

M E M O R A N D U M

DATE: April 30, 2019
TO: Zoning Review Office
FROM: Office of Administrative Hearings
RE: Case No. 2019-0248-A - Appeal Period Expired

The appeal period for the above-referenced case expired on April 29, 2019. There being no appeal filed, the subject file is ready for return to the Zoning Review Office and is placed in the 'pick up box.'

/dlw

c: ✓ Case File
Office of Administrative Hearings

IN RE: PETITION FOR ADMIN. VARIANCE	*	BEFORE THE
(2944 Wood Valley Drive)		
3 rd Election District	*	OFFICE OF ADMINISTRATIVE
2 nd Council District		
Michael T. Rudikoff & Robin Power	*	HEARINGS FOR
Petitioners		
	*	BALTIMORE COUNTY
	*	CASE NO. 2019-0248-A

* * * * *

OPINION AND ORDER

This matter comes before the Office of Administrative Hearings (“OAH”) for Baltimore County for consideration of a Petition for Administrative Variance filed by the legal owners of the property, Michael T. Rudikoff and Robin Power (“Petitioners”). The Petitioners are requesting Variance relief pursuant to § 400.1 of the Baltimore County Zoning Regulations (“BCZR”), to permit a proposed accessory building (ground mounted solar panels) to be located in the side yard of an existing dwelling in lieu of the required rear yard. The subject property and requested relief is more fully depicted on the site plan that was marked and accepted into evidence as Petitioners’ Exhibit 1.

The Zoning Advisory Committee (“ZAC”) comments were received and are made part of the record of this case. There were no adverse ZAC comments received from any of the County reviewing agencies.

The Petitioners having filed a Petition for Administrative Variance and the subject property having been posted on March 10, 2019, and there being no request for a public hearing, a decision shall be rendered based upon the documentation presented.

The Petitioners have filed the supporting affidavits as required by § 32-3-303 of the Baltimore County Code (“BCC”). Based upon the information available, there is no evidence in

the file to indicate that the requested variance would adversely affect the health, safety or general

ORDER RECEIVED FOR FILING

Date 3-29-19

By 192

welfare of the public and should therefore be granted. In the opinion of the Administrative Law Judge, the information, photographs, and affidavits submitted provide sufficient facts that comply with the requirements of § 307.1 of the BCZR. Furthermore, strict compliance with the BCZR would result in practical difficulty and/or unreasonable hardship upon the Petitioners.

Pursuant to the posting of the property and the provisions of both the BCC and the BCZR, and for the reasons given above, the requested variance should be granted.

THEREFORE, IT IS ORDERED, this 29th day of **March, 2019**, by the Administrative Law Judge for Baltimore County, that the Petition for Variance seeking relief from § 400.1 of the BCZR, to permit a proposed accessory building (ground mounted solar panels) to be located in the side yard of an existing dwelling in lieu of the required rear yard, be and is hereby GRANTED.

The relief granted herein shall be subject to the following:

- Petitioners may apply for necessary permits and/or licenses upon receipt of this Order. However, Petitioners are hereby made aware that proceeding at this time is at their own risk until 30 days from the date hereof, during which time an appeal can be filed by any party. If for whatever reason this Order is reversed, Petitioners would be required to return the subject property to its original condition.

Any appeal of this decision must be made within thirty (30) days of the date of this Order.



JOHN E. BEVERUNGEN
Administrative Law Judge for
Baltimore County

JEB:dlw

ORDER RECEIVED FOR FILING

Date 3-29-19

By [Signature]



ADMINISTRATIVE ZONING PETITION

FOR ADMINISTRATIVE VARIANCE - OR - ADMINISTRATIVE SPECIAL HEARING

To be filed with the Department of Permits, Approvals and Inspections

To the Office of Administrative Hearings for Baltimore County for the property located at:

Address 2944 Wood Valley Dr. Pinesville, MD 21208 Currently zoned Residential
 Deed Reference _____ 10 Digit Tax Account # 0303032428
 Owner(s) Printed Name(s) Michael Rudinoff, Robin Power

(SELECT THE HEARING(S) BY MARKING X AT THE APPROPRIATE SELECTION(S) AND ADDING THE PETITION REQUEST)

For Administrative Variances, the Affidavit on the reverse of this Petition form must be completed and notarized.

The undersigned, who own and occupy the property situate in Baltimore County and which is described in the plan/plat attached hereto and made a part hereof, hereby petition for an:

- X ADMINISTRATIVE VARIANCE from Section(s) 400.1 of BCZR to permit a proposed accessory building (ground mounted solar panels) to be located in the side yard of an existing dwelling in lieu of the required in the rear yard.

of the zoning regulations of Baltimore County, to the zoning law of Baltimore County.

- ADMINISTRATIVE SPECIAL HEARING to approve a waiver pursuant to Section 32-4-107(b) of the Baltimore County Code: (indicate type of work in this space: i.e., to raze, alter or construct addition to building)

of the Baltimore County Code, to the development law of Baltimore County.

Property is to be posted and advertised as prescribed by the zoning regulations.
 I/we agree to pay expenses of above petition(s), advertising, posting, etc. and further agree to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

Owner(s)/Petitioner(s):
Michael Rudinoff, Robin Power
 Name #1 - Type or Print Name #2 - Type or Print
Michael Rudinoff, Robin Power
 Signature #1 Signature #2
2944 Wood Valley Dr. Pinesville, MD
 Mailing Address City State
21208 410-207-7209 Mr. Rudinoff@Verizon
 Zip Code Telephone # Email Address
.Net

Attorney for Owner(s)/Petitioner(s):

Name- Type or Print
 Signature
 Mailing Address
 City State
 Zip Code Telephone # Email Address

Representative to be contacted:

Gailen Wensil-Straw
 Name - Type or Print
Gailen Wensil-Straw
 Signature
221 Gatenway Dr. Bel Air, MD
 Mailing Address City State
21014 410-557-0555 gwensil-straw@adbuild.com
 Zip Code Telephone # Email Address

A PUBLIC HEARING having been formally demanded and/or found to be required, it is ordered by the Office of Administrative Hearings for Baltimore County, this 29 day of March, 2019 that the subject matter of this petition be set for a public hearing, advertised, and re-posted as required by the zoning regulations of Baltimore County.

Administrative Law Judge for Baltimore County

CASE NUMBER 2019-0248-A Filing Date 2/27/19 Estimated Posting Date 3/19/19 Reviewer AT/CF
~3/25/19 Rev 5/5/2016

Affidavit in Support of Administrative Variance

(THIS AFFIDAVIT IS NOT REQUIRED FOR AN HISTORIC ADMINISTRATIVE SPECIAL HEARING)

The undersigned hereby affirms under the penalties of perjury and upon personal knowledge to the Administrative Law Judge for Baltimore County, that the information herein given is true and correct and that the undersigned is/are competent to testify in the event that a public hearing is scheduled in the future with regard thereto. In addition, the undersigned hereby affirms that the property is not the subject of an active Code Enforcement case and that the residential property described below is owned and occupied by the undersigned.

Address: 2944 Woodwardley Dr. Pikesville, MD 21208
Print or Type Address of property City State Zip Code

Based upon personal knowledge, the following are the facts upon which I/we base the request for an Administrative Variance at the above address. (Clearly state practical difficulty or hardship here)

We are requesting a solar panel groundmount in the side yard of our house as it is impossible to put the ground mount in the rear of the yard due to lack of room and an existing tree line. We are requesting an administrative variance as we have no other options for the ground mounted solar panels.

(If additional space for the petition request or the above statement is needed, label and attach it to this Form)

Robin Power
Signature of Owner (Affiant)
Robin Power
Name- Print or Type

Michael Rudikoff
Signature of Owner (Affiant)
Michael Rudikoff
Name- Print or Type

The following information is to be completed by a Notary Public of the State of Maryland

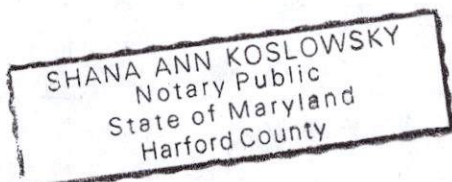
STATE OF MARYLAND, COUNTY OF BALTIMORE, to wit:

I HEREBY CERTIFY, this 8 day of February 2019, before me a Notary of Maryland, in and for the County aforesaid, personally appeared:

Print name(s) here: Robin Power & Michael Rudikoff

the Affiant(s) herein, personally known or satisfactorily identified to me as such Affiant(s).

AS WITNESS my hand and Notaries Seal



[Signature]
Notary Public
8.20.22
My Commission Expires

Zoning Petition Property Description

ZONING PROPERTY DESCRIPTION FOR 2944 WOODVALLEY DRIVE, PIKESVILLE, MD 21208. Beginning at the point on the Northwest corner of Woodvalley drive, which is 20 feet wide at a distance of 1,410 feet west of the centerline of the nearest improved intersecting street, Greenspring avenue, which is 20 feet wide.

Thence the following courses and distances (1st point of call) S 06 07' W 530', (2nd POC) N 79 40' W 73.67', (3rd POC) N 87 11' W 250', (4th POC) N 06 07' E 597.86' (5th POC) S 73 22' E 287.53, back to the point beginning as recorded in Deed Liber 29357 folio 00432 containing 4.151 acres. Located in the 3rd election district and 2nd council district.

2019-0248-A

Debra Wiley

From: Stephen Ford
Sent: Friday, March 29, 2019 2:25 PM
To: Debra Wiley; Kristen L Lewis; Sherry Nuffer
Cc: Jeffery Livingston
Subject: Zoning Petition Comments
Attachments: ZAC 19-0239-A 2274 Monocacy Road.doc; ZAC 19-0248-A 2944 Woodvalley Drive.doc

For your files.

Thanks,

Stephen A. Ford

Engineering Associate III

Department of Environmental Protection

And Sustainability

Development Coordination

111 West Chesapeake Avenue, Room 319

Towson, Maryland 21204

sford@baltimorecountymd.gov

410-887-5859

410-887-4804 fax

CERTIFICATE OF POSTING

ATTENTION: KRISTEN LEWIS

DATE: 3/10/2019

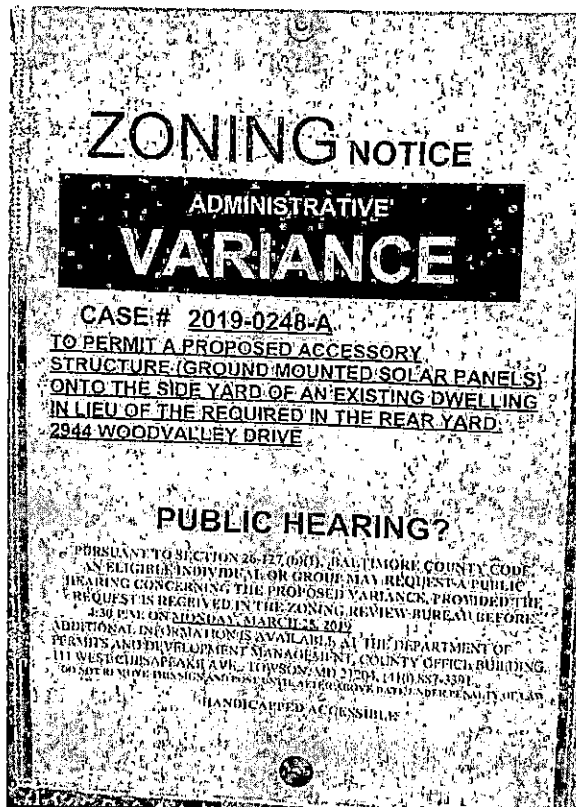
Case Number: 2019-0248-A

Petitioner / Developer: MICHAEL RUDIKOFF ~ ADAM KOLLAR of AMERICAN DESIGN AND BUILD, LTD

Date of Closing: MARCH 25, 2019

This is to certify under the penalties of perjury that the necessary sign(s) required by law were posted conspicuously on the property located at:
2944 WOODVALLEY DRIVE

The sign(s) were posted on: MARCH 10, 2019



Linda O'Keefe
(Signature of Sign Poster)

Linda O'Keefe
(Printed Name of Sign Poster)

523 Penny Lane
(Street Address of Sign Poster)

Hunt Valley, Maryland 21030
(City, State, Zip of Sign Poster)

410 - 666 - 5366
(Telephone Number of Sign Poster)



Background photo 1st Sign @ 2944 Woodvalley Drive posted 3/10/2019



Background photo 2nd Sign @ 2944 Woodvalley Drive posted 3/10/29
CASE # 2019-0248-A

ADMINISTRATIVE VARIANCE INFORMATION SHEET AND DATES

Case Number 2019- 0248 - A Address 2944 Woodvalley Drive
Contact Person: Aaron Tsui Phone Number: 410-887-3391
Planner, Please Print Your Name
Filing Date: 02/27/2019 Posting Date: 03/10/19 Closing Date: 03/25/19

Any contact made with this office regarding the status of the administrative variance should be through the contact person (planner) using the case number.

