



\$300

UP-2019-0314-SI

BALTIMORE COUNTY
DEPARTMENT OF PERMITS, APPROVALS & INSPECTIONS
111 WEST CHESAPEAKE AVENUE
TOWSON, MD 21204
410-887-3391

USE PERMIT RECEIPT
187522

The applicant must affirm by initials below that there are no current violations at this site, pursuant to Section 112.77B.C.C.
Initials: ML

SIGN USE PERMIT

Permit Fees are Non-Refundable; Make Check Payable to "Baltimore County, Maryland"

PROPERTY ADDRESS 9518 PULASKI HWY ZIP CODE 21220
BUSINESS NAME ROCKII FORMS #266 ZONING _____
OWNER'S NAME TWO FORMS INC PHONE NO. 4108890200 HISTORIC DISTRICT ☐ Yes ☒ No
MAILING ADDRESS 10404 STEVENSON RD STEVENSON MD 21153
APPLICANT/OWNER'S AGENT Mackay Lee-Hatchiff Arch. PHONE NO. 410-484-7010
SIGN COMPANY NAME Absolute Signs PHONE NO. 410-761-0695
TYPE OF SIGN: ☐ Window Sign TAX ACCOUNT NO. 160 1001/2371

☐ Temporary- Including Real Estate/Construction/Event Temporary Signs in the Last Year: ☐ Yes ☒ No

☒ Permanent ☐ Changeable Copy ☒ Wall ☐ Face Change Only ☐ Non-Illuminated

☐ Freestanding ☐ Pylon ☐ Monument ☒ Illuminated (separate electrical permit required)

Size: 1-916 feet x 19-75 feet = 37-85 square feet Height: _____ feet (freestanding signs)

Property Line/Street Right-of-Way Setbacks: front _____, sides _____ and _____, and rear _____.

NOTE: A construction plan, drawn to scale and clearly showing that all requirements have been met, must be attached.

A site plan must also be attached for freestanding signs.

Table of Sign Regulations: 450.4.1.- An Electronic Changeable Copy Sign may only have a maximum frequency of one instantaneous message change per 15 second cycle. 450.6.B.3 - Changeable copy signs must operate at a constant intensity and not give the appearance of movement by flashing, blinking, strobing, scrolling, oscillating, or alternating lights.

PROHIBITIONS: including roof signs (Sections 450.5.B.7 and 450.6.A, Baltimore County Zoning Regulations):

1. Signs cannot impair motorist's clear view of traffic or government signs. All signs are subject to Section 102.5, BCZR.
2. Signs cannot imitate or resemble government signs, except for private traffic control and notice signs.
3. Signs cannot be placed in or project into or above street right of way or governmental property.
4. Sign or framework cannot obstruct window or opening for light and air or access to building, fire hydrant, or stand pipe.
5. Vehicle cannot be parked for the purpose of displaying an attached sign.
6. Except for flags exempted, flags, pennants, ribbons, streamers, tethered balloons, laser projections, and similar objects are prohibited.
7. Portable signs are prohibited, except for A-frame and sandwich board signs issued a use permit in B.M. - C.T. zones.
8. There can be no display or simulation of moving parts or message, except for an outdoor advertising sign with tri-vision, a changeable copy sign, or a thermometer, barometer, weather vane, barber pole, or clock.
9. No sign may emit sound

Work Description (including number of signs, special conditions, materials, locations and size):

Install three (3) "ROCKII FORMS" signs
on Canopy

CORNER LOT? ☐

OWNER/AGENT CERTIFICATION

I solemnly affirm under the penalties of perjury and upon personal knowledge that the contents of the above are true and further agree to locate the proposed sign such that it will not violate Baltimore County laws and regulations.

Mackay Lee
Signature

7-9-19
Date

Mackay Lee
Print/Type Name

☐ Require Planning Signature N/A Date _____

Copies: White-Office; Yellow- Applicant (keep this Copy for your permanent records)

REV 04/17/2019

Authority under Section 500.4, BCZR PAI Approval (SIGN ONLY)

A. T. Smith AT 7/10/19
Signature Initials Date



\$100

BALTIMORE COUNTY
DEPARTMENT OF PERMITS, APPROVALS & INSPECTIONS
111 WEST CHESAPEAKE AVENUE
TOWSON, MD 21204
410-887-3391

SIGN USE PERMIT

USE PERMIT RECEIPT
187522

The applicant must affirm by initials below that there are no current violations at this site pursuant to Section 102.7, B.C.C.
Initials: *ML*

Permit Fees are Non-Refundable; Make Check Payable to "Baltimore County, Maryland"

PROPERTY ADDRESS 9518 PULASKI HWY ZIP CODE 21220
BUSINESS NAME ROYAL FIELDS #266 ZONING _____
OWNER'S NAME TWO FIRMS, INC PHONE NO. 410-889-0200 HISTORIC DISTRICT ☐ Yes ☒ No
MAILING ADDRESS 10404 STEVENSON RD STEVENSON MD 21153
APPLICANT/OWNER'S AGENT MADAYAN LEE - RITCHIEFF ARCH PHONE NO. 410-484-7010
SIGN COMPANY NAME Absolute Signs PHONE NO. 410-761-6695
TYPE OF SIGN: ☐ Window Sign TAX ACCOUNT NO. 160 / 001 / 2371

☐ Temporary- Including Real Estate/Construction/Event Temporary Signs in the Last Year: ☐ Yes ☒ No

☒ Permanent ☐ Changeable Copy ☒ Wall ☐ Face Change Only ☐ Non-Illuminated

☐ Freestanding ☐ Pylon ☐ Monument ☒ Illuminated (separate electrical permit required)

Size: 5 feet x 23.5 feet = 11.75 square feet Height: _____ feet (freestanding signs)

Property Line/Street Right-of-Way Setbacks: front _____, sides _____ and _____, and rear _____.

