

M E M O R A N D U M

DATE: December 31, 2018
TO: Zoning Review Office
FROM: Office of Administrative Hearings
RE: Case No. 2019-0134-A - Appeal Period Expired

The appeal period for the above-referenced case expired on December 26, 2018. There being no appeal filed, the subject file is ready for return to the Zoning Review Office and is placed in the 'pick up box.'

c: Case File
Office of Administrative Hearings

IN RE: PETITION FOR ADMIN. VARIANCE	*	BEFORE THE
(16540 Yeoho Road)		
5 th Election District	*	OFFICE OF ADMINISTRATIVE
3 rd Council District		
Eric J. & Melissa McDermott Lane	*	HEARINGS FOR
Petitioners		
	*	BALTIMORE COUNTY
	*	CASE NO. 2018-0134-A

* * * * *

OPINION AND ORDER

This matter comes before the Office of Administrative Hearings (“OAH”) as a Petition for Administrative Variance filed by the legal owners of the property, Eric J. and Melissa McDermott Lane (“Petitioners”). The Petitioners are requesting Variance relief from § 400.1 of the Baltimore County Zoning Regulations (“BCZR”), to permit a proposed accessory structure (detached carport) to be located in the side yard in lieu of the required rear only. The subject property and requested relief is more fully depicted on the site plan that was marked and accepted into evidence as Petitioners’ Exhibit 1.

The Zoning Advisory Committee (“ZAC”) comments were received and are made part of the record of this case. A ZAC comment was submitted by the Department of Environmental Protection and Sustainability (“DEPS”) dated November 13, 2018, indicating that Ground Water Management will need to review the proposed building permit (for a carport), especially since the existing well is in the vicinity.

The Petitioners having filed a Petition for Administrative Variance and the subject property having been posted on November 4, 2018, and there being no request for a public hearing, a decision shall be rendered based upon the documentation presented.

The Petitioners have filed the supporting affidavits as required by Section 32-3-303 of the Baltimore County Code (“BCC”). Based upon the information available, there is no evidence in the file to indicate that the requested variance would adversely affect the health, safety or general

ORDER RECEIVED FOR FILING

Date 11-26-18

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welfare of the public and should therefore be granted. In the opinion of the Administrative Law Judge, the information, photographs, and affidavits submitted provide sufficient facts that comply with the requirements of Section 307.1 of the BCZR. Furthermore, strict compliance with the BCZR would result in practical difficulty and/or unreasonable hardship upon the Petitioners.

Pursuant to the posting of the property and the provisions of both the BCC and the BCZR, and for the reasons given above, the requested variance should be granted.

THEREFORE, IT IS ORDERED, this 26th day of **November, 2018**, by the Administrative Law Judge for Baltimore County, that the Petition for Variance relief from § 400.1 of the Baltimore County Zoning Regulations ("BCZR"), to permit a proposed accessory structure (detached carport) to be located in the side yard in lieu of the required rear only, be and is hereby GRANTED.

The relief granted herein shall be subject to the following:

- Petitioners may apply for their appropriate permits and be granted same upon receipt of this Order; however, Petitioners are hereby made aware that proceeding at this time is at their own risk until such time as the 30-day appellate process from this Order has expired. If, for whatever reason, this Order is reversed, Petitioners would be required to return, and be responsible for returning, said property to its original condition.
- Building materials for the carport addition shall be compatible with those of the existing principal dwelling.
- The carport shall remain open on the three exposed sides and shall not be enclosed at any time.
- Petitioners must comply with the DEPS ZAC comment, dated November 13, 2018; a copy of which of attached hereto and made a part hereof.

Any appeal of this decision must be made within thirty (30) days of the date of this Order.


JOHN E. BEVERUNGEN
Administrative Law Judge
for Baltimore County

JEB:dlw

ORDER RECEIVED FOR FILING

Date 11-26-18

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By kw



ADMINISTRATIVE ZONING PETITION

FOR ADMINISTRATIVE VARIANCE – OR – ADMINISTRATIVE SPECIAL HEARING

To be filed with the Department of Permits, Approvals and Inspections

To the Office of Administrative Hearings for Baltimore County for the property located at:

Address 16540 YEOHO ROAD, SPARKS, MD 21152 Currently zoned RC-2
 Deed Reference 18957 / 00045 10 Digit Tax Account # 1600001457
 Owner(s) Printed Name(s) ERIC JOSEPH LANE, MELISSA McDERMOTT LANE

(SELECT THE HEARING(S) BY MARKING X AT THE APPROPRIATE SELECTION(S) AND ADDING THE PETITION REQUEST)

For Administrative Variances, the Affidavit on the reverse of this Petition form must be completed and notarized.

The undersigned, who own and occupy the property situate in Baltimore County and which is described in the plan/plat attached hereto and made a part hereof, hereby petition for an:

1. X ADMINISTRATIVE VARIANCE from Section(s) 400.1, BC2R, to permit a proposed accessory structure (detached carport) to be located in the side yard, in lieu of the required rear yard only.

of the zoning regulations of Baltimore County, to the zoning law of Baltimore County.

2. _____ ADMINISTRATIVE SPECIAL HEARING to approve a waiver pursuant to Section 32-4-107(b) of the Baltimore County Code: (indicate type of work in this space: i.e., to raze, alter or construct addition to building)

of the Baltimore County Code, to the development law of Baltimore County.

Property is to be posted and advertised as prescribed by the zoning regulations.

