

## **M E M O R A N D U M**

DATE: July 11, 2019  
TO: Zoning Review Office  
FROM: Office of Administrative Hearings  
RE: Case No. 2019-0296-A - Appeal Period Expired

---

The appeal period for the above-referenced case expired on July 10, 2019. There being no appeal filed, the subject file is ready for return to the Zoning Review Office and is placed in the 'pick up box.'

/dlw

c: ✓ Case File  
Office of Administrative Hearings

IN RE: PETITION FOR VARIANCE  
(2616 W. Woodwell Road)  
12<sup>th</sup> Election District  
7<sup>th</sup> Council District  
L & S Home Remodeling, LLC  
*Legal Owner*  
Petitioner

\*  
\*  
\*  
\*  
\*

BEFORE THE OFFICE  
OF ADMINISTRATIVE  
HEARINGS FOR  
BALTIMORE COUNTY  
**CASE NO. 2019-0296-A**

\* \* \* \* \*

### OPINION AND ORDER

This matter comes before the Office of Administrative Hearings ("OAH") for Baltimore County as a Petition for Variance filed by L & S Home Remodeling, LLC, legal owner of the subject property ("Petitioner"). Petitioner is requesting variance relief from Section 1B02.3 of the Baltimore County Zoning Regulations ("BCZR") to permit side setback of an existing foundation that are 9 ft. to the north side yard and 5 ft. to the southeast rear corner side yard in lieu of the required 10 ft. side yard due to the construction of a replacement home on an existing foundation. A site plan was marked as Petitioner's Exhibit 1.

Charles Merritt and Edwin Sanchez appeared in support of the petition. There were no protestants or interested citizens in attendance. The Petition was advertised and posted as required by the BCZR. A substantive Zoning Advisory Committee ("ZAC") comment was received from the Department of Planning ("DOP"). That agency did not oppose the request.

The site is approximately 4,515 square feet in size and is zoned DR 5.5. Petitioner proposes to construct a replacement dwelling on the same footprint/foundation as an existing home. Though initially issued a building permit to begin construction, County inspectors later told Petitioner variances would be required.

A variance request involves a two-step process, summarized as follows:

**ORDER RECEIVED FOR FILING**

Date 6-10-19

By ESW

- (1) It must be shown the property is unique in a manner which makes it unlike surrounding properties, and that uniqueness or peculiarity must necessitate variance relief; and
- (2) If variance relief is denied, Petitioner will experience a practical difficulty or hardship.

*Cromwell v. Ward*, 102 Md. App. 691 (1995).

Petitioner must contend with long-existing site conditions. As such the property is unique. If the Regulations were strictly interpreted, Petitioner would experience a practical difficulty because it would be unable to construct the proposed replacement home. Finally, I find that the variance can be granted in harmony with the spirit and intent of the BCZR, and in such manner as to grant relief without injury to the public health, safety and general welfare. This is demonstrated by the absence of County and/or community opposition.

THEREFORE, IT IS ORDERED, this 10<sup>th</sup> day of **June, 2019**, by the Administrative Law Judge for Baltimore County, that the Petition for Variance pursuant to the Baltimore County Zoning Regulations ("BCZR") to permit side setbacks of an existing foundation that are 9 ft. to the north side yard and 5 ft. to the southeast rear corner side yard in lieu of the required 10 ft. side yard due to the construction of a replacement home on an existing foundation, be and is hereby GRANTED.

The relief granted herein shall be subject to the following:

1. Petitioner may apply for necessary permits and/or licenses upon receipt of this Order. However, Petitioner is hereby made aware that proceeding at this time is at its own risk until 30 days from the date hereof, during which time an appeal can be filed by any party. If for whatever reason this Order is reversed, Petitioner would be required to return the subject property to its original condition.

ORDER RECEIVED FOR FILING

Date 6-10-19

By EW

Any appeal of this decision must be made within thirty (30) days of the date of this Order.



JOHN E. BEVERUNGEN  
Administrative Law Judge for  
Baltimore County

JEB:slh

ORDER RECEIVED FOR FILING

Date 6-10-19

By DW





# PETITION FOR ZONING HEARING(S)

To be filed with the Department of Permits, Approvals and Inspections

To the Office of Administrative Law of Baltimore County for the property located at:

Address 2616 W WOODWELL ROAD which is presently zoned DR 5.5  
Deed References: 40620/444 10 Digit Tax Account # 1219034520  
Property Owner(s) Printed Name(s) L&S HOME REMODELING LLC

(SELECT THE HEARING(S) BY MARKING X AT THE APPROPRIATE SELECTION AND PRINT OR TYPE THE PETITION REQUEST)

The undersigned legal owner(s) of the property situate in Baltimore County and which is described in the description and plan attached hereto and made a part hereof, hereby petition for:

1.    a Special Hearing under Section 500.7 of the Zoning Regulations of Baltimore County, to determine whether or not the Zoning Commissioner should approve
2.    a Special Exception under the Zoning Regulations of Baltimore County to use the herein described property for
3. X a Variance from Section(s) 1302.3  
TO PERMIT SIDE SETBACKS TO BE LESS THAN 10' FT DUE TO THE CONSTRUCTION OF A REPLACEMENT HOME ON AN EXISTING FOUNDATION.

of the zoning regulations of Baltimore County, to the zoning law of Baltimore County, for the following reasons:  
(Indicate below your hardship or practical difficulty or indicate below "TO BE PRESENTED AT HEARING". If you need additional space, you may add an attachment to this petition)

Property is to be posted and advertised as prescribed by the zoning regulations.

I, or we, agree to pay expenses of above petition(s), advertising, posting, etc. and further agree to and are to be bounded by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

Legal Owner(s) Affirmation: I / we do so solemnly declare and affirm, under the penalties of perjury, that I / We are the legal owner(s) of the property which is the subject of this / these Petition(s).

## Contract Purchaser/Lessee:

Name- Type or Print \_\_\_\_\_  
Signature \_\_\_\_\_  
Mailing Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_  
Zip Code \_\_\_\_\_ Telephone # \_\_\_\_\_ Email Address \_\_\_\_\_

## Attorney for Petitioner:

Name- Type or Print \_\_\_\_\_  
Signature \_\_\_\_\_  
Date \_\_\_\_\_  
Mailing Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_  
Zip Code \_\_\_\_\_ Telephone # \_\_\_\_\_ Email Address \_\_\_\_\_

## Legal Owners (Petitioners):

L&S HOME REMODELING LLC  
Name #1 - Type or Print \_\_\_\_\_ Name #2 - Type or Print \_\_\_\_\_  
Signature #1 Edwin Sander Signature #2 \_\_\_\_\_  
623 KITTENDALE CIR. MIDDLE RIVER  
Mailing Address \_\_\_\_\_ City \_\_\_\_\_ State MD  
21220 / \_\_\_\_\_  
Zip Code \_\_\_\_\_ Telephone # \_\_\_\_\_ Email Address \_\_\_\_\_

## Representative to be contacted:

CHARLES MERRITT  
Name - Type or Print \_\_\_\_\_  
Signature \_\_\_\_\_  
9831 MAGUET RD BALTO MD  
Mailing Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_  
21231 / 410-925-0061 / MERRITTOCE@GMAIL.COM  
Zip Code \_\_\_\_\_ Telephone # \_\_\_\_\_ Email Address \_\_\_\_\_  
NET