NOTE: A construction plan, drawn to scale and clearly showing that all requirements have been met, must be attached.

A site plan must also be attached for freestanding signs.

Table of Sign Regulations: 450.4.1.- An Electronic Changeable Copy Sign may only have a maximum frequency of one instantaneous message change per 15 second cycle. 450.6.B.3 - Changeable copy signs must operate at a constant intensity and not give the appearance of movement by flashing, blinking, strobing, scrolling, oscillating, or alternating lights.

PROHIBITIONS: including roof signs (Sections 450.5.B.7 and 450.6.A, Baltimore County Zoning Regulations):

1. Signs cannot impair motorist's clear view of traffic or government signs. All signs are subject to Section 102.5, BCZR.
2. Signs cannot imitate or resemble government signs, except for private traffic control and notice signs.
3. Signs cannot be placed in or project into or above street right of way or governmental property.
4. Sign or framework cannot obstruct window or opening for light and air or access to building, fire hydrant, or stand pipe.
5. Vehicle cannot be parked for the purpose of displaying an attached sign.
6. Except for flags exempted, flags, pennants, ribbons, streamers, tethered balloons, laser projections, and similar objects are prohibited.
7. Portable signs are prohibited, except for A-frame and sandwich board signs issued a use permit in B.M. - C.T. zones.
8. There can be no display or simulation of moving parts or message, except for an outdoor advertising sign with tri-vision, a changeable copy sign, or a thermometer, barometer, weather vane, barber pole, or clock.
9. No sign may emit sound

Work Description (including number of signs, special conditions, materials, locations and size):

Install one(1) "WORLD FAMOUS CHICKEN & FRESH kitchen" on front of store

CORNER LOT? ☐

OWNER/AGENT CERTIFICATION

I solemnly affirm under the penalties of perjury and upon personal knowledge that the contents of the above are true and further agree to locate the proposed sign such that it will not violate Baltimore County laws and regulations.

Madayan Lee
Signature

8-9-19
Date

Madayan Lee
Print/Type Name

☐ Require Planning Signature _____ Date _____

Copies: White-Office; Yellow- Applicant (keep this copy for your permanent records)

Authority under Section 500.4, BCZR PAI Approval (SIGN ONLY)

A. B. M.
Signature

AP
Initials

7/10/19
Date



\$100

BALTIMORE COUNTY
DEPARTMENT OF PERMITS, APPROVALS & INSPECTIONS
111 WEST CHESAPEAKE AVENUE
TOWSON, MD 21204
410-887-3391

SIGN USE PERMIT

USE PERMIT RECEIPT

187522

The applicant must affirm by initials below that there are no current violations at this site, pursuant to Section 1127, B.C.C.
Initials: *[Signature]*

Permit Fees are Non-Refundable; Make Check Payable to "Baltimore County, Maryland"

PROPERTY ADDRESS 9518 PULASKI HWY ZIP CODE 21220
BUSINESS NAME ROYAL FIELDS #266 ZONING _____
OWNER'S NAME TWO FIRMS, INC PHONE NO. 410-889-0200 HISTORIC DISTRICT ☐ Yes ☒ No
MAILING ADDRESS 10404 STEVENSON RD STEVENSON MD 21153
APPLICANT/OWNER'S AGENT MADAYA LEE - REICHELLE ARCH. PHONE NO. 410-484-7010
SIGN COMPANY NAME ABSOLUTE SIGNS PHONE NO. 410-761-6695
TYPE OF SIGN: ☐ Window Sign TAX ACCOUNT NO. 160 / 001 / 2371

☐ Temporary- Including Real Estate/Construction/Event Temporary Signs in the Last Year: ☐ Yes ☒ No
☒ Permanent ☐ Changeable Copy ☒ Wall ☐ Face Change Only ☐ Non-Illuminated
☐ Freestanding ☐ Pylon ☐ Monument ☐ Illuminated (separate electrical permit required)
Size: 1.910 feet x 19.75 feet = 37.85 square feet Height: _____ feet (freestanding signs)

Property Line/Street Right-of-Way Setbacks: front _____, sides _____ and _____, and rear _____.

NOTE: A construction plan, drawn to scale and clearly showing that all requirements have been met, must be attached.

A site plan must also be attached for freestanding signs.

Table of Sign Regulations: 450.4.1.- An Electronic Changeable Copy Sign may only have a maximum frequency of one instantaneous message change per 15 second cycle. 450.6.B.3 - Changeable copy signs must operate at a constant intensity and not give the appearance of movement by flashing, blinking, strobing, scrolling, oscillating, or alternating lights.

PROHIBITIONS: including roof signs (Sections 450.5.B.7 and 450.6.A, Baltimore County Zoning Regulations):

1. Signs cannot impair motorist's clear view of traffic or government signs. All signs are subject to Section 102.5, BCZR.
2. Signs cannot imitate or resemble government signs, except for private traffic control and notice signs.
3. Signs cannot be placed in or project into or above street right of way or governmental property.
4. Sign or framework cannot obstruct window or opening for light and air or access to building, fire hydrant, or stand pipe.
5. Vehicle cannot be parked for the purpose of displaying an attached sign.
6. Except for flags exempted, flags, pennants, ribbons, streamers, tethered balloons, laser projections, and similar objects are prohibited.
7. Portable signs are prohibited, except for A-frame and sandwich board signs issued a use permit in B.M. - C.T. zones.
8. There can be no display or simulation of moving parts or message, except for an outdoor advertising sign with tri-vision, a changeable copy sign, or a thermometer, barometer, weather vane, barber pole, or clock.
9. No sign may emit sound

Work Description (including number of signs, special conditions, materials, locations and size):

Install one (1) "ROYAL FIELDS" sign on front of store

CORNER LOT? ☐

OWNER/AGENT CERTIFICATION

I solemnly affirm under the penalties of perjury and upon personal knowledge that the contents of the above are true and further agree to locate the proposed sign such that it will not violate Baltimore County laws and regulations.

