717 York Rd., Suite 1B
Lutherville, Md. 21003
410-628-9225
FAX: 628-9229

REVISIONS:

SCALE: 1"=20'

DATE: 2/1/80

OR NO. 554

[illegible]

DESIGNED: TJA

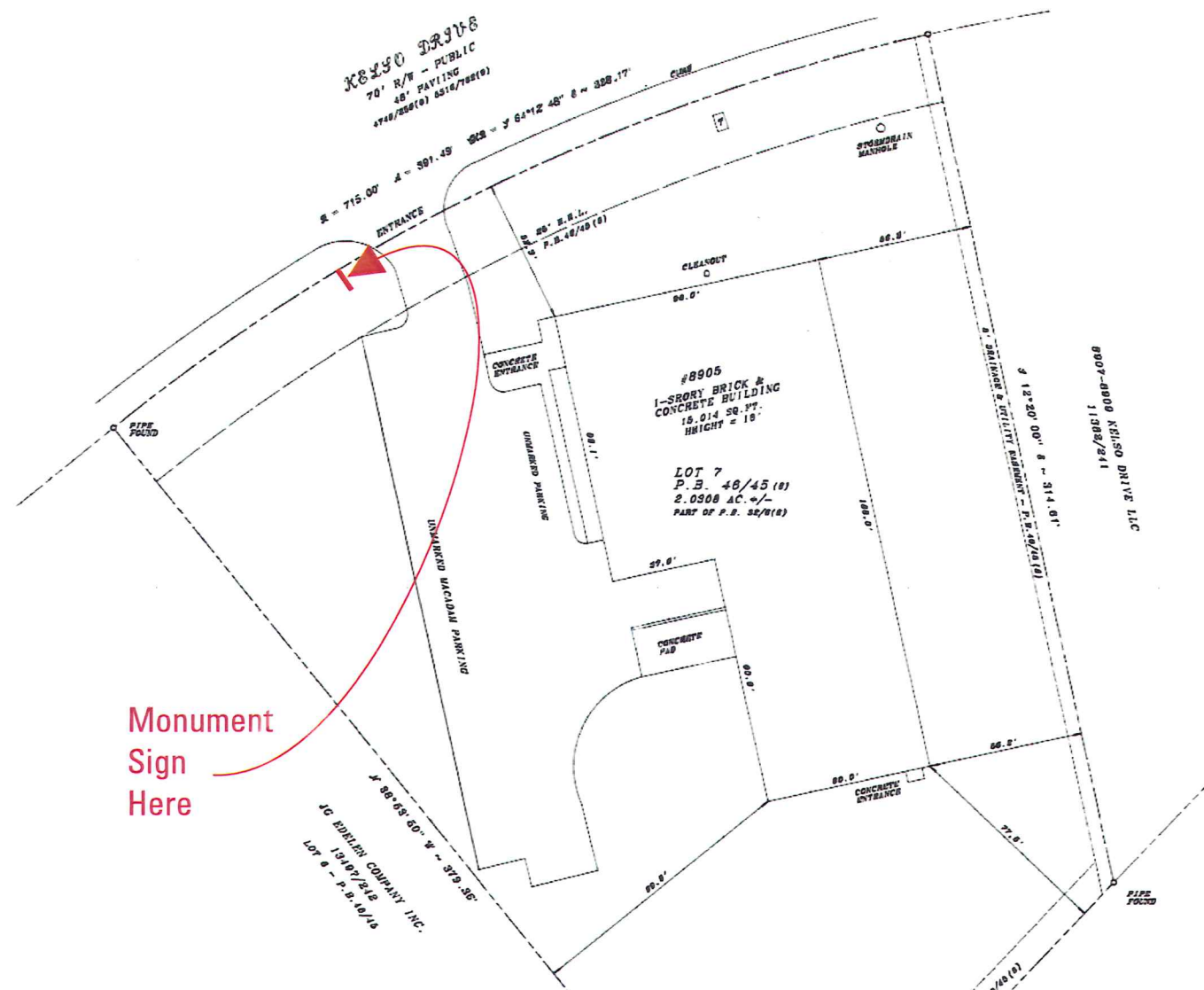
DRAWN: TJH

CHECKED:

SC-

SHEET 1 OF

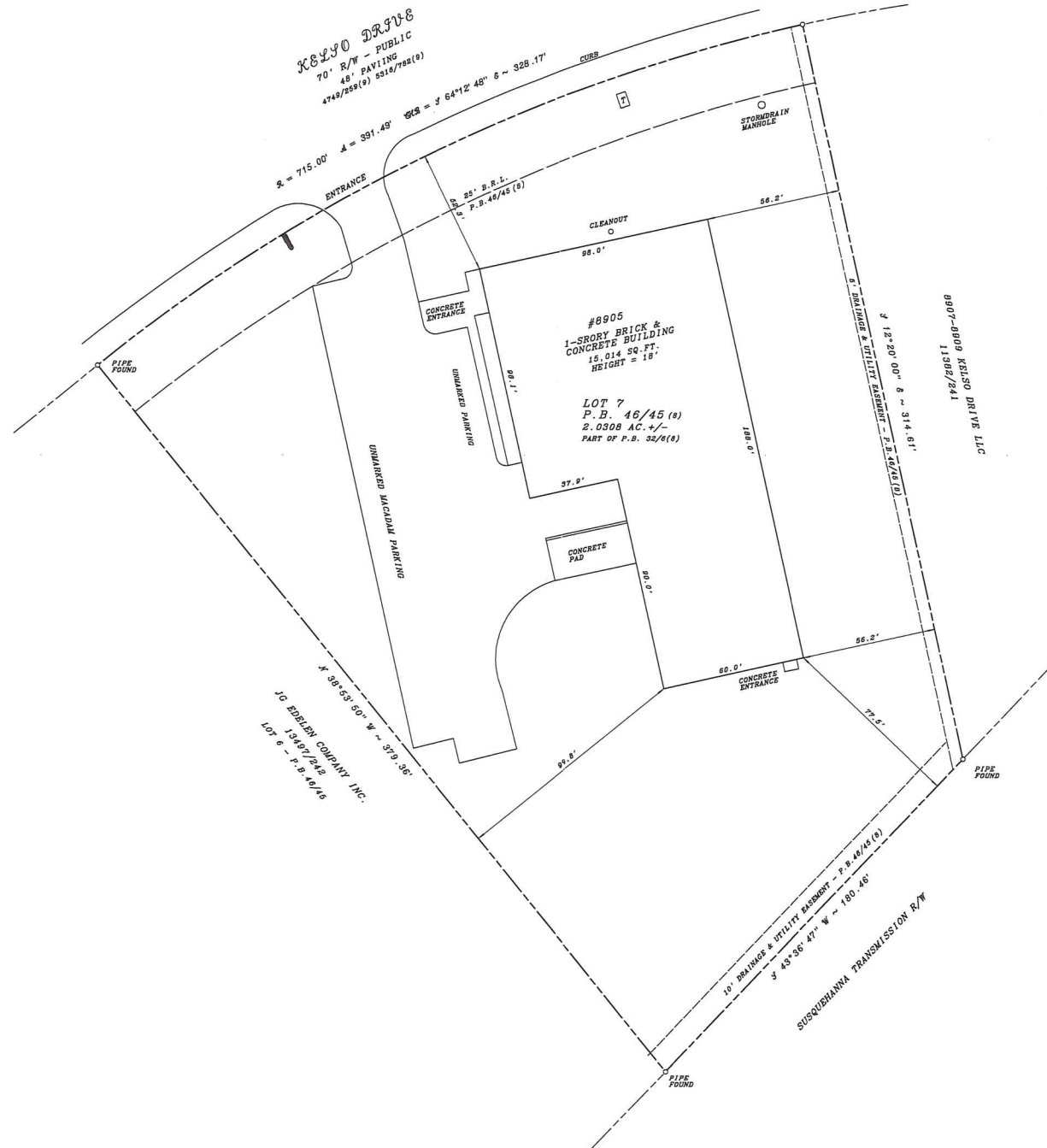
DATE	10/10/2019
TIME	10:00
LOCATION	10/10/2019
NAME	10/10/2019
ADDRESS	10/10/2019
CITY	10/10/2019
STATE	10/10/2019
ZIP	10/10/2019
PHONE	10/10/2019
FAX	10/10/2019
E-MAIL	10/10/2019
WEBSITE	10/10/2019
OTHER	10/10/2019