I/we agree to pay expenses of above petition(s), advertising, posting, etc. and further agree to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

Owner(s)/Petitioner(s):

ERIC JOSEPH LANE / MELISSA McDERMOTT LANE
 Name #1 – Type or Print Name #2 – Type or Print
[Signature] / [Signature]
 Signature #1 Signature #2
16540 YEOHO ROAD, SPARKS, MD
 Mailing Address City State
21152 / 443-280- / ERICJLANE04@gmail.com
 Zip Code Telephone # Email Address

Attorney for Owner(s)/Petitioner(s):

Name- Type or Print
 Signature
 Mailing Address City State
 Zip Code Telephone # Email Address

Representative to be contacted:

KEVIN BROWN
 Name – Type or Print
[Signature]
 Signature
6305 FALLS ROAD, BALTIMORE, MD
 Mailing Address City State
21209 / 443-613-6049 / KEVIN.B@SUNNYFIELDSCABINERY.C
 Zip Code Telephone # Email Address

A PUBLIC HEARING having been formally demanded and/or found to be required, it is ordered by the Office of Administrative Hearings for Baltimore County, this 11 day of July, 2018 that the subject matter of this petition be set for a public hearing, advertised, and re-posted as required by the zoning regulations of Baltimore County.

Administrative Law Judge for Baltimore County

CASE NUMBER 2019-0134-A Filing Date 10/23/2018 Estimated Posting Date 11/7/2018 Reviewer SNP

Affidavit in Support of Administrative Variance

(THIS AFFIDAVIT IS NOT REQUIRED FOR AN HISTORIC ADMINISTRATIVE SPECIAL HEARING)

The undersigned hereby affirms under the penalties of perjury and upon personal knowledge to the Administrative Law Judge for Baltimore County, that the information herein given is true and correct and that the undersigned is/are competent to testify in the event that a public hearing is scheduled in the future with regard thereto. In addition, the undersigned hereby affirms that the property is not the subject of an active Code Enforcement case and that the residential property described below is owned and occupied by the undersigned.

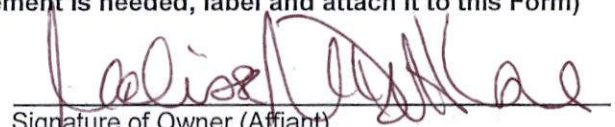
Address: 16540 YEDDO ROAD SPARKS MARYLAND 21152
Print or Type Address of property City State Zip Code

Based upon personal knowledge, the following are the facts upon which I/we base the request for an Administrative Variance at the above address. (Clearly state practical difficulty or hardship here)

RELIEF IS SOUGHT TO ALLOW A CARPORT (ACCESSORY STRUCTURE) TO BE BUILT ON THE EAST SIDE OF HOUSE WHERE CURRENT DRIVEWAY EXISTS. AT THE REAR OF THE PROPERTY ON SAME EAST SIDE AT THE END OF THE DRIVEWAY IS AN ACCESS GATE CONNECTED TO A PERIMETER ELECTRIC FENCE WHICH ESTABLISHES A HORSE PASTURE. THE ACCESS GATE MUST BE KEPT CLOSED AT ALL TIMES & KEPT CLEAR TO ALLOW FEED TRUCK AND HORSE TRAILER ACCESS. LOCATING THE CARPORT IN THIS AREA OF THE REAR WOULD IMPEDE THIS ACCESS AND COMPROMISE HORSE SECURITY AND SAFETY. THERE IS ALSO STEEPER SLOPES & TREES IN REAR YARD. MAKING IT DIFFICULT TO BUILD. MOVING THE EXISTING ELECTRIFIED FENCE WOULD ALSO BE IMPRACTICAL. A WELL ALSO EXISTS IN THE REAR YARD AREA

(If additional space for the petition request or the above statement is needed, label and attach it to this Form)


Signature of Owner (Affiant)
ERIC JOSEPH LANE
Name- Print or Type


Signature of Owner (Affiant)
MELISSA McDERMOTT LANE
Name- Print or Type

The following information is to be completed by a Notary Public of the State of Maryland

STATE OF MARYLAND, COUNTY OF BALTIMORE, to wit:

Baltimore City

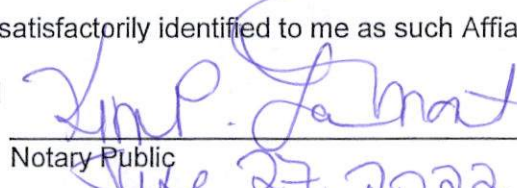
I HEREBY CERTIFY, this 15th day of Oct, 2018, before me a Notary of Maryland, in and for the County aforesaid, personally appeared:

Print name(s) here: Eric + Melissa Lane

the Affiant(s) herein personally known or satisfactorily identified to me as such Affiant(s).

AS WITNESS my hand and Notaries Seal




Notary Public

June 27, 2022
My Commission Expires

Affidavit in Support of Administrative Variance

(THIS AFFIDAVIT IS NOT REQUIRED FOR AN HISTORIC ADMINISTRATIVE SPECIAL HEARING)

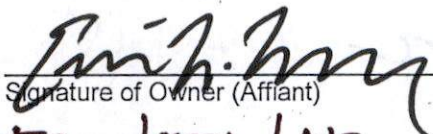
The undersigned hereby affirms under the penalties of perjury and upon personal knowledge to the Administrative Law Judge for Baltimore County, that the information herein given is true and correct and that the undersigned is/are competent to testify in the event that a public hearing is scheduled in the future with regard thereto. In addition, the undersigned hereby affirms that the property is not the subject of an active Code Enforcement case and that the residential property described below is owned and occupied by the undersigned.