[Signature]
Signature

7-9-19
Date

MADAYA LEE
Print/Type Name

☐ Require Planning Signature _____ Date _____

Copies: White-Office; Yellow- Applicant (keep this Copy for your permanent records)

Authority under Section 500.4, BCZR PAI Approval (SIGN ONLY)

[Signature]
Signature

AT
Initials

7/10/19
Date



#100

BALTIMORE COUNTY
DEPARTMENT OF PERMITS, APPROVALS & INSPECTIONS
111 WEST CHESAPEAKE AVENUE
TOWSON, MD 21204
410-887-3391

USE PERMIT RECEIPT

187522

The applicant must affirm by initials below that there are no current violations at this site, pursuant to Section 112.7, B.C.C.
Initials: *[Signature]*

SIGN USE PERMIT

Permit Fees are Non-Refundable; Make Check Payable to "Baltimore County, Maryland"

PROPERTY ADDRESS 9518 PULASKI HWY ZIP CODE 21220
BUSINESS NAME PROYCI FIRMS #2666 ZONING _____
OWNER'S NAME TWO FIRMS INC PHONE NO. 410 889 0200 HISTORIC DISTRICT ☐ Yes ☒ No
MAILING ADDRESS 10404 STEVENSON RD STEVENSON MD 21153
APPLICANT/OWNER'S AGENT Mackay Lee - Hestcliffe Arch PHONE NO. 410-484-7010
SIGN COMPANY NAME Absolute Signs PHONE NO. 410 761 6695
TYPE OF SIGN: ☐ Window Sign TAX ACCOUNT NO. 160 / 001 / 2371

☐ Temporary- Including Real Estate/Construction/Event Temporary Signs in the Last Year: ☐ Yes ☒ No
☒ Permanent ☐ Changeable Copy ☒ Wall ☐ Face Change Only ☐ Non-Illuminated
☐ Freestanding ☐ Pylon ☐ Monument ☒ Illuminated (separate electrical permit required)

Size: 1.910 feet x 19.75 feet = 37.85 square feet Height: _____ feet (freestanding signs)

Property Line/Street Right-of-Way Setbacks: front _____, sides _____ and _____, and rear _____.

NOTE: A construction plan, drawn to scale and clearly showing that all requirements have been met, must be attached.

A site plan must also be attached for freestanding signs.

Table of Sign Regulations: 450.4.1.- An Electronic Changeable Copy Sign may only have a maximum frequency of one instantaneous message change per 15 second cycle. 450.6.B.3 - Changeable copy signs must operate at a constant intensity and not give the appearance of movement by flashing, blinking, strobing, scrolling, oscillating, or alternating lights.

PROHIBITIONS: including roof signs (Sections 450.5.B.7 and 450.6.A, Baltimore County Zoning Regulations):

1. Signs cannot impair motorist's clear view of traffic or government signs. All signs are subject to Section 102.5, BCZR.
2. Signs cannot imitate or resemble government signs, except for private traffic control and notice signs.
3. Signs cannot be placed in or project into or above street right of way or governmental property.
4. Sign or framework cannot obstruct window or opening for light and air or access to building, fire hydrant, or stand pipe.
5. Vehicle cannot be parked for the purpose of displaying an attached sign.
6. Except for flags exempted, flags, pennants, ribbons, streamers, tethered balloons, laser projections, and similar objects are prohibited.
7. Portable signs are prohibited, except for A-frame and sandwich board signs issued a use permit in B.M. - C.T. zones.
8. There can be no display or simulation of moving parts or message, except for an outdoor advertising sign with tri-vision, a changeable copy sign, or a thermometer, barometer, weather vane, barber pole, or clock.
9. No sign may emit sound

Work Description (including number of signs, special conditions, materials, locations and size):

Install one (1) "PROYCI FIRMS" sign on
REAR OF STORE

CORNER LOT? ☐

OWNER/AGENT CERTIFICATION

I solemnly affirm under the penalties of perjury and upon personal knowledge that the contents of the above are true and further agree to locate the proposed sign such that it will not violate Baltimore County laws and regulations.

[Signature]
Signature

7-9-19
Date

Mackay Lee
Print/Type Name

☐ Require Planning Signature _____ Date _____

Copies: White-Office; Yellow- Applicant (keep this Copy for your permanent records)

Authority under Section 500.4, BCZR PAI Approval (SIGN ONLY)

[Signature] AT 7/10/19
Signature Initials Date



\$500-

BALTIMORE COUNTY
DEPARTMENT OF PERMITS, APPROVALS & INSPECTIONS
111 WEST CHESAPEAKE AVENUE
TOWSON, MD 21204
410-887-3391

SIGN USE PERMIT

USE PERMIT RECEIPT

187037

The applicant must affirm by initials below that there are no current violations at this site, pursuant to Section 12.7B.C.C.
Initials: AK

Permit Fees are Non-Refundable; Make Check Payable to "Baltimore County, Maryland"

PROPERTY ADDRESS 9518 PULASKI HWY ZIP CODE 21220
BUSINESS NAME MOYCI FIRMS #266 ZONING _____
OWNER'S NAME TWO FIRMS INC PHONE NO. 410 889 0200 HISTORIC DISTRICT ☐ Yes ☒ No
MAILING ADDRESS 10404 STEVENSON RD STEVENSON MD 21153
APPLICANT/OWNER'S AGENT MCKAY LEE - RITCHIE ARCH PHONE NO. 410-484-7010
SIGN COMPANY NAME ABSOLUTE SIGNS PHONE NO. 410-761-6695
TYPE OF SIGN: ☐ Window Sign TAX ACCOUNT NO. 160 / 001 / 2371

☐ Temporary- Including Real Estate/Construction/Event Temporary Signs in the Last Year: ☐ Yes ☒ No

☒ Permanent ☐ Changeable Copy ☐ Wall ☐ Face Change Only ☐ Non-Illuminated

☒ Freestanding ☒ Pylon ☐ Monument ☒ Illuminated (separate electrical permit required)

Size: 25 feet x 10 feet = 162 square feet Height: 25 feet (freestanding signs)

Property Line/Street Right-of-Way Setbacks: front _____, sides _____ and _____, and rear _____.