CASE NUMBER 2019-0296-A Filing Date 4/11/19

Do Not Schedule Dates: \_\_\_\_\_ Reviewer RJ

THE MEDICAL PROFESSION  
OF THE UNITED STATES  
OF AMERICA

A

# MERRITT DEVELOPMENT CONSULTANTS, INC

~~~~~Engineering~~~~~Land Planning~~~~~Surveying~~~~~

9831 Magledt Road  
Baltimore, MD 21234  
Phone: 410-925-4061  
Fax: 410-661-1297  
merrittdc@verizon.net

## Zoning Description for 2616 West Woodwell Road

Beginning at a point on the east side of West Woodwell Road 50' wide, approximately 175' north from the centerline of Oakwood Road 50' wide the following 4 courses:

1. Curve to the north radius  $R = 191.91'$   $L = 54.98'$
2. N  $67^{\circ} 33'$  E 105.22'
3. S  $41^{\circ} 20'$  E 31.66'
4. S  $54^{\circ} 45'$  W 105.78' to the place of beginning

Beginning lot 223 in the subdivision of Gray Manor as recorded in Baltimore County Plat Book #13, Folio #34, containing 4,515 +/- SF or 0.103 +/- AC. Located in the 12<sup>th</sup> Election District and the 7<sup>th</sup> Council District.

2019-0296-A



# The Daily Record

11 East Saratoga Street

Baltimore, MD 21202-2199

(443) 524-8100

<http://www.thedailyrecord.com>

## PUBLISHER'S AFFIDAVIT

We hereby certify that the annexed advertisement was published in The Daily Record, a daily newspaper published in the State of Maryland 1 times on the following dates:

5/17/2019

Order #: 11745645  
Case #: 2019-0296-A  
Description:

NOTICE OF ZONING HEARING - CASE NUMBER: 2019-0296-A



Darlene Miller, Public Notice Coordinator  
(Representative Signature)

### Baltimore County

#### NOTICE OF ZONING HEARING

The Administrative Law Judge of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing in Towson, Maryland on the property identified herein as follows:

CASE NUMBER: 2019-0296-A

2616 W. Woodwell Road

E/s Woodwell Road, north of Oakwood Road

12th Election District - 7th Councilmanic District

Legal Owners: L & S Home Remodeling, LLC

Variance to permit side setback of an existing foundation that are 9 ft. to the north side yard and 5 feet to the southeast rear corner side yard in lieu of the required 10 ft. side yard due to the construction of a replacement home on an existing foundation.

Hearing: Friday, June 7, 2019 at 10:00 a.m. in Room 205, Jefferson Building, 105 West Chesapeake Avenue, Towson 21204

Michael Mallinoff

Director of Permits, Approvals and Inspections for Baltimore County

NOTES: (1) HEARINGS ARE HANDICAPPED ACCESSIBLE, FOR SPECIAL ACCOMMODATIONS, PLEASE CONTACT THE ADMINISTRATIVE HEARINGS OFFICE AT 410-887-3868.

(2) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THE ZONING REVIEW OFFICE AT 410-887-3391.

my 17

4. 1991

27. 8. 1975, 10. 1975, 12. 1975, 1. 1976

*Journal of Management Studies*, 19(1), 67-80.

*Journal of Management Education* 30(6)p.789-804  
© The Author(s) 2006. Reprints and permissions:  
<http://www.sagepub.com/journalsPermissions.nav>

the 1990s, the number of people in the world who are under 15 years of age is expected to increase from 1.1 billion to 1.5 billion. The number of people aged 65 and over is expected to increase from 200 million to 400 million. The number of people aged 15 and over is expected to increase from 3.5 billion to 4.5 billion. The number of people aged 15 and over is expected to increase from 3.5 billion to 4.5 billion. The number of people aged 15 and over is expected to increase from 3.5 billion to 4.5 billion.

Debra Wiley

JB 6-7-19  
2019-0296-A  
10Am

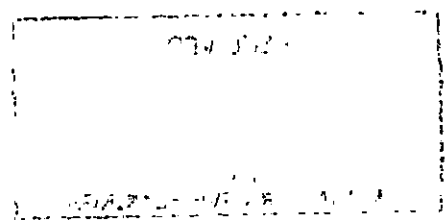
**From:** David Billingsley <dwb0209@yahoo.com>  
**Sent:** Monday, June 3, 2019 5:31 PM  
**To:** Administrative Hearings  
**Cc:** Chuck Merritt  
**Subject:** 2616 W. WOODWELL ROAD  
**Attachments:** Scan\_0095.pdf

**CAUTION:** This message from dwb0209@yahoo.com originated from a non Baltimore County Government or non BCPL email system. Hover over any links before clicking and use caution opening attachments.

POSTING RECERTIFICATIONS ATTACHED  
THANKS

Dave Billingsley  
Central Drafting and Design  
410-679-8719 OFFICE  
410-458-1401 CELL





# CERTIFICATE OF POSTING

RECEIVED 6/3/19  
Date: MAY 17, 2019

RE: Project Name: 2616 W. WOODWELL ROAD #1

Case Number /PAI Number: CASE 2019-0296-A

Petitioner/Developer: L & S HOME REMODELING

Date of Hearing/Closing: JUNE 7, 2019

-RECEIVED

JUN 04 2019

OFFICE OF  
ADMINISTRATIVE HEARINGS

This is to certify under the penalties of perjury that the necessary sign(s) required by law were posted conspicuously on the property located at 2616 W. WOODWELL ROAD

RE-CERTIFIED 6/3/19  
MAY 17, 2019

The sign(s) were posted on \_\_\_\_\_ MAY 17, 2019  
(Month, Day, Year)



David Billingsly  
David Billingsly  
(Signature of Sign Poster)

DAVID W. BILLINGSLEY  
(Printed Name of Sign Poster)

601 CHARWOOD COURT  
(Street Address of Sign Poster)

EDGEWOOD, MD. 21040  
(City, State, Zip Code of Sign Poster)

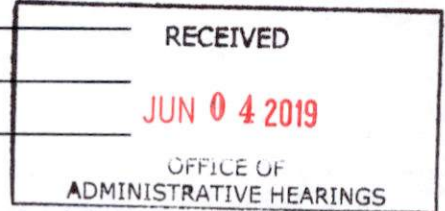
(410) 679-8719  
(Telephone Number of Sign Poster)



# CERTIFICATE OF POSTING

RECERTIFIED 6/3/19  
Date: MAY 17, 2019

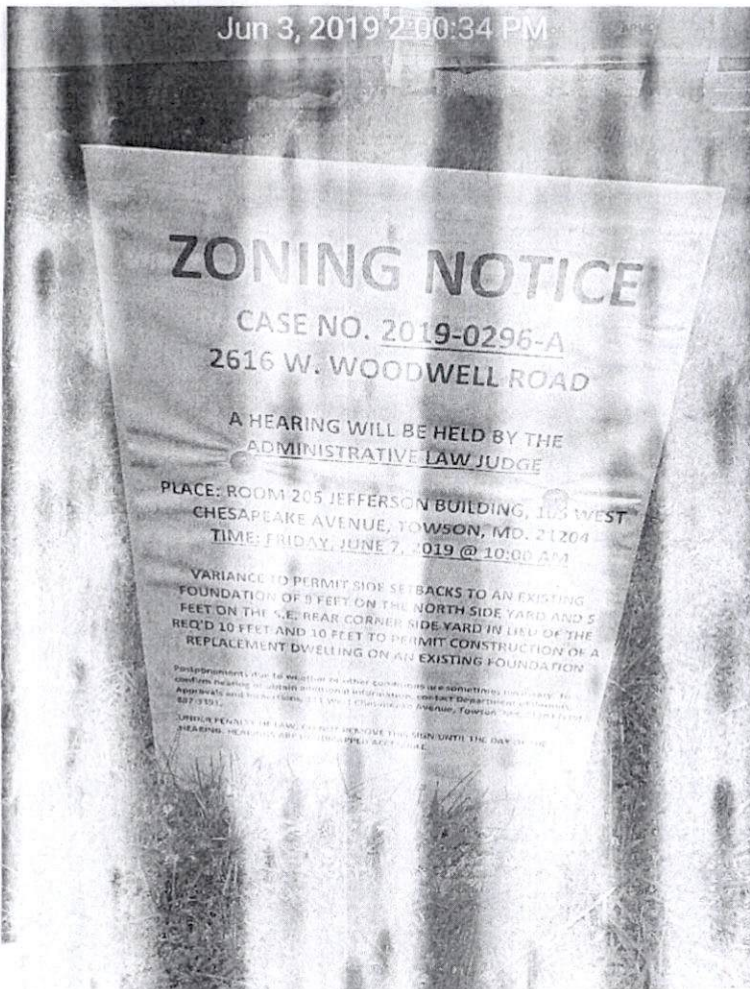
RE: Project Name: 2616 W. WOODWELL ROAD #2  
Case Number /PAI Number: CASE 2019-0296-A  
Petitioner/Developer: L & S HOME REMODELING  
Date of Hearing/Closing: JUNE 7, 2019



This is to certify under the penalties of perjury that the necessary sign(s) required by law were posted conspicuously on the property located at 2616 W. WOODWELL ROAD

The sign(s) were posted on \_\_\_\_\_

RECERTIFIED 6/3/19  
MAY 17, 2019  
(Month, Day, Year)



*David Billingsley*  
*David Billingsley*  
(Signature of Sign Poster)

DAVID W. BILLINGSLEY  
(Printed Name of Sign Poster)

601 CHARWOOD COURT  
(Street Address of Sign Poster)

EDGEWOOD, MD. 21040  
(City, State, Zip Code of Sign Poster)

(410) 679-8719  
(Telephone Number of Sign Poster)

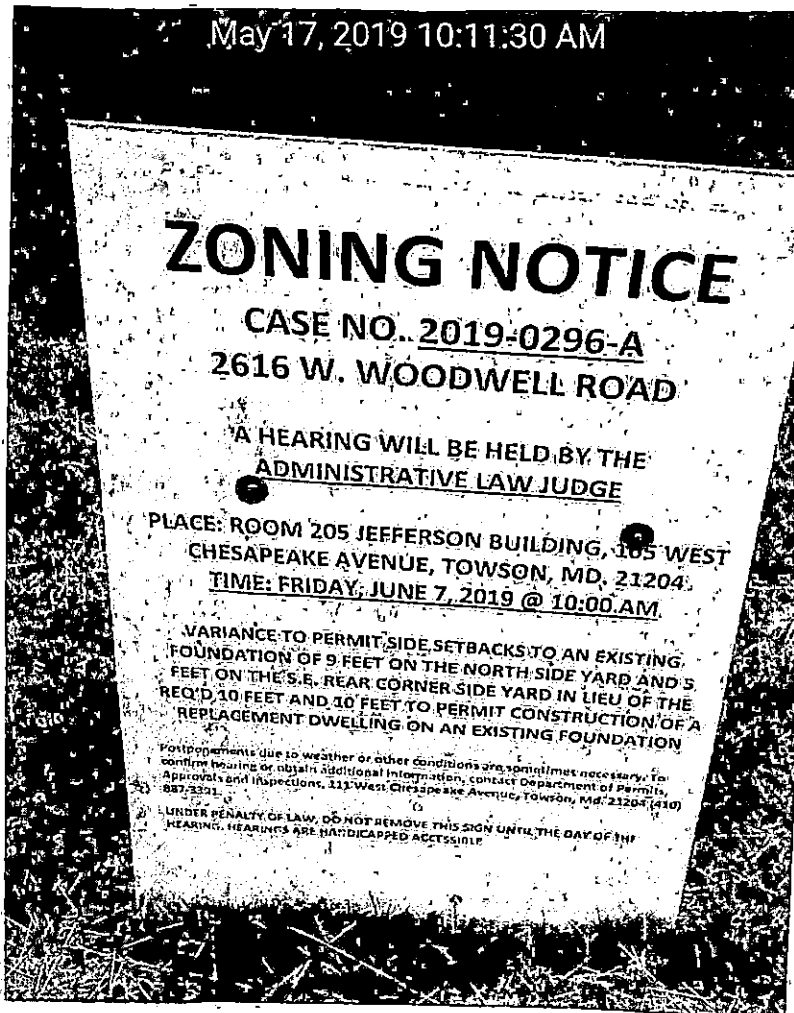
# CERTIFICATE OF POSTING

Date: MAY 17, 2019

RE: Project Name: 2616 W. WOODWELL ROAD #2  
Case Number /PAI Number: CASE 2019-0296-A  
Petitioner/Developer: L & S HOME REMODELING  
Date of Hearing/Closing: JUNE 7, 2019

This is to certify under the penalties of perjury that the necessary sign(s) required by law were posted conspicuously on the property located at 2616 W. WOODWELL ROAD

The sign(s) were posted on MAY 17, 2019  
(Month, Day, Year)



David Billingsley  
(Signature of Sign Poster)

DAVID W. BILLINGSLEY  
(Printed Name of Sign Poster)

601 CHARWOOD COURT  
(Street Address of Sign Poster)

EDGEWOOD, MD. 21040  
(City, State, Zip Code of Sign Poster)

(410) 679-8719  
(Telephone Number of Sign Poster)

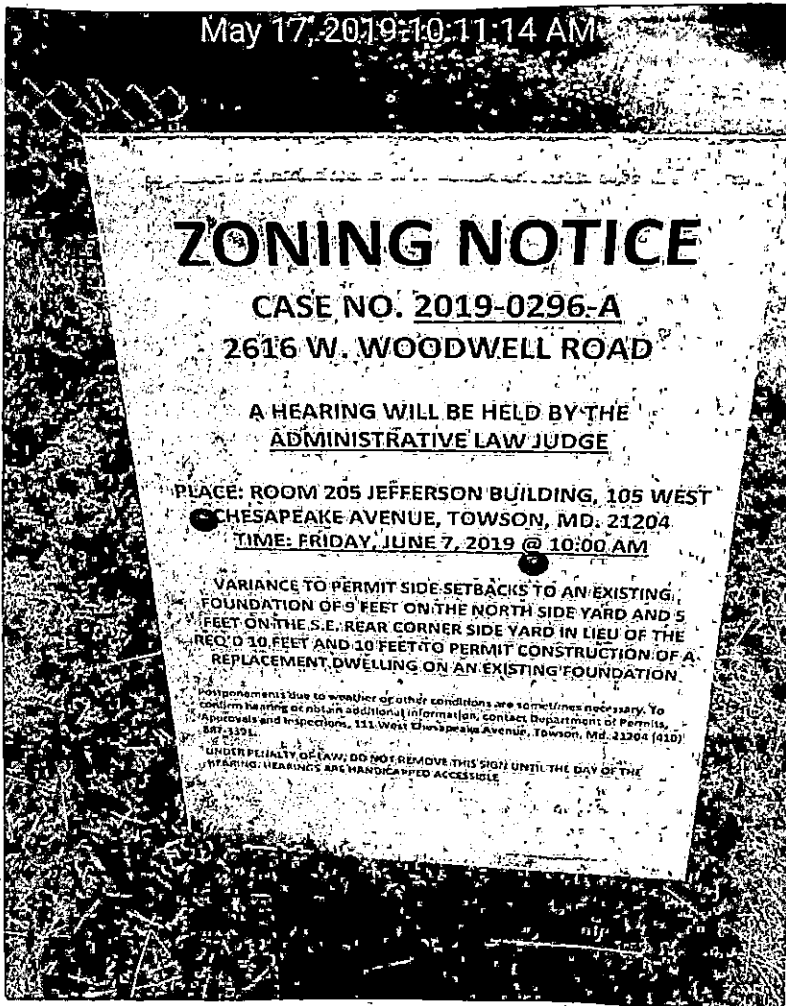
# CERTIFICATE OF POSTING

Date: MAY 17, 2019

RE: Project Name: 2616 W. WOODWELL ROAD #1  
Case Number /PAI Number: CASE 2019-0296-A  
Petitioner/Developer: L & S HOME REMODELING  
Date of Hearing/Closing: JUNE 7, 2019

This is to certify under the penalties of perjury that the necessary sign(s) required by law were posted conspicuously on the property located at 2616 W. WOODWELL ROAD

The sign(s) were posted on MAY 17, 2019  
(Month, Day, Year)



David Billingsley  
(Signature of Sign Poster)

DAVID W. BILLINGSLEY  
(Printed Name of Sign Poster)

601 CHARWOOD COURT  
(Street Address of Sign Poster)

EDGEWOOD, MD. 21040  
(City, State, Zip Code of Sign Poster)

(410) 679-8719  
(Telephone Number of Sign Poster)



JOHN A. OLSZEWSKI, JR.  
County Executive

MICHAEL D. MALLINOFF, *Director*  
*Department of Permits,*  
*Approvals & Inspections*

May 14, 2019

## NOTICE OF ZONING HEARING

The Administrative Law Judge of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing in Towson, Maryland on the property identified herein as follows:

**CASE NUMBER: 2019-0296-A**

2616 W. Woodwell Road  
E/s Woodwell Road, north of Oakwood Road  
12<sup>th</sup> Election District – 7<sup>th</sup> Councilmanic District  
Legal Owners: L & S Home Remodeling, LLC

Variance to permit side setback of an existing foundation that are 9 ft. to the north side yard and 5 feet to the southeast rear corner side yard in lieu of the required 10 ft. side yard due to the construction of a replacement home on an existing foundation.

Hearing: Friday, June 7, 2019 at 10:00 a.m. in Room 205, Jefferson Building,  
105 West Chesapeake Avenue, Towson 21204

A handwritten signature in black ink, appearing to read "Michael Mallinoff", is written over a horizontal line.

Michael Mallinoff  
Director

MM:kl

C: Edwin Sanchez, 623 Kittendale Circle, Middle River 21220  
Charles Merritt, 9831 Magledt Road, Baltimore 21234

- NOTES: (1) **THE PETITIONER MUST HAVE THE ZONING NOTICE SIGN POSTED BY AN APPROVED POSTER ON THE PROPERTY BY SATURDAY, MAY 18, 2019.**
- (2) **HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMMODATIONS PLEASE CALL THE ADMINISTRATIVE HEARINGS OFFICE AT 410-887-3868.**
- (3) **FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THE ZONING REVIEW OFFICE AT 410-887-3391.**

TO: THE DAILY RECORD  
Friday, May 17, 2019 - Issue

Please forward billing to:

Edwin Sanchez  
L & S Home Remodeling, LLC  
623 Kittendale Circle  
Middle River, MD 21220

410-292-1284

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## NOTICE OF ZONING HEARING

The Administrative Law Judge of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing in Towson, Maryland on the property identified herein as follows:

**CASE NUMBER: 2019-0296-A**

2616 W. Woodwell Road  
E/s Woodwell Road, north of Oakwood Road  
12<sup>th</sup> Election District – 7<sup>th</sup> Councilmanic District  
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Hearing: Friday, June 7, 2019 at 10:00 a.m. in Room 205, Jefferson Building,  
105 West Chesapeake Avenue, Towson 21204



Michael Mallinoff  
Director of Permits, Approvals and Inspections for Baltimore County

- NOTES: (1) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMODATIONS, PLEASE CONTACT THE ADMINISTRATIVE HEARINGS OFFICE AT 410-887-3868.
- (2) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THE ZONING REVIEW OFFICE AT 410-887-3391.

RE: PETITION FOR VARIANCE \* BEFORE THE OFFICE  
2616 W Woodwell Road; E/S of Woodwell \*  
Road, N of Oakwood Road \* OF ADMINISTRATIVE  
12<sup>th</sup> Election & 7<sup>th</sup> Councilmanic Districts \*  
Legal Owner(s): L & S Home Modeling, LLC \* HEARINGS FOR  
Petitioner(s) \* BALTIMORE COUNTY  
\* 2019-296-A

\* \* \* \* \*

**ENTRY OF APPEARANCE**

Pursuant to Baltimore County Charter § 524.1, please enter the appearance of People's Counsel for Baltimore County as an interested party in the above-captioned matter. Notice should be sent of any hearing dates or other proceedings in this matter and the passage of any preliminary or final Order. All parties should copy People's Counsel on all correspondence sent and all documentation filed in the case.

*Peter Max Zimmerman*

PETER MAX ZIMMERMAN  
People's Counsel for Baltimore County

*Carole S. Demilio*

CAROLE S. DEMILIO  
Deputy People's Counsel  
Jefferson Building, Room 204  
105 West Chesapeake Avenue  
Towson, MD 21204  
(410) 887-2188

RECEIVED  
RECEIVED  
APR 18 4  
APR 18 2019  
*[Signature]*

**CERTIFICATE OF SERVICE**

I HEREBY CERTIFY that on this 18<sup>th</sup> day of April, 2019, a copy of the foregoing Entry of Appearance was mailed to Charles Merritt, 9831 Magledt Road, Baltimore, Maryland 21234, Representative for Petitioner(s).

*Peter Max Zimmerman*

PETER MAX ZIMMERMAN  
People's Counsel for Baltimore County



**BALTIMORE COUNTY, MARYLAND**  
**OFFICE OF BUDGET AND FINANCE**  
**MISCELLANEOUS CASH RECEIPT**

No. **182658**

**PAID RECEIPT**

Date:

**APRIL 11, 2019**

BUSINESS ACTUAL TIME DRW  
 4/12/2019 4/11/2019 11:04:19 1

REC WALKIN LJR  
 >>RECEIPT # 003391 4/11/2019 OFLN

Dept 5 528 ZONING VERIFICATION

| Fund | Dept | Unit | Sub Unit | Rev Source/<br>Obj | Sub Rev/<br>Sub Obj | Dept | Obj | BS Acct | Amount |
|------|------|------|----------|--------------------|---------------------|------|-----|---------|--------|
| 001  | 806  | 000  |          | 6150               |                     |      |     |         | 75.00  |
|      |      |      |          |                    |                     |      |     |         |        |
|      |      |      |          |                    |                     |      |     |         |        |
|      |      |      |          |                    |                     |      |     |         |        |
|      |      |      |          |                    |                     |      |     |         |        |
|      |      |      |          |                    |                     |      |     |         |        |
|      |      |      |          |                    |                     |      |     |         |        |

182658

Recpt Tot \$ 75.00  
 75.00 CK .00 CA  
 Baltimore County, Maryland

Total: **15.00**

Rec

From:

**L & S HOME REMODELING**

For:

**2616 W. WOODWELL RD. - VARIANCE FOR  
 REPLACEMENT CONSTRUCTION**

**CASE NO. 2019-0296-V**

**CASHIER'S  
 VALIDATION**

DISTRIBUTION

WHITE - CASHIER PINK - AGENCY YELLOW - CUSTOMER GOLD - ACCOUNTING

PLEASE PRESS HARD!!!!

**DEPARTMENT OF PERMITS, APPROVALS AND INSPECTIONS  
ZONING REVIEW OFFICE**

**ADVERTISING REQUIREMENTS AND PROCEDURES FOR ZONING HEARINGS**

The Baltimore County Zoning Regulations (BCZR) require that notice be given to the general public/neighboring property owners relative to property which is the subject of an upcoming zoning hearing. For those petitions which require a public hearing, this notice is accomplished by posting a sign on the property (responsibility of the legal owner/petitioner) and placement of a notice in a newspaper of general circulation in the County, both at least twenty (20) days before the hearing.

Zoning Review will ensure that the legal requirements for advertising are satisfied. However, the legal owner/petitioner is responsible for the costs associated with these requirements. The newspaper will bill the person listed below for the advertising. This advertising is due upon receipt and should be remitted directly to the newspaper.

**OPINIONS MAY NOT BE ISSUED UNTIL ALL ADVERTISING COSTS ARE PAID.**

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**For Newspaper Advertising:**

Case Number: 2019-0296-A  
Property Address: 2616 W. WOODWELL ROAD  
Property Description: RESIDENCE  
  
Legal Owners (Petitioners): L&S HOME REMODELING LLC  
Contract Purchaser/Lessee: \_\_\_\_\_

**PLEASE FORWARD ADVERTISING BILL TO:**

Name: EDWIN SANCHEZ  
Company/Firm (if applicable): L&S HOMES REMODELING LLC  
Address: 623 KITTENDALE CIRCLE  
MIDDLE RIVER MD 21220  
  
Telephone Number: 410-292-1284





JOHN A. OLSZEWSKI, JR.  
*County Executive*

MICHAEL D. MALLINOFF, *Director*  
*Department of Permits,*  
*Approvals & Inspections*

May 30, 2019

L & S Home Remodeling LLC  
623 Kittendale Cir  
Baltimore MD 21220

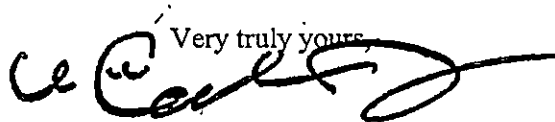
RE: Case Number: 2018-0296-A, 2616 W Woodwell Road

To Whom It May Concern:

The above referenced petition was accepted for processing **ONLY** by the Bureau of Zoning Review, Department of Permits, Approvals, and Inspection (PAI) on April 11, 2019. This letter is not an approval, but only a **NOTIFICATION**.

The Zoning Advisory Committee (ZAC), which consists of representatives from several approval agencies, has reviewed the plans that were submitted with your petition. All comments submitted thus far from the members of the ZAC are attached. These comments are not intended to indicate the appropriateness of the zoning action requested, but to ensure that all parties (zoning commissioner, attorney, petitioner, etc.) are made aware of plans or problems with regard to the proposed improvements that may have a bearing on this case. All comments will be placed in the permanent case file.

If you need further information or have any questions, please do not hesitate to contact the commenting agency.

Very truly yours,  


W. Carl Richards, Jr.  
Supervisor, Zoning Review

WCR/kl

Enclosures

c: People's Counsel  
Charles Merritt 9831 Magleot Road Baltimore MD 21230

BALTIMORE COUNTY, MARYLAND

INTEROFFICE CORRESPONDENCE

TO: Michael Mallinoff, Director  
Department of Permits, Approvals

DATE: May 08, 2019

FROM: *MD*  
Vishnu Desai, Supervisor  
Bureau of Development Plans Review

SUBJECT: Zoning Advisory Committee Meeting  
For April 22, 2019  
Item No. 2019-0237-A, 0293-A, 0295-A, & 0296-A

The Bureau of Development Plans Review has reviewed the subject zoning items and we have no comments.

\* \* \* \* \*

VKD: ccm  
cc: file

6-7

RECEIVED  
MAY 16 2019  
OFFICE OF  
ADMINISTRATIVE HEARINGS

**BALTIMORE COUNTY, MARYLAND**  
**INTER-OFFICE MEMORANDUM**

**TO:** Michael D. Mallinoff  
Director, Department of Permits, Approvals and Inspections

**DATE:** 5/13/2019

**FROM:** C. Pete Gutwald  
Director, Department of Planning

**SUBJECT: ZONING ADVISORY COMMITTEE COMMENTS**  
Case Number: 19-296

**INFORMATION:**

**Property Address:** 2616 West Woodwell Road  
**Petitioner:** L & S Home Remodeling, LLC  
**Zoning:** DR 5.5  
**Requested Action:** Variance

The Department of Planning has reviewed the petition for variance from Section 1B02.3 to permit side setbacks to be less than 10 feet due to the construction of a replacement home on an existing foundation.

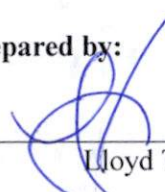
A site visit was conducted on April 23, 2019. The site is within the Greater Dundalk-Edgemere Community Conservation Community Plan area. Said plan does not oppose zoning variance requests.

The Department has no objection to granting the petitioned zoning relief.

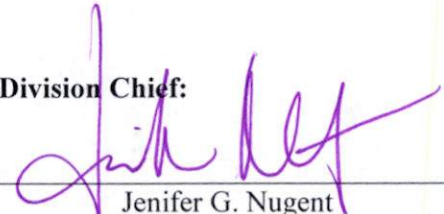
Please be aware that upon a site visit planning staff observed discrepancies between what is in the field and information shown on the site plan submitted in support of the petition. It appears that the open projection (carport) on the dwelling at 2614 West Woodwell Road, not being depicted on the plan, is in very close proximity to if not encroaching onto the subject site. The Department understands that setbacks are measured to the property line and recognizes any fire safety issues that may be present would be addressed through the hearing process.

For further information concerning the matters stated herein, please contact Taylor Bensley at 410-887-3480.

**Prepared by:**

  
\_\_\_\_\_  
Lloyd T. Moxley

**Division Chief:**

  
\_\_\_\_\_  
Jenifer G. Nugent

JM/JGN/LTM/

c: Taylor Bensley  
Charles Merritt  
Office of the Administrative Hearings  
People's Counsel for Baltimore County

BALTIMORE COUNTY, MARYLAND

Inter-Office Correspondence



TO: Hon. Lawrence M. Stahl; Managing Administrative Law Judge  
Office of Administrative Hearings

FROM: Jeff Livingston, Department of Environmental Protection and  
Sustainability (EPS) - Development Coordination

DATE: April 17, 2019

SUBJECT: DEPS Comment for Zoning Item # 2019-0296-A  
Address 2616 W. Woodwell Road  
(L&S Home Remodeling, LLC  
Property)

Zoning Advisory Committee Meeting of **April 22, 2019.**

X The Department of Environmental Protection and Sustainability has no  
comment on the above-referenced zoning item.

Reviewer: Steve Ford



Date: 4/15/19

Ms. Kristen Lewis  
Baltimore County Office of  
Permits and Development Management  
County Office Building, Room 109  
111 West Chesapeake Avenue  
Towson, Maryland 21204

Dear Ms. Lewis:

Thank you for the opportunity to review your referral request on the subject of the Case number referenced below. We have determined that the subject property does not access a State roadway and is not affected by any State Highway Administration projects. Therefore, based upon available information this office has no objection to Baltimore County Zoning Advisory Committee approval of Case No. 2019-0296-V

*Variance*

*225 Home Remodeling, LLC  
2616 W. Woodwell Road*

Should you have any questions regarding this matter, please contact Mr. Richard Zeller at 410-229-2332 or 1-866-998-0367 (in Maryland only) extension 2332, or by email at (rzeller@sha.state.md.us).

Sincerely,



Wendy Wolcott, P.L.A.  
Metropolitan District Engineer  
Maryland Department of Transportation  
State Highway Administration  
District 4 - Baltimore and Harford Counties

WW/RAZ

**MDOT**  
MARYLAND DEPARTMENT  
OF TRANSPORTATION  
STATE HIGHWAY  
ADMINISTRATION

Larry Hogan  
Governor  
Boyd K. Rutherford  
Lt. Governor  
Pete K. Rahn  
Secretary  
Gregory Slater  
Administrator

Date: 4-25-2019

Ms. Kristen Lewis  
Baltimore County Office of  
Permits and Development Management  
County Office Building, Room 109  
111 West Chesapeake Avenue  
Towson, Maryland 21204

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Thank you for the opportunity to review your referral request on the subject of the Case number referenced below. We have determined that the subject property does not access a State roadway and is not affected by any State Highway Administration projects. Therefore, based upon available information this office has no objection to Baltimore County Zoning Advisory Committee approval of Case No. 2019-0296-A

*Variance  
LIS Home Remodeling, LLC  
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Wendy Wolcott, P.L.A.  