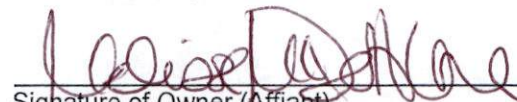
Address: 16540 YEDDO ROAD SPARKS MARYLAND 21152
Print or Type Address of property City State Zip Code

Based upon personal knowledge, the following are the facts upon which I/we base the request for an Administrative Variance at the above address. (Clearly state practical difficulty or hardship here)

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SIDE AT THE END OF THE DRIVEWAY IS AN ACCESS GATE CONNECTED TO A PERIMETER ELECTRIC
FENCE WHICH ESTABLISHES A HORSE PASTURE. THE ACCESS GATE MUST BE KEPT CLOSED
AT ALL TIMES & KEPT CLEAR TO ALLOW FEED TRUCK AND HORSE TRAILER ACCESS. LOCATING
THE CARPORT IN THIS AREA OF THE REAR WOULD IMPEDE THIS ACCESS AND COMPROMISE
HORSE SECURITY AND SAFETY. THERE IS ALSO STEEPER SLOPES & TREES IN REAR
YARD MAKING IT DIFFICULT TO BUILD. HAVING THE EXISTING ELECTRIFIED FENCE WOULD
ALSO BE IMPRACTICAL. A WELL ALSO EXISTS IN THE REAR AREA.

(If additional space for the petition request or the above statement is needed, label and attach it to this Form)


Signature of Owner (Affiant)
ERIC JOSEPH LANE
Name- Print or Type


Signature of Owner (Affiant)
MELISSA McDERMOTT LANE
Name- Print or Type

The following information is to be completed by a Notary Public of the State of Maryland

STATE OF MARYLAND, COUNTY OF BALTIMORE, to wit: Baltimore City

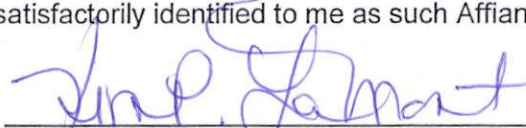
I HEREBY CERTIFY, this 15th day of Oct, 2018, before me a Notary of Maryland, in and for the County aforesaid, personally appeared:

Print name(s) here: Eric + Melissa Lane

the Affiant(s) herein, personally known or satisfactorily identified to me as such Affiant(s).

AS WITNESS my hand and Notary Seal




Notary Public

June 27, 2022
My Commission Expires



ADMINISTRATIVE ZONING PETITION

FOR ADMINISTRATIVE VARIANCE – OR – ADMINISTRATIVE SPECIAL HEARING

To be filed with the Department of Permits, Approvals and Inspections

To the Office of Administrative Hearings for Baltimore County for the property located at:

Address 16540 YEOHO ROAD, SPARKS, MD 21152 Currently zoned RC-2
 Deed Reference 18957 / 00045 10 Digit Tax Account # 1600001457
 Owner(s) Printed Name(s) ERIC JOSEPH LANE, MELISSA McDERMOTT LANE

(SELECT THE HEARING(S) BY MARKING X AT THE APPROPRIATE SELECTION(S) AND ADDING THE PETITION REQUEST)

For Administrative Variances, the Affidavit on the reverse of this Petition form must be completed and notarized.

The undersigned, who own and occupy the property situate in Baltimore County and which is described in the plan/plat attached hereto and made a part hereof, hereby petition for an:

1. X ADMINISTRATIVE VARIANCE from Section(s) 400.1, BC2R, to permit a proposed accessory structure (detached carport) to be located in the side yard, in lieu of the required rear yard only.
 of the zoning regulations of Baltimore County, to the zoning law of Baltimore County.

2. _____ ADMINISTRATIVE SPECIAL HEARING to approve a waiver pursuant to Section 32-4-107(b) of the Baltimore County Code: (indicate type of work in this space: i.e., to raze, alter or construct addition to building)

of the Baltimore County Code, to the development law of Baltimore County.

Property is to be posted and advertised as prescribed by the zoning regulations.

I/we agree to pay expenses of above petition(s), advertising, posting, etc. and further agree to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

Owner(s)/Petitioner(s):

ERIC JOSEPH LANE, MELISSA McDERMOTT LANE
 Name #1 – Type or Print Name #2 – Type or Print
 Signature #1 Signature #2
 16540 YEOHO ROAD, SPARKS, MD
 Mailing Address City State
 21152, 443.280- ERICJLANE04@gmail.com
 Zip Code Telephone # Email Address

Attorney for Owner(s)/Petitioner(s):

Name- Type or Print
 Signature
 Mailing Address City State
 Zip Code Telephone # Email Address

Representative to be contacted:

KEVIN BROWN
 Name- Type or Print
 Signature
 6305 FALLS ROAD, BALTIMORE, MD
 Mailing Address City State
 21209, 443.613.6049, KEVIN.B@SUNNYFIELDSCABINERY.C
 Zip Code Telephone # Email Address

A PUBLIC HEARING having been formally demanded and/or found to be required, it is ordered by the Office of Administrative Hearings for Baltimore County, this _____ day of _____, that the subject matter of this petition be set for a public hearing, advertised, and re-posted as required by the zoning regulations of Baltimore County.

Administrative Law Judge for Baltimore County

CASE NUMBER 2019-0134-A Filing Date 10/23/2018 Estimated Posting Date 11/4/2018 Reviewer JNP

ZONING PROPERTY DESCRIPTION FOR 16540 YEOHO ROAD, SPARKS, MARYLAND 21152

Beginning at a point on the ~~North~~^{Southwest} side of Yeoho Road which is 25 feet wide at a distance of 2,510 feet west of the centerline of the nearest improved intersecting street, Dubbs Road, which is 25 feet wide.

Thence the following courses and distances: (1st Point of Call, "POC) N.24 46' 31" E. 723.75', (2nd POC) N.41 12' 38" W. 182.45', (3rd POC) S.36 41' 32" W. 346.57' (4th POC) S.12 11' 15" W. 417.58' (5th POC) S.24 45' 47" W. 64.35' (6th POC) S.74 37' 44"E. 74.6' (7th POC) S. 65 50' 43"E. 73.61' back to the point of beginning in Deed Liber 18957/00045 containing 3.13 acres of lot. Located in the 5th Election District and 3rd Council District.