NOTE: A construction plan, drawn to scale and clearly showing that all requirements have been met, must be attached.

A site plan must also be attached for freestanding signs.

Table of Sign Regulations: 450.4.1.- An Electronic Changeable Copy Sign may only have a maximum frequency of one instantaneous message change per 15 second cycle. 450.6.B.3 - Changeable copy signs must operate at a constant intensity and not give the appearance of movement by flashing, blinking, strobing, scrolling, oscillating, or alternating lights.

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3. Signs cannot be placed in or project into or above street right of way or governmental property.
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5. Vehicle cannot be parked for the purpose of displaying an attached sign.
6. Except for flags exempted, flags, pennants, ribbons, streamers, tethered balloons, laser projections, and similar objects are prohibited.
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8. There can be no display or simulation of moving parts or message, except for an outdoor advertising sign with tri-vision, a changeable copy sign, or a thermometer, barometer, weather vane, barber pole, or clock.
9. No sign may emit sound

Work Description (including number of signs, special conditions, materials, locations and size):

Install one (1) Pylon sign, double face

CORNER LOT? ☐

OWNER/AGENT CERTIFICATION

I solemnly affirm under the penalties of perjury and upon personal knowledge that the contents of the above are true and further agree to locate the proposed sign such that it will not violate Baltimore County laws and regulations.

Signature

Date

Print/Type Name

☐ Require Planning Signature

Date

Copies: White-Office; Yellow- Applicant (keep this Copy for your permanent records)

Authority under Section 500.4, BCZR PAI Approval (SIGN ONLY)

Signature

Initials

Date



\$400

BALTIMORE COUNTY
DEPARTMENT OF PERMITS, APPROVALS & INSPECTIONS
111 WEST CHESAPEAKE AVENUE
TOWSON, MD 21204
410-887-3391

SIGN USE PERMIT

USE PERMIT RECEIPT
187522

The applicant must affirm by initials below that there are no current violations at this site, pursuant to Section 112.7 B.C.C.
Initials: SLK

Permit Fees are Non-Refundable; Make Check Payable to "Baltimore County, Maryland"

PROPERTY ADDRESS 9518 PULASKI HWY ZIP CODE 21220
BUSINESS NAME THOU II FARMS #2 LLC ZONING _____
OWNER'S NAME THOU FARMS, INC PHONE NO. 410-889-0200 HISTORIC DISTRICT ☐ Yes ☒ No
MAILING ADDRESS 10404 STEVENSON RD STEVENSON MD 21153
APPLICANT/OWNER'S AGENT Mackay Lee - Pritchcliffe Arch. PHONE NO. 410-484-7010
SIGN COMPANY NAME ABSOLUTE SIGNS PHONE NO. 410-761-6695
TYPE OF SIGN: ☐ Window Sign TAX ACCOUNT NO. 160 / 001 / 2371

☐ Temporary- Including Real Estate/Construction/Event Temporary Signs in the Last Year: ☐ Yes ☒ No

☒ Permanent ☐ Changeable Copy ☐ Wall ☐ Face Change Only ☐ Non-Illuminated

☒ Freestanding ☐ Pylon ☐ Monument ☒ Illuminated (separate electrical permit required)

Size: 2 feet x 4 feet = 8 square feet Height: 4 feet (freestanding signs)

Property Line/Street Right-of-Way Setbacks: front _____, sides _____ and _____, and rear _____.

NOTE: A construction plan, drawn to scale and clearly showing that all requirements have been met, must be attached.

A site plan must also be attached for freestanding signs.

Table of Sign Regulations: 450.4.1.- An Electronic Changeable Copy Sign may only have a maximum frequency of one instantaneous message change per 15 second cycle. 450.6.B.3 - Changeable copy signs must operate at a constant intensity and not give the appearance of movement by flashing, blinking, strobing, scrolling, oscillating, or alternating lights.

PROHIBITIONS: including roof signs (Sections 450.5.B.7 and 450.6.A, Baltimore County Zoning Regulations):

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5. Vehicle cannot be parked for the purpose of displaying an attached sign.
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7. Portable signs are prohibited, except for A-frame and sandwich board signs issued a use permit in B.M. - C.T. zones.
8. There can be no display or simulation of moving parts or message, except for an outdoor advertising sign with tri-vision, a changeable copy sign, or a thermometer, barometer, weather vane, barber pole, or clock.
9. No sign may emit sound

Work Description (including number of signs, special conditions, materials, locations and size):

Install two (2) Directional signs. Double faced

CORNER LOT? ☐

OWNER/AGENT CERTIFICATION

I solemnly affirm under the penalties of perjury and upon personal knowledge that the contents of the above are true and further agree to locate the proposed sign such that it will not violate Baltimore County laws and regulations.