SCALE: 1/2"=1'

- A** Plotter cut gold vinyl logo
- B** Double faced, non-illuminated, custom painted fabricated aluminum monument sign
- C** Plotter cut white vinyl lettering
- D** Fabricated, custom painted, aluminum pole skirt at angle to follow slope of grade





VICINITY MAP

LEGEND

- BUILDING RESTRICTION LINE
CHAIN LINK FENCE
EASEMENT LINE
PROPERTY CORNER
PROPERTY LINE
TRANSFORMER 4789/471(11)

OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
COMMITMENT No. 2017-0065 dated October 3, 2017
SCHEDULE B-11 EXCEPTIONS

ITEM 8: P.B. 46/45 & 32/6 AFFECT SUBJECT PROPERTY AND ARE SHOWN HEREON.

ITEM 9: 2686/262 DOES NOT AFFECT SUBJECT PROPERTY.
4078/61 & 491 DO NOT AFFECT SUBJECT PROPERTY.
4748/259 AFFECTS SUBJECT PROPERTY AND IS SHOWN HEREON.
(KELSO DRIVE PUBLIC R/W)
4764/1 DOES NOT AFFECT SUBJECT PROPERTY.
5191/768 DOES NOT AFFECT SUBJECT PROPERTY.
5316/782 AFFECTS SUBJECT PROPERTY AND IS SHOWN HEREON.
(KELSO DRIVE PUBLIC R/W)
5381/176 DOES NOT AFFECT SUBJECT PROPERTY.
5451/131 DOES NOT AFFECT SUBJECT PROPERTY.

ITEM 10: 6728/20 DOES NOT AFFECT SUBJECT PROPERTY.

ITEM 11: 2709/250 DOES NOT AFFECT SUBJECT PROPERTY.
4789/471 AFFECTS SUBJECT PROPERTY. IS BLANKET IN NATURE AND NOT PLOTTABLE. (SEE R/W - SEE TRANSFORMER IN LEGEND)

- NOTES:
- SUBJECT PROPERTY LIES IN ZONE 'X'. AREAS OF MINIMAL FLOOD HAZARD, AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP No. 240010-0430-G DATED MAY 5, 2014.
 - SUBJECT PROPERTY ACCESSES PUBLIC UTILITIES SITUATED IN THE PUBLIC RIGHT OF WAY OF KELSO DRIVE.
 - THERE ARE NO MARKED PARKING SPACES ON SUBJECT PROPERTY.
 - THERE ARE NO ENCROACHMENTS EITHER WAY OVER PROPERTY LINES SHOWN HEREON.

SURVEYOR'S CERTIFICATE

To (i) 8905 Kelso Drive, LLC,
(ii) Penn Community Bank, its successors and/or assigns as their respective interests may appear,
(iii) OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY.

This is to certify that this map or plat and the survey on which it is based were made in accordance with "Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys", jointly established and adopted by ALTA and NSPS, effective February 23, 2018. Pursuant to the Accuracy Standards as adopted by ALTA and NSPS and in effect on the date of this certification, undersigned further certifies that in my professional opinion, as a land surveyor registered in the State of Maryland, the Relative Positional Accuracy of this survey does not exceed that which is specified therein.

Michael K. Smith Registered Surveyor No. 436 Date
License renewal date: December 4, 2018

LEGAL DESCRIPTION
BEING KNOWN AND DESIGNATED as Lot No. 7, Block C, as shown on the Plat entitled, "Plat 2, Revised Plat, Section 1 Pulaski Industrial Park", which Plat is recorded among the Land Records of Baltimore County in Plat book 46, page 45.

ALBION SURVEY

Land Surveyors
P.O. Box 5614
Baltimore, Maryland 21210
albionsurvey@yahoo.com 410-435-0800

SCALE: 1" = 30'

DATE: MARCH 8, 2018

DEED REFERENCE:
LIBER 11744, FOLIO 629

ALTA/NSPS LAND TITLE SURVEY
OF LAND OF
DAVID J. BABICHT and MARILYN S BABICHT
KNOWN AS
8905 KELSO DRIVE
ELECTION DISTRICT 15
BALTIMORE COUNTY
MARYLAND