2019-0134-A

(AV) 11-19

Debra Wiley

From: Marty Ogle <mert1114@aol.com>
Sent: Sunday, November 18, 2018 9:38 PM
To: Administrative Hearings
Subject: 16540 Yeoho

RECEIVED
NOV 19 2018
OFFICE OF
ADMINISTRATIVE HEARINGS

2nd set of certificates

CERTIFICATE OF POSTING

CASE NO. 309-0134-A
PETITIONER/DEVELOPER
ERIC I. MEUSA
LAW
DATE OF HEARING/CLOSING
11/18/18

BALTIMORE COUNTY DEPARTMENT OF
PERMITS AND DEVELOPMENT MANAGEMENT
COUNTY OFFICE BUILDING ROOM 111
111 WEST CHESAPEAKE AVENUE
ATTENTION:
LADIES AND GENTLEMAN:
THIS LETTER IS TO CERTIFY UNDER PENALTIES OF PERJURY THAT THE
NECESSARY SIGN(S) REQUIRED BY LAW WERE POSTED CONSPICUOUSLY ON
THE PROPERTY LOCATED AT
16540 YEHOA ROAD
SIGD # 2

THIS SIGN(S) POSTED ON November 4, 2018 November 18, 2018
(MONTH, DAY, YEAR)

SINCERELY,
Marty Ogle 11/18/18
SIGNATURE OF SIGN POSTER

MARTIN OGLE
9912 MAIDBROOK ROAD
PARKVILLE, MD. 21234
443-629-3411



CERTIFICATE OF POSTING

CASE NO. 2019-0134-A
PETITIONER/DEVELOPER
ERIC & MELINGA
LAW
DATE OF HEARING/CLOSING
11/19/18

BALTIMORE COUNTY DEPARTMENT OF
PERMITS AND DEVELOPMENT MANAGEMENT
COUNTY OFFICE BUILDING ROOM 111
111 WEST CHESAPEAKE AVENUE
ATTENTION:

LADIES AND GENTLEMAN:

THIS LETTER IS TO CERTIFY UNDER PENALTIES OF PERJURY THAT THE
NECESSARY SIGN(S) REQUIRED BY LAW WERE POSTED CONSPICUOUSLY ON
THE PROPERTY LOCATED AT

16540 YEDHO ROAD

Sign #1

THIS SIGN(S) POSTED ON November 4, 2018 November 15, 2018
(MONTH, DAY, YEAR)

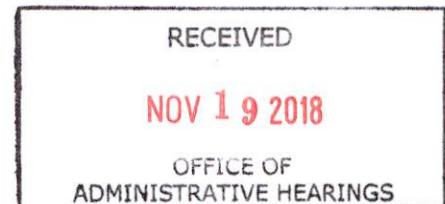
SINCERELY,

Martin Ogle 11/4/18
SIGNATURE OF SIGN POSTER

MARTIN OGLE
9912 MAIDBROOK ROAD
PARKVILLE, MD. 21234
443-629-3411



Sent from my iPhone



C E R T I F I C A T E O F P O S T I N G

CASE NO. 2019-0134-A

PETITIONER/DEVELOPER

ERIC & MELISSA

LANE

DATE OF HEARING/CLOSING

11/19/18

BALTIMORE COUNTY DEPARTMENT OF

PERMITS AND DEVELOPMENT MANAGEMENT

COUNTY OFFICE BUILDING ROOM 111

111 WEST CHESAPEAKE AVENUE

ATTENTION :

LADIES AND GENTLEMAN :

THIS LETTER IS TO CERTIFY UNDER PENALTIES OF PERJURY THAT THE
NECESSARY SIGN(S) REQUIRED BY LAW WERE POSTED CONSPICUOUSLY ON
THE PROPERTY LOCATED AT

16540 YEDHO ROAD
SIGN #2

THIS SIGN(S) POSTED ON November 4, 2018
(MONTH, DAY, YEAR)

SINCERELY,

Martin Ogle 11/4/18

SIGNATURE OF SIGN POSTER

MARTIN OGLE

9912 MAIDBROOK ROAD

PARKVILLE, MD. 21234

443-629-3411

SIGN 2

ZONING NOTICE

ADMINISTRATIVE VARIANCE

TO PERMIT A PROPOSED ACCESSORY STRUCTURE (DETACHED GARAGE) TO BE LOCATED IN THE SIDE YARD, IN LIEU OF THE REQUIRED REAR YARD DULY

PUBLIC HEARING ?

PURSUANT TO SECTION 26-127131 (1), BALTIMORE COUNTY CODE
AN ELIGIBLE INDIVIDUAL OR GROUP MAY
REQUEST A PUBLIC HEARING CONCERNING
THE PROPOSED VARIANCE, PROVIDED IT
IS DONE IN THE ZONING OFFICE BEFORE
4:30 p.m. ON WEDNESDAY DECEMBER 4, 2018
ADDITIONAL INFORMATION IS AVAILABLE AT
ZONING ADMINISTRATION AND DEVELOPMENT MANAGEMENT

151 W. CHESAPEAKE AVE.
TOWSON, MD 21204

TEL. 410-867-3391

MEETINGS IS HANDICAP ACCESSIBLE

2/20/18 11/4/18

CERTIFICATE OF POSTING

CASE NO. 2019-0134-A

PETITIONER/DEVELOPER

ERIC & MELISSA
LANE

DATE OF HEARING/CLOSING

11/19/18

BALTIMORE COUNTY DEPARTMENT OF
PERMITS AND DEVELOPMENT MANAGEMENT
COUNTY OFFICE BUILDING ROOM 111
111 WEST CHESAPEAKE AVENUE
ATTENTION :

LADIES AND GENTLEMAN :

THIS LETTER IS TO CERTIFY UNDER PENALTIES OF PERJURY THAT THE
NECESSARY SIGN(S) REQUIRED BY LAW WERE POSTED CONSPICUOUSLY ON
THE PROPERTY LOCATED AT

16540 YEOHO ROAD
SIGN #1

THIS SIGN(S) POSTED ON November 4, 2018
(MONTH, DAY, YEAR)

SINCERELY,

Martin Ogle 11/4/18
SIGNATURE OF SIGN POSTER

MARTIN OGLE
9912 MAIDBROOK ROAD
PARKVILLE, MD. 21234
443-629-3411

ZONING NOTICE *SIGN 1*
**ADMINISTRATIVE
VARIANCE**

CASE # ZON-0134-A

TO PERMIT A PROPOSED ACCESSORY STRUCTURE (DETACHED
GARAGE) TO BE LOCATED IN THE SIDE YARD, IN VIEW OF THE
REQUIRED REAR YARD DULY.