Mackay Lee
Signature

7-9-19
Date

Mackay Lee
Print/Type Name

☐ Require Planning Signature _____ Date _____

Copies: White-Office; Yellow- Applicant (keep this Copy for your permanent records)

Authority under Section 500.4, BCZR PAI Approval (SIGN ONLY)		
<u>A-JSM</u>	<u>AT</u>	<u>7/10/19</u>
Signature	Initials	Date



Permits, Approvals & Inspections

111W. Chesapeake Avenue
Towson, MD 21204

Report Generated On:
7/10/2019

Permit Processing Commerical Permit & Development Report

Page 1 of 1

Property Information

Tax Account Number: 1600012371

Election District: 15

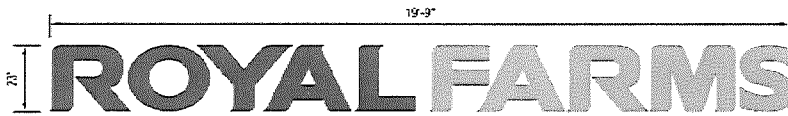
Owner Name(s): TWO FARMS INC
Address: 3611 ROLAND AVE
BALTIMORE, MD 21211
Premise Address: 9502 PULASKI HWY

PDM #: 15-1018
Zoning District(s): ML IM
ML AS
Elevation Range: 88ft - 102ft

Affected Overlays	Instructions: Begin review process with Zoning Review, Room 111.	New Com Bldg.	Interior Alts.	Add / Ext. Alts.	Piers/Pilings	Grading/SW	Tanks	Ret.Walls/Bulk	Razing	Chg. of Occup.	Tower Antenna	Signs	Elect. & Plumb	Agency Acknowledgment
Contact Agency	Potential Overlay Issues													Initial & Date
	Growth Tier 1: Served by public sewer and inside URDL													
DEPS-Sed. Control Jefferson Building 4th Floor Phone: 410-887-3226	Note: All Razing Permits must be sent to Sediment Control for review.													
PAI-Public Services County Office Building Room 119 Phone: 410-887-3751	Note: All permits for Grading, New Buildings & Building Additions must be sent to Public Services.													
Zoning Review County Office Building Room 111 Phone: 410-887-3391	Martin State Aiport Zoning Area Zoning Cases: 2018-0168-XA; R-1948-1141	X		X	X	X	X	X	X	X	X			
		X		X	X	X	X			X	X	X		

RFS #266 Proposed Signage

- 4 no. Signs to be located on convenience store



(x2) Total = 37.85 sqft



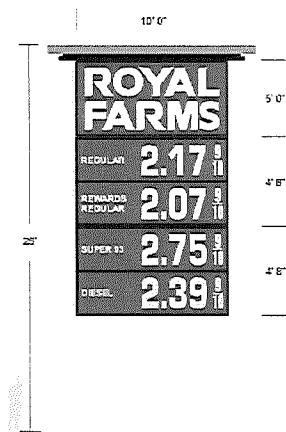
(x2) Total = 11.75 sqft

- 3 no. Fuel Canopy Signs



(x3) Total = 37.85 sqft

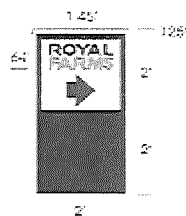
- 1 no. Pylon Sign



(x1) Total= 162 sqft

"Royal Farms" = 50 sqft
 "Regular" = 28 sqft
 "Rewards Regular" = 28 sqft
 "Super 93" = 28 sqft
 "Diesel" = 28 sqft
 Total = 190 sqft