1. **POSTING/COST:** The petitioner must use one of the sign posters on the approved list (on the reverse side of this form) and the petitioner is responsible for all printing/posting costs. Any reposting must be done only by one of the sign posters on the approved list and the petitioner is again responsible for all associated costs. The zoning notice sign must be visible on the property on or before the posting date noted above. It should remain there through the closing date.
2. **DEADLINE:** The closing date is the deadline for an occupant or owner within 1,000 feet to file a formal request for a public hearing. Please understand that even if there is no formal request for a public hearing, the process is not complete on the closing date.
3. **ORDER:** After the closing date, the file will be reviewed by the zoning or deputy zoning commissioner. He may: (a) grant the requested relief; (b) deny the requested relief; or (c) order that the matter be set in for a public hearing. You will receive written notification, usually within 10 days of the closing date if all County agencies' comments are received, as to whether the petition has been granted, denied, or will go to public hearing. The order will be mailed to you by First Class mail.
4. **POSSIBLE PUBLIC HEARING AND REPOSTING:** In cases that must go to a public hearing (whether due to a neighbor's formal request or by order of the zoning or deputy zoning commissioner), notification will be forwarded to you. The sign on the property must be changed giving notice of the hearing date, time and location. As when the sign was originally posted, certification of this change and a photograph of the altered sign must be forwarded to this office.

(Detach Along Dotted Line)

Petitioner: This Part of the Form is for the Sign Poster Only

USE THE ADMINISTRATIVE VARIANCE SIGN FORMAT

Case Number 2019- 0248 -A Address: 2944 Woodvalley Drive
Petitioner's Name: Michael Rudikoff Telephone : 410-207-7209
Posting Date: 03/10/2019 Closing Date: 03/25/2019
Wording for Sign: To permit a proposed accessory structure (ground mounted solar panels) onto the side yard of an existing dwelling in lieu of the required in the rear yard.

BALTIMORE COUNTY, MARYLAND
OFFICE OF BUDGET AND FINANCE
MISCELLANEOUS CASH RECEIPT

No. **180787**

Date: **2/27/19**

PAID RECEIPT

BUSINESS ACTUAL TIME DRW
 2/26/2019 2/27/2019 13:04:19 S
 REC WSDS WALKIN LRB
 >>RECEIPT # 997222 2/27/2019 OFLN

Dept 5 528 ZONING VERIFICATION

Amount. 180787

Recpt Tot \$ 75.00
 75.00 CK .00 CA
 Baltimore County, Maryland

Fund	Dept	Unit	Sub Unit	Rev Source/ Obj	Sub Rev/ Sub Obj	Dept Obj	BS Acct	Amount
001	806	0000		6130				\$ 75

Total: **\$ 75**

Rec
 From:

For:

2944 WOODVALLEY DR.

2019-0248-A

DISTRIBUTION

WHITE - CASHIER

PINK - AGENCY

YELLOW - CUSTOMER

GOLD - ACCOUNTING

PLEASE PRESS HARD!!!!

**CASHIER'S
 VALIDATION**



JOHN A. OLSZEWSKI, JR.
County Executive

MICHAEL MOHLER, *Director*
Department of Permits,
Approvals & Inspections

March 26, 2019

Michael Rodikoff & Robin Power
2944 Woodvalley Dr.
Pikesville MD 21208

RE: Case Number: 2019-0248-A, 2944 Woodvalley Dr.

To Whom It May Concern:

The above referenced petition was accepted for processing **ONLY** by the Bureau of Zoning Review, Department of Permits, Approvals, and Inspection (PAI) on February 27, 2019. This letter is not an approval, but only a **NOTIFICATION**.

The Zoning Advisory Committee (ZAC), which consists of representatives from several approval agencies, has reviewed the plans that were submitted with your petition. All comments submitted thus far from the members of the ZAC are attached. These comments are not intended to indicate the appropriateness of the zoning action requested, but to ensure that all parties (zoning commissioner, attorney, petitioner, etc.) are made aware of plans or problems with regard to the proposed improvements that may have a bearing on this case. All comments will be placed in the permanent case file.

If you need further information or have any questions, please do not hesitate to contact the commenting agency.

Very truly yours,

W. Carl Richards, Jr.
Supervisor, Zoning Review

WCR/kl

Enclosures

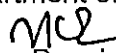
c: People's Counsel
Gailon Wensil-Straw 221 Gateway Dr. Bel Air MD 21014

BALTIMORE COUNTY, MARYLAND

INTEROFFICE CORRESPONDENCE

TO: Michael Mohler, Acting Director
Department of Permits, Approvals

DATE: March 18, 2019

FROM:  Vishnu Desai, Supervisor
Bureau of Development Plans Review

SUBJECT: Zoning Advisory Committee Meeting
For March 11, 2019
Item No. 2019-0238-SPH, 0240-A, 0241-A, 0242-A, 0243-A, 0244-A, 0246-
SPH, 0247-A, 0248-A, 0249-A, 0250-SPH, 0251-A & 0252-A

The Bureau of Development Plans Review has reviewed the subject zoning items and we have no comments.

*

*

*

*

*

VKD: cen
cc: file

MDOT
MARYLAND DEPARTMENT
OF TRANSPORTATION
STATE HIGHWAY
ADMINISTRATION

Larry Hogan
Governor
Boyd K. Rutherford
Lt. Governor
Pete K. Rahn
Secretary
Gregory Slater
Administrator

Date: 3/7/19

Ms. Kristen Lewis
Baltimore County Office of
Permits and Development Management
County Office Building, Room 109
111 West Chesapeake Avenue
Towson, Maryland 21204

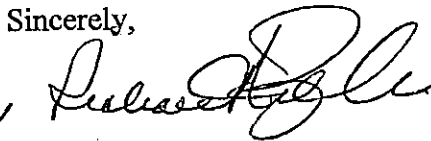
Dear Ms. Lewis:

Thank you for the opportunity to review your referral request on the subject of the Case number referenced below. We have determined that the subject property does not access a State roadway and is not affected by any State Highway Administration projects. Therefore, based upon available information this office has no objection to Baltimore County Zoning Advisory Committee approval of Case No. 2019-0248-A.

*Additional (Var. case)
Michael Rudolph & Robyn Power
2944 Wood Valley Drive*

Should you have any questions regarding this matter, please contact Mr. Richard Zeller at 410-229-2332 or 1-866-998-0367 (in Maryland only) extension 2332, or by email at (rzeller@sha.state.md.us).

Sincerely,

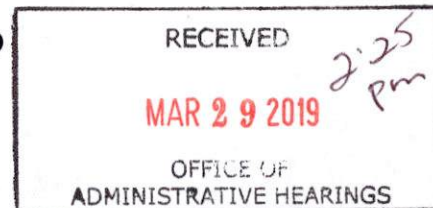


Wendy Wolcott, P.L.A.
Metropolitan District Engineer
Maryland Department of Transportation
State Highway Administration
District 4 - Baltimore and Harford Counties

WW/RAZ

BALTIMORE COUNTY, MARYLAND

Inter-Office Correspondence



*Rec'd
after
order
was
released
3/29
AM
order*

TO: Hon. Lawrence M. Stahl; Managing Administrative Law Judge
Office of Administrative Hearings

FROM: Jeff Livingston, Department of Environmental Protection and
Sustainability (EPS) - Development Coordination

DATE: March 29, 2019

SUBJECT: DEPS Comment for Zoning Item # 2019-0248-A
Address 2944 Woodvalley Drive
(Rudikoff & Power Property)

Zoning Advisory Committee Meeting of **March 11, 2019.**

X The Department of Environmental Protection and Sustainability offers the following comments on the above-referenced zoning item:

- X Development of the property must comply with Environmental Impact Review's (EIR's) Regulations for the Protection of Water Quality, Streams, Wetlands and Floodplains (Sections 33-3-101 through 33-3-120 of the Baltimore County Code). The G-M solar array must be set back a minimum of 100' from the edge of the stream.
- X Development of this property must comply with EIR's Forest Conservation Regulations (Sections 33-6-101 through 33-6-122 of the Baltimore County Code). Staff suggest that a Single Lot Declaration of Intent (§33-6-104) be completed and submitted to EIR, prior to permit approval.

Additional Comments:

Ground Water Management (GWM) must review any permit(s) for proposed ground-mounted solar panels, since the septic area on this site appears to be in the area.

Reviewers: Dan Esser, GWM
Mike Kulis, EIR

C H E C K L I S T

<u>Comment Received</u>	<u>Department</u>	<u>Support/Oppose/ Conditions/ Comments/ No Comment</u>
<u>3-18</u>	DEVELOPMENT PLANS REVIEW (if not received, date e-mail sent _____)	<u>NC</u>
_____	DEPS (if not received, date e-mail sent _____)	_____
_____	FIRE DEPARTMENT	_____
_____	PLANNING (if not received, date e-mail sent _____)	_____
<u>3-17</u>	STATE HIGHWAY ADMINISTRATION	<u>No objections</u>
_____	TRAFFIC ENGINEERING	_____
_____	COMMUNITY ASSOCIATION	_____
_____	ADJACENT PROPERTY OWNERS	_____
ZONING VIOLATION	(Case No. _____)	
PRIOR ZONING	(Case No. _____)	
NEWSPAPER ADVERTISEMENT	Date: _____	
SIGN POSTING (1 st)	Date: <u>3-10-19</u>	by <u>O'Keefe</u>
SIGN POSTING (2 nd)	Date: _____	by _____
PEOPLE'S COUNSEL APPEARANCE	Yes ☐ No ☐	
PEOPLE'S COUNSEL COMMENT LETTER	Yes ☐ No ☐	

Comments, if any: _____

Real Property Data Search

Search Result for BALTIMORE COUNTY

View Map		View GroundRent Redemption		View GroundRent Registration	
Tax Exempt:		Special Tax Recapture:			
Exempt Class:		NONE			
Account Identifier:		District - 03 Account Number - 0303037425			
Owner Information					
Owner Name:	RUDIKOFF MICHAEL T POWER ROBIN		Use:	RESIDENTIAL	
Mailing Address:	2944 WOODVALLEY DR BALTIMORE MD 21208-1966		Principal Residence:	YES	
			Deed Reference:	/29357/ 00432	
Location & Structure Information					
Premises Address:	2944 WOODVALLEY DR BALTIMORE 21208-1966		Legal Description:	4.151 AC 2944 WOODVALLEY DR 1300 W GREENSPRING AV	
Map:	Grid:	Parcel:	Sub District:	Subdivision:	Section: Block: Lot:
0068	0012	0398		0000	
					Assessment Year: 2017
					Plat No: Plat Ref:
Special Tax Areas:			Town: NONE		
			Ad Valorem:		
			Tax Class:		
Primary Structure Built	Above Grade Living Area	Finished Basement Area	Property Land Area	County Use	
1987	4,588 SF		4.1500 AC	04	
Stories	Basement	Type	Exterior	Full/Half Bath	Garage
1	NO	STANDARD UNIT	FRAME	2 full/ 1 half	1 Attached
					Last Major Renovation
Value Information					
	Base Value	Value	Phase-in Assessments		
		As of 01/01/2017	As of 07/01/2018	As of 07/01/2019	
Land:	447,100	447,100			
Improvements	404,400	373,500			
Total:	851,500	820,600	820,600	820,600	
Preferential Land:	0			0	
Transfer Information					
Seller: MYERS JILL ROTEN,TRUSTEE		Date: 04/12/2010		Price: \$860,000	
Type: ARMS LENGTH MULTIPLE		Deed1: /29357/ 00432		Deed2:	
Seller: MYERS JILL R FINE		Date: 08/13/2008		Price: \$0	
Type: NON-ARMS LENGTH OTHER		Deed1: /27253/ 00467		Deed2:	
Seller: FINE JILL R DOW LING MICHAEL		Date: 03/14/1989		Price: \$0	
Type: NON-ARMS LENGTH OTHER		Deed1: /05598/ 00225		Deed2:	
Exemption Information					
Partial Exempt Assessments:	Class	07/01/2018		07/01/2019	
County:	000	0.00			
State:	000	0.00			
Municipal:	000	0.00 0.00		0.00 0.00	
Tax Exempt:		Special Tax Recapture:			
Exempt Class:		NONE			
Homestead Application Information					

Homestead Application Status: Approved 12/31/2012

Homeowners' Tax Credit Application Information

Homeowners' Tax Credit Application Status: No Application**Date:**

(AV) 3-25

ZAC AGENDA

Case Number: 2019-0247-A **Reviewer:** Gary Hucik
Existng Use: **Proposed Use:**
Type: ADMINISTRATIVE VARIANCE
Legal Owner: Allison & Shane Richardson
Contract Purchaser: No Contract Purchaser was set.