PUBLIC HEARING ?

PURSUANT TO SECTION 25-127(h) (1), BALTIMORE COUNTY CODE
AN ELIGIBLE INDIVIDUAL OR GROUP MAY
REQUEST A PUBLIC HEARING CONCERNING
THE PROPOSED VARIANCE, PROVIDED IT
IS DONE IN THE ZONING OFFICE BEFORE
4:30 p.m. ON MONDAY, NOVEMBER 19, 2018
ADDITIONAL INFORMATION IS AVAILABLE AT
ZONING ADMINISTRATION AND DEVELOPMENT MANAGEMENT

100 N. CHESAPEAKE AVE.
TOWSON, MD. 21204

TEL. 410-887-3391

DO NOT REQUEST FOR THIS HEARING UNTIL AFTER 4:00 PM DATE. THERE IS A FEE FOR THIS.
MEETING IS HANDICAP ACCESSIBLE.

Wendy 11/4/18

ADMINISTRATIVE VARIANCE INFORMATION SHEET AND DATES

Case Number 2019- 0134 -A Address 16540 Yeoho Road

Contact Person: Jeffrey Perlow Phone Number: 410-887-3391
Planner, Please Print Your Name

Filing Date: 10/23/2018 Posting Date: 11/4/18 Closing Date: 11/19/18

Any contact made with this office regarding the status of the administrative variance should be through the contact person (planner) using the case number.

- POSTING/COST:** The petitioner must use one of the sign posters on the approved list and the petitioner is responsible for all printing/posting costs. Any reposting must be done only by one of the sign posters on the approved list and the petitioner is again responsible for all associated costs. The zoning notice sign must be visible on the property on or before the posting date noted above. It should remain there through the closing date.
- DEADLINE:** The closing date is the deadline for a neighbor (occupant or owner) within 1,000 feet to file a formal request for a public hearing. Please understand that even if there is no formal request for a public hearing, the process is not complete on the closing date.
- ORDER:** After the closing date, the file will be reviewed by the Administrative Law Judge. The judge may: (a) grant the requested relief; (b) deny the requested relief; or (c) order that the matter be set in for a public hearing. If all County/State agencies' comments are received, you will receive written notification as to whether the petition has been granted, denied, or will proceed to a public hearing. This decision is usually made within 10 days of the closing date. The written order will be mailed to you by First Class mail.
- POSSIBLE PUBLIC HEARING AND REPOSTING:** In cases that must go to a public hearing (whether due to a neighbor's formal request or by order of the Administrative Law Judge), notification will be forwarded to you. The sign on the property must be changed giving notice of the hearing date, time and location. As when the sign was originally posted, certification of this change and a photograph of the altered sign must be forwarded to this office.

(Detach Along Dotted Line)

Petitioner: This Part of the Form is for the Sign Poster Only

USE THE ADMINISTRATIVE VARIANCE SIGN FORMAT

Case Number 2019- 0134 -A Address 16540 Yeoho Road

Petitioner's Name Eric & Melissa Lane Telephone 443-280-2916

Posting Date: 11/4/2018 Closing Date: 11/19/2018

Wording for Sign: To Permit a proposed accessory structure (detached carport) to be located in the side yard, in lieu of the required rear yard only.

Revised 6/30/2019

BALTIMORE COUNTY, MARYLAND
OFFICE OF BUDGET AND FINANCE
MISCELLANEOUS CASH RECEIPT

No. **176298**

Date: **10/23/2018**

PAID RECEIPT

BUSINESS ACTUAL TIME DRW
 10/23/2018 10/23/2018 11:33:12 3

WALKIN CAM
 RECEIPT 794855 10/23/2018 OFLN

Dept 5 528 ZONING VERIFICATION
 176298

Fund	Dept	Unit	Sub Unit	Obj	Sub Obj	Dept	Obj	BS Acct	Amount
001	806	0000		6150					75.00

Total: **75.00**

Rec From: **Eric & Melissa Lane**

For: **Adm Variance 16540 Yeoho Road**
2019-0134-A (Lane)

DISTRIBUTION

WHITE - CASHIER PINK - AGENCY YELLOW - CUSTOMER GOLD - ACCOUNTING

PLEASE PRESS HARD!!!!

**CASHIER'S
 VALIDATION**



DONALD I. MOHLER III
County Executive

November 20, 2018

ARNOLD JABLON
*Deputy Administrative Officer
Director, Department of Permits,
Approvals & Inspections*

Eric Joseph Lane
16540 Yeoho Rd.
Sparks, MD 21152

Dear Mr. Lane:

RE: Case Number: 2019-0134A, Address: 16540 Yeoho Rd.

The above referenced petition was accepted for processing **ONLY** by the Bureau of Zoning Review, Department of Permits and Development Management (PDM) on October 23, 2018. This letter is not an approval, but only a **NOTIFICATION**.