- 2 no. Directional Signs



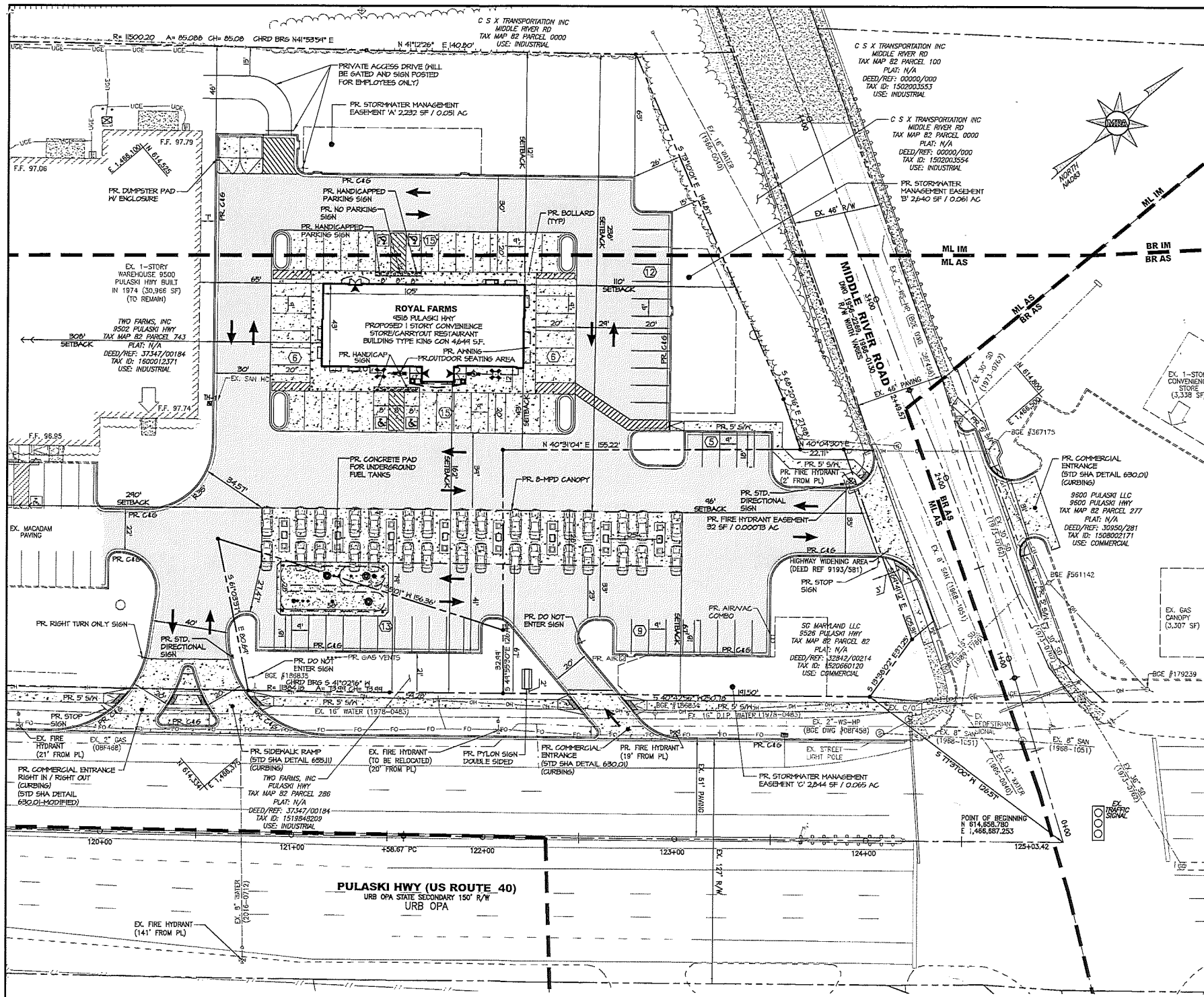
(x2) Total = 4 sqft

"Royal Farms" =
 $0.64' \times 1.45' = 0.928'$
 $0.928' / 8' = 0.116 \times 100\% =$
 11.6% of total sqft

Arrow =

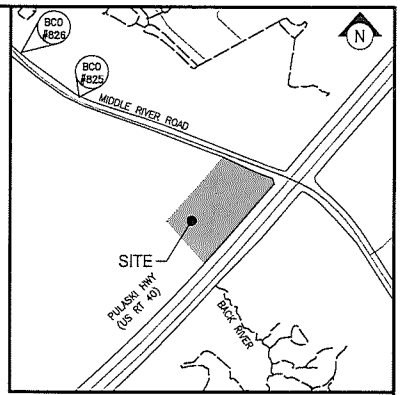
$1' \times 0.58' = 0.58'$
 $0.58' / 8' = 0.072 \times 100\% =$
 7.29 % of total sqft

Total signage area =
 18.89% of Total signage sqft



GENERAL NOTES

- PROPERTY INFORMATION:
PROPERTY ADDRESS: 9500, 9502, 9508, 9512, 9520 PULASKI HWY (PROPERTY 1)
NO ADDRESS (PROPERTY 2)
9525 PULASKI HWY (PROPERTY 3)
MIDDLE RIVER, MARYLAND, 21223
- A. SITE AREA:
GROSS ACREAGE: 151,196.7 S.F. ±, 3.471 AC. ± (PROPERTY 1)
7,927.8 S.F. ±, 0.182 AC. ± (PROPERTY 2)
23,068.8 S.F. ±, 0.530 AC. ± (PROPERTY 3)
NET ACREAGE: 4.18 AC. ± (182,211.4 S.F. ±)
- B. ELECTION DISTRICT:
COUNCILMANIC DISTRICT: 15
ADC MAP: 4701 G4, 4701 D6
CENSUS TRACT: 451200
TAX MAP: 0828
TAX ACCOUNT NO.: (PROPERTY 1) - 1800012371
(PROPERTY 2) - 1519948202
(PROPERTY 3) - 1520600120
2. ZONING: ML-AS (MANUFACTURING LIGHT - AUTO SERVICE)
ML-IM (MANUFACTURING LIGHT - INDUSTRIAL MAJOR)
3. ZONING MAP / GIS TILE NO.: 08283
4. FLOOR AREA RATIO: PERMITTED = 2.0
ROYAL FARMS PROVIDED = 0.045
(4,849 S.F. / 102,474 S.F. = 0.045)
EXISTING WAREHOUSE PROVIDED = 0.38
(30,968 S.F. / 81,389 S.F. = 0.38)
TOTAL PROVIDED = 0.425
- EXISTING LAND USE: WAREHOUSE (PROPERTY 1)
UNIMPROVED LOT (PROPERTY 2)
CONVENIENCE STORE WITH FUEL SERVICE STATION (PROPERTY 3)
EXISTING WAREHOUSE (PROPERTY 1)
FUEL SERVICE STATION IN COMBINATION WITH A CONVENIENCE STORE AND CARRY OUT RESTAURANT WITH OUTDOOR SEATING (PROPERTY 1,2,3)
- PROPOSED LAND USE:
5. ML ZONE SETBACKS (SECTION 255):
FROM PROPERTY LINE
FRONT: REQUIRED 66', PROVIDED 162'
SIDE: 50', 55' & 110'
REAR: 50', 121'
ROYAL FARMS PROVIDED (MIN.) 162'
EX. WAREHOUSE PROVIDED (MIN.) 109' ±
17' ±
45' ±
- FUEL SERVICE SETBACKS (SECTION 405):
FROM ANY STREET RIGHT OF WAY
CONVENIENCE STORE: REQUIRED 35', PROVIDED 162'
FUEL PUMP: 25', 79'
CANOPY: 15', 67'
6. *SECTION 303.2 STANDARDS FOR BL, BM AND BR ZONES, THE FRONT YARD DEPTH OF ANY BUILDING HEREINAFTER ERECTED SHALL BE THE AVERAGE OF THE FRONT YARD DEPTHS OF THE LOTS IMMEDIATELY ADJOINING ON EACH SIDE.
9502 PULASKI HIGHWAY = 109' BUILDING SETBACK
9500 PULASKI HIGHWAY = 23' BUILDING SETBACK
109+23 = 132, 132/2 = 66'
7. PROPOSED BUILDING HEIGHT: C-STORY = 32'-6" PEAK OF GABLE
CANOPY = 19'-0"
8. LANDSCAPE TRANSITION AREAS (LTA):
ALONG PULASKI HIGHWAY (PUBLIC): REQUIRED 10', PROVIDED 21'
ALONG MIDDLE RIVER ROAD (PUBLIC): 10', 11'
ALONG REAR YARD (ML IM ZONE): 6', 15'
ALONG SIDE YARD (ML IM ZONE): 6', 7'
9. THIS SITE IS SERVICED BY PUBLIC WATER AND SEWER.
10. SCREENING AND LANDSCAPING SHALL COMPLY WITH THE BALTIMORE COUNTY LANDSCAPE MANUAL.
11. THE SITE IS NOT LOCATED IN A 100 YEAR FLOODPLAIN. (F.E.M.A. PANEL NO. 29169C02000).
12. THE SITE IS LOCATED IN AN AREA OF CONCERN FOR LEVEL D TRAFFIC. THE SITE IS NOT LOCATED WITHIN A FAILED BASIC SERVICE AREA FOR WATER OR SEWER.
13. THERE ARE NO KNOWN EXISTING WELLS OR SEPTIC FIELDS ACTIVE ON THIS PROPERTY.
14. THERE ARE NO HISTORIC BUILDINGS ON SITE.
15. THE SITE IS NOT LOCATED IN THE CHESAPEAKE BAY CRITICAL AREA.
16. ANY FIXTURE USED TO ILLUMINATE AN OFF-STREET PARKING AREA SHALL BE ARRANGED AS TO REFLECT THE LIGHT AWAY FROM ADJACENT RESIDENTIAL SITE AND PUBLIC STREETS.
17. A REST ROOM FACILITY, WATER AND COMPRESSED AIR SHALL BE PROVIDED FOR CUSTOMERS.
18. SIGNAGE ON THIS SITE SHALL CONFORM WITH THE SIGNAGE REQUIREMENTS OF THE BALTIMORE COUNTY ZONING REGULATIONS SECTION 450, OR A VARIANCE WILL BE REQUESTED.
19. THERE IS ONE KNOWN ABANDONED FUEL SERVICE STATION WITHIN ONE MILE OF THE SITE (SECTION 405.3, BCZR).
20. DUMPSTER PICKUP TO BE SCHEDULED FOR OFF PEAK HOURS.