Critical Area: No **Flood Plain:** No **Historic:** No **Election Dist:** 11 **Council Dist:** 5

Property Address: 9770 POWDER HALL RD
Location: North West side of Powder Hall Road, East 125 feet to the center line of Perry Hall Road.

Existing Zoning: DR 3.5 **Area:** 9,260
Proposed Zoning:
ADMINISTRATIVE VARIANCE:
To permit a proposed deck (unroofed addition) with rear yard set back of 21 feet in lieu of the required 30 feet.
Attorney: Not Available
Prior Zoning Cases: 2015-0178-SPHA
Concurrent Cases: None
Violation Cases: None
Closing Date:

Miscellaneous Notes:

Case Number: 2019-0248-A **Reviewer:** Aaron Tsui
Existng Use: **Proposed Use:**
Type: ADDITIONAL VARIANCE
Legal Owner: Michael Rudikaff & Robin Power
Contract Purchaser: No Contract Purchaser was set.

Critical Area: No **Flood Plain:** No **Historic:** No **Election Dist:** 3 **Council Dist:** 2

Property Address: 2944 WOOD VALLEY DR
Location: NWS of Wood Valley Drive 1410 Ft. W of the centerline of Greenspring Ave.

Existing Zoning: DR 1 **Area:** 400.1
Proposed Zoning:
ADDITIONAL VARIANCE:
To permit a proposed accessory building (ground mounted solar panels) to be located in the side yard of an existing dwelling in lieu of the required rear yard.
Attorney: Not Available
Prior Zoning Cases: None
Concurrent Cases: None
Violation Cases: None
Closing Date: 03/25/2019

Miscellaneous Notes:

ZAC AGENDA

Case Number: 2019-0248-A **Reviewer:** Christina Frink

Existing Use: **Proposed Use:**

Type: ADDITIONAL VARIANCE

Legal Owner: Michael Rudikaff & Robin Power

Contract Purchaser: No Contract Purchaser was set.

Critical Area: No **Flood Plain:** No **Historic:** No **Election Dist:** 3 **Council Dist:** 2

Property Address: 2944 WOOD VALLEY DR

Location: NWS of Wood Valley Drive 1410 Ft. W of the centerline of Greenspring Ave.

Existing Zoning: DR 1

Area: 400.1

Proposed Zoning:

ADDITIONAL VARIANCE:

To permit a proposed accessory building (ground mounted solar panels) to be located in the side yard of an existing dwelling in lieu of the required rear yard.

Attorney: Not Available

Prior Zoning Cases: None

Concurrent Cases: None

Violation Cases: None

Closing Date: 03/25/2019

Miscellaneous Notes:

Case Number: 2019-0249-A **Reviewer:** Christina Frink

Existing Use: **Proposed Use:**

Type: ADMINISTRATIVE VARIANCE

Legal Owner: Tara J. Waldrop & Louis J. Eckert

Contract Purchaser: No Contract Purchaser was set.

Critical Area: Yes **Flood Plain:** Yes **Historic:** No **Election Dist:** 15 **Council Dist:** 7

Property Address: 221 VIRGINIA AVE

Location: S. of Virginia Ave, 299 Ft. W. of intersection of Virginia Ave and Riverside Drive

Existing Zoning: 5.5

Area: 24,216

Proposed Zoning:

ADMINISTRATIVE VARIANCE:

To allow an existing accessory structure to be enlarged to 25' tall in lieu of the maximum 15' height allowed.

Attorney: Not Available

Prior Zoning Cases: None

Concurrent Cases: None

Violation Cases: None

Closing Date: 03/25/2019

Miscellaneous Notes:



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2019-0248-A

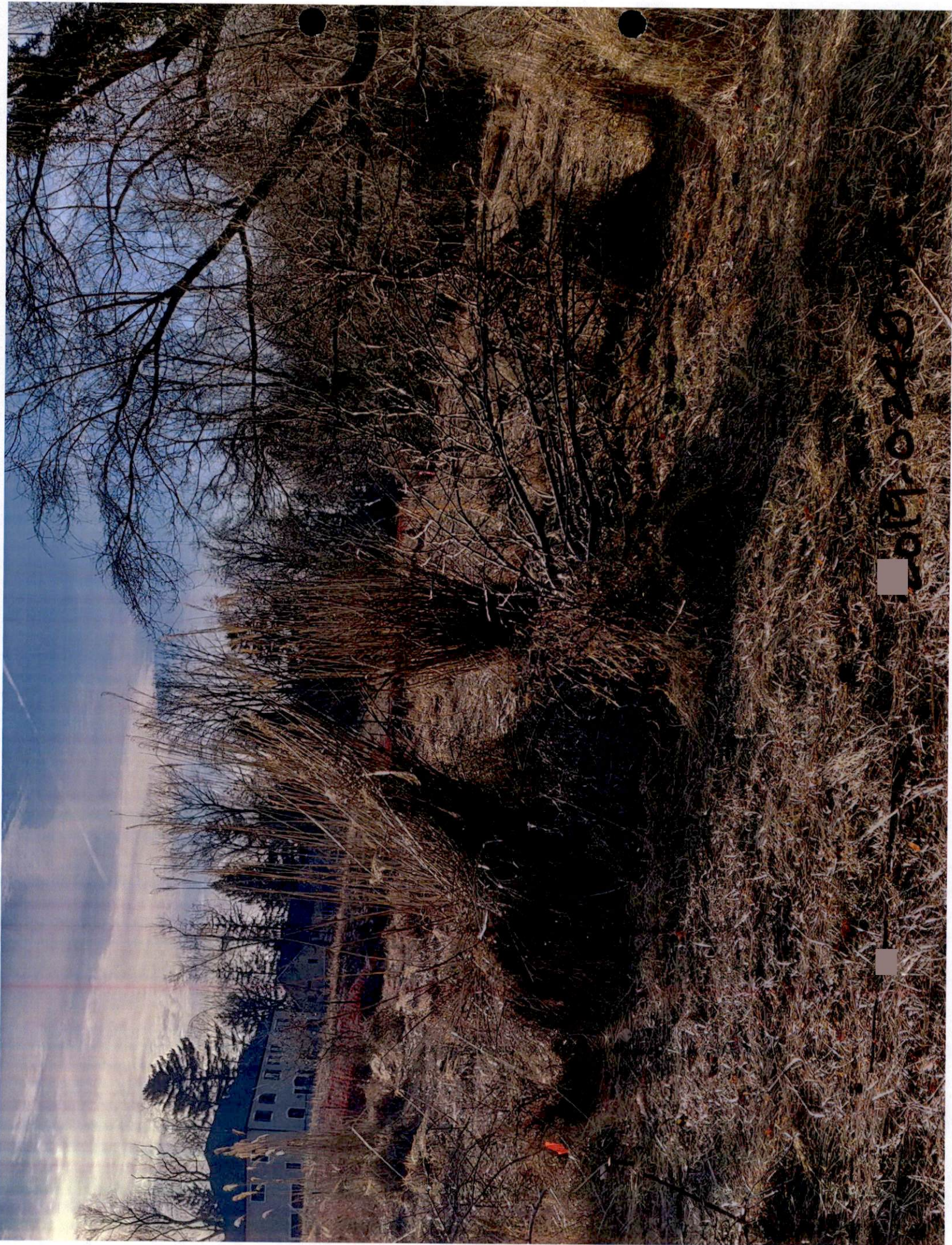


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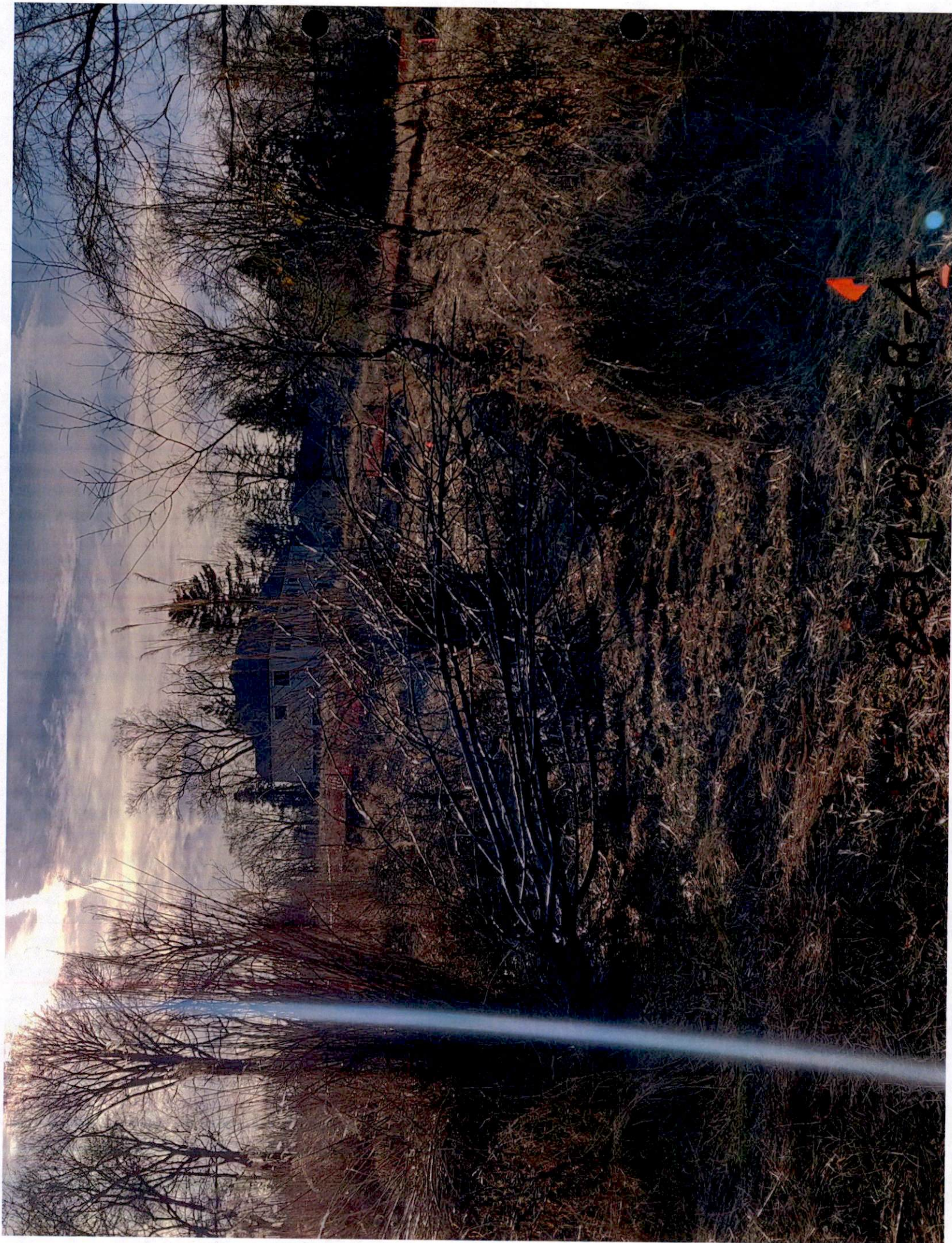