Metropolitan District Engineer  
Maryland Department of Transportation  
State Highway Administration  
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WW/RAZ

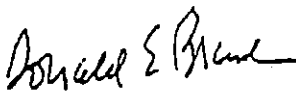
CASE NAME 2019-296-A  
CASE NUMBER \_\_\_\_\_  
DATE 6-7-2019

[illegible]

**BALTIMORE COUNTY, MARYLAND**  
**DEPARTMENT OF PERMITS, APPROVALS, AND INSPECTIONS**

  
Arnold Jablon, Deputy Administrative Officer  
& Director



  
Donald E Brand, Building Engineer

**BUILDING PERMIT**  
-----

PERMIT #: B952237    CONTROL #: MR    DIST: 12    PREC: 01  
DATE ISSUED: 01/17/2019    TAX ACCOUNT #: 1219034520    CLASS: 04

PLANS: CONST 02    PLOT 0    R PLAT 0    DATA 0    ELEC YES    PLUM YES  
LOCATION: 2616    W WOODWELL RD  
SUBDIVISION: GRAY MANOR 2

**OWNERS INFORMATION**

NAME: CALLE SANCHEZ EDWIN D  
ADDR: 2616 W WOODWELL RD, BALTIMORE MD 21222

**TENANT:**

CONTR: OWNER

**ENGNR:**

SELLR: NO CANTILIEVERS OVER EXISTING DWELLING: JP

WORK: CONST 2ND STY ADDN OVER EX 1ST FL OF SFD T/B

3 BEDRMS, 2 BATHS, 2 W.I.C AND LAUNDRYRM

26'X27'X26'10"=720SF. INT ALTS TO REMOVE LOAD-

BEARING WALLS ON 1ST FL TO CREATE 1 POWDERRM,

LIBRARY & NEW KITCHEN. ALSO CONST 12'X10'=120SF

OPEN WOOD DECK ATT'D TO REAR W/STEPS TO GRADE.

**BLDG. CODE:**

RESIDENTIAL CATEGORY: DETACHED

OWNERSHIP: PRIVATELY OWNED

PROPOSED USE: SFD AND ADDN

EXISTING USE: SFD.

**TYPE OF IMPRV: ADDITION**

USE: ONE FAMILY

**FOUNDATION:**

SEWAGE: PUBLIC EXIST

**BASEMENT:**

WATER: PUBLIC EXIST

**LOT SIZE AND SETBACKS**  
-----

SIZE: 4515SF

FRONT STREET:

SIDE STREET:

FRONT SETB: NC

SIDE SETB: 9.5' / 8'

SIDE STR SETB:

REAR SETB: 25'

THIS PERMIT EXPIRES

ONE YEAR FROM

DATE OF ISSUANCE

**PLEASE REFER TO PERMIT NUMBER WHEN MAKING INQUIRIES**

C H E C K L I S TComment  
ReceivedDepartmentSupport/Oppose/  
Conditions/  
Comments/  
No Comment5/8DEVELOPMENT PLANS REVIEW  
(if not received, date e-mail sent \_\_\_\_\_)N/C4/17DEPS  
(if not received, date e-mail sent \_\_\_\_\_)N/C

FIRE DEPARTMENT

5/13PLANNING  
(if not received, date e-mail sent \_\_\_\_\_)No Objection4/15

STATE HIGHWAY ADMINISTRATION

No Objection

TRAFFIC ENGINEERING

COMMUNITY ASSOCIATION

ADJACENT PROPERTY OWNERS

ZONING VIOLATION

(Case No. \_\_\_\_\_)

PRIOR ZONING

(Case No. \_\_\_\_\_)

NEWSPAPER ADVERTISEMENT

Date:

5/17/19SIGN POSTING (1<sup>st</sup>)

Date:

5/17/19

by

BillingsleySIGN POSTING (2<sup>nd</sup>)

Date:

6/3/19

by

Billingsley

PEOPLE'S COUNSEL APPEARANCE

Yes



No



PEOPLE'S COUNSEL COMMENT LETTER

Yes



No



Comments, if any: \_\_\_\_\_



## Search Result for BALTIMORE COUNTY

| View Map                         |          |                         | View GroundRent Redemption                   |                        |                | View GroundRent Registration |                      |                                   |            |           |
|----------------------------------|----------|-------------------------|----------------------------------------------|------------------------|----------------|------------------------------|----------------------|-----------------------------------|------------|-----------|
| Tax Exempt:                      |          |                         | Special Tax Recapture:                       |                        |                |                              |                      |                                   |            |           |
| Exempt Class:                    |          |                         | NONE                                         |                        |                |                              |                      |                                   |            |           |
| Account Identifier:              |          |                         | District - 12 Account Number - 1219034520    |                        |                |                              |                      |                                   |            |           |
| Owner Information                |          |                         |                                              |                        |                |                              |                      |                                   |            |           |
| Owner Name:                      |          |                         | L&S HOME REMODELING LLC                      |                        |                | Use:                         |                      | RESIDENTIAL                       |            |           |
| Mailing Address:                 |          |                         | 623 KITTENDALE CIR<br>MIDDLE RIVER MD 21220- |                        |                | Principal Residence:         |                      | NO                                |            |           |
|                                  |          |                         |                                              |                        |                | Deed Reference:              |                      | /40620/ 00444                     |            |           |
| Location & Structure Information |          |                         |                                              |                        |                |                              |                      |                                   |            |           |
| Premises Address:                |          |                         | 2616 W WOODWELL RD<br>DUNDALK 21222-         |                        |                | Legal Description:           |                      | 122 NW OAKWOOD RD<br>GRAY MANOR 2 |            |           |
| Map:                             | Grid:    | Parcel:                 | Sub District:                                | Subdivision:           | Section:       | Block:                       | Lot:                 | Assessment Year:                  | Plat No:   | 2         |
| 0103                             | 0006     | 0436                    |                                              | 0000                   |                |                              | 223                  | 2018                              | Plat Ref:  | 0013/0034 |
| Special Tax Areas:               |          |                         | Town:                                        |                        |                | NONE                         |                      |                                   |            |           |
|                                  |          |                         | Ad Valorem:                                  |                        |                |                              |                      |                                   |            |           |
|                                  |          |                         | Tax Class:                                   |                        |                |                              |                      |                                   |            |           |
| Primary Structure Built          |          | Above Grade Living Area |                                              | Finished Basement Area |                | Property Land Area           |                      | County Use                        |            |           |
| 1943                             |          | 702 SF                  |                                              |                        |                | 4,515 SF                     |                      | 04                                |            |           |
| Stories                          | Basement | Type                    | Exterior                                     |                        | Full/Half Bath |                              | Garage               | Last Major Renovation             |            |           |
| 1                                | NO       | STANDARD UNIT           | ASBESTOS SHINGLE                             |                        | 1 full         |                              |                      |                                   |            |           |
| Value Information                |          |                         |                                              |                        |                |                              |                      |                                   |            |           |
|                                  |          |                         | Base Value                                   |                        | Value          |                              | Phase-in Assessments |                                   |            |           |
|                                  |          |                         |                                              |                        | As of          |                              | As of                |                                   | As of      |           |
|                                  |          |                         |                                              |                        | 01/01/2018     |                              | 07/01/2018           |                                   | 07/01/2019 |           |
| Land:                            |          |                         | 47,500                                       |                        | 47,500         |                              |                      |                                   |            |           |
| Improvements                     |          |                         | 47,100                                       |                        | 49,300         |                              |                      |                                   |            |           |
| Total:                           |          |                         | 94,600                                       |                        | 96,800         |                              | 95,333               |                                   | 96,067     |           |
| Preferential Land:               |          |                         | 0                                            |                        |                |                              |                      |                                   | 0          |           |
| Transfer Information             |          |                         |                                              |                        |                |                              |                      |                                   |            |           |
| Seller: ROBINSON RICHARD A       |          |                         |                                              | Date: 08/30/2018       |                |                              |                      | Price: \$72,500                   |            |           |
| Type: ARMS LENGTH IMPROVED       |          |                         |                                              | Deed1: /40620/ 00444   |                |                              |                      | Deed2:                            |            |           |
| Seller: HENDERSON JACKSON D      |          |                         |                                              | Date: 08/23/2018       |                |                              |                      | Price: \$60,000                   |            |           |
| Type: ARMS LENGTH IMPROVED       |          |                         |                                              | Deed1: /40599/ 00144   |                |                              |                      | Deed2:                            |            |           |
| Seller: SHAFFER JAMES L          |          |                         |                                              | Date: 06/24/1971       |                |                              |                      | Price: \$12,900                   |            |           |
| Type: ARMS LENGTH IMPROVED       |          |                         |                                              | Deed1: /05195/ 00946   |                |                              |                      | Deed2:                            |            |           |
| Exemption Information            |          |                         |                                              |                        |                |                              |                      |                                   |            |           |
| Partial Exempt Assessments:      |          | Class                   |                                              | 07/01/2018             |                | 07/01/2019                   |                      |                                   |            |           |
| County:                          |          | 000                     |                                              | 0.00                   |                |                              |                      |                                   |            |           |
| State:                           |          | 000                     |                                              | 0.00                   |                |                              |                      |                                   |            |           |
| Municipal:                       |          | 000                     |                                              | 0.00 0.00              |                | 0.00 0.00                    |                      |                                   |            |           |
| Tax Exempt:                      |          |                         | Special Tax Recapture:                       |                        |                |                              |                      |                                   |            |           |
| Exempt Class:                    |          |                         | NONE                                         |                        |                |                              |                      |                                   |            |           |

Homestead Application Information

**Homestead Application Status:** No Application

Homeowners' Tax Credit Application Information

**Homeowners' Tax Credit Application Status:** No Application

**Date:**

**STATE OF MARYLAND**  
**DEPARTMENT OF THE ENVIRONMENT**  
**WATER AND SCIENCE ADMINISTRATION**  
**AUTHORIZATION TO PROCEED**

AUTHORIZATION NUMBER: 201961551/19-NT-0296

EFFECTIVE DATE: November 8, 2019

EXPIRATION DATE: November 8, 2024

AUTHORIZED PERSON: Beynon Family LLC  
1685 Campbell Road  
Forest Hill, Maryland 21050  
Attn: Drew Benon



IN ACCORDANCE WITH ENVIRONMENT ARTICLE §5-503(a) AND §5-906(b), ANNOTATED CODE OF MARYLAND (2007 REPLACEMENT VOLUME), COMAR 26.17.04 AND 26.23.01, AND 26.08.02 AND THE ATTACHED CONDITIONS OF AUTHORIZATIONS, Beynon Family LLC ("AUTHORIZED PERSON"), IS HEREBY AUTHORIZED BY THE WATER AND SCIENCE ADMINISTRATION ("ADMINISTRATION") TO CONDUCT A REGULATED ACTIVITY IN A NONTIDAL WETLAND, BUFFER, OR EXPANDED BUFFER, AND/OR TO CHANGE THE COURSE, CURRENT OR CROSS-SECTION OF WATERS OF THE STATE, IN ACCORDANCE WITH THE ATTACHED PLANS APPROVED BY THE ADMINISTRATION ON November 6, 2019 ("APPROVED PLAN") AND PREPARED BY Hanover Land Services, Inc AND INCORPORATED HEREIN, AS DESCRIBED BELOW:

The project involves the construction of a 12-foot diameter and 46-foot tall material storage tank on the north side of the existing building within the 100-year nontidal floodplain of Parks Run with a foundation flushed in existing ground. The project will also include the replacement of the existing fenced storage area with a fire and flood proof storage container on the south side of the existing building. The project will result in temporary impact to 436 square feet of 100-year nontidal floodplain. The project is located on 16 Alt Road, Cockeysville in Baltimore County.

MD Grid Coordinates 201463 x 430428

A handwritten signature in blue ink, appearing to read "Denise M. Keehner".

Denise M. Keehner  
Program Manager  
Wetlands and Waterways Program

Attachments: Conditions of Authorization  
Approved Plans

cc: WSA Compliance Division w/ file  
Melanie Repp, HLS, Inc.

Revised 2019-0457-SPHA

THE FOLLOWING CONDITIONS OF AUTHORIZATION APPLY TO ALL ACTIVITIES AUTHORIZED BY  
AUTHORIZATION NUMBER 19-NT-0296/201961551

Page 2 of 3

1. **Validity:** Authorization is valid only for use by Authorized Person. Authorization may be transferred only with prior written approval of the Administration. In the event of transfer, transferee agrees to comply with all terms and conditions of Authorization.
2. **Initiation of Work, Modifications and Extension of Term:** Authorized Person shall initiate authorized activities with two (2) years of the Effective Date of this Authorization or the Authorization shall expire. Authorized Person may submit written requests to the Administration for (a) extension of the period for initiation of work, (b) modification of Authorization, including the Approved Plan, or, (c) not later than 45 days prior to Expiration Date, an extension of the term. Requests for modification shall be in accordance with applicable regulations and shall state reasons for changes, and shall indicate the impacts on nontidal wetlands, streams, and the floodplain, as applicable. The Administration may grant a request at its sole discretion.
3. **Responsibility and Compliance:** Authorized Person is fully responsible for all work performed and activities authorized by this Authorization shall be performed in compliance with this Authorization and Approved Plan. Authorized Person agrees that a copy of the Authorization and Approved Plan shall be kept at the construction site and provided to its employees, agents and contractors. A person (including Authorized Person, its employees, agents or contractors) who violates or fails to comply with the terms and conditions of this Authorization, Approved Plan or an administrative order may be subject to penalties in accordance with §5-514 and §5-911, Department of the Environment Article, Annotated Code of Maryland (2007 Replacement Volume).
4. **Failure to Comply:** If Authorized Person, its employees, agents or contractors fail to comply with this Authorization or Approved Plan, the Administration may, in its discretion, issue an administrative order requiring Authorized Person, its employees, agents and contractors to cease and desist any activities which violate this Authorization, or the Administration may take any other enforcement action available to it by law, including filing civil or criminal charges.
5. **Suspension or Revocation:** Authorization may be suspended or revoked by the Administration, after notice of opportunity for a hearing, if Authorized Person: (a) submits false or inaccurate information in Permit application or subsequently required submittals; (b) deviates from the Approved Plan, specifications, terms and conditions; (c) violates, or is about to violate terms and conditions of this Authorization; (d) violates, or is about to violate, any regulation promulgated pursuant to Title 5, Department of the Environment Article, Annotated Code of Maryland as amended; (e) fails to allow authorized representatives of the Administration to enter the site of authorized activities at any reasonable time to conduct inspections and evaluations; (f) fails to comply with the requirements of an administrative action or order issued by the Administration; or (g) does not have vested rights under this Authorization and new information, changes in site conditions, or amended regulatory requirements necessitate revocation or suspension.
6. **Other Approvals:** Authorization does not authorize any injury to private property, any invasion of rights, or any infringement of federal, State or local laws or regulations, nor does it obviate the need to obtain required authorizations or approvals from other State, federal or local agencies as required by law.
7. **Site Access:** Authorized Person shall allow authorized representatives of the Administration access to the site of authorized activities during normal business hours to conduct inspections and evaluations necessary to assure compliance with this Authorization. Authorized Person shall provide necessary assistance to effectively and safely conduct such inspections and evaluations.
8. **Inspection Notification:** Authorized Person shall notify the Administration's Compliance Program at least five (5) days before starting authorized activities and five (5) days after completion. For Allegany, Garrett, and Washington counties, Authorized Person shall call 301-689-1480. For Carroll, Frederick, Howard, Montgomery, and Prince George's counties, Authorized Person shall call 301-665-2850. For Baltimore City, Anne Arundel, Baltimore, Harford, Calvert, Charles, and St. Mary's, Authorized Person shall call 410-537-3510. For Caroline, Cecil, Dorchester, Kent, Queen Anne's, Somerset, Talbot, Wicomico and Worcester, Authorized Person shall call 410-901-4020. If Authorization is for a project that is part of a mining site, please contact the Land and Materials Administration's Mining Program at 410-537-3557 at least five (5) days before starting authorized activities and five (5) days after completion.