VICINITY MAP

SCALE: 1" = 500'

BENCHMARKS

BCD #825
ELEV. 111.40
DESCRIPTION: SPIKE MONUMENT LOCATED APPROXIMATELY 31.4' SOUTHEAST OF POLE #61147 ON NORTHWEST BOUND TRAVEL LANE OF MIDDLE RIVER RD.

BCD #826
ELEV. 95.11
DESCRIPTION: CAPPED PIPE MONUMENT LOCATED APPROXIMATELY 11' SOUTHEAST OF POLE #61147 ON NORTHWEST BOUND TRAVEL LANE OF MIDDLE RIVER RD.

N 615,141.51
E 1,485,419.05

N 615,399.88
E 1,485,081.29

ZONING HISTORY

CASE NO. R-1948-1141 - ZONING RECLASSIFICATION FROM "R" RESIDENTIAL TO "I" LIGHT INDUSTRIAL IN ORDER TO EXPAND PRESENT PLANT AND INCREASE PRODUCTION. GRANTED MARCH 8, 1948.

CASE NO. 1955-3406-X - SPECIAL USE PERMIT FOR ERECTING A GASOLINE SERVICE STATION. GRANTED MARCH 4, 1955.

CASE NO. 1987-0149-A - ZONING VARIANCE TO ALLOW A DOUBLE FACED, FREE STANDING REPLACEMENT EXTERIOR SIGN WITH A SIGN AREA FACE OF 181.3 SQUARE FEET IN LIEU OF THE PERMITTED 100 SQUARE FEET. GRANTED OCTOBER 6, 1986.

CASE NO. 2018-0108-XA - PETITION FOR A VARIANCE TO ALLOW A FUEL SERVICE STATION ON AN INDIVIDUAL SITE. PETITION FOR A VARIANCE TO ALLOW A MAXIMUM OF FOUR EXTERIOR SIGNS FOR A SINGLE TENANT BUILDING. GRANTED MARCH 13, 2018.

BCD NO. 042418E - A FUEL SERVICE STATION IN COMBINATION WITH A CONVENIENCE STORE AND CARRYOUT RESTAURANT WITH OUTDOOR SEATING WAS DETERMINED TO BE A LIMITED EXEMPTION UNDER SECTION 32-4-106(b)(8). GRANTED MAY 2, 2018.

COMMERCIAL PERMIT HISTORY

9500 PULASKI HWY
PERMIT # B418986
ONE-STORY ADDITION TO SIDE OF EXISTING REPAIR SHOP

9502 PULASKI HWY
PERMIT # B343503
UNDERGROUND STORAGE TANK REMOVAL

PERMIT # B385000
UNDERGROUND STORAGE TANK REMOVAL

PERMIT # B389518
UNDERGROUND STORAGE TANK ABANDONMENT

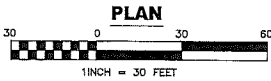
9525 PULASKI HWY
PERMIT # B158504
REPLACE PIPING FOR VAPOR RECOVERY SYSTEM

PERMIT # B303392
INTERIOR ALTERATION

PARKING TABULATIONS CHART			
(PARKING SPACES REQUIRED BY BCZR SECTION 409.6A AND 419.3.8)			
USE	GROSS S.F.	PARKING RATE	PARKING SPACES REQUIRED
CONVENIENCE STORE WITH GASOLINE AND CARRY OUT RESTAURANT WITH OUTDOOR SEATING (190 SF)	4,839 (INCLUDING OUTDOOR SEATING)	5/1,000 S.F.	25
MAXIMUM # EMPLOYEES ON SHIFT			8
ATM			1
FREE AIR TANK			1
AIR TANK / VAC COMBINATION			1
TOTAL PARKING REQUIRED			36
TOTAL PARKING PROVIDED (INCLUDES 4 HANDICAP SPACES)			81