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2000



2019-07-28





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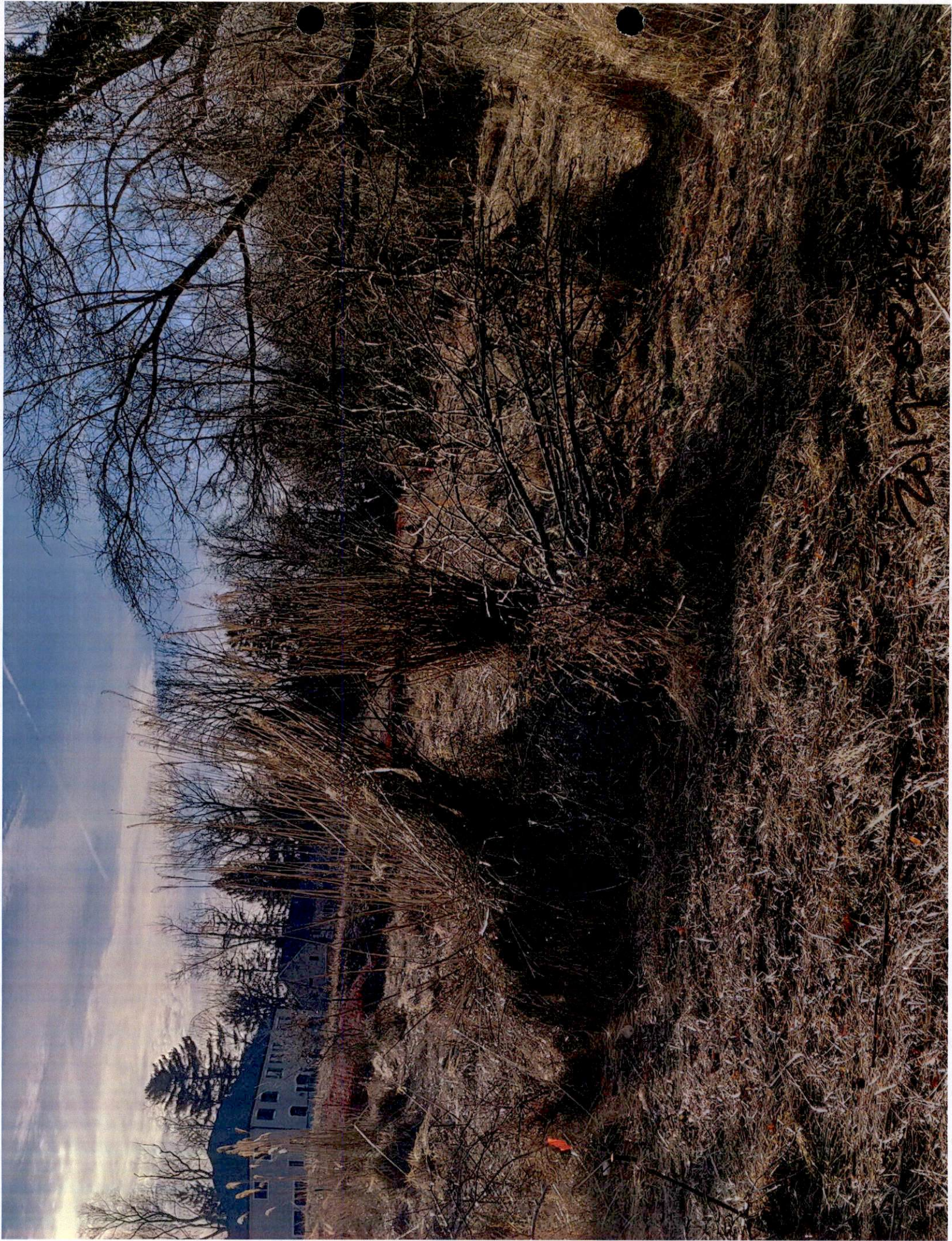
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2019-02-02

MSE PERC 60

High Power PERC Rooftop Module

MISSION SOLAR
ENERGY



Class Leading Output:
300W power



Advanced Technology:
PERC and 4 busbars drive
>18% module efficiency



Superior Aesthetics:
All-black design coupled with
outstanding power output



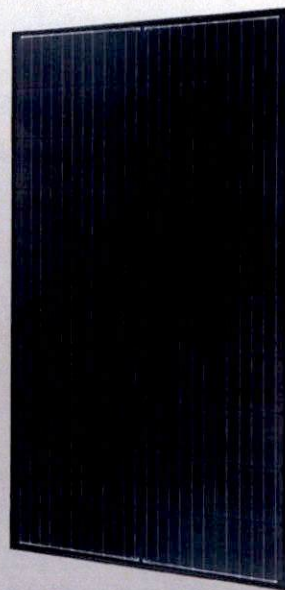
Certified Reliability:
3X IEC, salt mist, ammonia



5600 Pa snow load **New!**
175 mph wind rating



Buy American Act



Proudly assembled in the USA

Mission Solar Energy is headquartered in San Antonio, TX with module facilities onsite. Our hardworking team calls Texas home and is devoted to producing high quality solar products and services. Our supply chain includes local and domestic vendors increasing our impact to the U.S. economy.



CERTIFICATIONS

IEC 61215/ IEC 61730/ IEC 61701 UL 1703



*As there are different certification requirements in different markets, please contact your local Mission Solar Energy sales representative for the specific certificates applicable to the products in the region in which the products are to be used.

Superior Aesthetics

MSE PERC 60's slick all-black design coupled with outstanding power output makes it ideal for DG installations including commercial and rooftop systems.

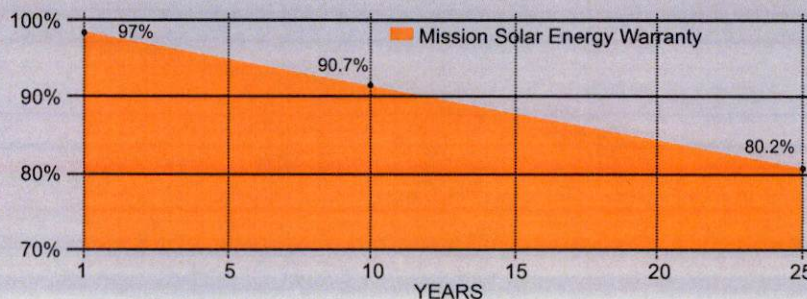
Outstanding performance with PERC

Passivated Emitter Rear Contact (PERC) technology provides excellent power output through advanced cell structure.

Best in class quality

Mission Solar Energy production lines are fully automated and include multiple quality checks throughout the production process.

25-YEAR LINEAR WARRANTY



2019-0248-A

DOCUMENT # 2019-0248-A2-MKTG-0006 REVISION DATE: --/-- REVISION #: 0

ELECTRICAL SPECIFICATIONS

Electrical parameters at Standard Test Condition (STC)

Module Type			MSE290SQ5T	MSE295SQ5T	MSE300SQ5T
Power Output	P _{max}	Wp	290	295	300
Module Efficiency		%	17.45	17.75	18.05
Tolerance				0~+3%	
Short-Circuit Current	I _{sc}	A	9.44	9.52	9.61
Open Circuit Voltage	V _{oc}	V	39.81	40.11	40.18
Rated Current	I _{mp}	A	8.95	9.03	9.17
Rated Voltage	V _{mp}	V	32.54	32.72	32.80

STC: Irradiance 1000 W/m², Cell temperature of 25°C, AM 1.5

TEMPERATURE COEFFICIENTS

Normal Operating Cell Temperature (NOCT)	44°C (±2°C)
Temperature Coefficient of P _{max}	-0.427%/°C
Temperature Coefficient of V _{oc}	-0.318%/°C
Temperature Coefficient of I _{sc}	0.042%/°C

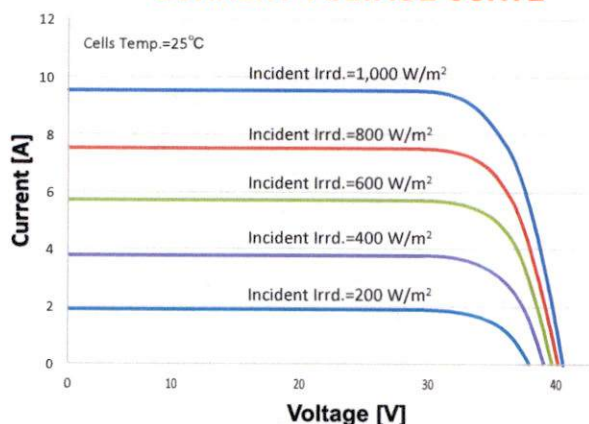
OPERATING CONDITIONS

Maximum System Voltage	1,000VDC
Operating Temperature Range	-40°C (-40°F) to +90°C (194°F)
Maximum Series Fuse Rating	15A
Fire Safety Classification	Type 1, Class C
Front & Back Load (UL standard)	5600 Pa (117 psf) New!
Hail Safety Impact Velocity	25mm at 23 m/s

MECHANICAL DATA

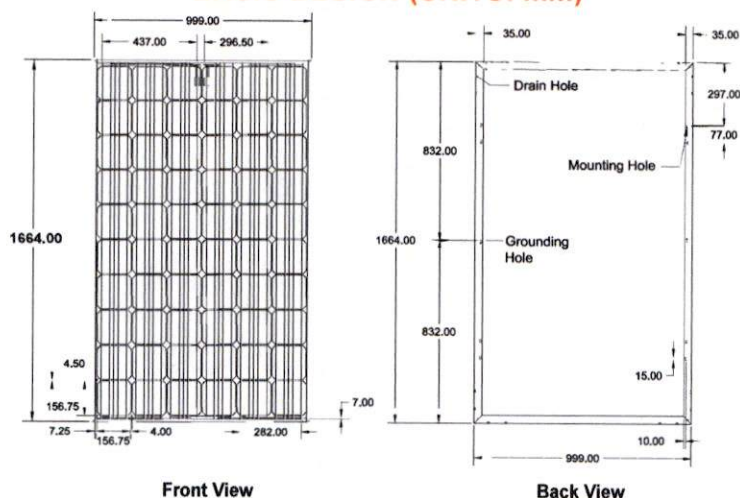
Solar Cells	P-type Mono-crystalline Silicon (156.75mm)
Cell orientation	60 cells (6x10), 4 busbar
Module dimension	1664mm x 999mm x 40mm (65.51 in. x 39.33 in. x 1.57 in.)
Weight	18.2 kg (40.1 lb)
Front Glass	3.2mm (0.126 in.) tempered, Low-iron, Anti-reflective coating
Frame	Anodized aluminum alloy
Encapsulant	Ethylene vinyl acetate (EVA)
J-Box	Protection class IP67 with 3 bypass-diodes
Cables	PV wire, 1m (39.37 in.), 4mm ² / 12 AWG
Connector	MC4 or compatible

MSE295SQ5T: 295WP, 60CELL SOLAR MODULE CURRENT-VOLTAGE CURVE



Current-voltage characteristics with dependence on irradiance and module temperature

BASIC DESIGN (UNITS: mm)



MISSION SOLAR
ENERGY



Mission Solar Energy reserves the right to make specification changes without notice.