9. **Sediment Control:** Authorized Person shall obtain approval from the Baltimore Soil Conservation District for a grading and sediment control plan specifying soil erosion control measures. The approved grading and sediment control plan shall be included in the Approved Plan, and shall be available at the construction site.

THE FOLLOWING CONDITIONS OF AUTHORIZATION APPLY TO ALL ACTIVITIES AUTHORIZED BY  
AUTHORIZATION NUMBER 19-NT-0296/201961551

Page 3 of 3

10. **Best Management Practices During Construction:** Authorized Person, its employees, agents and contractors shall conduct authorized activities in a manner consistent with the Best Management Practices specified by the Administration.
11. **Disposal of Excess:** Unless otherwise shown on the Approved Plan, all excess fill, spoil material, debris, and construction material shall be disposed of outside of nontidal wetlands, nontidal wetlands buffers, and the 100-year floodplain, and in a location and manner which does not adversely impact surface or subsurface water flow into or out of nontidal wetlands.
12. **Temporary Staging Areas:** Temporary construction trailers or structures, staging areas and stockpiles shall not be located within nontidal wetlands, nontidal wetlands buffers, or the 100-year floodplain unless specifically included on the Approved Plan.
13. **Temporary Stream Access Crossings:** Temporary stream access crossings shall not be constructed or utilized unless shown on the Approved Plan. If temporary stream access crossings are determined necessary prior to initiation of work or at any time during construction, Authorized Person, its employees, agents or contractors shall submit a written request to the Administration and secure the necessary permits or approvals for such crossings before installation of the crossings. Temporary stream access crossings shall be removed and the disturbance stabilized prior to completion of authorized activity or within one (1) year of installation.
14. **Discharge:** Runoff or accumulated water containing sediment or other suspended materials shall not be discharged into waters of the State unless treated by an approved sediment control device or structure.
15. **Instream Construction Prohibition:**
  - ☒ No instream construction is to occur under this Authorization;
  - ☐ To protect important aquatic species, motor driven construction equipment shall not be allowed within stream channels unless on authorized ford crossings. Activities within stream channels are prohibited as determined by the classification of the stream (COMAR 26.08.02.08): Parks Run is a Use III waterway; in-stream work may not be conducted from October 1 through April 30 inclusive, of any year.
16. **Instream Blasting:** Authorized Person shall obtain prior written approval from the Administration before blasting or using explosives in the stream channel.
17. **Minimum Disturbance:** Any disturbance of stream banks, channel bottom, wetlands, and wetlands buffer authorized by this Authorization or Approved Plan shall be the minimum necessary to conduct permitted activities. All disturbed areas shall be stabilized vegetatively no later than seven (7) days after construction is completed or in accordance with the approved grading or sediment and erosion control plan.
18. **Restoration of Construction Site:** Authorized Person shall restore the construction site upon completion of authorized activities. Undercutting, meandering or degradation of the stream banks or channel bottom, any deposition of sediment or other materials, and any alteration of wetland vegetation, soils, or hydrology, resulting directly or indirectly from construction or authorized activities, shall be corrected by Authorized Person as directed by the Administration.

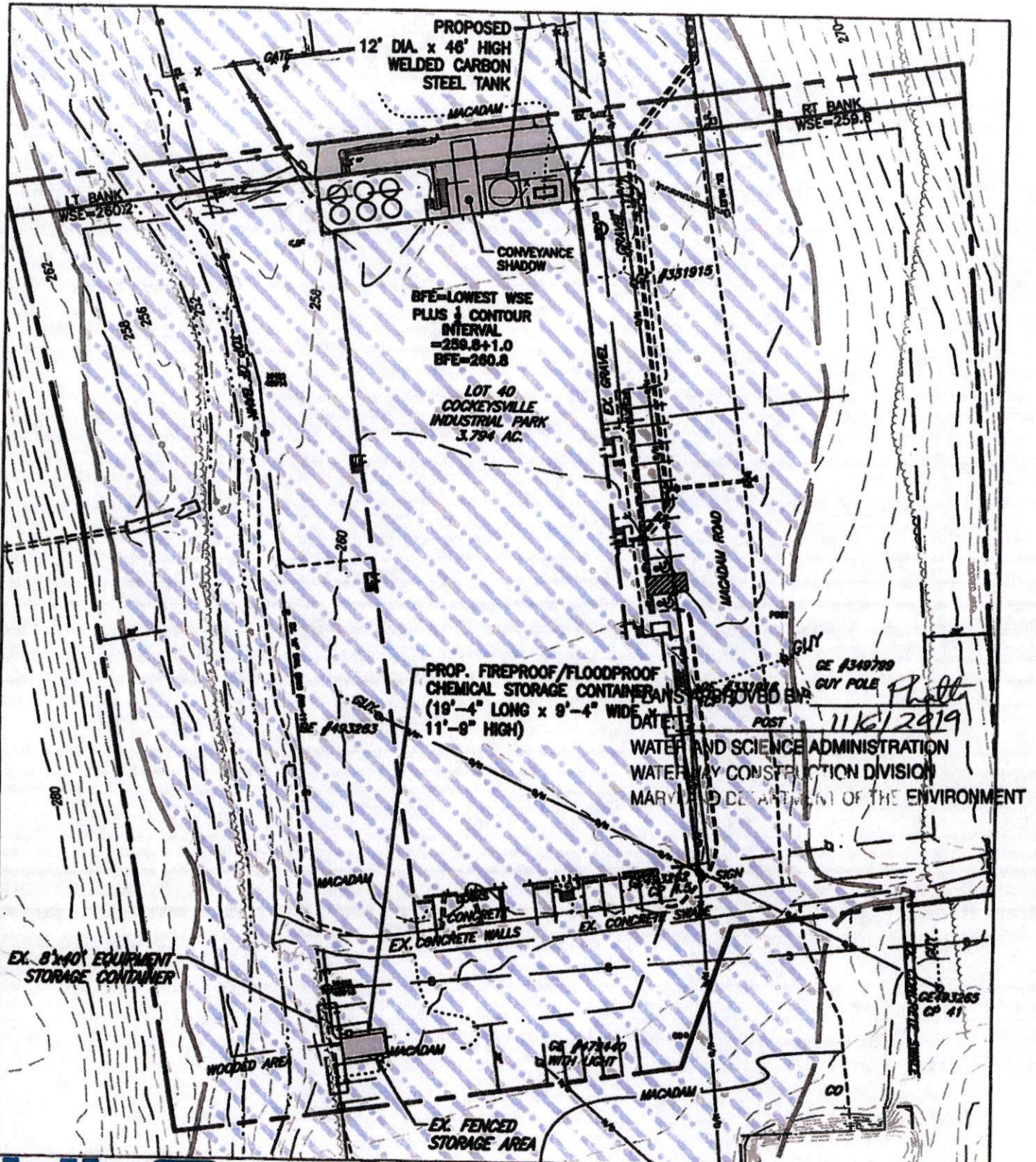
**FEDERALLY MANDATED STATE AUTHORIZATIONS**

In accordance with the requirements of Section 401 of the Federal Clean Water Act, Water Quality Certification is hereby issued for any discharges to Waters of the U.S. authorized herein, subject to the conditions of this Authorization. In addition, as applicable, this Authorization constitutes the State's concurrence with the Applicant's certification that the activities authorized herein are consistent with the Maryland Coastal Zone Management Program, as required by Section 307 of the Coastal Zone Management Act of 1972, as amended. Activities in the following counties are not subject to the Maryland Coastal Zone Management requirement: Allegany, Carroll, Frederick, Garrett, Howard, Montgomery, and Washington.

**U.S. ARMY CORPS OF ENGINEERS AUTHORIZATION**

The U.S. Army Corps of Engineers does not regulate the 100-year nontidal floodplain. So, no corps authorization is required..





**HLS**

engineering land + designing the future

HANOVER LAND SERVICES, INC.

Hanover Office:  
585 McAllister Street  
Hanover, PA 17331  
Ph: (717) 637-6674  
Fax: (717) 633-1987

Westminster Office:  
194 East Main Street  
Westminster, MD 21157  
Ph: (410) 751-8795

www.hanoverlandservices.com

## FLOODPLAIN EXHIBIT

16 ALT ROAD  
BALTIMORE COUNTY, MARYLAND

SCALE: 1"=60'

DATE: 01-07-19

JOB NUMBER: 8283

SHEET DRAWING NO: 1 OF 1





NOTE: EXISTING ELEMENTS NOT TO SCALE. FIELD VERIFICATION OF DIMENSIONS REQUIRED

PLANS APPROVED BY: Phalla  
DATE: 11/6/2019  
WATER AND SCIENCE ADMINISTRATION  
WATERWAY CONSTRUCTION DIVISION  
MARYLAND DEPARTMENT OF THE ENVIRONMENT







**STATE OF MARYLAND**  
**DEPARTMENT OF THE ENVIRONMENT**  
**WATER AND SCIENCE ADMINISTRATION**  
**AUTHORIZATION TO PROCEED**

AUTHORIZATION NUMBER: 201961551/19-NT-0296

EFFECTIVE DATE: November 8, 2019

EXPIRATION DATE: November 8, 2024

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Attn: Drew Benon



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MD Grid Coordinates 201463 x 430428

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Denise M. Keehner  
Program Manager  
Wetlands and Waterways Program

Attachments: Conditions of Authorization  
Approved Plans

cc: WSA Compliance Division w/ file  
Melanie Repp, HLS, Inc.

Revised 2019-0457-SPHA

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3. **Responsibility and Compliance:** Authorized Person is fully responsible for all work performed and activities authorized by this Authorization shall be performed in compliance with this Authorization and Approved Plan. Authorized Person agrees that a copy of the Authorization and Approved Plan shall be kept at the construction site and provided to its employees, agents and contractors. A person (including Authorized Person, its employees, agents or contractors) who violates or fails to comply with the terms and conditions of this Authorization, Approved Plan or an administrative order may be subject to penalties in accordance with §5-514 and §5-911, Department of the Environment Article, Annotated Code of Maryland (2007 Replacement Volume).
4. **Failure to Comply:** If Authorized Person, its employees, agents or contractors fail to comply with this Authorization or Approved Plan, the Administration may, in its discretion, issue an administrative order requiring Authorized Person, its employees, agents and contractors to cease and desist any activities which violate this Authorization, or the Administration may take any other enforcement action available to it by law, including filing civil or criminal charges.
5. **Suspension or Revocation:** Authorization may be suspended or revoked by the Administration, after notice of opportunity for a hearing, if Authorized Person: (a) submits false or inaccurate information in Permit application or subsequently required submittals; (b) deviates from the Approved Plan, specifications, terms and conditions; (c) violates, or is about to violate terms and conditions of this Authorization; (d) violates, or is about to violate, any regulation promulgated pursuant to Title 5, Department of the Environment Article, Annotated Code of Maryland as amended; (e) fails to allow authorized representatives of the Administration to enter the site of authorized activities at any reasonable time to conduct inspections and evaluations; (f) fails to comply with the requirements of an administrative action or order issued by the Administration; or (g) does not have vested rights under this Authorization and new information, changes in site conditions, or amended regulatory requirements necessitate revocation or suspension.
6. **Other Approvals:** Authorization does not authorize any injury to private property, any invasion of rights, or any infringement of federal, State or local laws or regulations, nor does it obviate the need to obtain required authorizations or approvals from other State, federal or local agencies as required by law.
7. **Site Access:** Authorized Person shall allow authorized representatives of the Administration access to the site of authorized activities during normal business hours to conduct inspections and evaluations necessary to assure compliance with this Authorization. Authorized Person shall provide necessary assistance to effectively and safely conduct such inspections and evaluations.
8. **Inspection Notification:** Authorized Person shall notify the Administration's Compliance Program at least five (5) days before starting authorized activities and five (5) days after completion. For Allegany, Garrett, and Washington counties, Authorized Person shall call 301-689-1480. For Carroll, Frederick, Howard, Montgomery, and Prince George's counties, Authorized Person shall call 301-665-2850. For Baltimore City, Anne Arundel, Baltimore, Harford, Calvert, Charles, and St. Mary's, Authorized Person shall call 410-537-3510. For Caroline, Cecil, Dorchester, Kent, Queen Anne's, Somerset, Talbot, Wicomico and Worcester, Authorized Person shall call 410-901-4020. If Authorization is for a project that is part of a mining site, please contact the Land and Materials Administration's Mining Program at 410-537-3557 at least five (5) days before starting authorized activities and five (5) days after completion.
9. **Sediment Control:** Authorized Person shall obtain approval from the Baltimore Soil Conservation District for a grading and sediment control plan specifying soil erosion control measures. The approved grading and sediment control plan shall be included in the Approved Plan, and shall be available at the construction site.



THE FOLLOWING CONDITIONS OF AUTHORIZATION APPLY TO ALL ACTIVITIES AUTHORIZED BY  
AUTHORIZATION NUMBER 19-NT-0296/201961551

Page 3 of 3

10. **Best Management Practices During Construction:** Authorized Person, its employees, agents and contractors shall conduct authorized activities in a manner consistent with the Best Management Practices specified by the Administration.
11. **Disposal of Excess:** Unless otherwise shown on the Approved Plan, all excess fill, spoil material, debris, and construction material shall be disposed of outside of nontidal wetlands, nontidal wetlands buffers, and the 100-year floodplain, and in a location and manner which does not adversely impact surface or subsurface water flow into or out of nontidal wetlands.
12. **Temporary Staging Areas:** Temporary construction trailers or structures, staging areas and stockpiles shall not be located within nontidal wetlands, nontidal wetlands buffers, or the 100-year floodplain unless specifically included on the Approved Plan.
13. **Temporary Stream Access Crossings:** Temporary stream access crossings shall not be constructed or utilized unless shown on the Approved Plan. If temporary stream access crossings are determined necessary prior to initiation of work or at any time during construction, Authorized Person, its employees, agents or contractors shall submit a written request to the Administration and secure the necessary permits or approvals for such crossings before installation of the crossings. Temporary stream access crossings shall be removed and the disturbance stabilized prior to completion of authorized activity or within one (1) year of installation.
14. **Discharge:** Runoff or accumulated water containing sediment or other suspended materials shall not be discharged into waters of the State unless treated by an approved sediment control device or structure.
15. **Instream Construction Prohibition:**
  - ☒ No instream construction is to occur under this Authorization;
  - ☐ To protect important aquatic species, motor driven construction equipment shall not be allowed within stream channels unless on authorized ford crossings. Activities within stream channels are prohibited as determined by the classification of the stream (COMAR 26.08.02.08): Parks Run is a Use III waterway; in-stream work may not be conducted from October 1 through April 30 inclusive, of any year.
16. **Instream Blasting:** Authorized Person shall obtain prior written approval from the Administration before blasting or using explosives in the stream channel.
17. **Minimum Disturbance:** Any disturbance of stream banks, channel bottom, wetlands, and wetlands buffer authorized by this Authorization or Approved Plan shall be the minimum necessary to conduct permitted activities. All disturbed areas shall be stabilized vegetatively no later than seven (7) days after construction is completed or in accordance with the approved grading or sediment and erosion control plan.
18. **Restoration of Construction Site:** Authorized Person shall restore the construction site upon completion of authorized activities. Undercutting, meandering or degradation of the stream banks or channel bottom, any deposition of sediment or other materials, and any alteration of wetland vegetation, soils, or hydrology, resulting directly or indirectly from construction or authorized activities, shall be corrected by Authorized Person as directed by the Administration.

**FEDERALLY MANDATED STATE AUTHORIZATIONS**

In accordance with the requirements of Section 401 of the Federal Clean Water Act, Water Quality Certification is hereby issued for any discharges to Waters of the U.S. authorized herein, subject to the conditions of this Authorization. In addition, as applicable, this Authorization constitutes the State's concurrence with the Applicant's certification that the activities authorized herein are consistent with the Maryland Coastal Zone Management Program, as required by Section 307 of the Coastal Zone Management Act of 1972, as amended. Activities in the following counties are not subject to the Maryland Coastal Zone Management requirement: Allegany, Carroll, Frederick, Garrett, Howard, Montgomery, and Washington.

**U.S. ARMY CORPS OF ENGINEERS AUTHORIZATION**

The U.S. Army Corps of Engineers does not regulate the 100-year nontidal floodplain. So, no corps authorization is required..









**NOTE: EXISTING ELEMENTS NOT TO SCALE. FIELD VERIFICATION OF DIMENSIONS REQUIRED**

PLANS APPROVED BY: Phalla  
DATE: 11/6/2019  
WATER AND SCIENCE ADMINISTRATION  
WATERWAY CONSTRUCTION DIVISION  
MARYLAND DEPARTMENT OF THE ENVIRONMENT









engineering land ♦ designing the future

HANOVER LAND SERVICES, INC.

Land Planning ♦ Surveying ♦ Engineering ♦ Permitting

## FLOODPLAIN IMPACT ANALYSIS

# BEYNON SPORTS SURFACES

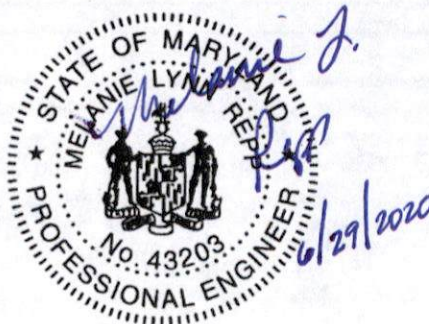
16 Alt Road  
Baltimore County, Maryland

June 29, 2020

mrepp@hanoverlandservices.com

### HANOVER

585 McAllister Street  
Hanover, PA 17331  
ph: 717. 637.5674  
fax: 717. 633.1987



### WESTMINSTER

194 E. Main Street  
Westminster, MD 21157  
ph: 410.751.8795

PROFESSIONAL CERTIFICATION: I CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 43203, EXPIRATION DATE 12-20-2020.

[www.hanoverlandservices.com](http://www.hanoverlandservices.com)

WBE/DBE Certified + MDOT# 08-513 + Baltimore City # 11-358172 + PennDOT # 13426

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## **1. INTRODUCTION**

### **1.1 Objective**

This report documents the proposal of a 12-foot diameter welded carbon steel tank (silo) in addition to a fireproof/floodproof chemical storage container and was prepared to accompany a petition for a special hearing seeking a waiver. The petition is to allow the placement of a silo and a fireproof/floodproof container within the 100-year floodplain in addition to allowing both proposed structures to be located within the minimum required setback area.

### **1.2 Description of Project**

The project is located at 16 Alternate Road, Hunt Valley, MD. A 12-foot diameter silo is proposed on the northside of the building between an existing chiller and dumpster. The location of the proposed silo was chosen in order to eliminate floodplain impacts and still serve its intended purpose. The silo will be positioned within the conveyance shadow of the building, and therefore, will not impact the base flood elevation. (The conveyance shadow is discussed in more detail later in the report)

In addition to the tank, a 9'-4" x 19'-4" flammable/floodproof container is proposed to replace the existing fenced area currently utilized for chemical storage.

The proposed container will improve conditions during a flooding event by eliminating the risk of contamination. Hazardous chemicals will be stored in the proposed floodproof container rather than within the fenced area where flood waters can reach the barrels. Additionally, the existing fencing, which currently traps debris during a flooding event will be removed, adding to the benefits of the proposed container.



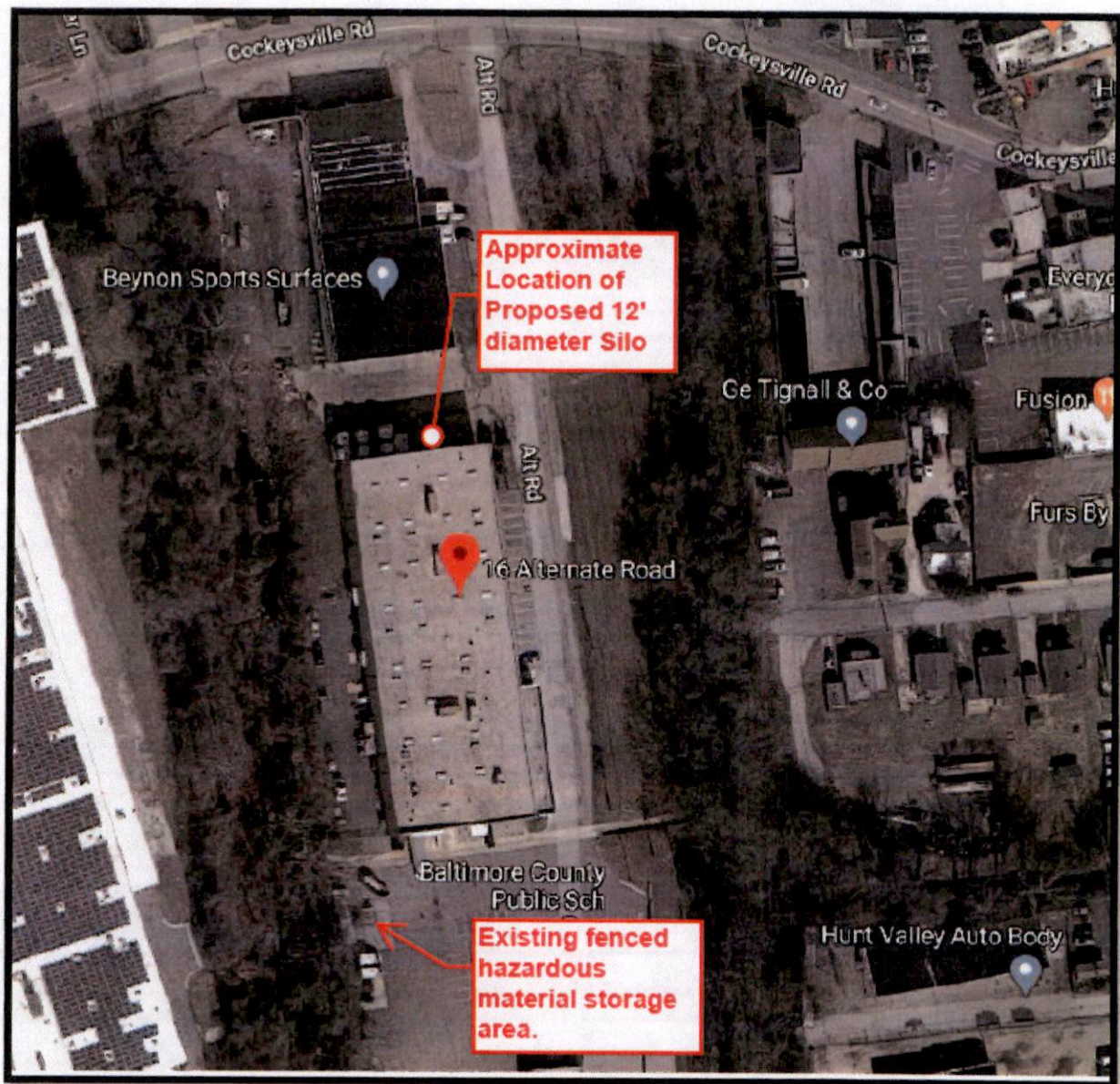


Figure 1 – Location Map



### 1.3 Soils and Land Uses

The existing land use/cover within the site area consists primarily of impervious area associated with the existing industrial use of the property.

Based on the latest Web Soil Survey data for Baltimore County prepared by the USDA Natural Resources Conservation Service (NRCS), the soil classification is Ur, urban land 0 to 8 percent slopes, which is classified as Hydrologic Soil Group D. Figure 2 illustrates the approximate site area and soils.

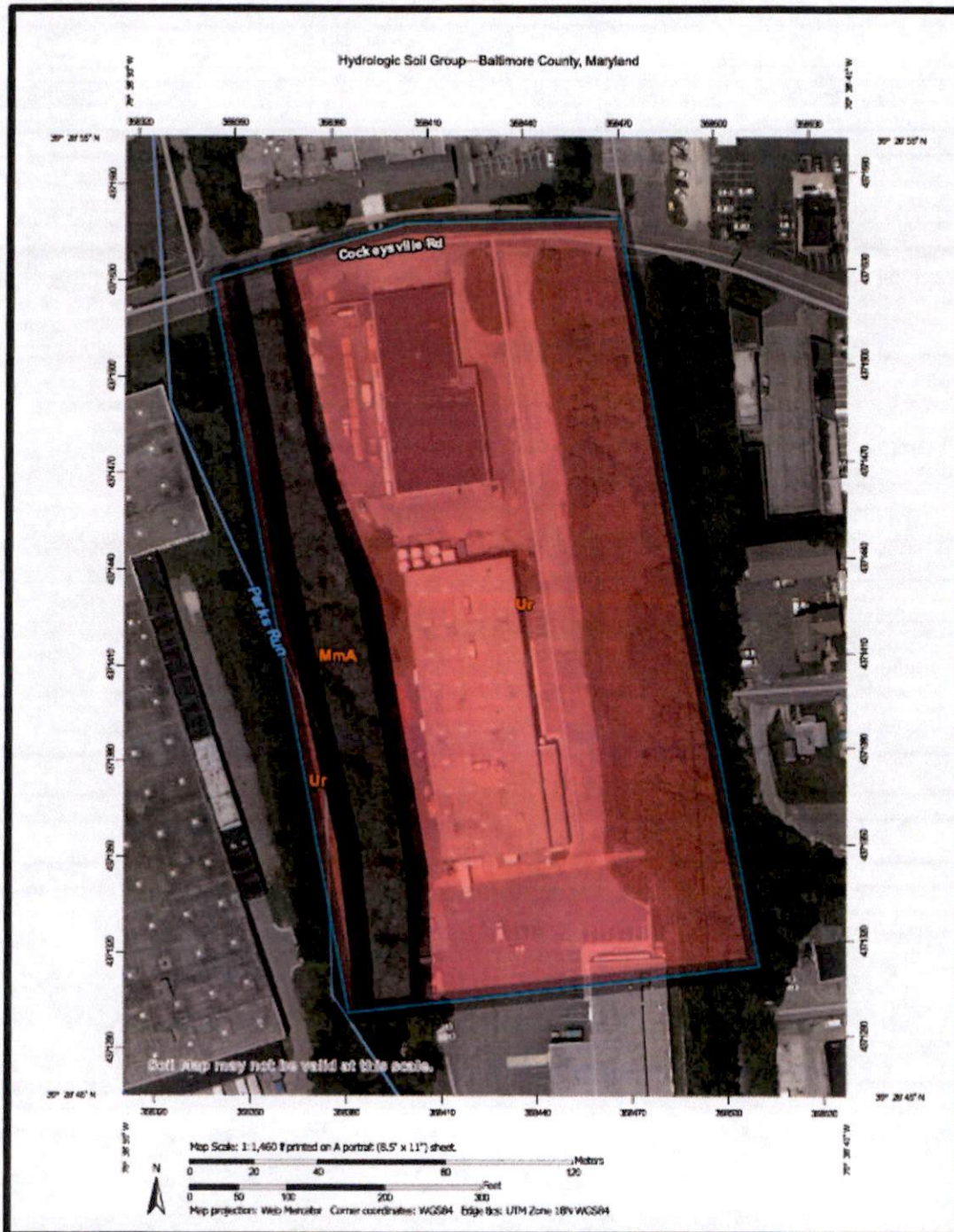


Figure 2 - Soil Map



#### 1.4 MD Stream Use Designation and Wetlands

The project is located within the Loch Raven Reservoir Watershed (MD 8 Digit Watershed 02-13-05-05). Parks Run flows from south to north adjacent to the site into Beaverdam Run. The drainage area for the entire project site is designated as MD Stream Use III-P.

There are no wetlands or Waters of the U.S. within the project area.

#### 1.5 100-Year Floodplain and Chesapeake Bay Critical Area

The project site is located within a FEMA Zone A per FIRM Panel 2400100235F, Revised September 26, 2008. Figure 3 illustrates the Flood Risk Map per [www.mdfloodmaps.org](http://www.mdfloodmaps.org).

**Flood Risk Map**

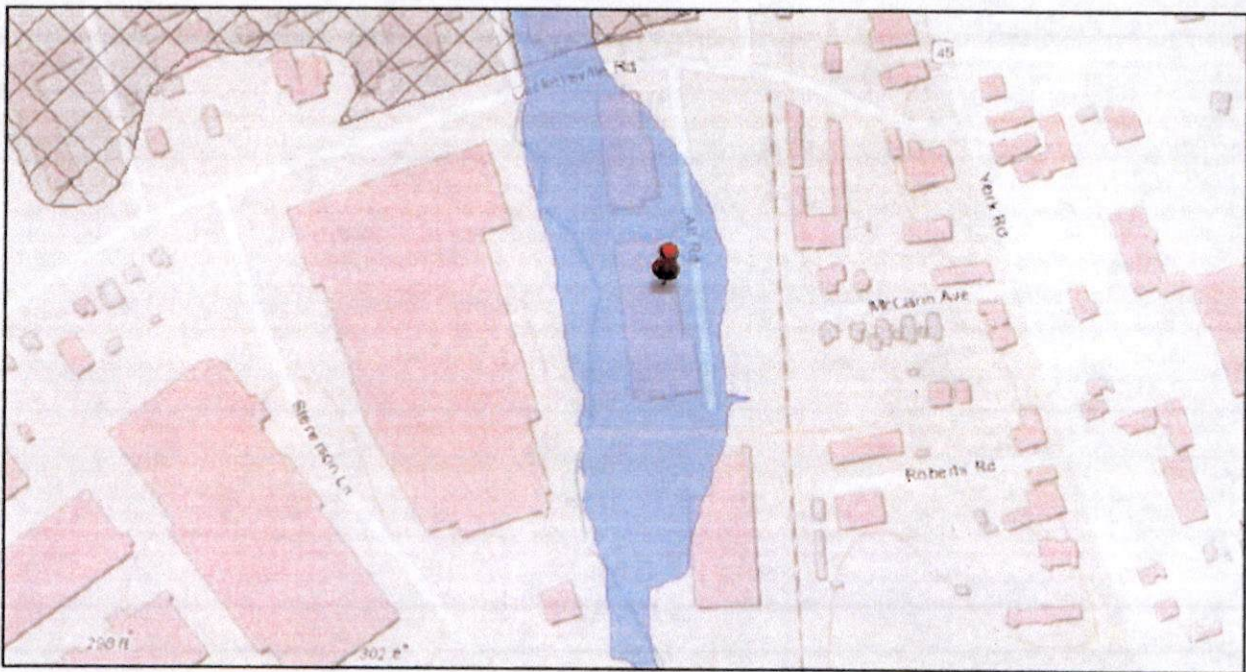


Figure 3 – Flood Risk Map



## 2. PROJECT DETAILS

### 2.1 Proposed Silo

#### Details

In order to eliminate impacts to the FEMA Floodplain, the silo is proposed to be located within the conveyance shadow (discussed later) of the existing building in addition to being elevated a minimum of 1.0' above the BFE (base flood elevation).

The proposed silo will be constructed from welded carbon steel. It will have an outside diameter of 12-feet and a height of 48.5-feet and be elevated a minimum of 1.0' above the BFE by a four-leg support, braced on four sides and supported by an engineered foundation.

#### BFE Determination

The BFE was computed using the simplified method of contour interpolation as outlined in the FEMA Publication *Managing Floodplain Development in Approximate Zone A Areas: A Guide for Obtaining and Developing Base (100-Year) Flood Elevations*. Excerpt from this publication is shown below:

#### Determining BFEs for Riverine flooding:

On each side of the stream in the vicinity of the site, determine the ground elevation at which the superimposed Zone A boundary lies by interpolating between two contour lines. Add one-half of the map contour interval to the lower of the two interpolated elevations. This is the approximate BFE for the site (be sure to perform this method at each structure location).

By adding one-half of the contour interval to the lowest interpolated water-surface elevation, two things are achieved: 1) the final BFE is within one-half of the contour interval of both interpolated water-surface elevations and, therefore, is still within the acceptable tolerance of the topographic map (generally regarded as  $\pm$  one-half of the map contour interval); 2) it is a conservative estimate of the BFE. If the BFE determined under this procedure seems too high, then a detailed analysis may be performed to justify lowering it.