The Zoning Advisory Committee (ZAC), which consists of representatives from several approval agencies, has reviewed the plans that were submitted with your petition. All comments submitted thus far from the members of the ZAC are attached. These comments are not intended to indicate the appropriateness of the zoning action requested, but to ensure that all parties (zoning commissioner, attorney, petitioner, etc.) are made aware of plans or problems with regard to the proposed improvements that may have a bearing on this case. All comments will be placed in the permanent case file.

If you need further information or have any questions, please do not hesitate to contact the commenting agency.

Very truly yours,

A handwritten signature in black ink, reading "W. Carl Richards, Jr." in a cursive style.

W. Carl Richards, Jr.
Supervisor, Zoning Review

WCR: MTC

Enclosures

c: People's Counsel
Kevin Brown 6305 Falls Rd. Baltimore, MD 21209

BALTIMORE COUNTY, MARYLAND

Inter-Office Correspondence



TO: Hon. Lawrence M. Stahl; Managing Administrative Law Judge
Office of Administrative Hearings

FROM: Jeff Livingston, Department of Environmental Protection and
Sustainability (EPS).- Development Coordination

DATE: November 13, 2018

SUBJECT: DEPS Comment for Zoning Item # 2019-0134-A
Address 16540 Yeoho Road
(Lane Property)

Zoning Advisory Committee Meeting of **November 12, 2018.**

X The Department of Environmental Protection and Sustainability offers the following comments on the above-referenced zoning item:

1. Ground Water Management will need to review the proposed building permit (for a carport), especially since the existing well is in the vicinity. Buildings/structures are supposed to be at least 30 feet from the well.

Reviewer: Dan Esser

Date: 11/7/18

Ms. Kristen Lewis
Baltimore County Office of
Permits and Development Management
County Office Building, Room 109
111 West Chesapeake Avenue
Towson, Maryland 21204

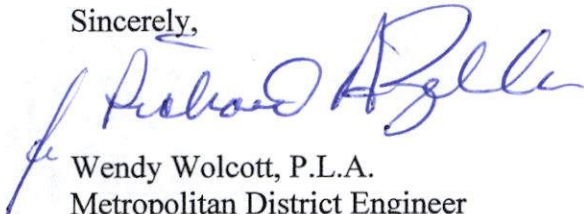
Dear Ms. Lewis:

Thank you for the opportunity to review your referral request on the subject of the Case number referenced below. We have determined that the subject property does not access a State roadway and is not affected by any State Highway Administration projects. Therefore, based upon available information this office has no objection to Baltimore County Zoning Advisory Committee approval of Case No. 2019-0134-A

Administrative Variance.
Eric Joseph Lane
1654 Yeoh Road.

Should you have any questions regarding this matter, please contact Mr. Richard Zeller at 410-229-2332 or 1-866-998-0367 (in Maryland only) extension 2332, or by email at (rzeller@sha.state.md.us).

Sincerely,



Wendy Wolcott, P.L.A.
Metropolitan District Engineer
Maryland Department of Transportation
State Highway Administration
District 4 - Baltimore and Harford Counties

WW/RAZ

11-19

BALTIMORE COUNTY, MARYLAND

Inter-Office Correspondence



TO: Hon. Lawrence M. Stahl; Managing Administrative Law Judge
Office of Administrative Hearings

FROM: Jeff Livingston, Department of Environmental Protection and
Sustainability (EPS) - Development Coordination

DATE: November 13, 2018

SUBJECT: DEPS Comment for Zoning Item # 2019-0134-A
Address 16540 Yeoho Road
(Lane Property)

Zoning Advisory Committee Meeting of **November 12, 2018**.

X The Department of Environmental Protection and Sustainability offers the following comments on the above-referenced zoning item:

1. Ground Water Management will need to review the proposed building permit (for a carport), especially since the existing well is in the vicinity. Buildings/structures are supposed to be at least 30 feet from the well.

Reviewer: Dan Esser

11-19

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Reviewer: Dan Esser

ORDER RECEIVED FOR FILING

Date 11-26-18

By 120

2019-0134-A

16540
DRIVEWAY



VIEW FROM NEIGHBOR ON WEST SIDE OF 16540 YEDHO (FRONT LOOKING TO DRIVE)