8303 South New Braunfels Ave. | San Antonio | TX | 78235 | missionsolar.com | info@missionsolar.com | (210) 531-8600

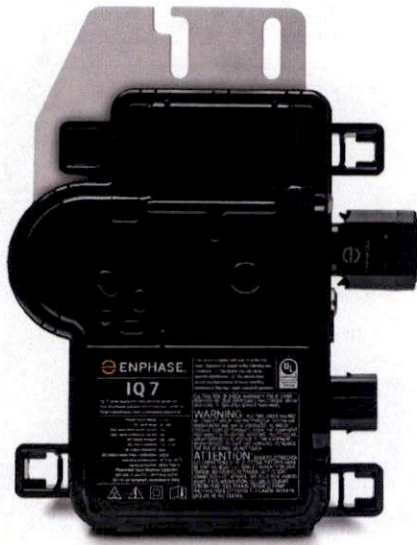
DOCUMENT #: C-SA2-MKTG-0006 REVISION DATE: --/-- REVISION #: 0

Enphase IQ 7 and IQ 7+ Microinverters

The high-powered smart grid-ready **Enphase IQ 7 Micro™** and **Enphase IQ 7+ Micro™** dramatically simplify the installation process while achieving the highest system efficiency.

Part of the Enphase IQ System, the IQ 7 and IQ 7+ Microinverters integrate with the Enphase IQ Envoy™, Enphase IQ Battery™, and the Enphase Enlighten™ monitoring and analysis software.

IQ Series Microinverters extend the reliability standards set forth by previous generations and undergo over a million hours of power-on testing, enabling Enphase to provide an industry-leading warranty of up to 25 years.



Easy to Install

- Lightweight and simple
- Faster installation with improved, lighter two-wire cabling
- Built-in rapid shutdown compliant (NEC 2014 & 2017)

Productive and Reliable

- Optimized for high powered 60-cell and 72-cell* modules
- More than a million hours of testing
- Class II double-insulated enclosure
- UL listed

Smart Grid Ready

- Complies with advanced grid support, voltage and frequency ride-through requirements
- Remotely updates to respond to changing grid requirements
- Configurable for varying grid profiles
- Meets CA Rule 21 (UL 1741-SA)

* The IQ 7+ Micro is required to support 72-cell modules.



To learn more about Enphase offerings, visit enphase.com



Enphase IQ 7 and IQ 7+ Microinverters

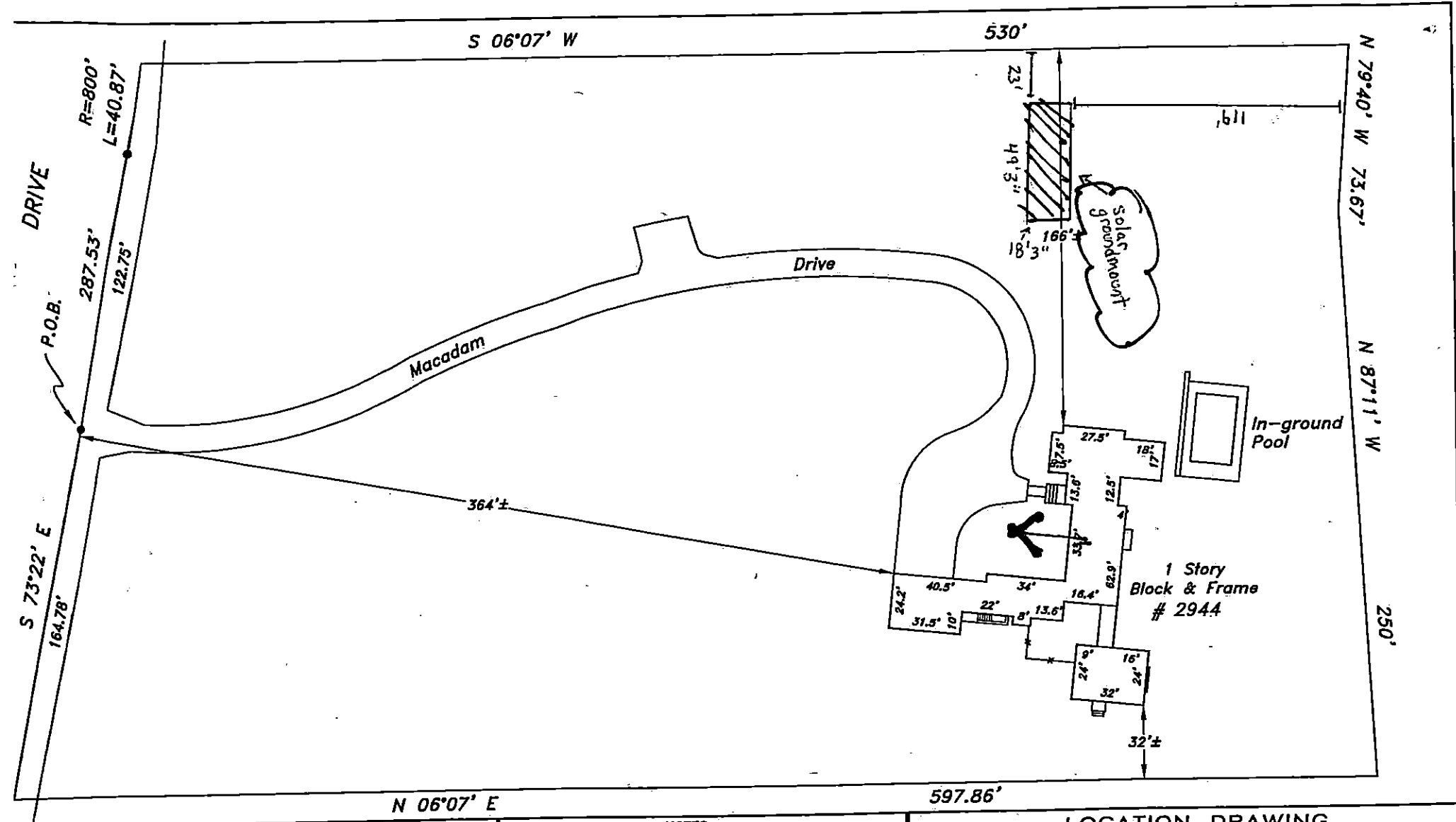
INPUT DATA (DC)		IQ7-60-2-US / IQ7-60-B-US		IQ7PLUS-72-2-US / IQ7PLUS-72-B-US	
Commonly used module pairings ¹	235 W - 350 W +		235 W - 440 W +		
Module compatibility	60-cell PV modules only		60-cell and 72-cell PV modules		
Maximum input DC voltage	48 V		60 V		
Peak power tracking voltage	27 V - 37 V		27 V - 45 V		
Operating range	16 V - 48 V		16 V - 60 V		
Min/Max start voltage	22 V / 48 V		22 V / 60 V		
Max DC short circuit current (module Isc)	15 A		15 A		
Overvoltage class DC port	II		II		
DC port backfeed current	0 A		0 A		
PV array configuration	1 x 1 ungrounded array; No additional DC side protection required; AC side protection requires max 20A per branch circuit				
OUTPUT DATA (AC)		IQ 7 Microinverter		IQ 7+ Microinverter	
Peak output power	250 VA		295 VA		
Maximum continuous output power	240 VA		290 VA		
Nominal (L-L) voltage/range ²	240 V / 211-264 V	208 V / 183-229 V	240 V / 211-264 V	208 V / 183-229 V	
Maximum continuous output current	1.0 A (240 V)	1.15 A (208 V)	1.21 A (240 V)	1.39 A (208 V)	
Nominal frequency	60 Hz		60 Hz		
Extended frequency range	47 - 68 Hz		47 - 68 Hz		
AC short circuit fault current over 3 cycles	5.8 Arms		5.8 Arms		
Maximum units per 20 A (L-L) branch circuit ³	16 (240 VAC)	13 (208 VAC)	13 (240 VAC)	11 (208 VAC)	
Overvoltage class AC port	III		III		
AC port backfeed current	0 A		0 A		
Power factor setting	1.0		1.0		
Power factor (adjustable)	0.7 leading ... 0.7 lagging		0.7 leading ... 0.7 lagging		
EFFICIENCY	@240 V	@208 V	@240 V	@208 V	
Peak CEC efficiency	97.6 %	97.6 %	97.5 %	97.3 %	
CEC weighted efficiency	97.0 %	97.0 %	97.0 %	97.0 %	
MECHANICAL DATA					
Ambient temperature range	-40°C to +65°C				
Relative humidity range	4% to 100% (condensing)				
Connector type (IQ7-60-2-US & IQ7PLUS-72-2-US)	MC4 (or Amphenol H4 UTX with additional Q-DCC-5 adapter)				
Connector type (IQ7-60-B-US & IQ7PLUS-72-B-US)	Friends PV2 (MC4 intermateable). Adaptors for modules with MC4 or UTX connectors: - PV2 to MC4: order ECA-S20-S22 - PV2 to UTX: order ECA-S20-S25				
Dimensions (WxHxD)	212 mm x 175 mm x 30.2 mm (without bracket)				
Weight	1.08 kg (2.38 lbs)				
Cooling	Natural convection - No fans				
Approved for wet locations	Yes				
Pollution degree	PD3				
Enclosure	Class II double-insulated, corrosion resistant polymeric enclosure				
Environmental category / UV exposure rating	NEMA Type 6 / outdoor				
FEATURES					
Communication	Power Line Communication (PLC)				
Monitoring	Enlighten Manager and MyEnlighten monitoring options. Both options require installation of an Enphase IQ Envoy.				
Disconnecting means	The AC and DC connectors have been evaluated and approved by UL for use as the load-break disconnect required by NEC 690.				
Compliance	CA Rule 21 (UL 1741-SA) UL 62109-1, UL1741/IEEE1547, FCC Part 15 Class B, ICES-0003 Class B, CAN/CSA-C22.2 NO. 107.1-01 This product is UL Listed as PV Rapid Shut Down Equipment and conforms with NEC-2014 and NEC-2017 section 690.12 and C22.1-2015 Rule 64-218 Rapid Shutdown of PV Systems, for AC and DC conductors, when installed according manufacturer's instructions.				

1. No enforced DC/AC ratio. See the compatibility calculator at <https://enphase.com/en-us/support/module-compatibility>.

2. Nominal voltage range can be extended beyond nominal if required by the utility.

3. Limits may vary. Refer to local requirements to define the number of microinverters per branch in your area.

To learn more about Enphase offerings, visit enphase.com

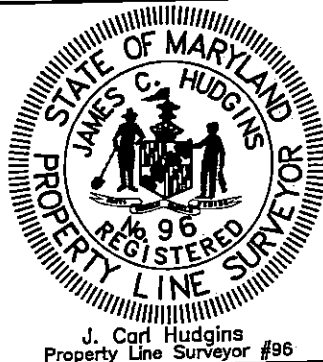


The property shown hereon, is located on Woodvalley Drive

Baltimore County,

and contains thereon.

This drawing is insofar as it is required for its agent in connection with financing purposes. The establishment of location of existing or future structures, identification of property may not be required for refinancing.



Subject property is shown in Zone X on the FIRM Map of Baltimore County, Maryland on Community Panel # 240010 0240 F. Effective Sept. 26, 2008



2019-0248A

WOOD...