The effective FIRM shown overlaid on current county topo was utilized to determine the right and left overbank water surface elevations at the upstream location of the proposed tower. These elevations must be within one-half of the map contour interval (1.0-foot) in order for the simplified method to be acceptable. The elevations were determined to be 260.2 for the left overbank and 259.8 for the right overbank. The difference of 0.4' is less than half the contour interval, thereby meeting the requirements to utilize this method.

The BFE was then determined by adding one-half the contour interval (1.0-foot) to the lower of the two elevations, 259.8, resulting in a final BFE determination of 260.8. The tower will therefore be required to be elevated to a minimum elevation of 261.8.



Figure 4, located in the following section, shows the topographic map utilized to determine the BFE.

### Silo Placement

The silo will be located within the conveyance shadow of the existing building. The conveyance shadow is an area immediately above or below a building or other obstruction around which flood waters must flow. Below obstructions, this area is defined by a line drawn at a 4:1 ratio from each outside edge of the obstruction until they intersect. The resulting area is an area subject to ineffective flow where flood waters are not being actively conveyed downstream. Minor projects located within this area will not obstruct the flow of floodwaters, and therefore, will not impact the BFE.

The conveyance shadow was determined utilizing guidelines published by FEMA titled: *Managing Floodplain Development Through the National Flood Insurance Program, Unit 5*. The excerpt below can be found on pages 5-23 & 5-24 of said guidelines.

**Minor projects:** Some projects are too small to warrant an engineering study and the certification. Many of these can be determined with logic: a sign post or telephone pole will not block flood flows. A driveway, road or parking lot at grade (without any filling) won't cause a problem, either.

Building additions, accessory buildings, and similar small projects can be located in the conveyance shadow. This is the area upstream and downstream of an existing building or other obstruction to flood flows. Flood water is already flowing around the larger obstruction, so the addition of a new structure will not change existing flood flow.

NFIP Requirements

5-23

Determining the limits of the conveyance shadow is illustrated in Figure 5-6. Small structures located completely within the shadow can be permitted without the engineering analysis needed for a no-rise certification.

*Note: Just because a small structure can be located in the conveyance shadow, it is still preferable to keep all development out of the floodway. Don't forget: all buildings must be elevated or otherwise protected from the base flood.*

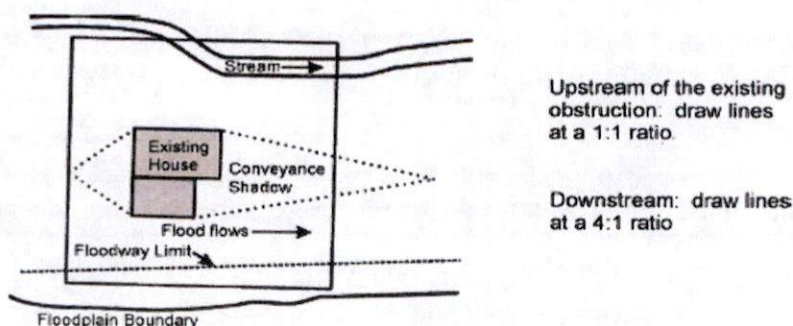


Figure 5-6. Determining the conveyance shadow



The conveyance shadow was determined by drawing a line at a 4:1 ratio from the right corner of the building and from the corner of the containment area on the left side of the building.

The exhibit shown below illustrates both the conveyance shadow and the BFE determination.

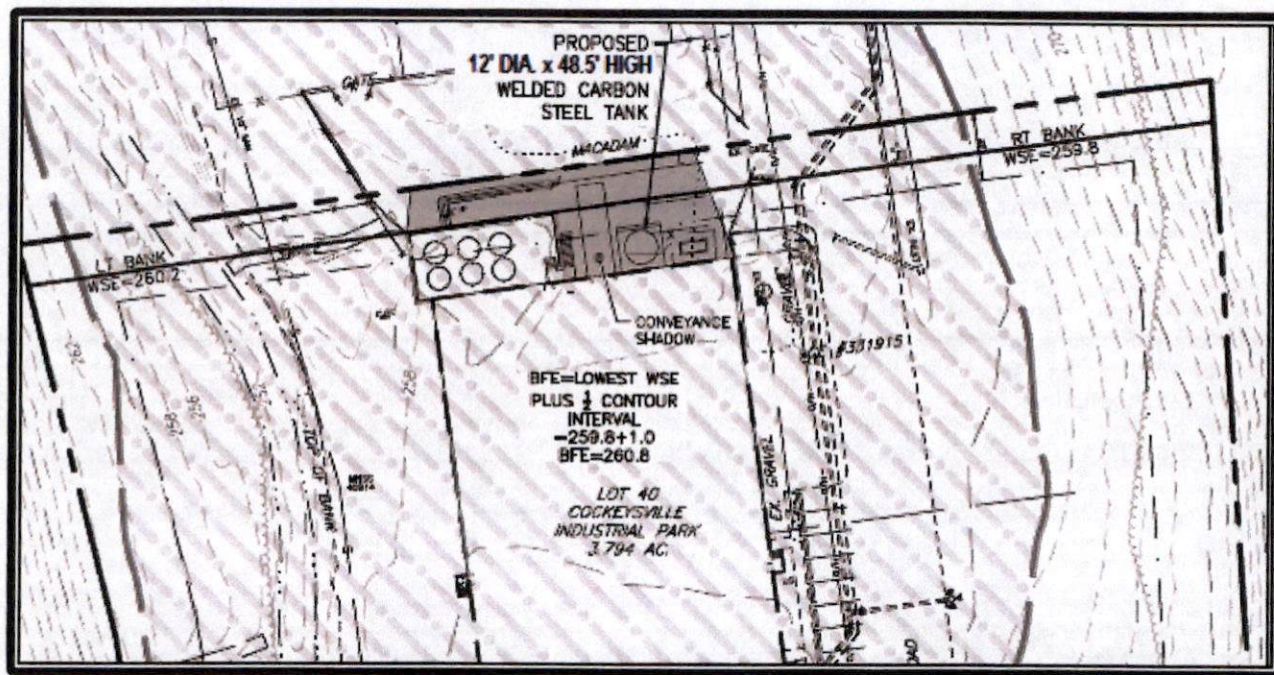


Figure 4 - Conveyance Shadow and BFE Determination

### Certifications

Certifications are included in Appendix B from both Imperial Industries Inc. (Young Industries) for the silo and Providence Engineering Corp for the foundation/support design certifying that each will be able to withstand flooding conditions.



## 2.2 Proposed Chemical Storage Container

The proposed fireproof/floodproof chemical storage container will replace the existing fenced storage area which currently obstructs flood waters. Therefore, there will be no floodplain impact as a result of its installation. More importantly, site conditions relative to flooding events will be improved by replacing the fenced storage area with a permanent floodproof container. Thereby eliminating the likelihood of contamination of flood waters and eliminating undesirable fencing which traps debris.

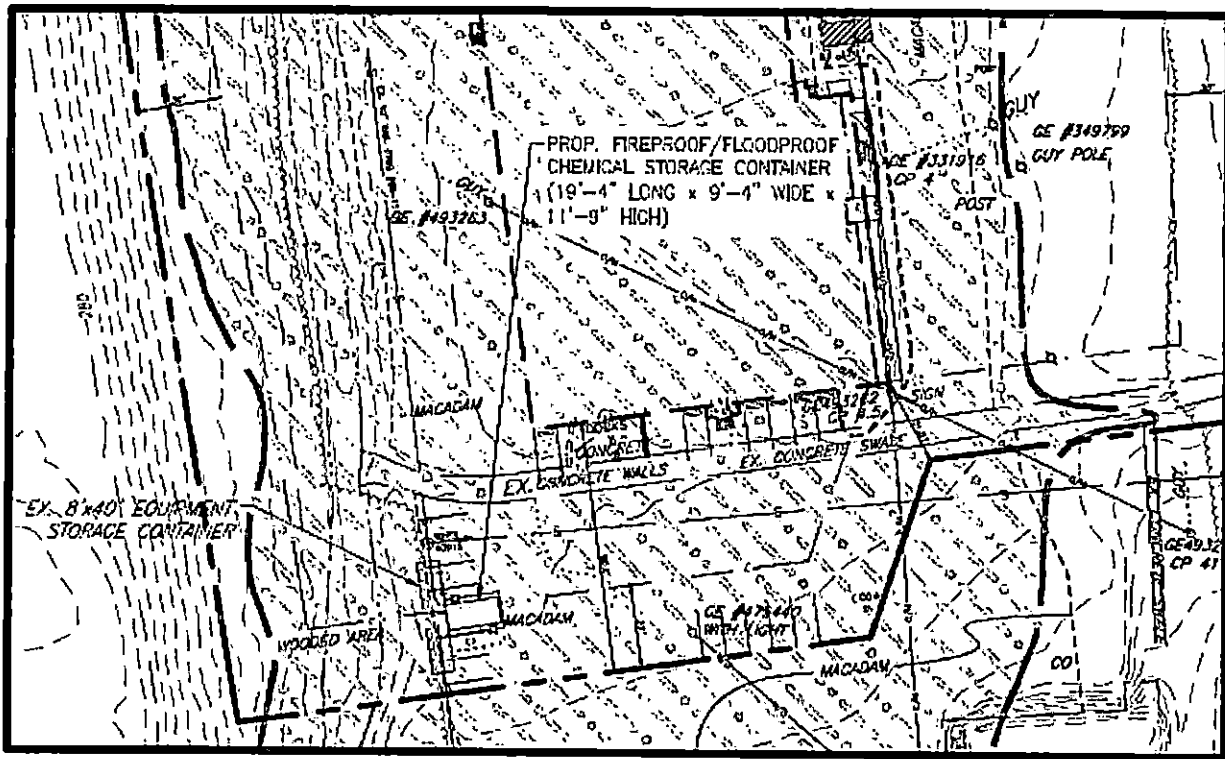


Figure 5 - Proposed storage container location

## 3. ZONING HEARING PETITION

### 3.1 Special Hearing

A Special Hearing will be required to allow new construction within the regulated 100-year FEMA floodplain. The proposed silo location was selected because it is within the conveyance shadow, and therefore, will not impact the base flood elevation. Justification to support the petition will include the original proposed location of the tank, the alternative locations reviewed and explanations as to why those alternative locations were or were not feasible (located in Appendix A). The current proposed location was one of the alternative locations considered.

The proposed chemical storage container will replace the existing fenced storage area which currently obstructs flood waters. Justification to support the petition will include how the proposed floodproof container will not impact the BFE and will improve conditions during a flooding event.



## 4. CONCLUSIONS

By utilizing guidance documents published by FEMA, the BFE was determined for the location of the proposed silo. The silo is proposed to be located within the conveyance shadow of the existing building in order to eliminate any negative impacts to the 100-year regulated floodplain. Additionally, it will be elevated a minimum of 1.0' above the base flood elevation as required.

Per guidelines published by FEMA titled: Managing Floodplain Development Through the National Flood Insurance Program, Unit 5, minor projects located within the conveyance shadow will not change the existing flood flow and therefore do not warrant an engineered study. The limits of the conveyance shadow were determined utilizing these guidelines and the proposed silo located within this area.

It can therefore be concluded that the proposed location of the silo will not negatively impact the regulated 100-year floodplain.

Additionally, the proposed fireproof/floodproof container will improve conditions within the 100-year floodplain by eliminating the risk of contamination during a flooding event while also eliminating undesirable fencing that traps debris. By locating the proposed container in the same location of the existing fenced area, the impact to the regulated 100-year floodplain will be eliminated.



**APPENDIX A**  
**Alternative Silo Location Analysis**



A Tarkett Specialty Company

THE ULTIMATE  
SURFACE EXPERIENCE

#### Dry Holding Tank/Tower Response – Response to Alternative Locations

**Option 1 –** Not a good location. There are actually a total of six tanks containing polyols and/or castor oil, all vegetable based oils. There is NOT sufficient room within the existing containment area to install the new tower. The existing tanks contain liquids and must be located within the secondary containment structure. We have a Spill Prevention Control and Countermeasures (SPOC) Plan which defines what controls and processes we have in place to prevent a leak. The containment area must be able to contain 110% of the volume of one of the tanks in the event of a tank failure. If there was space to build the tower in the containment area, that would reduce the overall storage capacity of the containment structure.

**Option 2 –** Yes, this is a suitable and desirable location as long as the tower is constructed on the western-most portion of the highlighted area (Closest to Option #3 - Red Dot). This area contains a Spill Berm with a flow control valve that is designed to contain the volume of the largest compartment of the tanker trucks that drop off polyols on a daily basis. The spill berm is listed as spill control device in our SPOC Plan. If constructed in this location, the tower would need to be elevated in order to allow normal storm water flow. In fact, this area is subject to heavy sediment deposits after rain events. As part of the construction planning, we would attempt to implement a control or a feature that would allow for better drainage limiting the sediment buildup. This location is in close proximity to where the stored materials will be utilized inside the building and would require the minimal amount of piping to move the stored materials to our blenders and mixers located in the northwestern corner of our building. **UPDATE:** There may not be sufficient room for the proposed foundation for the silo at this location.

**Option 3 –** Yes, this is a suitable location. The tower would be constructed as close to the containment berm and containment wall as possible based upon the recommendations of the engineers and installers. To address Option 9, yes we plan to place the tower on an elevated surface to allow normal storm water flow and to protect it from potential flood waters. Our building is constructed in a flood plain. This location is in close proximity to where the stored materials will be utilized inside the building and will require the minimal amount of piping to move the stored materials to our blenders and mixers located in the northwestern corner of our building. Unlike Option 2, this area is currently NOT paved and serves as a vegetative buffer for storm water pollution control. Constructing the tower here would destroy a portion of the buffer and create additional impermeable surfaces in close proximity to the adjacent stream.

**Option 4 -** Not a good location. There is a parking area in this location. It was constructed using permeable pavement materials to limit runoff that could pollute the stream on the western portion of our property. Additionally, if installed here, we would need to construct an elaborate piping system to move the materials to our blenders and mixers located in the corner of the building where we have proposed installing the tower. In addition to significantly increasing the cost of the project, this would also increase the risk of a release of the material in the event of a pipe failure. Additionally, this area is unpaved and identified as a vegetative buffer in our Storm Water Pollution Prevention Plan, a requirement of our NPDES Permit.

**Option 5 -** Not a good location. There are transfer ports in this location where tanker trucks drop off polyols that are stored in tanks inside of our building along the eastern wall and where tanker trucks pick up finished materials that are shipped weekly to one of our affiliate companies. Also, our chillers and the electric transformer are located in this area. This area includes a few trees and grass that help control storm water runoff.

**Option 6 -** Not a good location. This area is at the opposite end of the property from where the materials stored in the tower will be used. This area is also the location of our two loading docks. During our peak season, we have close to 20 tractor trailers either picking up finished products, or dropping off raw materials. As it stands now, the trucks have a difficult time accessing the loading docks.

**Option 7 -** Not a good location. This area is at the opposite end of the property from where the materials stored in the tower will be used. There is a large storm water culvert in this area that channels all of the storm water from York Road and the adjacent Baltimore County Schools Facility. During a heavy rain event, this culvert becomes a "river." Additionally, this area is unpaved and identified as a vegetative buffer in our Storm Water Pollution Prevention Plan.





THE ULTIMATE  
CONTACT EXPERIENCE

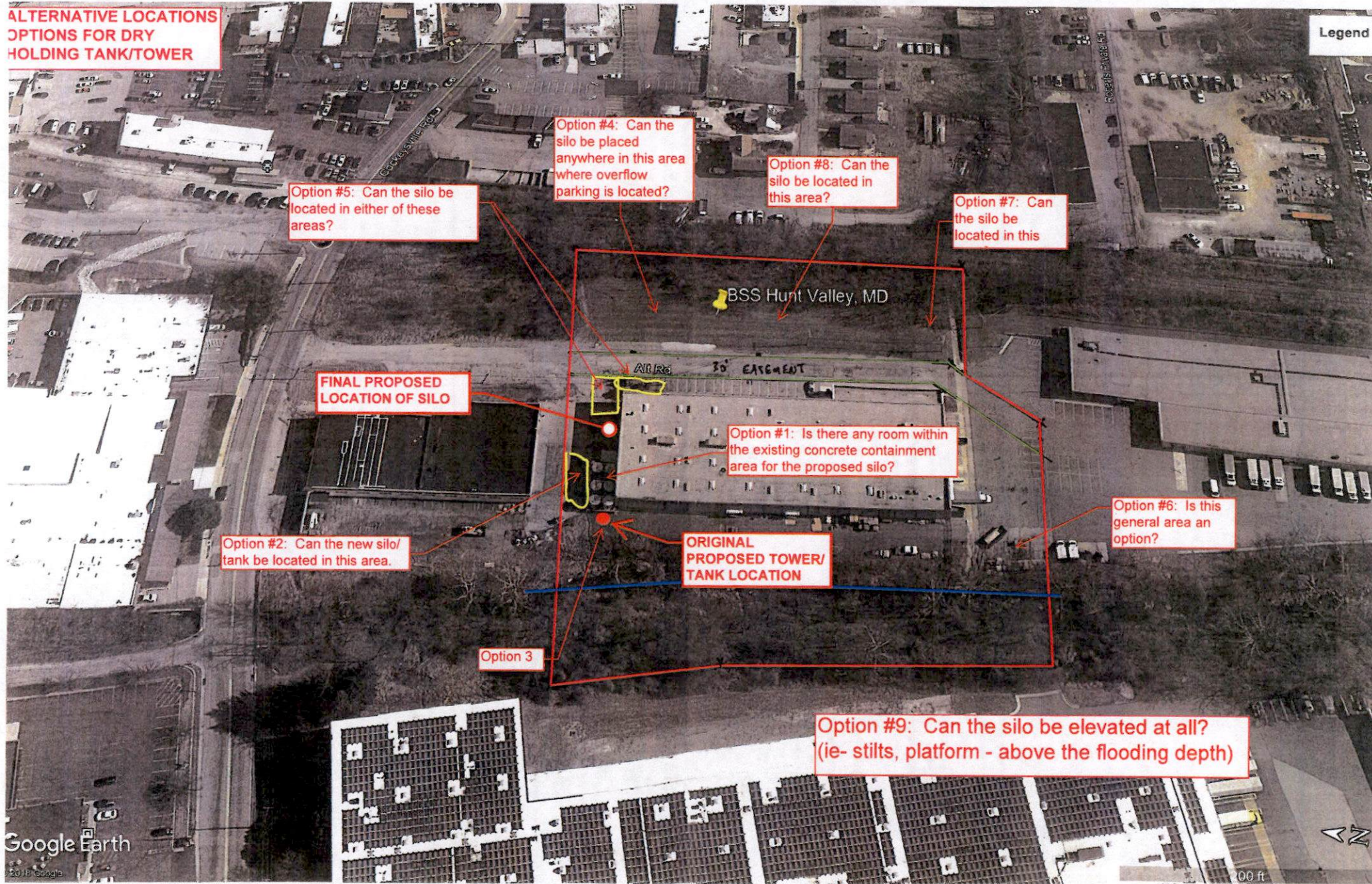
**Option 8 - Not a good location.** This area is at the opposite end of the property from where the materials stored in the tower will be used. Additionally, this area is unpaved and identified as a vegetative buffer in our Storm Water Pollution Prevention Plan.

**Option 9 - As indicated in the response to Option 3, yes, we plan to place the tower on an elevated surface to allow normal storm water flow and to protect it from potential flood waters. Our building is constructed in a flood plain.**



**ALTERNATIVE LOCATIONS  
OPTIONS FOR DRY  
HOLDING TANK/TOWER**

Legend





## **APPENDIX B**

### **Silo Design & Certification Letters**



**IMPERIAL  
INDUSTRIES INC**

P.O. Box 1685  
Wausau, WI 54402-1685  
Phone: 715-359-0200  
Toll Free: 800-558-2945

E-Mail: [Joshua@imperialind.com](mailto:Joshua@imperialind.com)  
Website: <http://www.imperialind.com>

Young Industries  
16 PAINTER STREET  
MUNCY, PA 17756  
UNITED STATES  
c/o Anthony Boroch

Anthony,

This letter is to acknowledge that the silo being quoted to you by Imperial Industries, INC. under quote number 109378-02, and that is intended to be erected in Hunt Valley, MD, will be designed and fabricated such that it will resist the forces present during a flood event.

If you have any questions or would like to further discuss this requirement, please feel free to contact me.

Regards,



**IMPERIAL  
INDUSTRIES INC**

**Troy Hanson**

*Engineering Manager*

P: (715) 348-8702 | T: (800) 558-2945

C: (715) 297-8232 | F: (715) 355-5349

email: [troy@imperialind.com](mailto:troy@imperialind.com)

web: [www.imperialind.com](http://www.imperialind.com)

550 W Industrial Park Ave. | Rothschild, WI 54474





## DESIGN CRITERIA

Support Column Wide Flange Supported, Allowable Stress from manufacturing standard, Engineering & Design Per ES-1000

### Tank Dimensions

Tank Diameter: 12'-0"  
Eave Height: 47'-6"  
Overall Height: 48'-6 11/16"  
Cylinder Height: 28'-4 3/4"  
  
Usable Capacity: 3,211 Cu. Ft.  
Hopper Angle: 60°  
Discharge Size (Conical): Ø4'-0"  
Discharge Clearance: 12'-0"  
Interior Design Pressure: 0.50 PSI  
Exterior Design Pressure: 0.03 PSI Vacuum

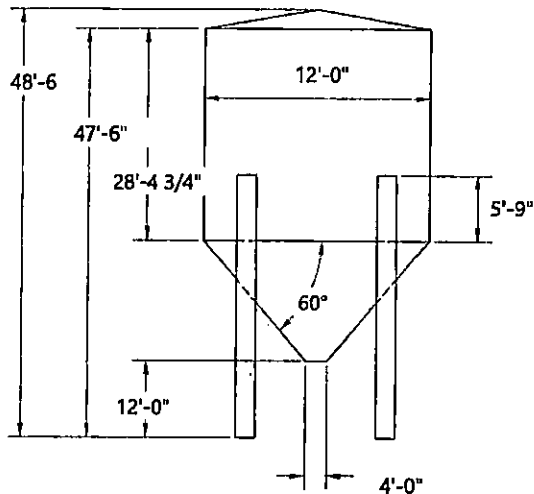
### Tank Loads

Code Name: IBC 2018  
Risk Category: Risk Category II  
Seismic Importance Factor: 1.00  
Soil Class: D  
Roof Load (Snow Load): 30.00 PSF  
Wind Speed: 110.00 MPH  
Wind Exposure: C  
Tank Weight (Dead Load): 14,100 Lbs.  
Material Load (Live Load): 144,488 Lbs.  
SS: 0.149 S1: 0.044  
Unbraced Length: 1'-0"

### Material Characteristics

Material Name: Calcium Carbonate (45) (45)  
Density: 45.00 Lbs. per Cu. Ft. Angle of Repose: 45°  
Internal Friction: 22° Pressure Coefficient: 0.33  
Freeboard Height: 0'-0"

Need MTRs: No



|                     |            |                  |
|---------------------|------------|------------------|
| Roof 10°            |            | 3/16" A36        |
| Cylinder 1          | 29'-1 7/8" | 3/16" A-36       |
| Hopper 60°          |            | 3/16" A36        |
| Legged Material     |            | A36 Carbon Steel |
| Base Plate Material |            | A36 Carbon Steel |

### STANDARD ACCESSORIES

- Lifting Lugs Included
- (2) 9/16" Holes in Support for Grounding per NFPA 780, Grounding Rods and Connectors By Others
- All Fasteners To Be ASTM A-449 With Electro/Zinc Finish Per ASTM B-633
- Anchor Bolts Are Not Included

### WELDING & GRINDING STANDARDS

- Welding Class 2 Per ES-500
- Interior Grinding Class 1 per ES-520
- Exterior Grinding Class 1 per ES-520

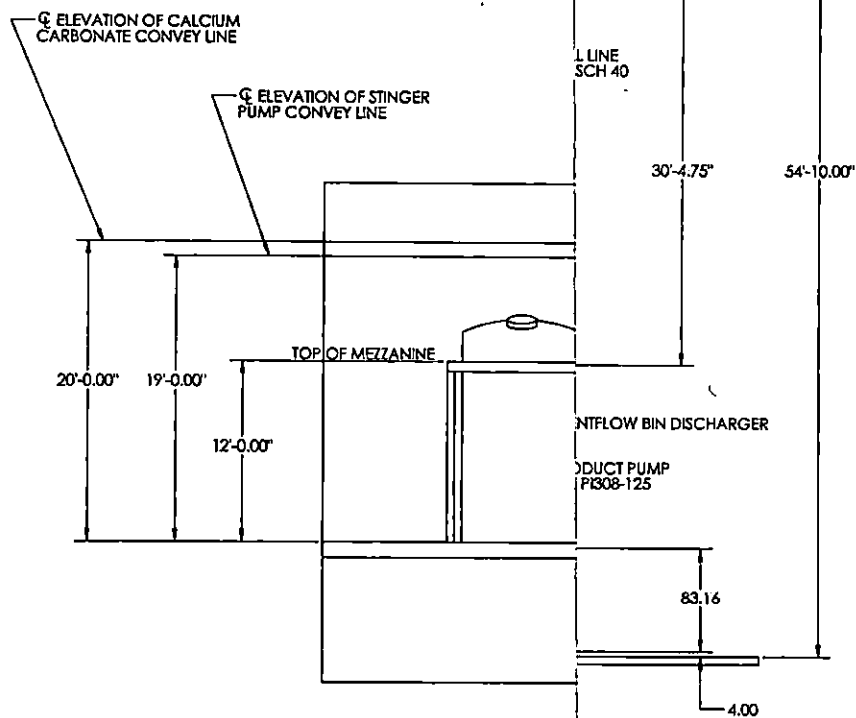
### CLEANING & FINISHING STANDARDS

- Interior Cleaning Class 0 per ES-510
- Interior Finish - Plain
- Exterior Cleaning Class 1 per ES-510
- Exterior Finish - Grit Blasted Per SSPC-SP6 (Commercial Blast)

### INSPECTION STANDARDS

- Manufacturing Tolerances Per ES-531
- Inspection 100% Visual Per IMP-111

The Above Standards And Accessories Are Included In The Base Tank Assembly. Upgrades And Additional Accessories For Your Application Are As Follows



# GENERAL TOLERANCES

UNLESS OTHERWISE SPECIFIED THE FOLLOWING SHALL APPLY

MACHINING - .004" .002" .001" .0005" ANGLE - .50"  
SURFACE ROUGHNESS HEIGHT 63 MICROINCHES OR LESS

FABRICATION - UNDER 6 6 TO 24 24 TO 60 OVER 60  
± .04 ± .12 ± .19 ± .25

UNLESS OTHERWISE SPECIFIED DIMENSIONS ARE IN INCHES

|                                                                                                                                                                    |             |                |      |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------|----------------|------|
| REV. NO.                                                                                                                                                           | DESCRIPTION | DATE           | BY   |
| REVISIONS                                                                                                                                                          |             |                |      |
| CUSTOMER:                                                                                                                                                          |             |                |      |
| CUSTOMER PO NUMBER:                                                                                                                                                |             |                |      |
| YOUNG JOB NUMBER:                                                                                                                                                  |             |                |      |
| TITLE                                                                                                                                                              |             |                |      |
| ELEVATION VIEW<br>CALCIUM CARBONATE SILO SYSTEM<br>&<br>FILTER BAG DUMP / STINGER PUMP SYSTEM                                                                      |             |                |      |
| <br>INDUSTRIES, INC.<br>MURPHY, PENNSYLVANIA 15724<br>TELEPHONE: 570-344-3143 |             |                |      |
| DRAWN BY: AEB                                                                                                                                                      |             | DATE: 03/27/20 |      |
| CHECKED BY:                                                                                                                                                        |             | SCALE: 1:75    |      |
| DRAWING NUMBER                                                                                                                                                     |             | SHEET          | REV: |
| S-19-0448-03                                                                                                                                                       |             | 1 OF 1         | 00   |

March 26, 2020

Beynon Sports Surfaces  
16 Alt Road  
Hunt Valley, MD 21030  
Attn: Elsie Dare

Re: Calcium Carbonate Silo Foundation – Flood Design Confirmation  
Beynon Sports Surfaces  
16 Alt Road  
Hunt Valley, MD 21030  
Project #200437

Dear Elsie:

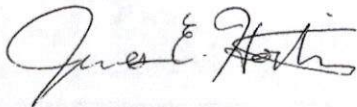
Per your request, Providence Engineering Corporation (Providence) is confirming that the design of the calcium carbonate silo foundation, as detailed on Providence's "Issued for Construction" drawings dated 03/24/20, takes into account all flood loads required by ASCE 7-10 (American Society of Civil Engineers Minimum Design Loads for Buildings and Other Structures).

Per Hanover Land Services, the proposed silo foundation is located in the conveyance shadow of the building and therefore is reasonably subjected to reduced, even negligible, hydrodynamic and impact loads, in addition to the required hydrostatic loads. Hydrodynamic loads are directly related to the water velocity and in the conveyance shadow water velocities will be greatly reduced. Thus, Providence found that the required hydrodynamic load on the foundation is negligible. Similarly, impact loads are directly affected by the water velocity, as well as a host of other factors including a "blockage coefficient". With the building blocking the flow of water and in turn flood debris, and with the silo location with respect to the building, the required impact load was found by Providence to be zero (0).

Geometry was the main controlling factor behind the design of the piers and mat foundation. As such, the piers and mat foundation are more than capable of safely supporting the silo during the design flood event.

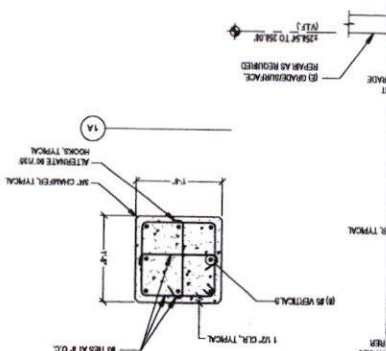
We appreciate the opportunity to be of service to you. If you need any further information or have any questions, please contact us.

Sincerely,



James E. Horting, P.E.  
Senior Project Manager





- |                                                                                    |                                                                                                                                                                         |  |
|------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|
| GENERAL STRUCTURAL NOTES                                                           | 1. THE FOLLOWING CODES AND STANDARDS INCLUDING ALL AMENDMENTS THEREON SHALL APPLY TO THE DESIGN, CONSTRUCTION AND QUALITY CONTROL OF ALL WORK PERFORMED ON THE PROJECT. |  |