FRONT OF 16548 (WEST SIDE NEIGHBOR) FROM YEDHO ROAD

2019-0134-A



VIEW FROM END OF DRIVEWAY, LOOKING EAST UP YEOTO ROAD



VIEW FROM END OF DRIVEWAY, LOOKING WEST DOWN YEOTO RD

16540 YEDHO ROAD LOOKING FROM YEDHO UP DRIVEWAY

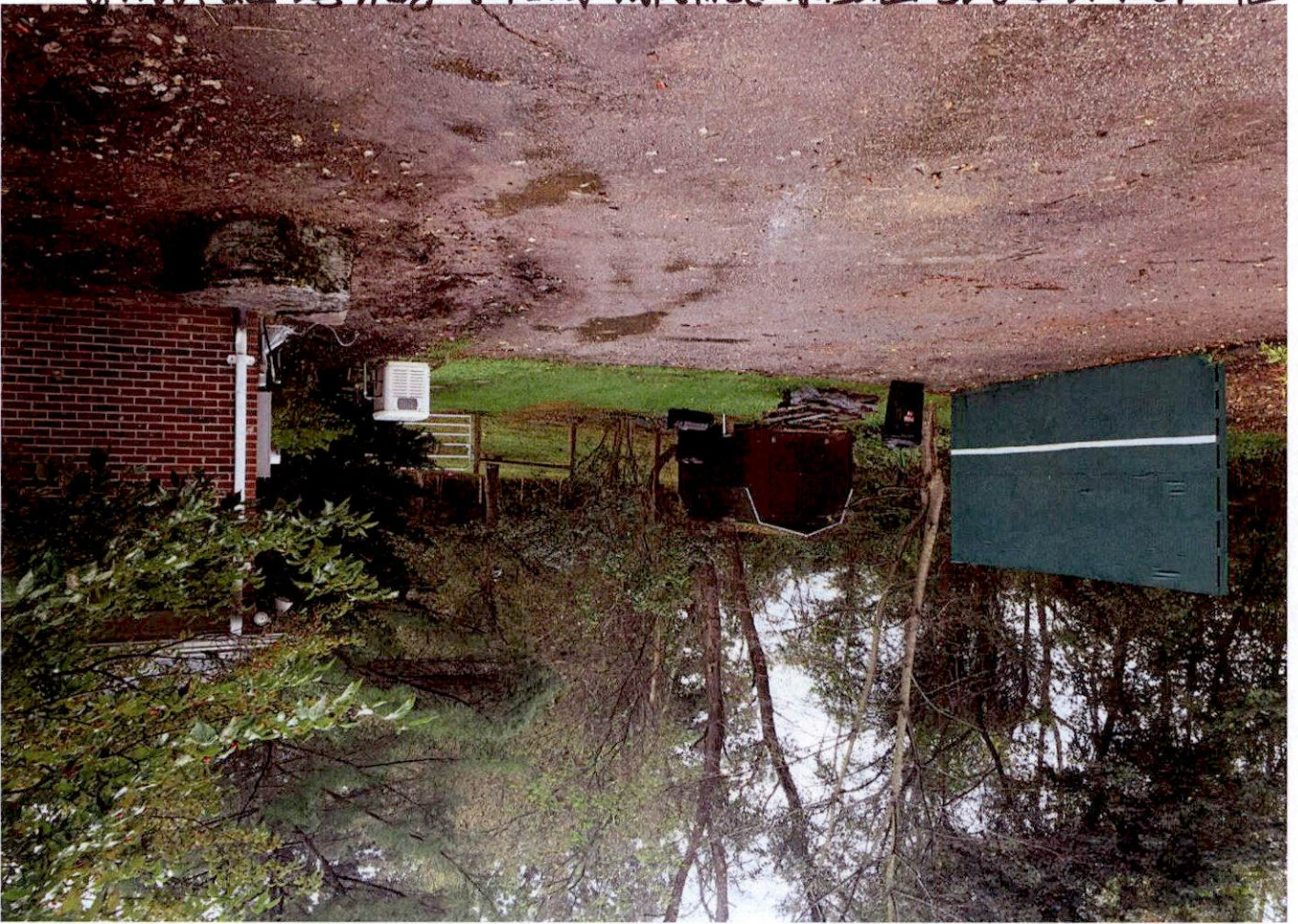


VIEW FROM TOP PORTION OF 16540 DRIVEWAY TOWARDS ~~WEST~~ EAST NEIGHBOR 16534



1019-0134-A

THIS AREA IS TOP OF EXISTING DRIVEWAY ALLOWING ROOM FOR TURN AROUND & ACCESS TO FRONT DOOR WITHOUT ENTERING SECURE FENCE AREA



TOP PORTION OF DRIVEWAY - PROPOSED CARPORT WILL GO WHERE TENNIS BACK STOP IS CURRENTLY



2019-0134-A

2019-0134-A



VIEW FROM TOP OF DRIVEWAY TO ACCESS GATE FOR HORSES - NEED CLEAR ACCESS FOR

HORSE
TRAILER
& FEED
TRUCKS



VIEW FROM TOP OF DRIVEWAY OF REAR YARD - NOT PRACTICAL TO BUILD

VIEW FROM DRIVEWAY TOP SIDE - EAST SIDE OF HOUSE WHERE CURVE



2019-0134-A

C H E C K L I S T

<u>Comment Received</u>	<u>Department</u>	<u>Support/Oppose/ Conditions/ Comments/ No Comment</u>
_____	DEVELOPMENT PLANS REVIEW (if not received, date e-mail sent _____)	_____
<u>11-13</u>	DEPS (if not received, date e-mail sent _____)	<u>C</u>
_____	FIRE DEPARTMENT	_____
_____	PLANNING (if not received, date e-mail sent _____)	_____
<u>11-7</u>	STATE HIGHWAY ADMINISTRATION	<u>No objection</u>
_____	TRAFFIC ENGINEERING	_____
_____	COMMUNITY ASSOCIATION	_____
_____	ADJACENT PROPERTY OWNERS	_____
ZONING VIOLATION	(Case No. _____)	
PRIOR ZONING	(Case No. _____)	
NEWSPAPER ADVERTISEMENT	Date: _____	
SIGN POSTING (1 st)	Date: <u>11-4-18</u>	by <u>Ogle</u>
SIGN POSTING (2 nd)	Date: <u>11-18-18</u>	by <u>"</u>
PEOPLE'S COUNSEL APPEARANCE	Yes ☐ No ☐	
PEOPLE'S COUNSEL COMMENT LETTER	Yes ☐ No ☐	