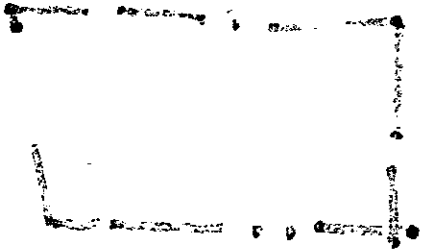
3

This is to certify that I have surveyed
being known as 2944 Wood

and recorded among the land records
Maryland in Liber 29753, folio 467
for the purpose of locating the impro

- * This plat is of benefit to the consumer
by a lender or a title insurance compan
- * This plat is not to be relied upon for t
- * This plat does not provide for the acct
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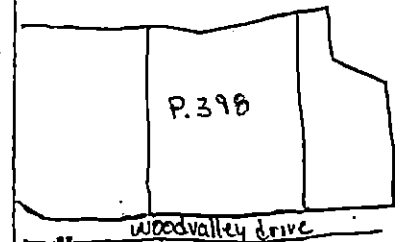
ZONING HEARING PLAN FOR VARIANCE ☒ FOR SPECIAL HEARING _____ (MARK TYPE REQUESTED WITH X)

ADDRESS 2944 Woodvalley Dr. Baltimore, MD 21208 OWNER(S) NAME(S) Rudikoff, Michael & Power, Robin

SUBDIVISION NAME _____ LOT # _____ BLOCK # _____ SECTION # _____

PLAT BOOK # _____ FOLIO # _____ 10 DIGIT TAX # 03 03 03 74 2 5 DEED REF. # 29357/00432

SITE VICINITY MAP



MAP IS NOT TO SCALE

ZONING MAP# 0068C1

SITE ZONED DR1

ELECTION DISTRICT 3

COUNCIL DISTRICT 2

LOT AREA ACREAGE 4.15

OR SQUARE FEET _____

HISTORIC? No

IN CBCA? No

IN FLOOD PLAIN? No

UTILITIES? MARK WITH X

WATER IS:

PUBLIC ☒ PRIVATE _____

SEWER IS:

PUBLIC _____ PRIVATE ☒

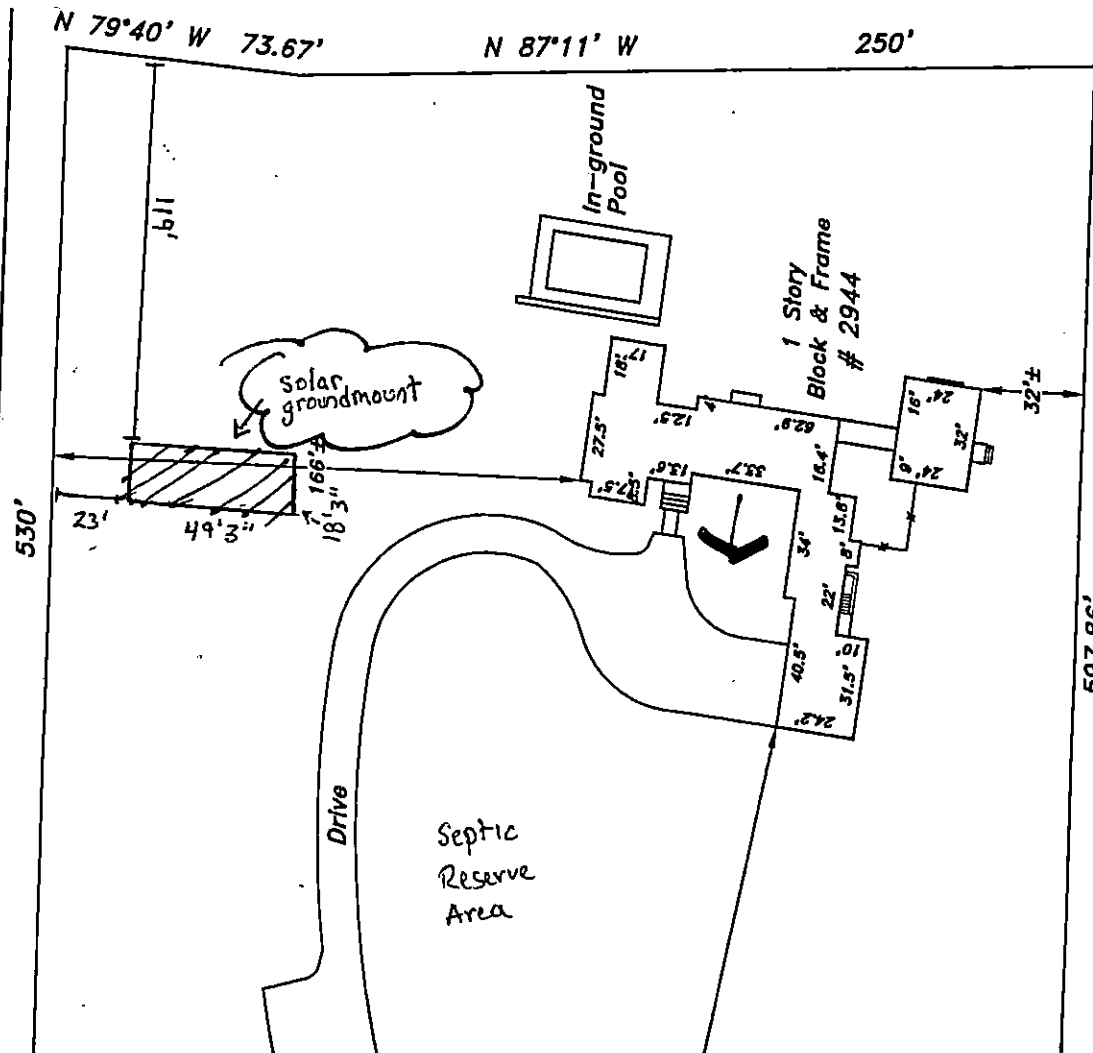
PRIOR HEARING? No

IF SO GIVE CASE NUMBER
AND ORDER RESULT BELOW

N/A

VIOLATION CASE INFO:

N/A



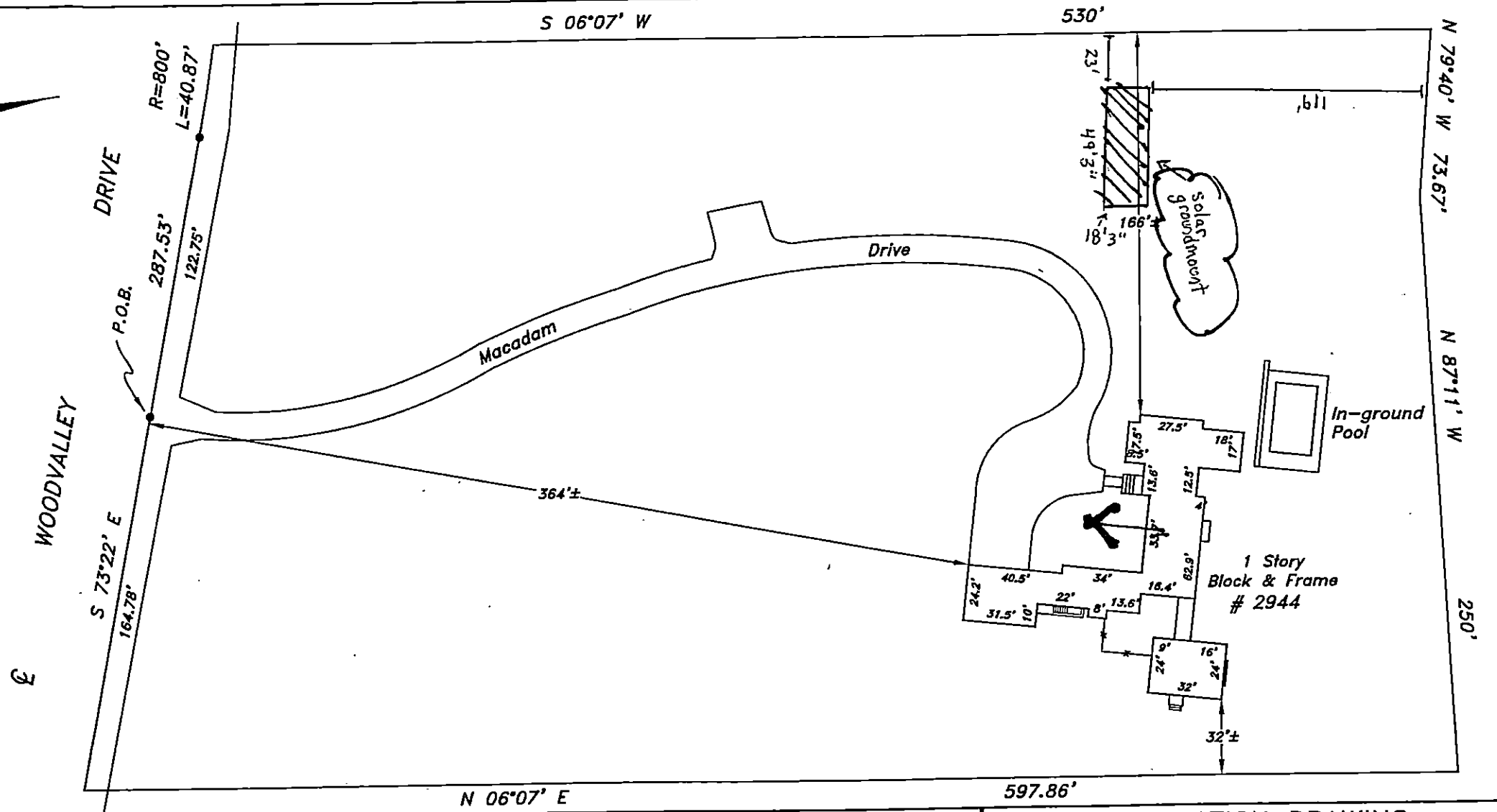
PLAN DRAWN BY Gailon Wensil-Shaw

DATE 2/11/19

SCALE: 1 INCH = 60 FEET

2019-0248-A

2019-0248A



This is to certify that I have surveyed the property shown hereon,
being known as 2944 Woodvalley Drive

and recorded among the land records of Baltimore County,
Maryland in Liber 29753 ,folio 467
for the purpose of locating the improvements thereon.

- * This plat is of benefit to the consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing, or refinancing purposes.
- * This plat is not to be relied upon for the establishment of location of fences, garages, buildings, or other existing or future structures.
- * This plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or for securing financing or refinancing.



J. Carl Hudgins
Property Line Surveyor #96

NOTES:

- 1) B.R.L. information, if shown, was obtained from existing record plat or local agencies and is not guaranteed by NTT, Inc.
- 2) Building line and/or Flood Zone Information is subject to the interpretation of the originator.
- 3) NTT, Inc. does not certify to unshown or unrecorded encroachments or overlaps.
- 4) Property markers NOT found, or guaranteed by this location.
- 5) Setback distance accuracy: 5' ±

Subject property is shown in Zone X
on the FIRM Map of Baltimore County,
Maryland on Community Panel #
240010 0240 F. Effective Sept. 26, 2008

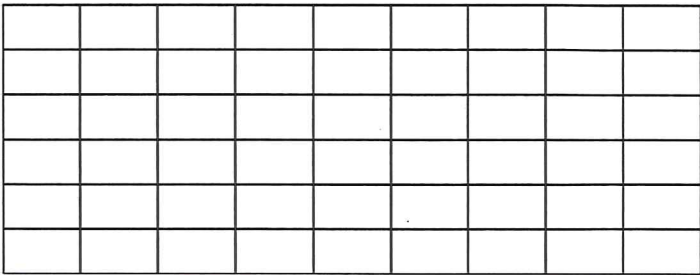
LOCATION DRAWING
2944 Woodvalley Drive
Baltimore County, Maryland

Election District No. 8

NTT Associates, Inc.