|                                                                                    | 2. INTERNATIONAL BUILDING CODE - 2015 INTERNATIONAL CODE COUNCIL, INC.                                                                                                  |  |
| 3. CABLE BRIDGEWORK                                                                | 4. STRUCTURAL DESIGN LOADS FOR BRIDGES AND OTHER STRUCTURES (AMERICAN 7) MECHANICAL DESIGN                                                                              |  |
|                                                                                    | 5. DESIGN LOADS 303.000 FOR THE APPLICABLE CODES                                                                                                                        |  |
| 6. DESIGN LOADS 303.000 FOR THE FOUNDATION DESIGN ONLY - SHALL BE DESIGN BY OTHERS | 7. GROUND - UNDISTURBED DEAD LOADS                                                                                                                                      |  |
|                                                                                    | 8. TANK WEIGHT = 14.50 TON                                                                                                                                              |  |
| 9. MASONRY UNIT WEIGHT = 154.00 LBS.                                               | 10. ULTIMATE DESIGN WIND SPEED AS ACCORDING TO 115 MPH                                                                                                                  |  |
|                                                                                    | 11. 90 MPH                                                                                                                                                              |  |
| 12. LATERAL LOADS - WIND                                                           | 13. MAIN WIND-ORIGIN DIRECTION ESTIMATE                                                                                                                                 |  |
|                                                                                    | 14. LATERAL LOADS - EARTHQUAKE                                                                                                                                          |  |
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## GENERAL STRUCTURAL NOTES

**CALCIUM CARBONATE SILO  
BEYNON SPORTS SURFACES  
BALTIMORE COUNTY, MARYLAND**

**HERBST/BENSON & ASSOCIATES  
GEOTECHNICAL ENGINEERS**

December 9, 2019

Hanover Land Services  
585 McAllister Street  
Hanover, Pennsylvania 17331

Attention: Mr. Doug Barmoy

Re: Calcium Carbonate Silo  
Beynon Sports Surfaces  
Baltimore County, Maryland

Gentlemen:

We have completed our geotechnical study for the proposed calcium carbonate silo. The purpose of the study has been to determine geotechnical design criteria and construction recommendations for the proposed silo foundation. The methods of explorations and tests, the subsurface data, the laboratory test results, and our conclusions and recommendations concerning the above-noted geotechnical aspects of the proposed construction are presented in the following sections of the report.

I. SUBSURFACE EXPLORATORY PROGRAM

The subsurface exploratory program consisted of one standard penetration test (SPT) boring, B-1, located as shown on PLATE 1, BORING LOCATION PLAN AND PROFILE. The boring was drilled with a truck-mounted drilling rig using continuous flight, helical augers to advance the borehole to the planned termination depth of 25 feet. Standard penetration testing and split spoon soil sampling were performed at regular intervals as the boring was advanced.

The information obtained from the boring is presented on PLATE 1. The method of classification used to prepare the soil descriptions for the boring profile is shown on CLASSIFICATION OF SOILS included in the back of this report.

II. LABORATORY TESTING

A sample of the upper founding soil was classified by sieve gradation and Atterberg limits testing. Moisture content testing was performed on all recovered soil samples. The test results are presented as follows:



TABLE 1, CLASSIFICATION TEST DATA  
PLATE 1, BORING LOCATION PLAN AND PROFILE  
(existing moistures in brackets on left side of boring column at appropriate  
sample depth)

III. SITE DESCRIPTION

The project site is the existing Beynon Sports Surface manufacturing facility located off the end of Alt Road in the Hunt Valley area of northern Baltimore County. The new storage silo will be located in the flat paved area along the back of the building close to the northeast building corner.

IV. SITE GEOLOGY

The Geologic Map of the Cockeysville Quadrangle, Maryland compiled by the Maryland Geological Survey in 1975 shows the project area to be underlain by the Cockeysville Marble bedrock formation. The soils in this area are residual in origin, having been formed from in-place weathering and decomposition of the underlying bedrock formation. A characteristic of the formation is pinnacle bedrock weathering, where the depth to bedrock can vary greatly over relatively short horizontal distances.

V. SUBSURFACE MATERIAL

The paving at the boring location was found to consist of 3 inches of hot-mix asphalt over 10 inches of crushed stone base. No fill was evident below the paving.

The soil below the pavement is a 2-foot thick stratum of gray-brown, stiff, moist, low plasticity silt & clay with nearly equal sand content (ML), overlying a similarly colored layer of medium dense, very moist to wet sand with rock fragments (SM) to a depth of about 9 feet. From the 9-foot depth to the bottom of the boring, light gray and tan, very dense, wet sand and rock fragments (SM) are penetrated with difficulty. The (Decomposed Rock) designation on the boring profile indicates that the residual relict structure of the parent marble bedrock mass can be observed in the recovered soil samples.

VI. GROUNDWATER

While drilling, groundwater was noted on the drill rod about 4 to 5 feet deep, but the water surface in the borehole was 1.7 feet below grade at completion of drilling and one day later. Additionally, the recovered soil samples were very moist at a depth of 4 feet and wet below the 6-foot depth.

It is possible, but not a certainty, that the groundwater is under excess hydrostatic pressure in the light colored sand and rock fragment layer confined by the upper finer-grained soil. When the confining layer is penetrated, the water flows up through the hole to reach equilibrium.

These readings represent conditions at the time of the test boring program. Groundwater levels will tend to vary with changes in precipitation, typically rising during the late winter, spring and early summer seasons, and receding through the remainder of the year.

#### VII. PROPOSED CONSTRUCTION

The calcium carbonate storage silo will be 46 feet tall and 12 feet in diameter supported by four braced legs or columns on a 16-foot square concrete mat foundation. Information from the tank supplier states that the tank structure plus a full silo of product weighs about 295,000 pounds. On the planned mat foundation the resulting applied pressure will be a 1,200 PSF.

#### VIII. SILo SUPPORT RECOMMENDATIONS

The boring information shows that the planned mat foundation will be adequately supported in the undisturbed native soil at or below the 30-inch frost depth required by local code. The mat foundation grade should match the grade of the adjacent building wall footing, but the new foundation should be isolated from the building foundation by a construction joint. There could be challenges to foundation construction depending on the actual groundwater conditions in the foundation excavation (see Section VI).

During initial excavation, the extent of required groundwater control can be evaluated. Heavy flow would require a series of shallow trenches and pits with pumps likely will be needed to control groundwater. If the groundwater is a confined artesian condition and the water bearing layer is not penetrated, less extensive control methods may be adequate.

The foundation excavation should be deepened an additional 3 inches below planned bottom-of-mat elevation. Once a firm, stable surface is obtained in undisturbed native soil and the soil is tested for adequate bearing, a 3-inch thick concrete "mud" mat should be placed across the bottom of the excavation. This non-structural concrete mat will allow placement and tying of steel reinforcement without disturbing and compromising the strength of the founding soils.

## IX. EXCAVATION CHARACTERISTICS

The boring shows that the mat excavation can be completed with normal soil excavation techniques. Groundwater could be an issue in construction as described in the previous sections of the report.

## X. GEOTECHNICAL MONITORING AND TESTING

We recommend that Herbst/Benson & Associates be retained to provide the geotechnical monitoring and testing services during foundation construction. This is to observe compliance with design concepts, specifications or recommendations and to allow design changes in the event that subsurface conditions differ from those anticipated prior to the start of construction.

Prior to construction a mud mat, the open foundation excavation shall be examined and the exposed soil conditions approved for a design bearing pressure of at least 2,000 PSF in undisturbed native soils. The in-place steel reinforcement should be checked for compliance with the approved design and the concrete placement observed with testing performed to check compliance to the design requirements. We can provide the indicated construction phase services along with on-call geotechnical engineering consultation services as needed during construction.

## XI. GENERAL CONDITIONS

This report has been prepared in accordance with generally accepted geotechnical engineering practice to aid in the evaluation and design of this project. In the event of changes in the proposed construction (types, elevations, locations, etc.), the conclusions and recommendations presented in this report should not be considered valid unless changes are reviewed and the conclusions of this report are modified or approved in writing by our office.

The analyses and recommendations included in this report are based upon the data obtained from the test boring performed at the approximate location indicated on the boring location plan. This report does not reflect variations which may occur away from the boring. The nature and extent of the variations may not become evident until the time of construction. If significant variations then become evident, it may be necessary for us to reevaluate the recommendations of this report.

In the process of obtaining and testing samples and preparing this report, procedures were followed that represent reasonable and accepted practice in the field of geotechnical engineering. Specifically, a field log was prepared during



the drilling operations that describe visual soil classifications, soil stratification, groundwater observations, and other information. Each soil sample obtained in the field was returned to our office to be examined and classified by trained personnel. Selected samples were subjected to laboratory classification testing. Accordingly, differences exist between the field boring log and the final log which reflect the results of laboratory tests and the classifications by trained personnel. The final log developed from the classifications and laboratory data was used to prepare the boring information indicated on the boring profile. The recommendations in this report have been based upon the content of the final boring and laboratory test information.

We appreciate the opportunity to provide a geotechnical study for the proposed calcium carbonate silo. We will be available to provide additional consultation as needed, and hope to have the opportunity to follow the project through construction by providing geotechnical monitoring and testing services. Please do not hesitate to contact us should you, the owner, or the other consultants have any comments or questions.

Most Sincerely,

HERBST/BENSON & ASSOCIATES



Robert C. Benson  
cn=Robert C. Benson, o=Herbst/  
Benson Associates, Inc., ou,  
email=bensonr@herbst-benson.  
com, c=US  
2019.12.16 17:34:29 -05'00'

By: Robert C. Benson, P.E.  
Principal

RCB  
19072MD

CALCIUM CARBONATE SILO  
BEYNON SPORTS SURFACES  
BALTIMORE COUNTY, MARYLAND  
19072MD

DECEMBER 2019

TABLE 1

CLASSIFICATION TEST DATA

| <u>Sieve/Particle Size</u> | <u>% by Weight Passing Indicated Size</u> |
|----------------------------|-------------------------------------------|
|----------------------------|-------------------------------------------|

B-1  
(3.5'-5.0')

|      |     |
|------|-----|
| 1"   | 100 |
| 3/4" | 91  |
| 1/2" | 85  |
| 3/8" | 83  |
| #4   | 74  |
| #10  | 66  |
| #40  | 47  |
| #60  | 33  |
| #200 | 16  |

Atterberg Limits

|                       |    |
|-----------------------|----|
| Liquid Limit (LL)     | 34 |
| Plasticity Index (PI) | NP |

Classification

|         |          |
|---------|----------|
| Unified | SM       |
| AASHTO  | A-1-b(0) |

|                                     |      |
|-------------------------------------|------|
| <u>Natural Moisture Content (%)</u> | 23.4 |
|-------------------------------------|------|

# **CLASSIFICATION OF SOILS**

The soil descriptions on the boring profiles are in accordance with the criteria outlined below. The principal constituents are written in capital letters with other constituents preceded by descriptive terminology used to denote the percentages by weight of each component. The soil descriptions are based upon visual examinations except where laboratory gradation and Atterberg limits tests are available.

## **Descriptive Terms Denoting Component Proportions**

| <b>Descriptive Terms</b> | <b>Range of Proportion</b> |
|--------------------------|----------------------------|
| Trace                    | 1 - 10%                    |
| Little                   | 10 - 20%                   |
| Some                     | 20 - 35%                   |
| And                      | 35 - 50%                   |

## **Component Definitions by Gradation**

| <b>Soil Component</b>                                               |        | <b>Sieve Limits</b> |                  |
|---------------------------------------------------------------------|--------|---------------------|------------------|
|                                                                     |        | <b>Upper</b>        | <b>Lower</b>     |
| *GRAVEL/<br>ROCK FRAGS                                              | Coarse | 3 in.               | 1 in.            |
|                                                                     | Medium | 1 in.               | 3/8 in.          |
|                                                                     | Fine   | 3/8 in.             | No. 10 (2.0mm)   |
| SAND                                                                | Coarse | No. 10 (2.0mm)      | No. 30 (0.590mm) |
|                                                                     | Medium | No. 30 (0.590mm)    | No. 60 (0.250mm) |
|                                                                     | Fine   | No. 60 (0.250mm)    | No. 200(0.074mm) |
| SILT, CLAY and COLLOIDS:<br>(fines defined by degree of plasticity) |        | No. 200 (0.074mm)   |                  |

\*This component is classified as "GRAVEL" in sedimentary soils and as "ROCK FRAGS" in residual soils.

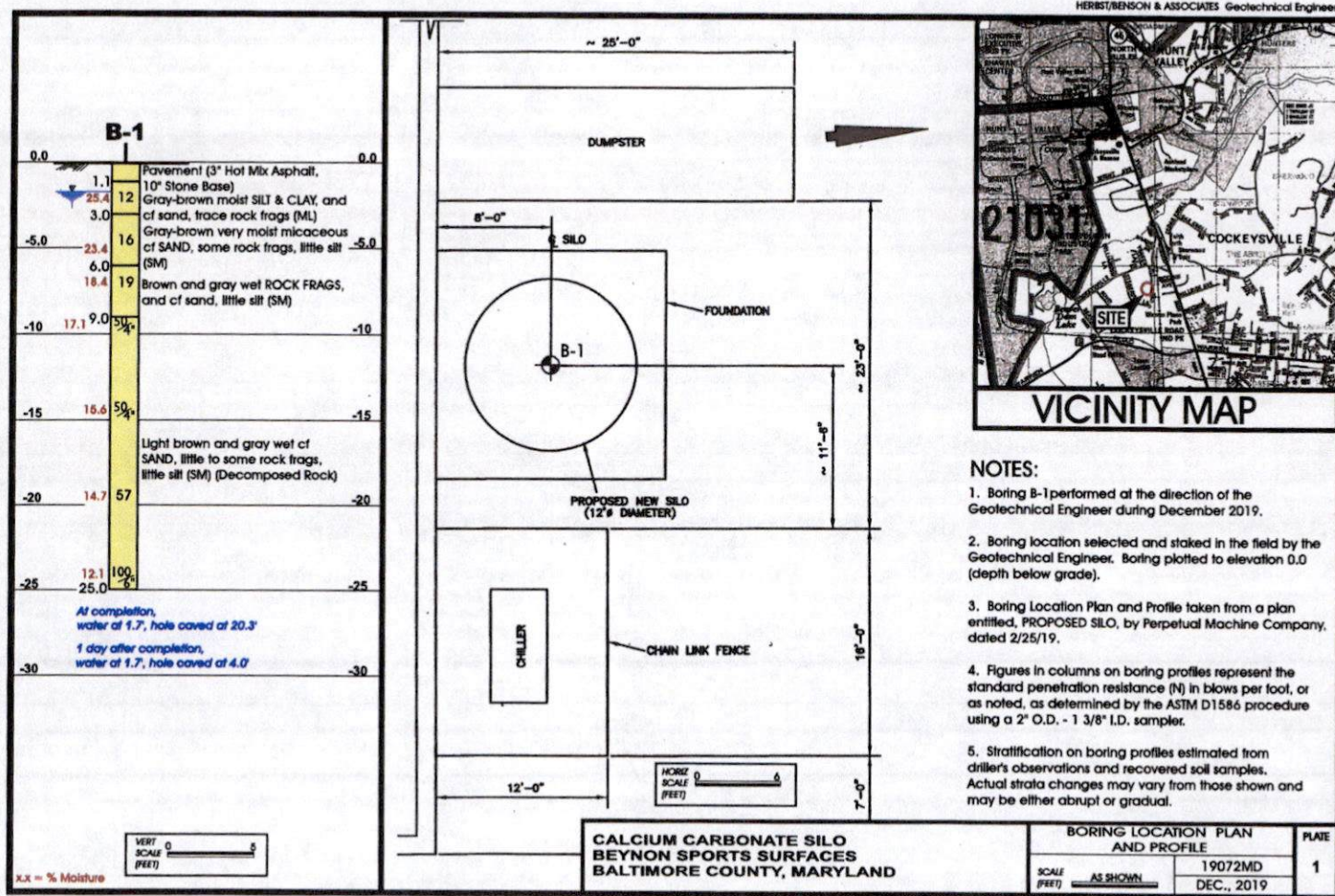
## **Component Definitions by Degree of Plasticity**

| <b>Descriptive Term</b> | <b>Degree of Plasticity</b> | <b>Plasticity Index<br/>Range</b> |
|-------------------------|-----------------------------|-----------------------------------|
| SILT                    | None                        | Non-plastic (NP)                  |
| Clayey SILT             | Slight                      | 1 - 5                             |
| SILT & CLAY             | Low                         | 5 - 10                            |
| CLAY & SILT             | Medium                      | 10 - 20                           |
| Silty CLAY              | High                        | 20 - 40                           |
| CLAY                    | Very High                   | Over 40                           |

## **Gradation Terms of Granular Components**

| <b>Gradation Designation</b> | <b>Symbol</b> | <b>Defining Proportions</b>                     |
|------------------------------|---------------|-------------------------------------------------|
| coarse to fine               | cf            | All fractions greater than 10% of the component |
| coarse to medium             | cm            | Less than 10% fine                              |
| medium to fine               | mf            | Less than 10% coarse                            |
| coarse                       | c             | Less than 10% medium and fine                   |
| medium                       | m             | Less than 10% coarse and fine                   |
| fine                         | f             | Less than 10% coarse and medium                 |

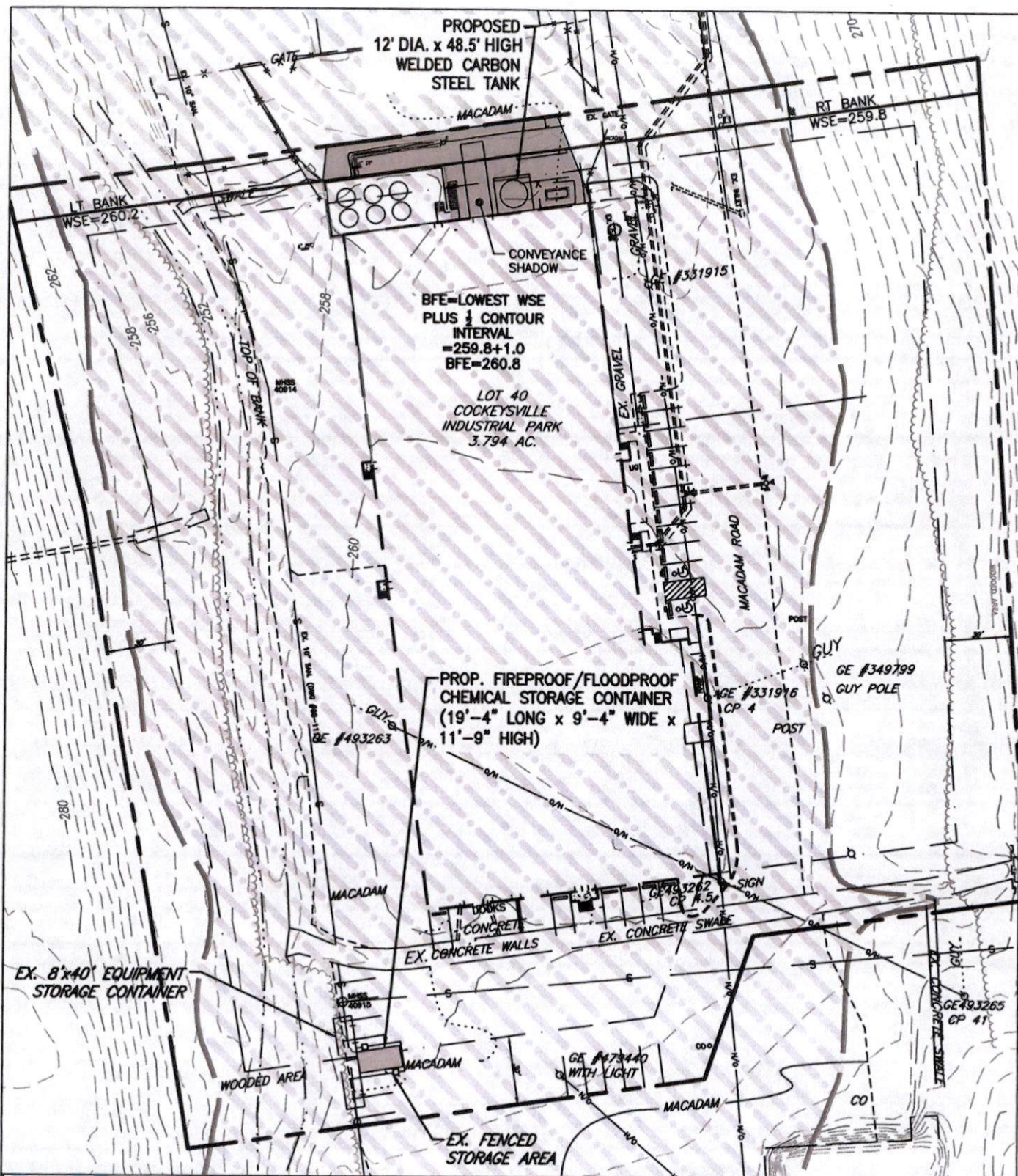




## **APPENDIX C**

### **Floodplain Exhibit**





**Hanover Office:**  
585 McAllister Street  
Hanover, PA 17331  
Ph: (717) 637-5674  
Fax: (717) 633-1987

**Westminster Office:**  
194 East Main Street  
Westminster, MD 21157  
Ph: (410) 751-8795

[www.hanoverlandservices.com](http://www.hanoverlandservices.com)

## FLOODPLAIN EXHIBIT

16 ALT ROAD  
BALTIMORE COUNTY, MARYLAND

SCALE: 1"=60'  
DATE: 01-07-19

JOB NUMBER: 8283  
SHEET DRAWING NO: 1 OF 1





engineering land ♦ designing the future

HANOVER LAND SERVICES, INC.

Land Planning ♦ Surveying ♦ Engineering ♦ Permitting

## FLOODPLAIN IMPACT ANALYSIS

# BEYNON SPORTS SURFACES

16 Alt Road  
Baltimore County, Maryland

June 29, 2020

[mrepp@hanoverlandservices.com](mailto:mrepp@hanoverlandservices.com)

### HANOVER

585 McAllister Street  
Hanover, PA 17331  
ph: 717. 637.5674  
fax: 717. 633.1987



### WESTMINSTER

194 E. Main Street  
Westminster, MD 21157  
ph: 410.751.8795

PROFESSIONAL CERTIFICATION: I CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 43203, EXPIRATION DATE 12-20-2020.

[www.hanoverlandservices.com](http://www.hanoverlandservices.com)

WBE/DBE Certified ♦ MDOT# 08-513 ♦ Baltimore City # 11-358172 ♦ PennDOT # 13426

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# 1. INTRODUCTION

## 1.1 *Objective*

This report documents the proposal of a 12-foot diameter welded carbon steel tank (silo) in addition to a fireproof/floodproof chemical storage container and was prepared to accompany a petition for a special hearing seeking a waiver. The petition is to allow the placement of a silo and a fireproof/floodproof container within the 100-year floodplain in addition to allowing both proposed structures to be located within the minimum required setback area.

## 1.2 *Description of Project*

The project is located at 16 Alternate Road, Hunt Valley, MD. A 12-foot diameter silo is proposed on the northside of the building between an existing chiller and dumpster. The location of the proposed silo was chosen in order to eliminate floodplain impacts and still serve its intended purpose. The silo will be positioned within the conveyance shadow of the building, and therefore, will not impact the base flood elevation. (The conveyance shadow is discussed in more detail later in the report)

In addition to the tank, a 9'-4" x 19'-4" flammable/floodproof container is proposed to replace the existing fenced area currently utilized for chemical storage.

The proposed container will improve conditions during a flooding event by eliminating the risk of contamination. Hazardous chemicals will be stored in the proposed floodproof container rather than within the fenced area where flood waters can reach the barrels. Additionally, the existing fencing, which currently traps debris during a flooding event will be removed, adding to the benefits of the proposed container.



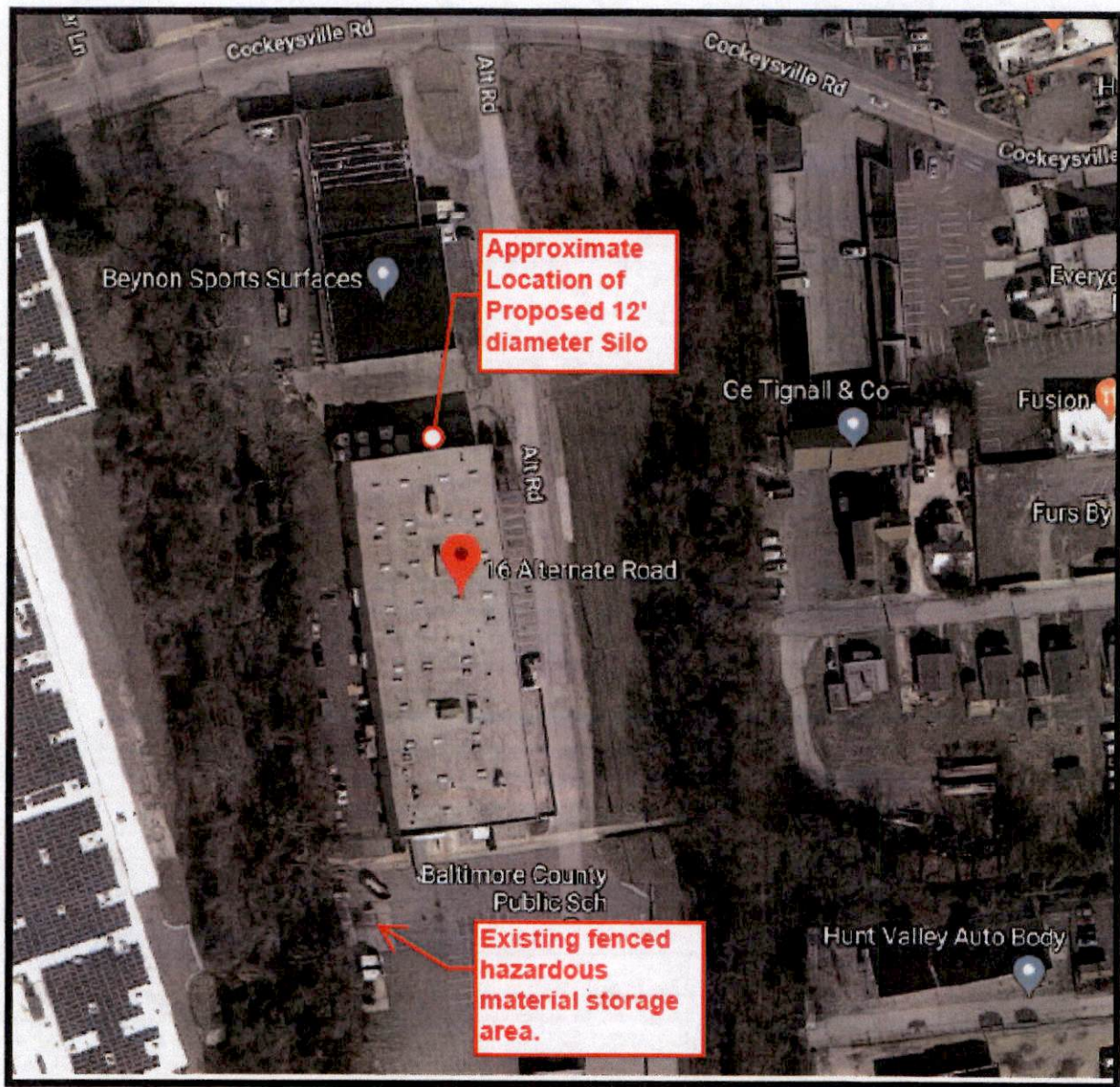


Figure 1 – Location Map



### 1.3 Soils and Land Uses

The existing land use/cover within the site area consists primarily of impervious area associated with the existing industrial use of the property.

Based on the latest Web Soil Survey data for Baltimore County prepared by the USDA Natural Resources Conservation Service (NRCS), the soil classification is Ur, urban land 0 to 8 percent slopes, which is classified as Hydrologic Soil Group D. Figure 2 illustrates the approximate site area and soils.

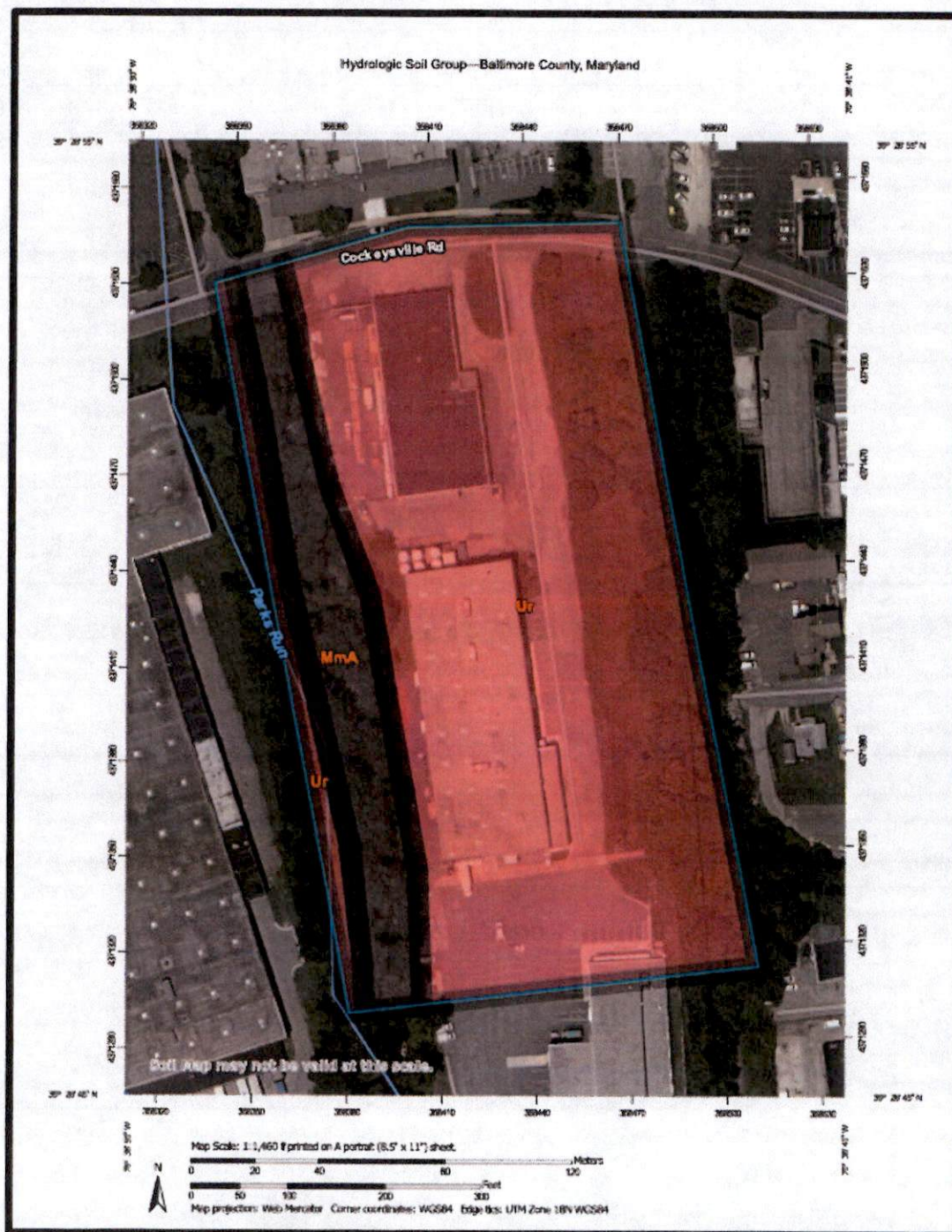


Figure 2 - Soil Map



#### 1.4 MD Stream Use Designation and Wetlands

The project is located within the Loch Raven Reservoir Watershed (MD 8 Digit Watershed 02-13-05-05). Parks Run flows from south to north adjacent to the site into Beaverdam Run. The drainage area for the entire project site is designated as MD Stream Use III-P.