Comments, if any: _____

Real Property Data Search

Search Result for BALTIMORE COUNTY

View Map		View GroundRent Redemption		View GroundRent Registration	
Tax Exempt:		Special Tax Recapture:			
Exempt Class:		NONE			
Account Identifier:		District - 05 Account Number - 1600001457			
Owner Information					
Owner Name:	LANE ERIC JOSEPH LANE MELISSA MCDERMOTT		Use:	RESIDENTIAL	
			Principal Residence:	YES	
Mailing Address:	16540 YEOHO RD SPARKS MD 21152-9554		Deed Reference:	/18957/ 00045	
Location & Structure Information					
Premises Address:	16540 YEOHO RD SPARKS 21152-		Legal Description:	3.13 AC 16540 YEOHO RD SS 2900 NW BENSON MILL RD	
Map:	Grid:	Parcel:	Sub District:	Subdivision:	Section: Block: Lot:
0027	0001	0261		0000	
					Assessment Year: 2017
					Plat No: Plat Ref:
Special Tax Areas:			Town: NONE		
			Ad Valorem:		
			Tax Class:		
Primary Structure Built	Above Grade Living Area	Finished Basement Area	Property Land Area	County Use	
1973	2,160 SF	1100 SF	3.1300 AC	04	
Stories	Basement	Type	Exterior	Full/Half Bath	Garage Last Major Renovation
1	YES	STANDARD UNIT	BRICK	2 full	
Value Information					
	Base Value	Value	Phase-in Assessments		
		As of 01/01/2017	As of 07/01/2018	As of 07/01/2019	
Land:	114,600	114,600			
Improvements	270,500	292,300			
Total:	385,100	406,900	399,633	406,900	
Preferential Land:	0			0	
Transfer Information					
Seller: SIEGEL HILLARD		Date: 10/15/2003		Price: \$360,000	
Type: ARMS LENGTH IMPROVED		Deed1: /18957/ 00045		Deed2:	
Seller: YOUNG ALEXANDER J		Date: 10/03/1984		Price: \$110,000	
Type: ARMS LENGTH IMPROVED		Deed1: /06797/ 00335		Deed2:	
Seller:		Date:		Price:	
Type:		Deed1:		Deed2:	
Exemption Information					
Partial Exempt Assessments:	Class	07/01/2018		07/01/2019	
County:	000	0.00			
State:	000	0.00			
Municipal:	000	0.00 0.00		0.00 0.00	
Tax Exempt:		Special Tax Recapture:			

Exempt Class: NONE

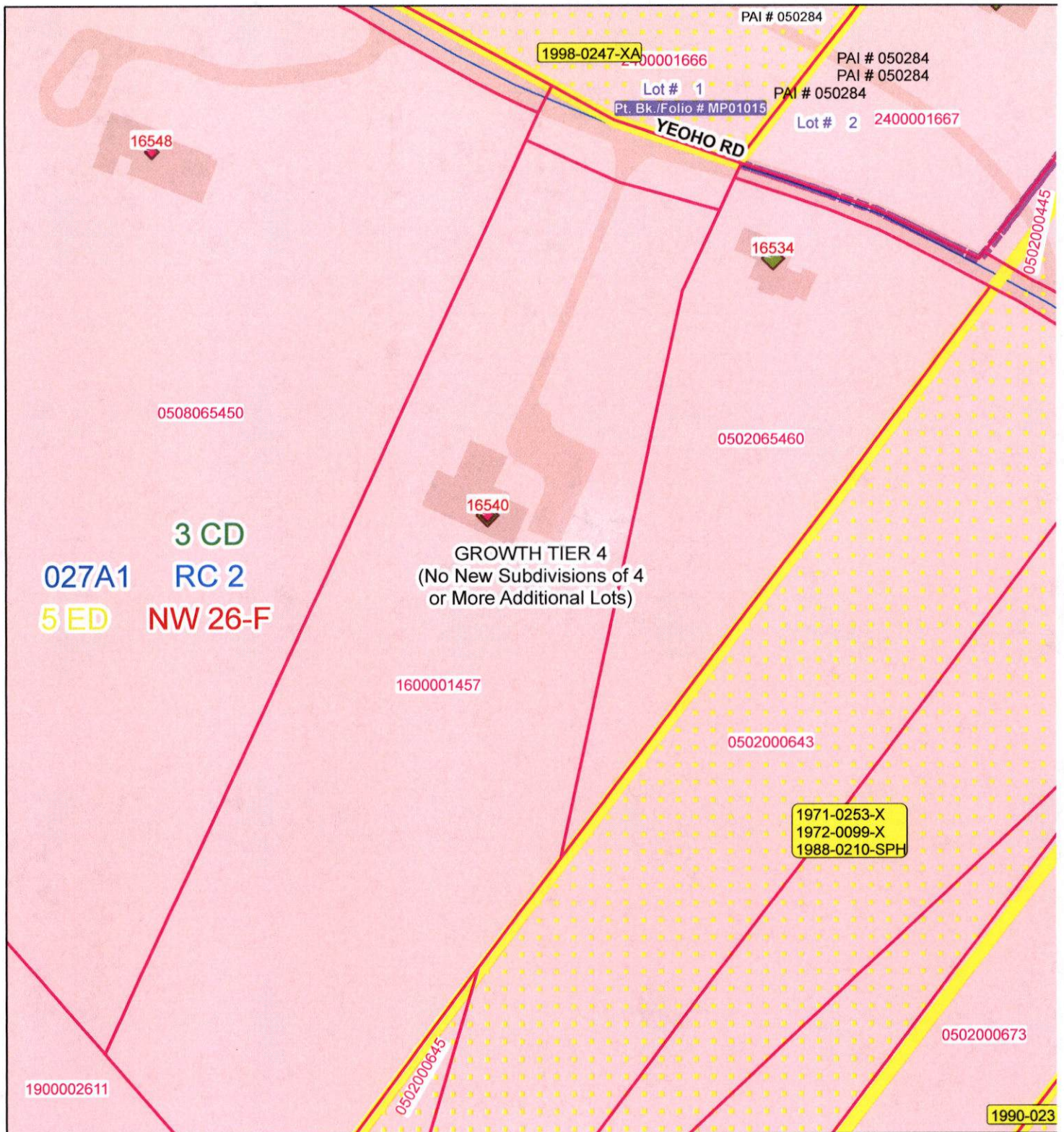
Homestead Application Information

Homestead Application Status: Approved 05/15/2008

Homeowners' Tax Credit Application Information

Homeowners' Tax Credit Application Status: No Application **Date:**

16540 Yeoho Road



Publication Date: 9/18/2018



Publication Agency: Permits, Approvals & Inspections
Projection/Datum: Maryland State Plane,
FIPS 1900, NAD 1983/91 HARN, US Foot



0 25 50 100 150 200 Feet

1 inch = 100 feet

2019-0134-A