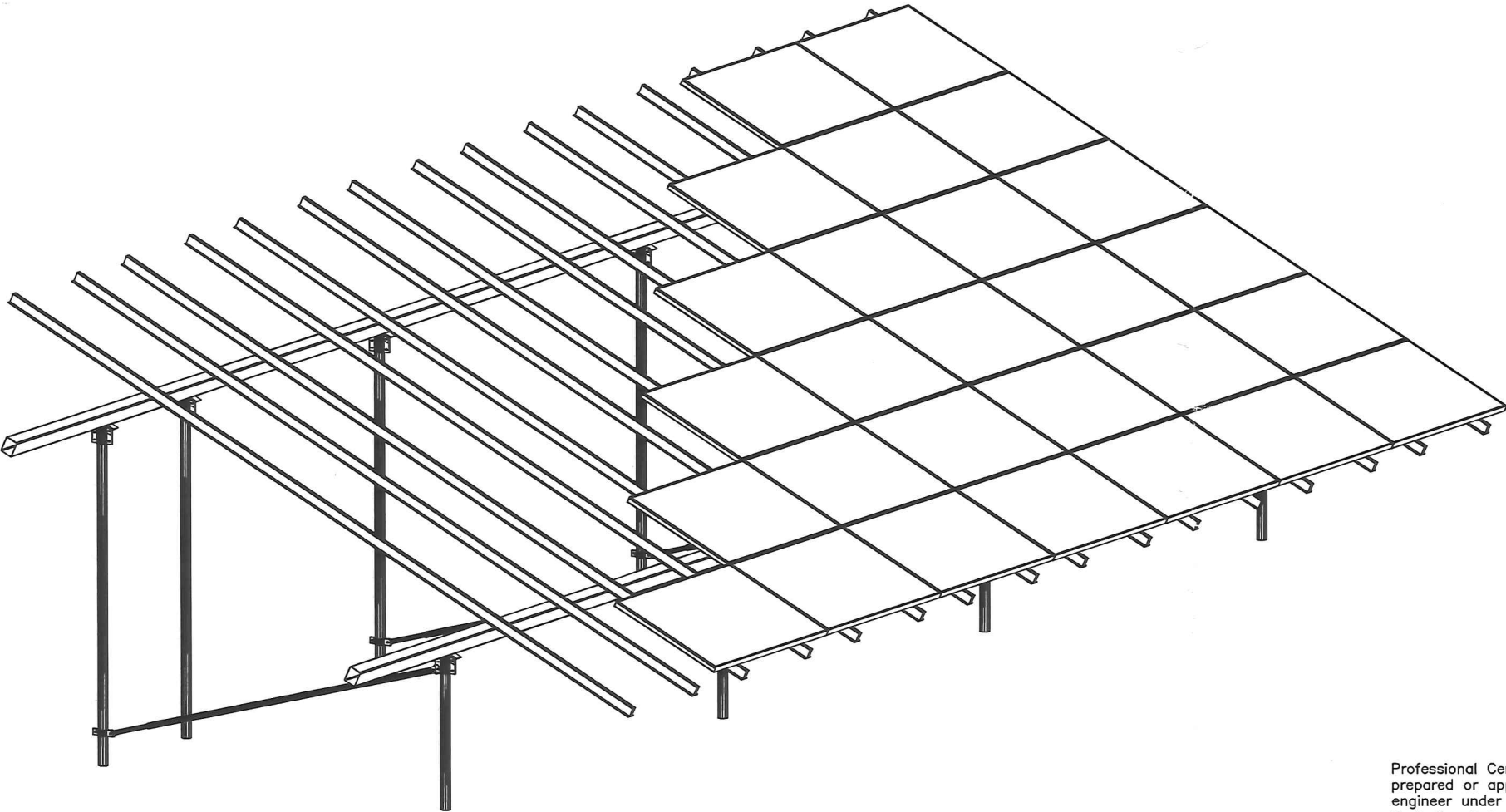
16205 Old Frederick Road
Mt. Airy, Maryland 21771
Ph. (410)442-2031
Fax No. (410)442-1315

Scale:	1" = 60'
Date:	3.9.10
Field By:	bp
Drawn By:	bp
Drawing #	MISC 9887



Plan View

NOT TO SCALE



Site Design Conditions

Basic Wind Speed: 105 MPH (Risk Category I)
Ground Snow Load: 30 PSF
Exposure Category: C
Site Contour: <5 Degree Slope
Helical Pile Depth: 60" Min

Max. Leg Axial Bearing: 4,555 lbs.
Max. Leg Uplift: 2,855 lbs.
Max. Lateral Resistance: 2,120 lbs.
Top Rail Max. Loading: 97.1 plf
Lateral Resistance Plate Size: Not Req'd

All design work has been performed in accordance with the Maryland Building Performance Standards List of Applicable Codes and Standards dated January 1, 2016 including, but not limited to, the 2015 International Building Code with the Department of Housing and Community Development modifications (ref: COMAR 05.02.07).

Net design pressures were calculated in accordance with ASCE 7-10 section 27.4.3, "Open Buildings with Monoslope, Pitched, or Troughed Roofs". All load cases were evaluated in determining the limiting design conditions. The data table above provides the results for the limiting load case. Maximum leg reaction forces represent the highest load condition seen by any leg in the structure. All legs in the structure are designed to meet the maximum load conditions.

6Lx9C Sub-Array Design Conditions

Front Leg Height: 40 1/4"
Rear Leg Height: 97"
North-South Leg Spacing: 121 1/2"
West Span Leg Spacing: 13'-0"
East Span Leg Spacing: 13'-0"
Quantity Center Spans: 1
Center Span Leg Spacing: 13'-3"
East & West Overhang: 4'-5"
Overall Beam Length: 48'-1"
Front Edge Ground Clearance: 28"
Horizontal Rail Material: 5"x4"x1/8" HSS
Top Rail Material: SF Rails
Qty Rails per Panel: 2
Top Rail Length: 242"
Top Rail Center Span: 134"
Top Rail Overhangs: 54"

Array Tilt Angle: 25 Degrees
Overall Array East-West Dim: 49'-4"
Number of Modules/Sub-Array: 54
Number of Sub-Arrays: 1
Module Columns/Sub-Array: 9
Number of Module Rows: 6
Module Orientation: Landscape
Module Column Spacing: 1/4"
Module Row Spacing: 1/4"
Module Model: MSE300SQ5T
Module Size: 39.33" x 65.51"
Individual Module Rating: 300 watt
Sub Array Power Rating: 16.2 kw
Total Power Rating: 16.2 kw

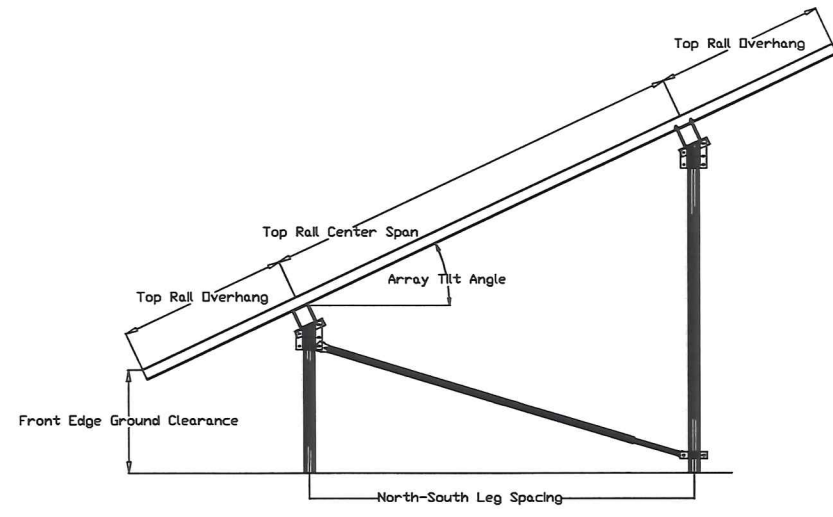
1 Additional North Column is to be installed per field direction. The Column is to support equipment mounting needs. It is not required for North beam support.

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 40027, Expiration Date: 3/15/19.



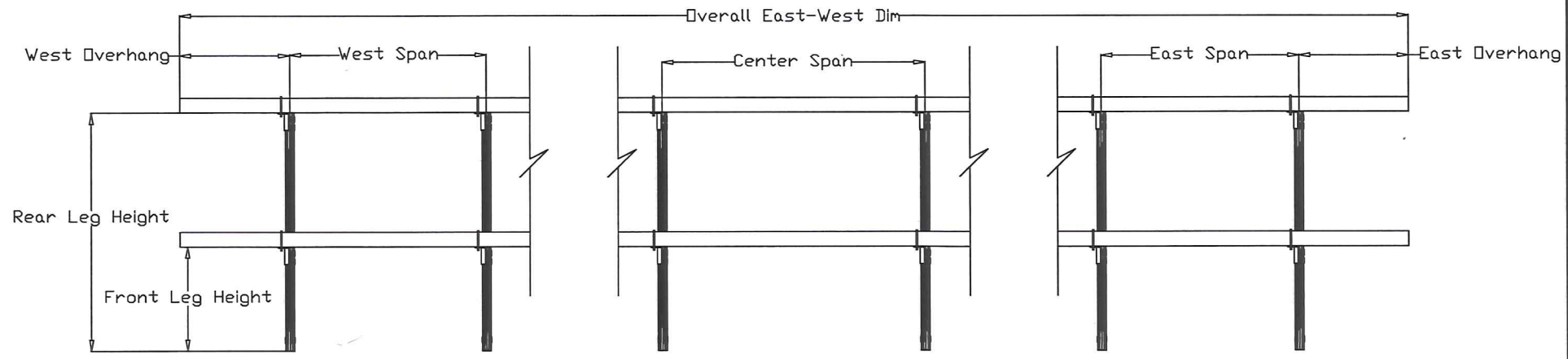
Sheet 1 of 3				American Design and Build		Solar Foundations USA 1142 River Road, New Castle, DE 19720 Ph: (855) 738-7200 Fax: (866) 644-5665
Date	Revision	Drawn By:	Review By:	Project: Rudikoff Residence 2944 Woodvalley Drive Pikesville, MD 21208		
12/10/2018	Original	ML	JD			