There are no wetlands or Waters of the U.S. within the project area.

#### 1.5 100-Year Floodplain and Chesapeake Bay Critical Area

The project site is located within a FEMA Zone A per FIRM Panel 2400100235F, Revised September 26, 2008. Figure 3 illustrates the Flood Risk Map per [www.mdfloodmaps.org](http://www.mdfloodmaps.org).

**Flood Risk Map**

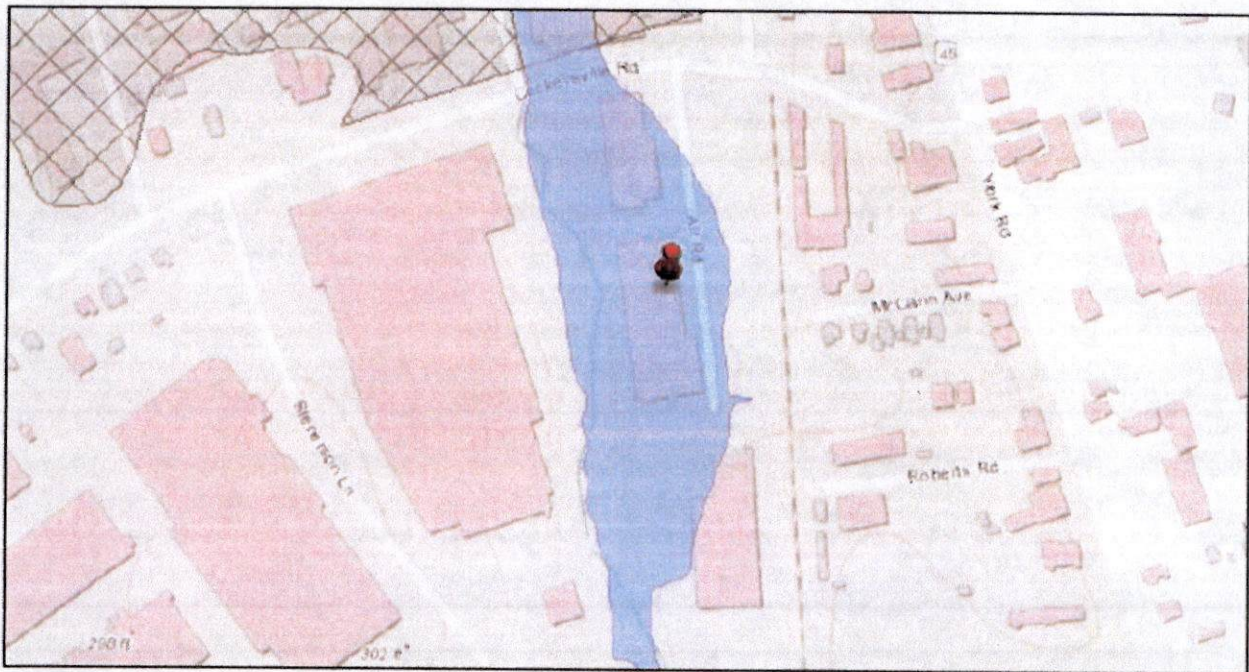


Figure 3 – Flood Risk Map



## 2. PROJECT DETAILS

### 2.1 Proposed Silo

#### Details

In order to eliminate impacts to the FEMA Floodplain, the silo is proposed to be located within the conveyance shadow (discussed later) of the existing building in addition to being elevated a minimum of 1.0' above the BFE (base flood elevation).

The proposed silo will be constructed from welded carbon steel. It will have an outside diameter of 12-feet and a height of 48.5-feet and be elevated a minimum of 1.0' above the BFE by a four-leg support, braced on four sides and supported by an engineered foundation.

#### BFE Determination

The BFE was computed using the simplified method of contour interpolation as outlined in the FEMA Publication *Managing Floodplain Development in Approximate Zone A Areas: A Guide for Obtaining and Developing Base (100-Year) Flood Elevations*. Excerpt from this publication is shown below:

#### Determining BFEs for Riverine flooding:

On each side of the stream in the vicinity of the site, determine the ground elevation at which the superimposed Zone A boundary lies by interpolating between two contour lines. Add one-half of the map contour interval to the lower of the two interpolated elevations. This is the approximate BFE for the site (be sure to perform this method at each structure location).

By adding one-half of the contour interval to the lowest interpolated water-surface elevation, two things are achieved: 1) the final BFE is within one-half of the contour interval of both interpolated water-surface elevations and, therefore, is still within the acceptable tolerance of the topographic map (generally regarded as  $\pm$  one-half of the map contour interval); 2) it is a conservative estimate of the BFE. If the BFE determined under this procedure seems too high, then a detailed analysis may be performed to justify lowering it.

The effective FIRM shown overlaid on current county topo was utilized to determine the right and left overbank water surface elevations at the upstream location of the proposed tower. These elevations must be within one-half of the map contour interval (1.0-foot) in order for the simplified method to be acceptable. The elevations were determined to be 260.2 for the left overbank and 259.8 for the right overbank. The difference of 0.4' is less than half the contour interval, thereby meeting the requirements to utilize this method.

The BFE was then determined by adding one-half the contour interval (1.0-feet) to the lower of the two elevations, 259.8, resulting in a final BFE determination of 260.8. The tower will therefore be required to be elevated to a minimum elevation of 261.8.



Figure 4, located in the following section, shows the topographic map utilized to determine the BFE.

### Silo Placement

The silo will be located within the conveyance shadow of the existing building. The conveyance shadow is an area immediately above or below a building or other obstruction around which flood waters must flow. Below obstructions, this area is defined by a line drawn at a 4:1 ratio from each outside edge of the obstruction until they intersect. The resulting area is an area subject to ineffective flow where flood waters are not being actively conveyed downstream. Minor projects located within this area will not obstruct the flow of floodwaters, and therefore, will not impact the BFE.

The conveyance shadow was determined utilizing guidelines published by FEMA titled: *Managing Floodplain Development Through the National Flood Insurance Program, Unit 5*. The excerpt below can be found on pages 5-23 & 5-24 of said guidelines.

**Minor projects:** Some projects are too small to warrant an engineering study and the certification. Many of these can be determined with logic: a sign post or telephone pole will not block flood flows. A driveway, road or parking lot at grade (without any filling) won't cause a problem, either.

Building additions, accessory buildings, and similar small projects can be located in the conveyance shadow. This is the area upstream and downstream of an existing building or other obstruction to flood flows. Flood water is already flowing around the larger obstruction, so the addition of a new structure will not change existing flood flow.

NFIP Requirements

5-23

Determining the limits of the conveyance shadow is illustrated in Figure 5-6. Small structures located completely within the shadow can be permitted without the engineering analysis needed for a no-rise certification.

*Note: Just because a small structure can be located in the conveyance shadow, it is still preferable to keep all development out of the floodway. Don't forget: all buildings must be elevated or otherwise protected from the base flood.*

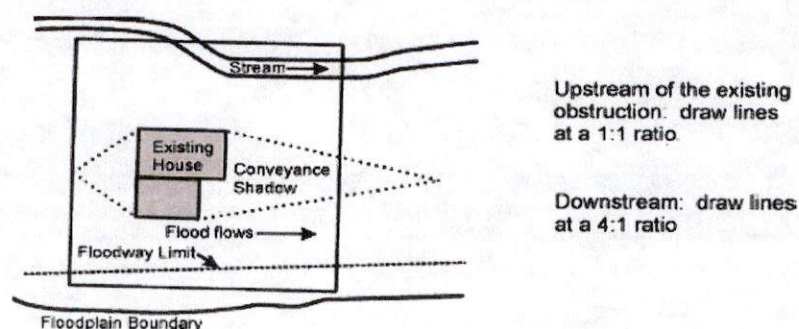


Figure 5-6. Determining the conveyance shadow



The conveyance shadow was determined by drawing a line at a 4:1 ratio from the right corner of the building and from the corner of the containment area on the left side of the building.

The exhibit shown below illustrates both the conveyance shadow and the BFE determination.

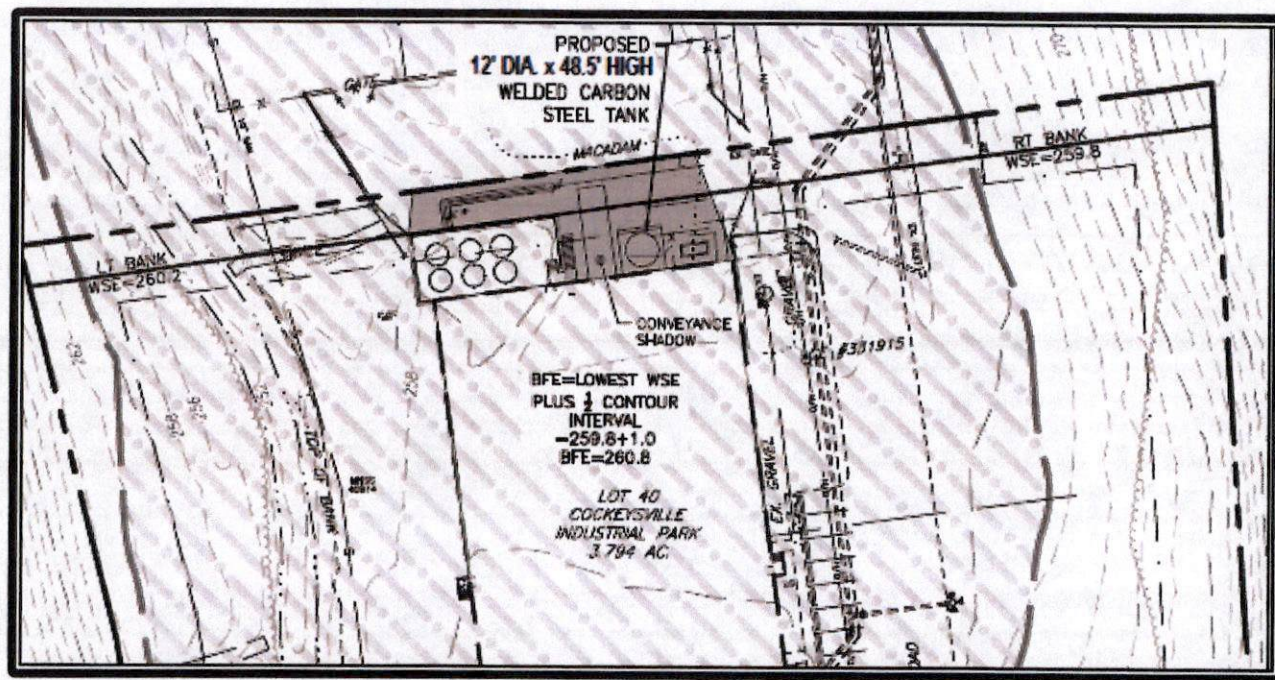


Figure 4 - Conveyance Shadow and BFE Determination

### Certifications

Certifications are included in Appendix B from both Imperial Industries Inc. (Young Industries) for the silo and Providence Engineering Corp for the foundation/support design certifying that each will be able to withstand flooding conditions.



## 2.2 Proposed Chemical Storage Container

The proposed fireproof/floodproof chemical storage container will replace the existing fenced storage area which currently obstructs flood waters. Therefore, there will be no floodplain impact as a result of its installation. More importantly, site conditions relative to flooding events will be improved by replacing the fenced storage area with a permanent floodproof container. Thereby eliminating the likelihood of contamination of flood waters and eliminating undesirable fencing which traps debris.

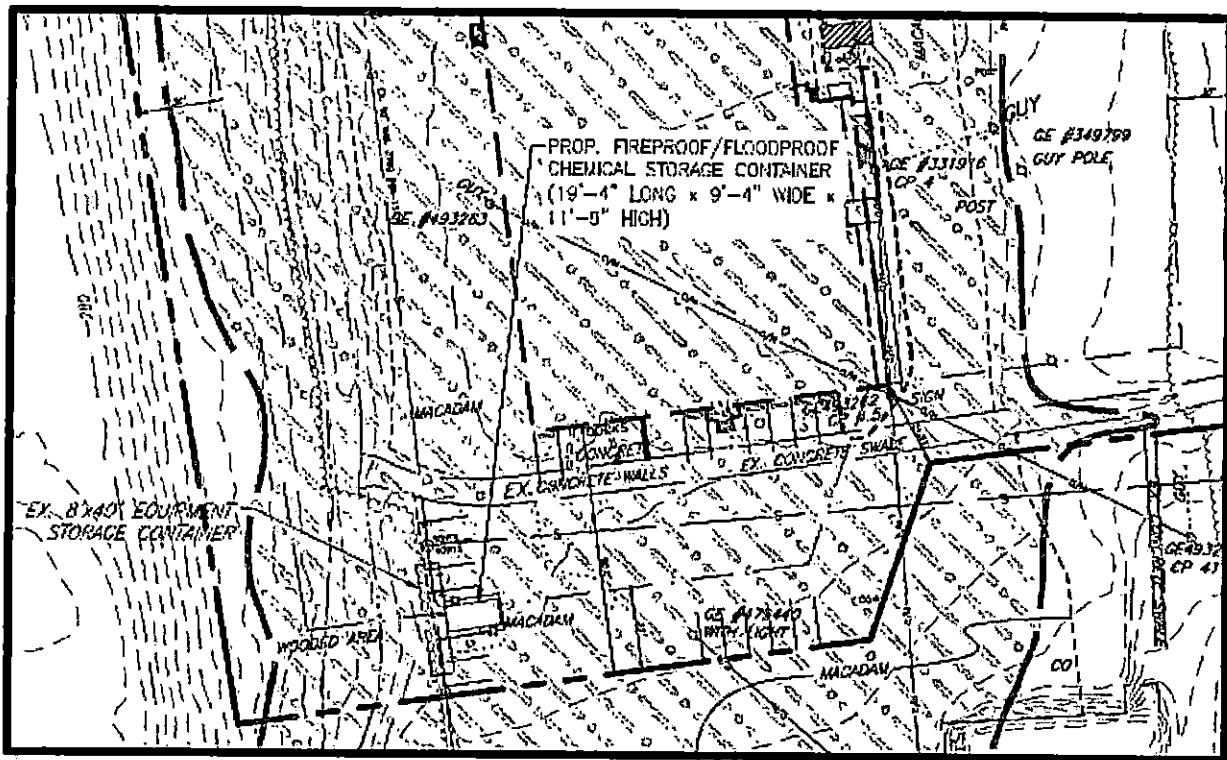


Figure 5 - Proposed storage container location

## 3. ZONING HEARING PETITION

### 3.1 Special Hearing

A Special Hearing will be required to allow new construction within the regulated 100-year FEMA floodplain. The proposed silo location was selected because it is within the conveyance shadow, and therefore, will not impact the base flood elevation. Justification to support the petition will include the original proposed location of the tank, the alternative locations reviewed and explanations as to why those alternative locations were or were not feasible (located in Appendix A). The current proposed location was one of the alternative locations considered.

The proposed chemical storage container will replace the existing fenced storage area which currently obstructs flood waters. Justification to support the petition will include how the proposed floodproof container will not impact the BFE and will improve conditions during a flooding event.

### 3.2 Setback Variance

The Subject property is located within ML-IM zoning district for which the side setback requirement is 30-feet. There is only 39-feet available from the existing building to the property line on the north side of the building where the silo is proposed to be located. Therefore, a variance will be required to allow the silo to be placed partially within the setback area. The justification to support the request will include the benefits of locating the silo as shown on the proposed plans compared to the only other feasible locations which would be located within the effective flow area of the floodplain and possibly negatively impacting the base flood elevation.

A Variance will also be required for the proposed storage container to be located within the side setback area. Justification to support the request will include discussion of the existing fenced area and the benefits of replacing this area with a floodproof container to be located in the same location. Due to garage doors on the existing equipment storage container, the proposed container cannot be located further north, outside of the setback area.

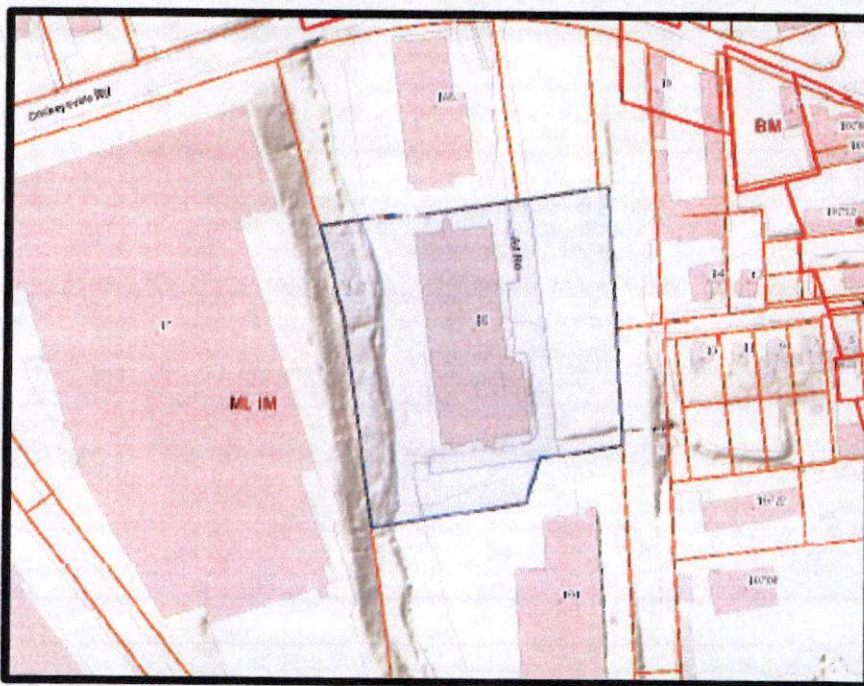


Figure 6 - Zoning Map

## 4. CONCLUSIONS

By utilizing guidance documents published by FEMA, the BFE was determined for the location of the proposed silo. The silo is proposed to be located within the conveyance shadow of the existing building in order to eliminate any negative impacts to the 100-year regulated floodplain. Additionally, it will be elevated a minimum of 1.0' above the base flood elevation as required.

Per guidelines published by FEMA titled: Managing Floodplain Development Through the National Flood Insurance Program, Unit 5, minor projects located within the conveyance shadow will not change the existing flood flow and therefore do not warrant an engineered study. The limits of the conveyance shadow were determined utilizing these guidelines and the proposed silo located within this area.

It can therefore be concluded that the proposed location of the silo will not negatively impact the regulated 100-year floodplain.

Additionally, the proposed fireproof/floodproof container will improve conditions within the 100-year floodplain by eliminating the risk of contamination during a flooding event while also eliminating undesirable fencing that traps debris. By locating the proposed container in the same location of the existing fenced area, the impact to the regulated 100-year floodplain will be eliminated.



## **APPENDIX A**

### **Alternative Silo Location Analysis**



OPERATIONAL  
SUPPORT EXPERIENCE

#### Dry Holding Tank/Tower Response – Response to Alternative Locations

**Option 1** – Not a good location. There are actually a total of six tanks containing polyols and/or castor oil, all vegetable based oils. There is NOT sufficient room within the existing containment area to install the new tower. The existing tanks contain liquids and must be located within the secondary containment structure. We have a Spill Prevention Control and Countermeasures (SPOC) Plan which defines what controls and processes we have in place to prevent a leak. The containment area must be able to contain 110% of the volume of one of the tanks in the event of a tank failure. If there was space to build the tower in the containment area, that would reduce the overall storage capacity of the containment structure.

**Option 2** – Yes, this is a suitable and desirable location as long as the tower is constructed on the western-most portion of the highlighted area (Closest to Option #3 - Red Dot). This area contains a Spill Berm with a flow control valve that is designed to contain the volume of the largest compartment of the tanker trucks that drop off polyols on a daily basis. The spill berm is listed as spill control device in our SPOC Plan. If constructed in this location, the tower would need to be elevated in order to allow normal storm water flow. In fact, this area is subject to heavy sediment deposits after rain events. As part of the construction planning, we would attempt to implement a control or a feature that would allow for better drainage limiting the sediment buildup. This location is in close proximity to where the stored materials will be utilized inside the building and would require the minimal amount of piping to move the stored materials to our blenders and mixers located in the northwestern corner of our building. **UPDATE: There may not be sufficient room for the proposed foundation for the silo at this location.**

**Option 3** – Yes, this is a suitable location. The tower would be constructed as close to the containment berm and containment wall as possible based upon the recommendations of the engineers and installers. To address Option B, yes we plan to place the tower on an elevated surface to allow normal storm water flow and to protect it from potential flood waters. Our building is constructed in a flood plain. This location is in close proximity to where the stored materials will be utilized inside the building and will require the minimal amount of piping to move the stored materials to our blenders and mixers located in the northwestern corner of our building. Unlike Option 2, this area is currently NOT paved and serves as a vegetative buffer for storm water pollution control. Constructing the tower here would destroy a portion of the buffer and create additional impermeable surfaces in close proximity to the adjacent stream.

**Option 4** - Not a good location. There is a parking area in this location. It was constructed using permeable pavement materials to limit runoff that could pollute the stream on the western portion of our property. Additionally, if installed here, we would need to construct an elaborate piping system to move the materials to our blenders and mixers located in the corner of the building where we have proposed installing the tower. In addition to significantly increasing the cost of the project, this would also increase the risk of a release of the material in the event of a pipe failure. Additionally, this area is unpaved and identified as a vegetative buffer in our Storm Water Pollution Prevention Plan, a requirement of our NPDES Permit.

**Option 5** - Not a good location. There are transfer ports in this location where tanker trucks drop off polyols that are stored in tanks inside of our building along the eastern wall and where tanker trucks pick up finished materials that are shipped weekly to one of our affiliate companies. Also, our chillers and the electric transformer are located in this area. This area includes a few trees and grass that help control storm water runoff.

**Option 6** - Not a good location. This area is at the opposite end of the property from where the materials stored in the tower will be used. This area is also the location of our two loading docks. During our peak season, we have close to 20 tractor trailers either picking up finished products, or dropping off raw materials. As it stands now, the trucks have a difficult time accessing the loading docks.

**Option 7** - Not a good location. This area is at the opposite end of the property from where the materials stored in the tower will be used. There is a large storm water culvert in this area that channels all of the storm water from York Road and the adjacent Baltimore County Schools Facility. During a heavy rain event, this culvert becomes a "river." Additionally, this area is unpaved and identified as a vegetative buffer in our Storm Water Pollution Prevention Plan.



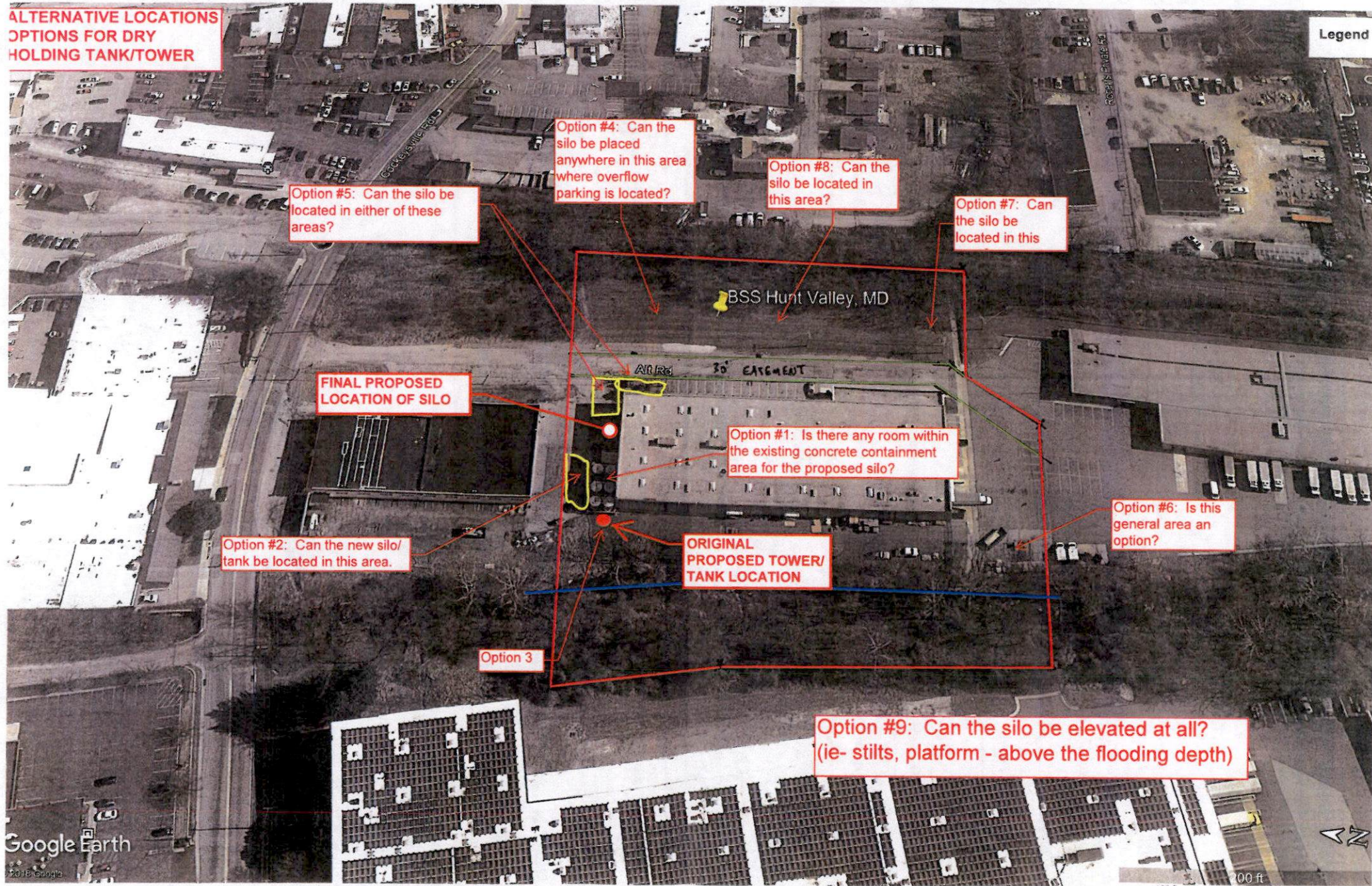
**Option 8 -** Not a good location. This area is at the opposite end of the property from where the materials stored in the tower will be used. Additionally, this area is unpaved and identified as a vegetative buffer in our Storm Water Pollution Prevention Plan.

**Option 9 -** As indicated in the response to Option 3, yes, we plan to place the tower on an elevated surface to allow normal storm water flow and to protect it from potential flood waters. Our building is constructed in a flood plain.



**ALTERNATIVE LOCATIONS  
OPTIONS FOR DRY  
HOLDING TANK/TOWER**

Legend





## **APPENDIX B**

### **Silo Design & Certification Letters**



**IMPERIAL  
INDUSTRIES INC**

P.O. Box 1685  
Wausau, WI 54402-1685  
Phone: 715-359-0200  
Toll Free: 800-558-2945

E-Mail: [Joshua@imperialind.com](mailto:Joshua@imperialind.com)  
Website: <http://www.imperialind.com>

Young Industries  
16 PAINTER STREET  
MUNCY, PA 17756  
UNITED STATES  
c/o Anthony Boroch

Anthony,

This letter is to acknowledge that the silo being quoted to you by Imperial Industries, INC. under quote number 109378-02, and that is intended to be erected in Hunt Valley, MD, will be designed and fabricated such that it will resist the forces present during a flood event.

If you have any questions or would like to further discuss this requirement, please feel free to contact me.

Regards,



**IMPERIAL  
INDUSTRIES INC**

**Troy Hanson**

*Engineering Manager*

P: (715) 348-8702 | T: (800) 558-2945

C: (715) 297-8232 | F: (715) 355-5349

email: [troy@imperialind.com](mailto:troy@imperialind.com)

web: [www.imperialind.com](http://www.imperialind.com)

550 W Industrial Park Ave. | Rothschild, WI 54474





## DESIGN CRITERIA

Support Column Wide Flange Supported, Allowable Stress from manufacturing standard, Engineering & Design Per ES-1000

### Tank Dimensions

Tank Diameter: 12'-0"  
Eave Height: 47'-6"  
Overall Height: 48'-6 11/16"  
Cylinder Height: 28'-4 3/4"  
  
Usable Capacity: 3,211 Cu. Ft.  
Hopper Angle: 60°  
Discharge Size(Conical): Ø4'-0"  
Discharge Clearance: 12'-0"  
Interior Design Pressure: 0.50 PSI  
Exterior Design Pressure: 0.03 PSI Vacuum

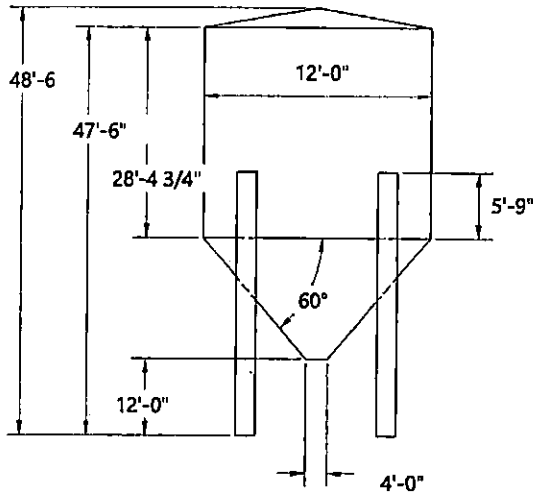
### Tank Loads

Code Name: IBC 2018  
Risk Category: Risk Category II  
Seismic Importance Factor: 1.00  
Soil Class: D  
Roof Load (Snow Load): 30.00 PSF  
Wind Speed: 110.00 MPH  
Wind Exposure: C  
Tank Weight (Dead Load): 14,100 Lbs.  
Material Load (Live Load): 144,488 Lbs.  
SS: 0.149 S1: 0.044  
Unbraced Length: 1'-0"

### Material Characteristics

Material Name: Calcium Carbonate (45) (45)  
Density: 45.00 Lbs. per Cu. Ft. Angle of Repose: 45°  
Internal Friction: 22° Pressure Coefficient: 0.33  
Freeboard Height: 0'-0"

Need MTRs: No



|                     |            |                  |
|---------------------|------------|------------------|
| Roof 10°            |            | 3/16" A36        |
| Cylinder 1          | 29'-1 7/8" | 3/16" A-36       |
| Hopper 60°          |            | 3/16" A36        |
| Legged Material     |            | A36 Carbon Steel |
| Base Plate Material |            | A36 Carbon Steel |

### STANDARD ACCESSORIES

- Lifting Lugs Included
- (2) 9/16" Holes in Support for Grounding per NFPA 780, Grounding Rods and Connectors By Others
- All Fasteners To Be ASTM A-449 With Electro/Zinc Finish Per ASTM B-633
- Anchor Bolts Are Not Included

### WELDING & GRINDING STANDARDS

- Welding Class 2 Per ES-500
- Interior Grinding Class 1 per ES-520
- Exterior Grinding Class 1 per ES-520

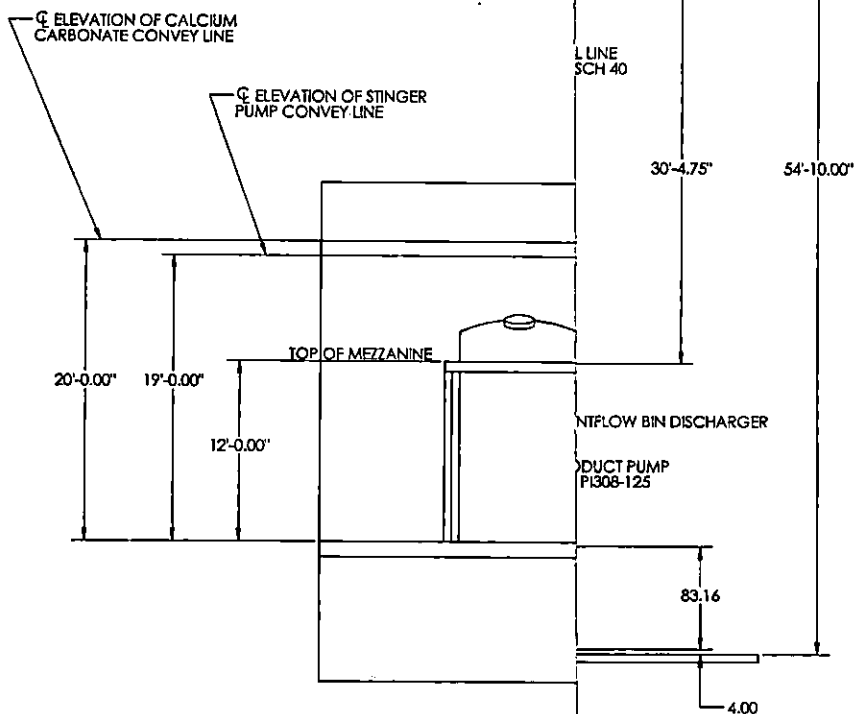
### CLEANING & FINISHING STANDARDS

- Interior Cleaning Class 0 per ES-510
- Interior Finish - Plain
- Exterior Cleaning Class 1 per ES-510
- Exterior Finish - Grit Blasted Per SSPC-SP6 (Commercial Blast)

### INSPECTION STANDARDS

- Manufacturing Tolerances Per ES-531
- Inspection 100% Visual Per IMP-111

The Above Standards And Accessories Are Included In The Base Tank Assembly. Upgrades And Additional Accessories For Your Application Are As Follows



|                                                                                               |             |                |    |
|-----------------------------------------------------------------------------------------------|-------------|----------------|----|
| REV. NO.                                                                                      | DESCRIPTION | DATE           | BY |
| REVISIONS                                                                                     |             |                |    |
| CUSTOMER:                                                                                     |             |                |    |
| CUSTOMER PO NUMBER:                                                                           |             |                |    |
| YOUNG JOB NUMBER:                                                                             |             |                |    |
| TITLE                                                                                         |             |                |    |
| ELEVATION VIEW<br>CALCIUM CARBONATE SILO SYSTEM<br>&<br>FILTER BAG DUMP / STINGER PUMP SYSTEM |             |                |    |
|          |             |                |    |
| INDUSTRIES, INC.<br>MUNCY, PENNSYLVANIA 17756<br>TELEPHONE: 717-564-3143                      |             |                |    |
| DRAWN BY: AEB                                                                                 |             | DATE: 03/27/20 |    |
| CHECKED BY:                                                                                   |             | SCALE: 1:75    |    |
| DRAWING NUMBER                                                                                |             | REV:           |    |
| S-19-0448-03                                                                                  |             | SHEET 1 OF 1   |    |
|                                                                                               |             | 00             |    |