2019-0248-A



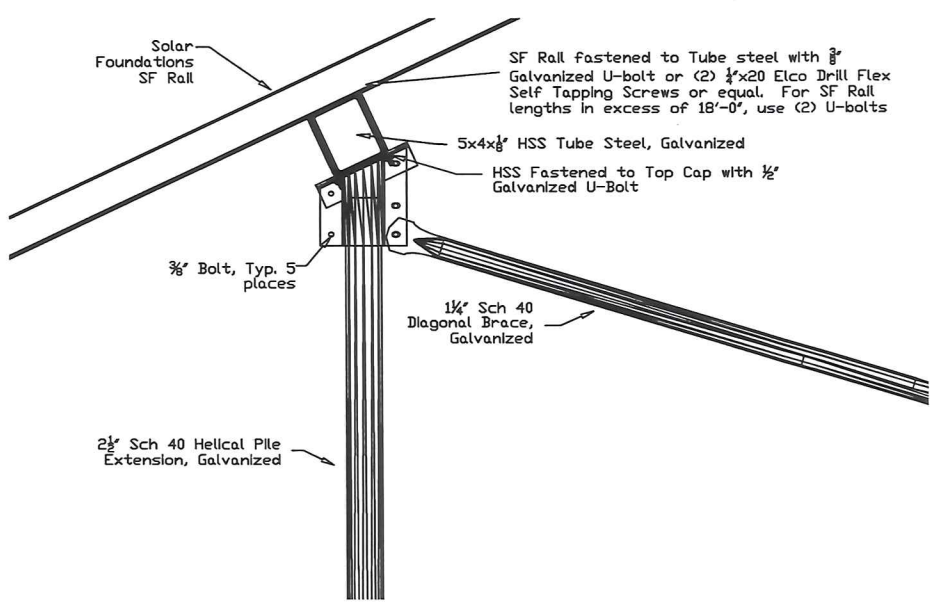
SIDE ELEVATION DETAIL

NOT TO SCALE



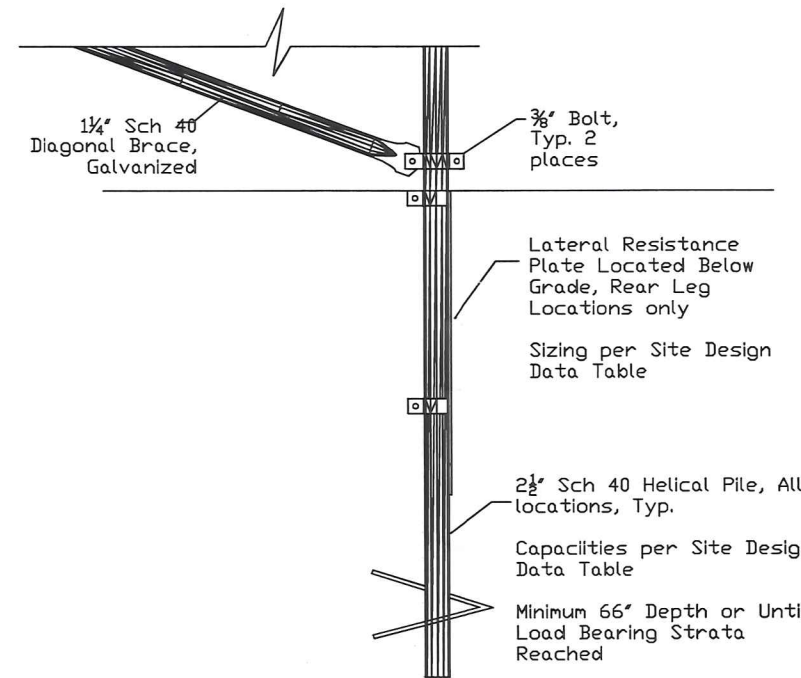
POST SPACING ELEVATION DETAIL

NOT TO SCALE



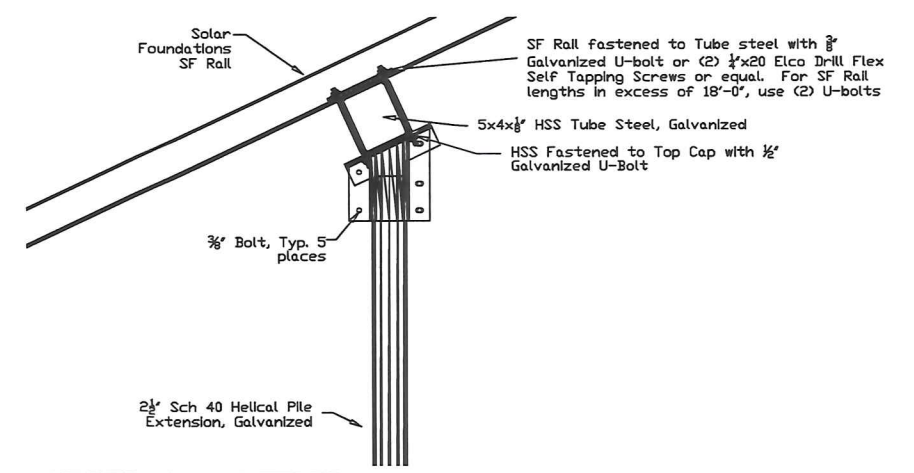
LOWER CAP DETAIL

NOT TO SCALE



HELICAL PILE AND LATERAL RESISTANCE PLATE DETAIL

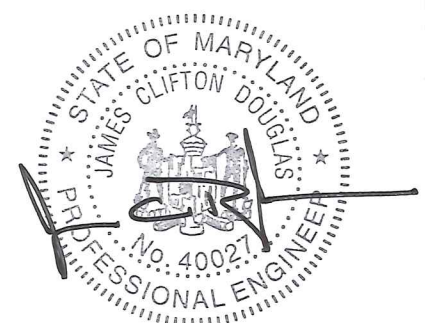
NOT TO SCALE



UPPER CAP DETAIL

NOT TO SCALE

Professional Certification. I hereby certify that these documents were prepared or approved by me and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 40027, Expiration Date: 3/15/19.



Sheet 2 of 3

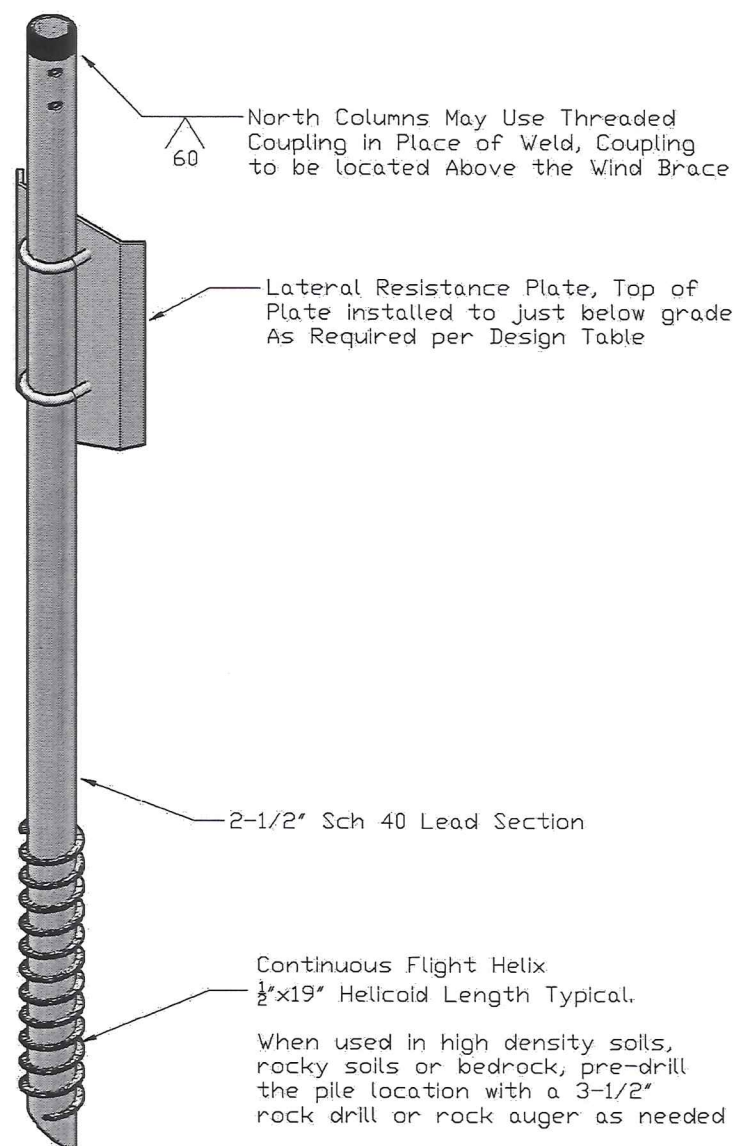
American Design and Build

Date	Revision	Drawn By:	Review By:
12/10/2018	Original	ML	JD

Project:
Rudikoff Residence
 2944 Woodvalley Drive
 Pikesville, MD 21208

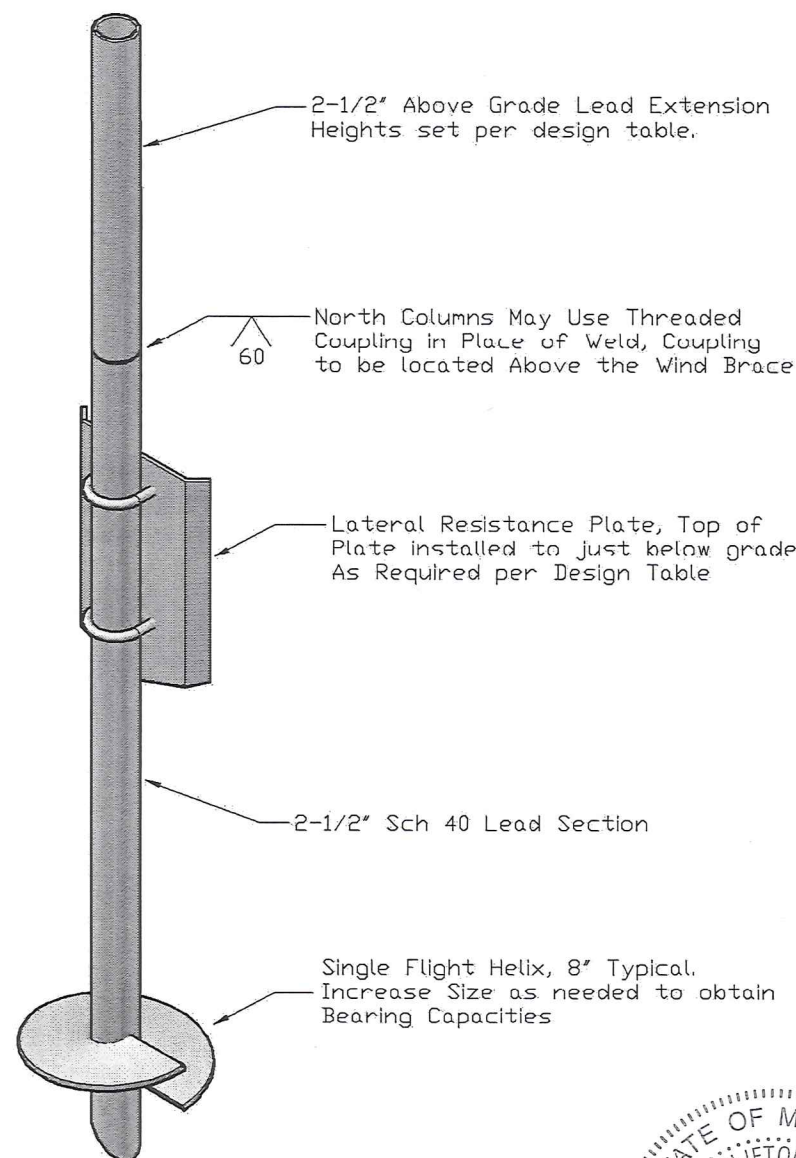
Solar Foundations USA

1142 River Road, New Castle, DE 19720 Ph: (855) 738-7200 Fax: (866) 644-5665

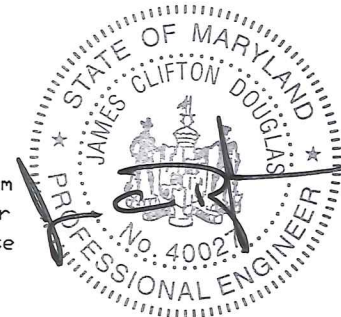


Helical Pile Detail

NOT TO SCALE



Professional Certification. I hereby certify that these documents were prepared or approved by me and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 40027, Expiration Date: 3/15/19.



Specification Requirements:

The following material specification requirements pertain to the fabrication of the Solar Foundations USA ground mount solar support structure as indicated on these drawings.

1. Solar Foundation aluminum rails shall conform to ASTM B221.
2. Structural steel tubing shall be ASTM A500 Grade C.
3. Steel pipe for piles shall conform to ASTM A500 Grade C.
4. Steel pile extensions shall be ASTM A53 Grade B.
5. Fabricated steel plate for column cap assemblies, bracing clamps, etc. shall be ASTM A36 or A1011.
6. Steel bolts for cap fasteners shall conform to SAE J429 Grade 5. All other bolts shall conform to SAE J429 Grade 2 or better.
7. Steel U-bolts shall conform to ASTM 1018.
8. USS flat steel washers shall conform to ASTM F844 and nuts for steel connections shall conform to ASTM A563 Grade A.
9. All field welding shall conform to AWS D1.1/D1.1M -Structural Welding Code requirements.
10. All steel shall be hot-dip galvanized per ASTM A123 or A153 after all fabrication has been completed.

Installation Requirements:

1. The minimum average installation torque required to obtain the required indicated capacities and the minimum installation depth shown on the plans shall be satisfied prior to termination of the installation. The installation torque shall be an average of the installation torques indicated during the last 1 foot of installation.
2. The torsional strength rating of the torque anchor shall not be exceeded during the installation. If the torsional strength limit of the anchor has been reached, but the anchor has not reached the target depth, perform the following:
 - 2.1. If the torsional strength limit is achieved prior to reaching the target depth, the installation may be acceptable if reviewed and approved by the engineer and/or owner.
 - 2.2. The installer may remove the torque anchor and install a new one with smaller diameter helical plate.
 - 2.3. If using a continuous flight pile, pre-drill the pile location with a 3-1/2" rock auger or rock drill as needed.
3. If the target depth is achieved, but the torsional requirement has not been met the installer may do one of the following:
 - 3.1. Install the torque anchor deeper to obtain the required capacity.
 - 3.2. Remove the torque anchor and install a new one with a larger diameter helical plate or one with multiple helical plates.
 - 3.3. Reduce the load capacity on the individual torque anchor by providing additional torque anchors at a reduced spacing.

Sheet 3 of 3

American Design and Build

Project:
Rudikoff Residence
2944 Woodvalley Drive
Pikesville, MD 21208

Solar Foundations USA

1142 River Road, New Castle, DE 19720 Ph: (855) 738-7200 Fax: (866) 644-5665

Date	Revision	Drawn By:	Review By:
12/10/2018	Original	ML	JD