GENERAL TOLERANCES

UNLESS OTHERWISE SPECIFIED THE FOLLOWING SHALL APPLY

MACHINING - 30° 62 300° 603 ANGLE .50°  
SURFACE ROUGHNESS HEIGHT 63 MICROINCHES OR LESS

FABRICATION - UNDER 6 6 TO 24 24 TO 40 OVER 40  
± .06 ± .12 ± .19 ± .25

UNLESS OTHERWISE SPECIFIED DIMENSIONS ARE IN INCHES



March 26, 2020

Beynon Sports Surfaces  
16 Alt Road  
Hunt Valley, MD 21030  
Attn: Elsie Dare

Re: Calcium Carbonate Silo Foundation – Flood Design Confirmation  
Beynon Sports Surfaces  
16 Alt Road  
Hunt Valley, MD 21030  
Project #200437

Dear Elsie:

Per your request, Providence Engineering Corporation (Providence) is confirming that the design of the calcium carbonate silo foundation, as detailed on Providence's "Issued for Construction" drawings dated 03/24/20, takes into account all flood loads required by ASCE 7-10 (American Society of Civil Engineers Minimum Design Loads for Buildings and Other Structures).

Per Hanover Land Services, the proposed silo foundation is located in the conveyance shadow of the building and therefore is reasonably subjected to reduced, even negligible, hydrodynamic and impact loads, in addition to the required hydrostatic loads. Hydrodynamic loads are directly related to the water velocity and in the conveyance shadow water velocities will be greatly reduced. Thus, Providence found that the required hydrodynamic load on the foundation is negligible. Similarly, impact loads are directly affected by the water velocity, as well as a host of other factors including a "blockage coefficient". With the building blocking the flow of water and in turn flood debris, and with the silo location with respect to the building, the required impact load was found by Providence to be zero (0).

Geometry was the main controlling factor behind the design of the piers and mat foundation. As such, the piers and mat foundation are more than capable of safely supporting the silo during the design flood event.

We appreciate the opportunity to be of service to you. If you need any further information or have any questions, please contact us.

Sincerely,

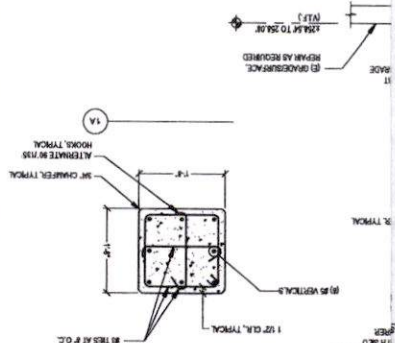
A handwritten signature in black ink, appearing to read 'James E. Horting', written over a light blue horizontal line.

James E. Horting, P.E.  
Senior Project Manager





**BEYNON SPORTS SURFACES**



of 72 patients by reviewing (a) the type of the operation of this place, in which we had obtained permission of the Ministry of Health, and (b) the type of the operation of the patients' hospital (see Table 1).

[illegible]

## GENERAL STRUCTURAL NOTES

**CALCIUM CARBONATE SILO  
BEYNON SPORTS SURFACES  
BALTIMORE COUNTY, MARYLAND**

**HERBST/BENSON & ASSOCIATES  
GEOTECHNICAL ENGINEERS**

December 9, 2019

Hanover Land Services  
585 McAllister Street  
Hanover, Pennsylvania 17331

Attention: Mr. Doug Barmoy

Re: Calcium Carbonate Silo  
Beynon Sports Surfaces  
Baltimore County, Maryland

Gentlemen:

We have completed our geotechnical study for the proposed calcium carbonate silo. The purpose of the study has been to determine geotechnical design criteria and construction recommendations for the proposed silo foundation. The methods of explorations and tests, the subsurface data, the laboratory test results, and our conclusions and recommendations concerning the above-noted geotechnical aspects of the proposed construction are presented in the following sections of the report.

I. SUBSURFACE EXPLORATORY PROGRAM

The subsurface exploratory program consisted of one standard penetration test (SPT) boring, B-1, located as shown on PLATE 1, BORING LOCATION PLAN AND PROFILE. The boring was drilled with a truck-mounted drilling rig using continuous flight, helical augers to advance the borehole to the planned termination depth of 25 feet. Standard penetration testing and split spoon soil sampling were performed at regular intervals as the boring was advanced.

The information obtained from the boring is presented on PLATE 1. The method of classification used to prepare the soil descriptions for the boring profile is shown on CLASSIFICATION OF SOILS included in the back of this report.

II. LABORATORY TESTING

A sample of the upper founding soil was classified by sieve gradation and Atterberg limits testing. Moisture content testing was performed on all recovered soil samples. The test results are presented as follows:



TABLE 1, CLASSIFICATION TEST DATA  
PLATE 1, BORING LOCATION PLAN AND PROFILE  
(existing moistures in brackets on left side of boring column at appropriate sample depth)

III. SITE DESCRIPTION

The project site is the existing Beynon Sports Surface manufacturing facility located off the end of Alt Road in the Hunt Valley area of northern Baltimore County. The new storage silo will be located in the flat paved area along the back of the building close to the northeast building corner.

IV. SITE GEOLOGY

The Geologic Map of the Cockeysville Quadrangle, Maryland compiled by the Maryland Geological Survey in 1975 shows the project area to be underlain by the Cockeysville Marble bedrock formation. The soils in this area are residual in origin, having been formed from in-place weathering and decomposition of the underlying bedrock formation. A characteristic of the formation is pinnacle bedrock weathering, where the depth to bedrock can vary greatly over relatively short horizontal distances.

V. SUBSURFACE MATERIAL

The paving at the boring location was found to consist of 3 inches of hot-mix asphalt over 10 inches of crushed stone base. No fill was evident below the paving.

The soil below the pavement is a 2-foot thick stratum of gray-brown, stiff, moist, low plasticity silt & clay with nearly equal sand content (ML), overlying a similarly colored layer of medium dense, very moist to wet sand with rock fragments (SM) to a depth of about 9 feet. From the 9-foot depth to the bottom of the boring, light gray and tan, very dense, wet sand and rock fragments (SM) are penetrated with difficulty. The (Decomposed Rock) designation on the boring profile indicates that the residual relict structure of the parent marble bedrock mass can be observed in the recovered soil samples.

VI. GROUNDWATER

While drilling, groundwater was noted on the drill rod about 4 to 5 feet deep, but the water surface in the borehole was 1.7 feet below grade at completion of drilling and one day later. Additionally, the recovered soil samples were very moist at a depth of 4 feet and wet below the 6-foot depth.

It is possible, but not a certainty, that the groundwater is under excess hydrostatic pressure in the light colored sand and rock fragment layer confined by the upper finer-grained soil. When the confining layer is penetrated, the water flows up through the hole to reach equilibrium.

These readings represent conditions at the time of the test boring program. Groundwater levels will tend to vary with changes in precipitation, typically rising during the late winter, spring and early summer seasons, and receding through the remainder of the year.

#### VII. PROPOSED CONSTRUCTION

The calcium carbonate storage silo will be 46 feet tall and 12 feet in diameter supported by four braced legs or columns on a 16-foot square concrete mat foundation. Information from the tank supplier states that the tank structure plus a full silo of product weighs about 295,000 pounds. On the planned mat foundation the resulting applied pressure will be a 1,200 PSF.

#### VIII. SILO SUPPORT RECOMMENDATIONS

The boring information shows that the planned mat foundation will be adequately supported in the undisturbed native soil at or below the 30-inch frost depth required by local code. The mat foundation grade should match the grade of the adjacent building wall footing, but the new foundation should be isolated from the building foundation by a construction joint. There could be challenges to foundation construction depending on the actual groundwater conditions in the foundation excavation (see Section VI).

During initial excavation, the extent of required groundwater control can be evaluated. Heavy flow would require a series of shallow trenches and pits with pumps likely will be needed to control groundwater. If the groundwater is a confined artesian condition and the water bearing layer is not penetrated, less extensive control methods may be adequate.

The foundation excavation should be deepened an additional 3 inches below planned bottom-of-mat elevation. Once a firm, stable surface is obtained in undisturbed native soil and the soil is tested for adequate bearing, a 3-inch thick concrete "mud" mat should be placed across the bottom of the excavation. This non-structural concrete mat will allow placement and tying of steel reinforcement without disturbing and compromising the strength of the founding soils.

**IX. EXCAVATION CHARACTERISTICS**

The boring shows that the mat excavation can be completed with normal soil excavation techniques. Groundwater could be an issue in construction as described in the previous sections of the report.

**X. GEOTECHNICAL MONITORING AND TESTING**

We recommend that Herbst/Benson & Associates be retained to provide the geotechnical monitoring and testing services during foundation construction. This is to observe compliance with design concepts, specifications or recommendations and to allow design changes in the event that subsurface conditions differ from those anticipated prior to the start of construction.

Prior to construction a mud mat, the open foundation excavation shall be examined and the exposed soil conditions approved for a design bearing pressure of at least 2,000 PSF in undisturbed native soils. The in-place steel reinforcement should be checked for compliance with the approved design and the concrete placement observed with testing performed to check compliance to the design requirements. We can provide the indicated construction phase services along with on-call geotechnical engineering consultation services as needed during construction.

**XI. GENERAL CONDITIONS**

This report has been prepared in accordance with generally accepted geotechnical engineering practice to aid in the evaluation and design of this project. In the event of changes in the proposed construction (types, elevations, locations, etc.), the conclusions and recommendations presented in this report should not be considered valid unless changes are reviewed and the conclusions of this report are modified or approved in writing by our office.

The analyses and recommendations included in this report are based upon the data obtained from the test boring performed at the approximate location indicated on the boring location plan. This report does not reflect variations which may occur away from the boring. The nature and extent of the variations may not become evident until the time of construction. If significant variations then become evident, it may be necessary for us to reevaluate the recommendations of this report.

In the process of obtaining and testing samples and preparing this report, procedures were followed that represent reasonable and accepted practice in the field of geotechnical engineering. Specifically, a field log was prepared during



the drilling operations that describe visual soil classifications, soil stratification, groundwater observations, and other information. Each soil sample obtained in the field was returned to our office to be examined and classified by trained personnel. Selected samples were subjected to laboratory classification testing. Accordingly, differences exist between the field boring log and the final log which reflect the results of laboratory tests and the classifications by trained personnel. The final log developed from the classifications and laboratory data was used to prepare the boring information indicated on the boring profile. The recommendations in this report have been based upon the content of the final boring and laboratory test information.

We appreciate the opportunity to provide a geotechnical study for the proposed calcium carbonate silo. We will be available to provide additional consultation as needed, and hope to have the opportunity to follow the project through construction by providing geotechnical monitoring and testing services. Please do not hesitate to contact us should you, the owner, or the other consultants have any comments or questions.

Most Sincerely,

HERBST/BENSON & ASSOCIATES



Robert C. Benson  
cn=Robert C. Benson, o=Herbst/  
Benson Associates, Inc., ou,  
email=bensonr@herbst-benson.  
com, c=US  
2019.12.16 17:34:29 -05'00'

By: Robert C. Benson, P.E.  
Principal

RCB  
19072MD

CALCIUM CARBONATE SILO  
BEYNON SPORTS SURFACES  
BALTIMORE COUNTY, MARYLAND  
19072MD

DECEMBER 2019

TABLE 1

CLASSIFICATION TEST DATA

| <u>Sieve/Particle Size</u>          | <u>% by Weight Passing Indicated Size</u> |
|-------------------------------------|-------------------------------------------|
|                                     | <u>B-1</u><br><u>(3.5'-5.0')</u>          |
| 1"                                  | 100                                       |
| 3/4"                                | 91                                        |
| 1/2"                                | 85                                        |
| 3/8"                                | 83                                        |
| #4                                  | 74                                        |
| #10                                 | 66                                        |
| #40                                 | 47                                        |
| #60                                 | 33                                        |
| #200                                | 16                                        |
| <u>Atterberg Limits</u>             |                                           |
| Liquid Limit (LL)                   | 34                                        |
| Plasticity Index (PI)               | NP                                        |
| <u>Classification</u>               |                                           |
| Unified                             | SM                                        |
| AASHTO                              | A-1-b(0)                                  |
| <u>Natural Moisture Content (%)</u> | 23.4                                      |

# **CLASSIFICATION OF SOILS**

The soil descriptions on the boring profiles are in accordance with the criteria outlined below. The principal constituents are written in capital letters with other constituents preceded by descriptive terminology used to denote the percentages by weight of each component. The soil descriptions are based upon visual examinations except where laboratory gradation and Atterberg limits tests are available.

## **Descriptive Terms Denoting Component Proportions**

| <b>Descriptive Terms</b> | <b>Range of Proportion</b> |
|--------------------------|----------------------------|
| Trace                    | 1 - 10%                    |
| Little                   | 10 - 20%                   |
| Some                     | 20 - 35%                   |
| And                      | 35 - 50%                   |

## **Component Definitions by Gradation**

| <b>Soil Component</b>                                               |        | <b>Sieve Limits</b> |                  |
|---------------------------------------------------------------------|--------|---------------------|------------------|
|                                                                     |        | <b>Upper</b>        | <b>Lower</b>     |
| *GRAVEL/<br>ROCK FRAGS                                              | Coarse | 3 in.               | 1 in.            |
|                                                                     | Medium | 1 in.               | 3/8 in.          |
|                                                                     | Fine   | 3/8 in.             | No. 10 (2.0mm)   |
| SAND                                                                | Coarse | No. 10 (2.0mm)      | No. 30 (0.590mm) |
|                                                                     | Medium | No. 30 (0.590mm)    | No. 60 (0.250mm) |
|                                                                     | Fine   | No. 60 (0.250mm)    | No. 200(0.074mm) |
| SILT, CLAY and COLLOIDS:<br>(fines defined by degree of plasticity) |        | No. 200 (0.074mm)   |                  |

\*This component is classified as "GRAVEL" in sedimentary soils and as "ROCK FRAGS" in residual soils.

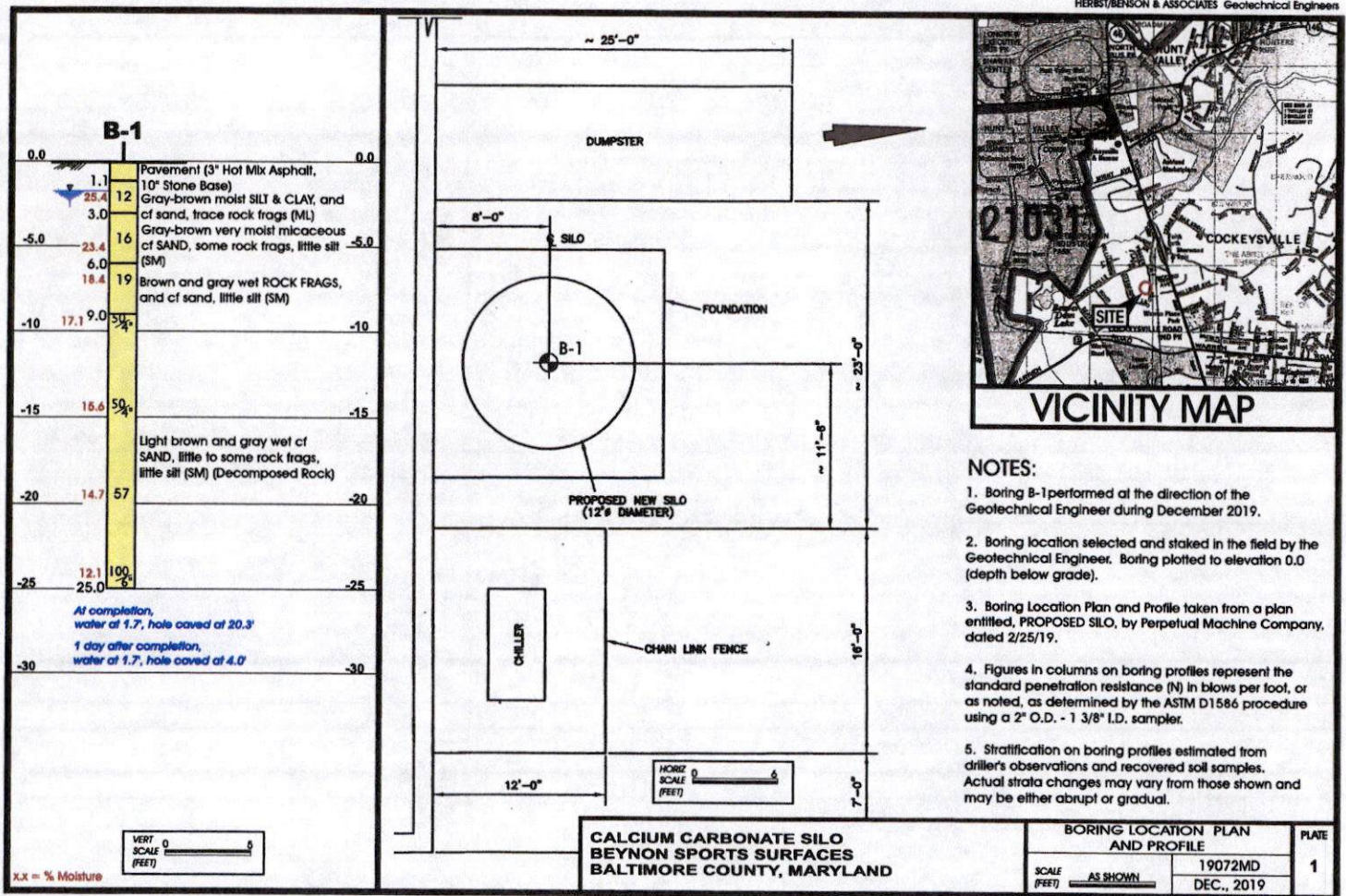
## **Component Definitions by Degree of Plasticity**

| <b>Descriptive Term</b> | <b>Degree of Plasticity</b> | <b>Plasticity Index<br/>Range</b> |
|-------------------------|-----------------------------|-----------------------------------|
| SILT                    | None                        | Non-plastic (NP)                  |
| Clayey SILT             | Slight                      | 1 - 5                             |
| SILT & CLAY             | Low                         | 5 - 10                            |
| CLAY & SILT             | Medium                      | 10 - 20                           |
| Silty CLAY              | High                        | 20 - 40                           |
| CLAY                    | Very High                   | Over 40                           |

## **Gradation Terms of Granular Components**

| <b>Gradation Designation</b> | <b>Symbol</b> | <b>Defining Proportions</b>                     |
|------------------------------|---------------|-------------------------------------------------|
| coarse to fine               | cf            | All fractions greater than 10% of the component |
| coarse to medium             | cm            | Less than 10% fine                              |
| medium to fine               | mf            | Less than 10% coarse                            |
| coarse                       | c             | Less than 10% medium and fine                   |
| medium                       | m             | Less than 10% coarse and fine                   |
| fine                         | f             | Less than 10% coarse and medium                 |

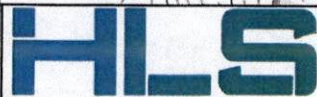
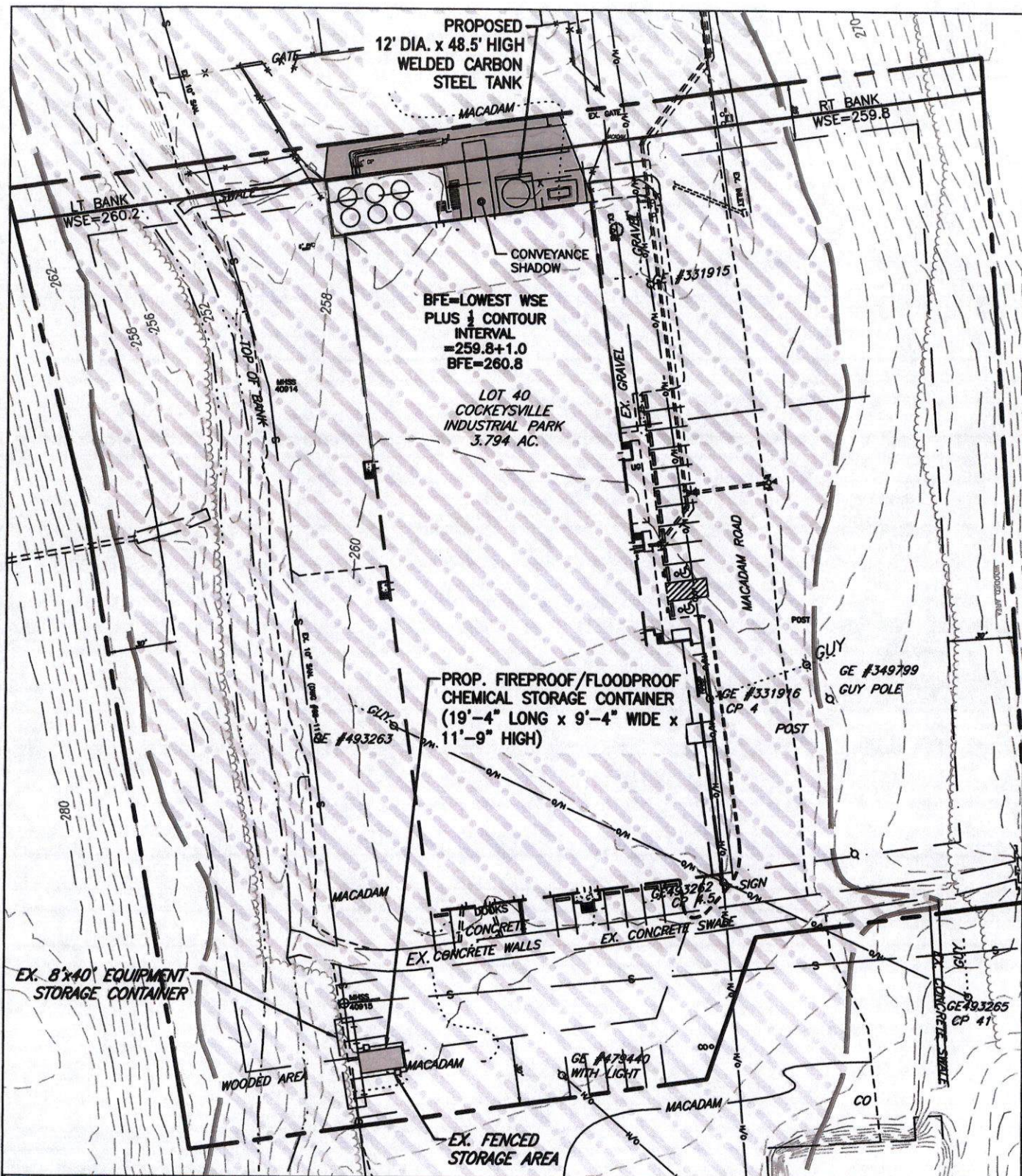




## **APPENDIX C**

### **Floodplain Exhibit**





engineering land + designing the future

HANOVER LAND SERVICES, INC.

Hanover Office:  
585 McAllister Street  
Hanover, PA 17331  
Ph: (717) 637-5674  
Fax: (717) 633-1987

Westminster Office:  
194 East Main Street  
Westminster, MD 21157  
Ph: (410) 751-8795

www.hanoverlandservices.com

## FLOODPLAIN EXHIBIT

16 ALT ROAD  
BALTIMORE COUNTY, MARYLAND

SCALE: 1"=60'

DATE: 01-07-19

JOB NUMBER: 8283

SHEET DRAWING NO: 1 OF 1







2019-0296-V

## 2616 W Woodwell Rd

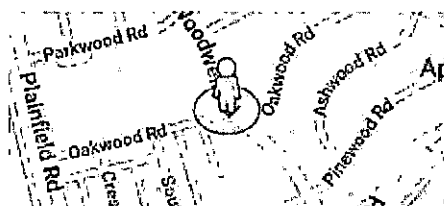


Image capture: Jul 2016 © 2019 Google

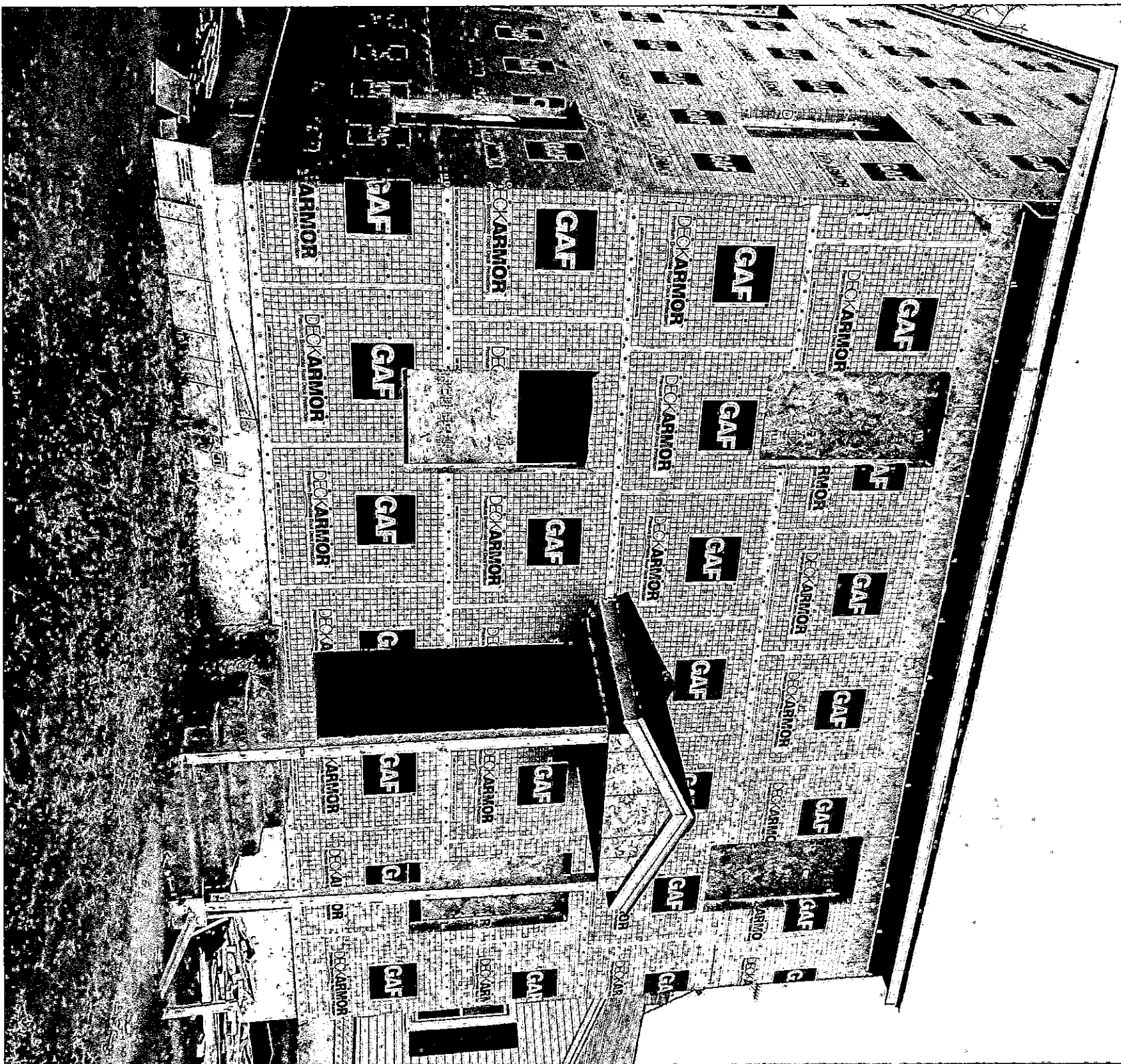
Dundalk, Maryland

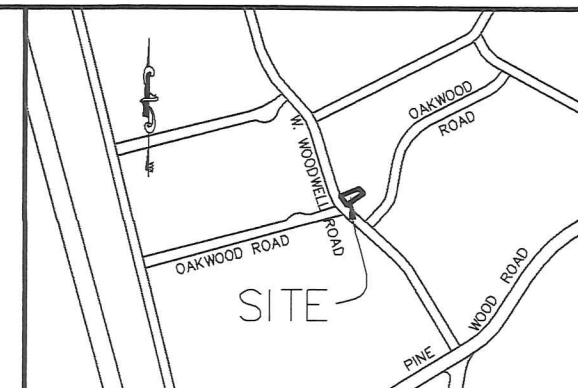


Street View - Jul 2016



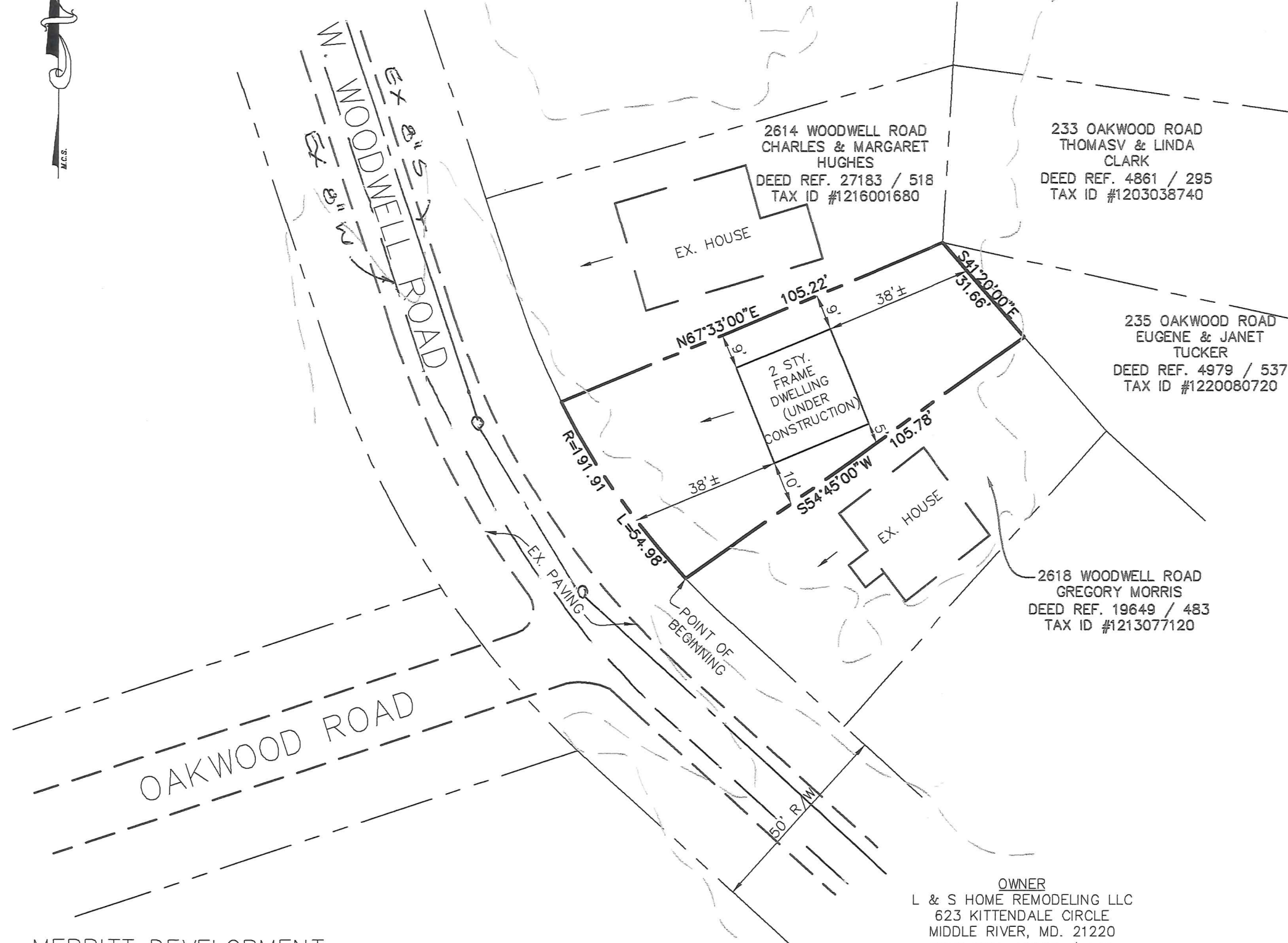






VICINITY MAP

SCALE: 1"=1000'



2614 WOODWELL ROAD  
CHARLES & MARGARET  
HUGHES  
DEED REF. 27183 / 518  
TAX ID #1216001680

233 OAKWOOD ROAD  
THOMASV & LINDA  
CLARK  
DEED REF. 4861 / 295  
TAX ID #1203038740

235 OAKWOOD ROAD  
EUGENE & JANET  
TUCKER  
DEED REF. 4979 / 537  
TAX ID #1220080720

2618 WOODWELL ROAD  
GREGORY MORRIS  
DEED REF. 19649 / 483  
TAX ID #1213077120

OWNER  
L & S HOME REMODELING LLC  
623 KITTENDALE CIRCLE  
MIDDLE RIVER, MD. 21220  
DEED REF. 40620 / 444  
TAX ID #1219034520  
LOT AREA 4,515 S.F OR 0.103 AC.±

NOTES:

1. THIS PROPERTY IS SUBJECT TO PRIOR ZONING CASES R-1951-1920.
2. THIS PROPERTY HAS NO CURRENT ZONING VIOLATIONS.
3. THIS PROPERTY IS NOT LOCATED WITHIN A 100 YEAR FLOODPLAIN.
4. PROPERTY IS ZONED DR5.5.
5. PROPERTY IS NOT IN THE CBCA.
6. PROPERTY IS NOT HISTORIC.
7. PROPERTY LOCATED ON MAP 103C1.

PET-NO.1

MERRITT DEVELOPMENT  
CONSULTANTS, INC.

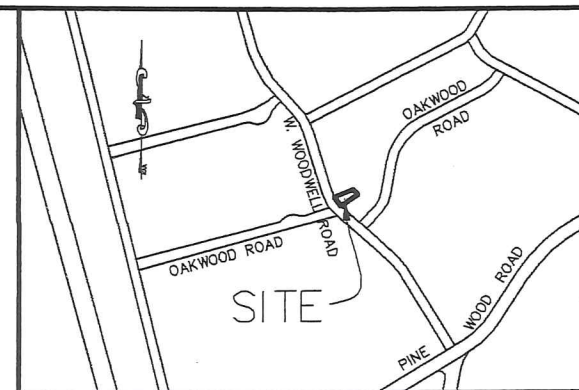
9831 MAGLEDT ROAD  
BALTIMORE, MARYLAND 21234  
PHONE: 410-925-4061 FAX: 410-661-1297

PLAN TO ACCOMPANY ZONING REQUEST  
CASE NO. 2019-0296-A

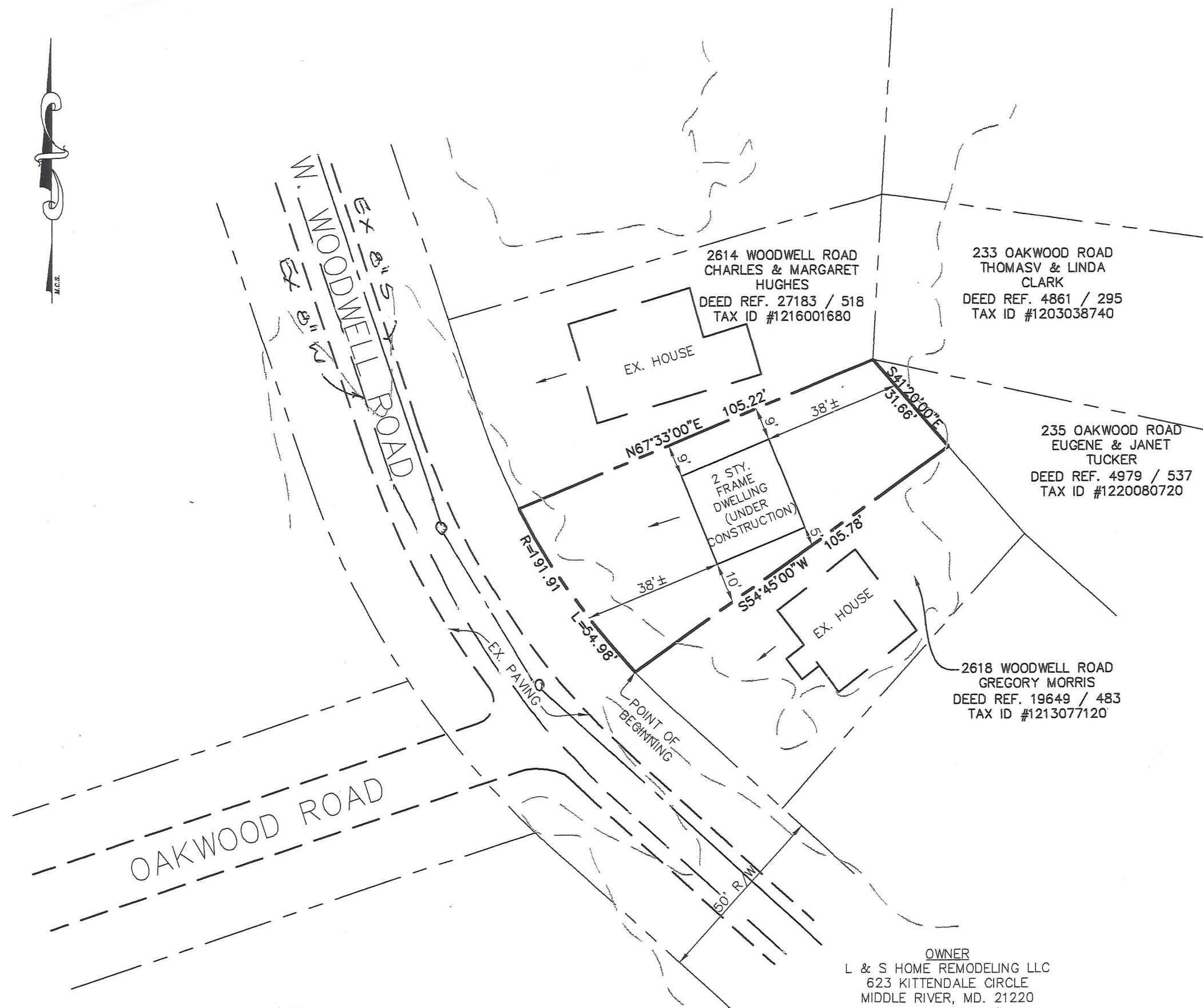
2616 W. WOODWELL ROAD

11TH ELEC. DISTRICT 5TH COUNCILMANIC DISTRICT  
BALTIMORE COUNTY, MARYLAND  
SCALE: 1"=30' APRIL 1, 2019





VICINITY MAP  
SCALE: 1"=1000'



- NOTES:
1. THIS PROPERTY IS SUBJECT TO PRIOR ZONING CASES R-1951-1920.
  2. THIS PROPERTY HAS NO CURRENT ZONING VIOLATIONS.
  3. THIS PROPERTY IS NOT LOCATED WITHIN A 100 YEAR FLOODPLAIN.
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  7. PROPERTY LOCATED ON MAP 103C1.

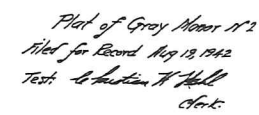
MERRITT DEVELOPMENT  
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CASE NO. 2019-0296-A  
2616 W. WOODWELL ROAD

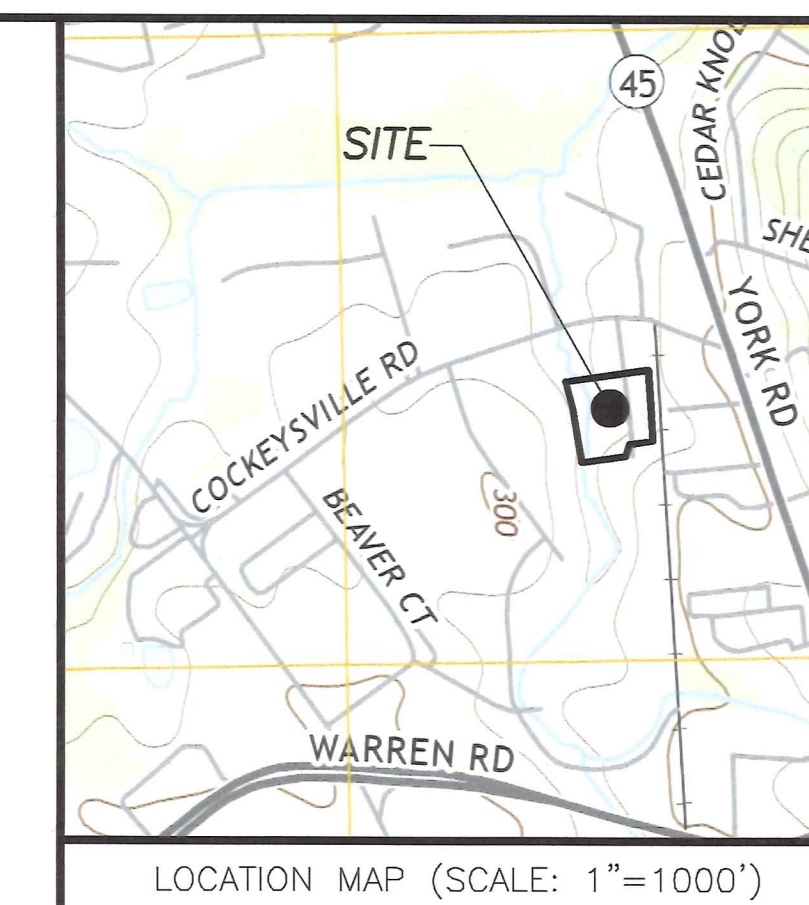
11TH ELEC. DISTRICT 5TH COUNCILMANIC DISTRICT  
BALTIMORE COUNTY, MARYLAND  
SCALE: 1"=30' APRIL 1, 2019





WILLIAM M. L.





Revised 2019-0457-SPHA