LEGEND

- | | |
|-------------------------------|----------------------------|
| EXISTING | PROPOSED |
| EX. PROPERTY LINE | PR. BUILDING LINE |
| EX. ADJACENT PROPERTY LINE | PR. BUILDING OVERHANG |
| EX. RIGHT OF WAY LINE | PR. CONCRETE |
| EX. EASEMENT LINE | PR. PAVING |
| EX. STORMWATER EASEMENT | PR. BOLLARD |
| EX. BUILDING | PR. SIGN |
| EX. CONCRETE | PR. EXTERIOR TABLE/SEATING |
| EX. CURB | PR. ADA PARKING SPACE |
| EX. EDGE OF PAVING | PR. CURB |
| EX. TRAFFIC BARRIER | PR. TRAFFIC FLOW ARROWS |
| EX. FENCE METAL | PR. PARKING LOT STRIPING |
| EX. EDGE OF GRAVEL | |
| EX. ROAD STRIPING | |
| EX. SANITARY SEWER | |
| EX. STORM DRAIN | |
| EX. WATER MAIN | |
| EX. UNDERGROUND ELECTRIC LINE | |
| EX. OVERHEAD LINE | |
| EX. FIBER OPTIC LINE | |
| EX. GAS | |
| EX. ELECTRICAL BOX | |
| EX. LIGHT POLE | |
| EX. UTILITY POLE | |
| EX. ZONING LINE | |
| EX. WOODS LINE | |
| EX. TREE | |



Know what's below.
Call before you dig.

PROTECT YOURSELF. GIVE THREE WORKING DAYS NOTICE.
THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERE TO APPURTENANT.

OWNER / DEVELOPER

TWO FARMS, INC.
3611 ROLAND AVENUE
BALTIMORE, MARYLAND 21211
PHONE: (410) 889-0200
ATTN: JACK WHISTED

PROFESSIONAL CERTIFICATION

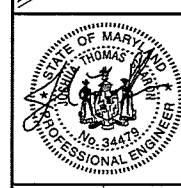
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 34479, EXPIRATION DATE: 06/21/2020

TRACKING# - DRC-2018-00014
LIMITED EXEMPTION# - 18022LN
DRC# - 042418F
PAI# - 15-1018



MORRIS & RITCHIE ASSOCIATES, INC.

ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
1220-C EAST JOPPA ROAD, SUITE 505
TOWSON, MARYLAND 21286
(410) 821-1690
FAX: (410) 821-1748
MRA@GTA.COM
Copyright 2019 Morris & Ritchie Associates, Inc.



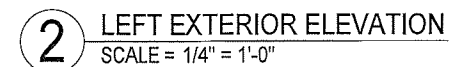
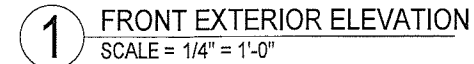
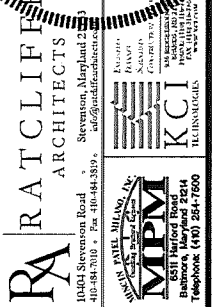
ROYAL FARMS STORE #266

9518 PULASKI HIGHWAY

PLAN TO ACCOMPANY BUILDING PERMIT

15TH ELECTION DISTRICT BALTIMORE COUNTY, MARYLAND 6TH COUNCILMANIC DISTRICT

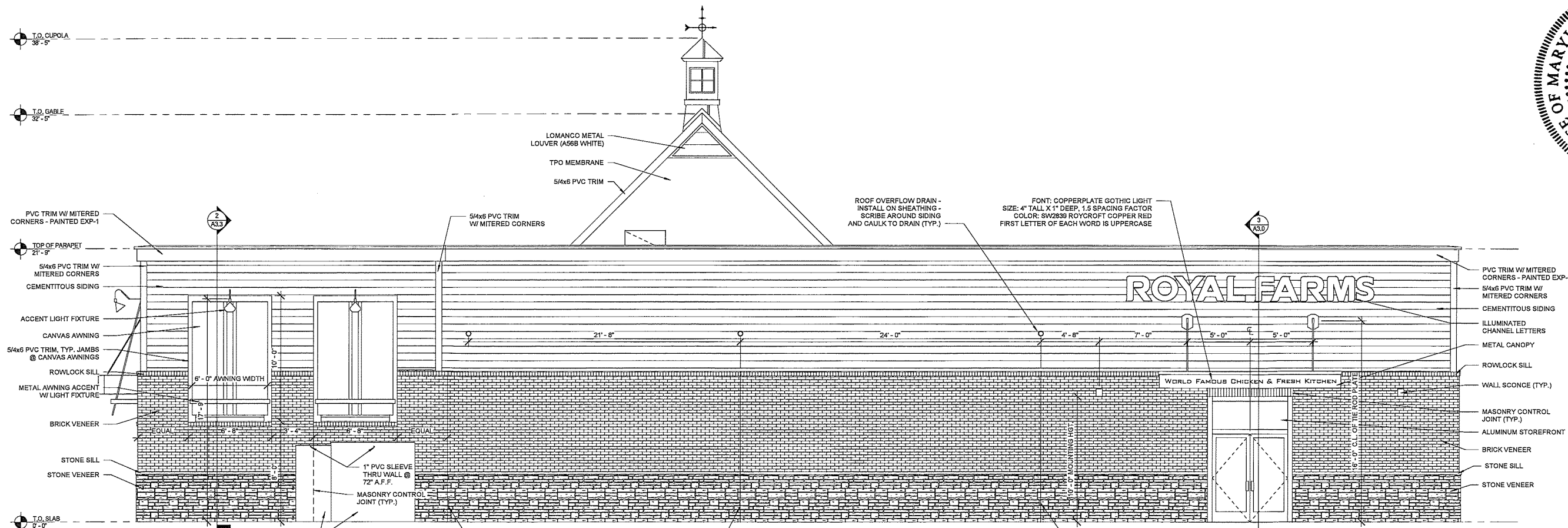
DATE	REVISIONS	JOB NO.	17481X71
		SCALE:	1"=30'
		DATE:	07/01/2019
		DRAWN BY:	DJK
		DESIGN BY:	THS
		REVIEW BY:	THS
		SHEET:	01 OF 01



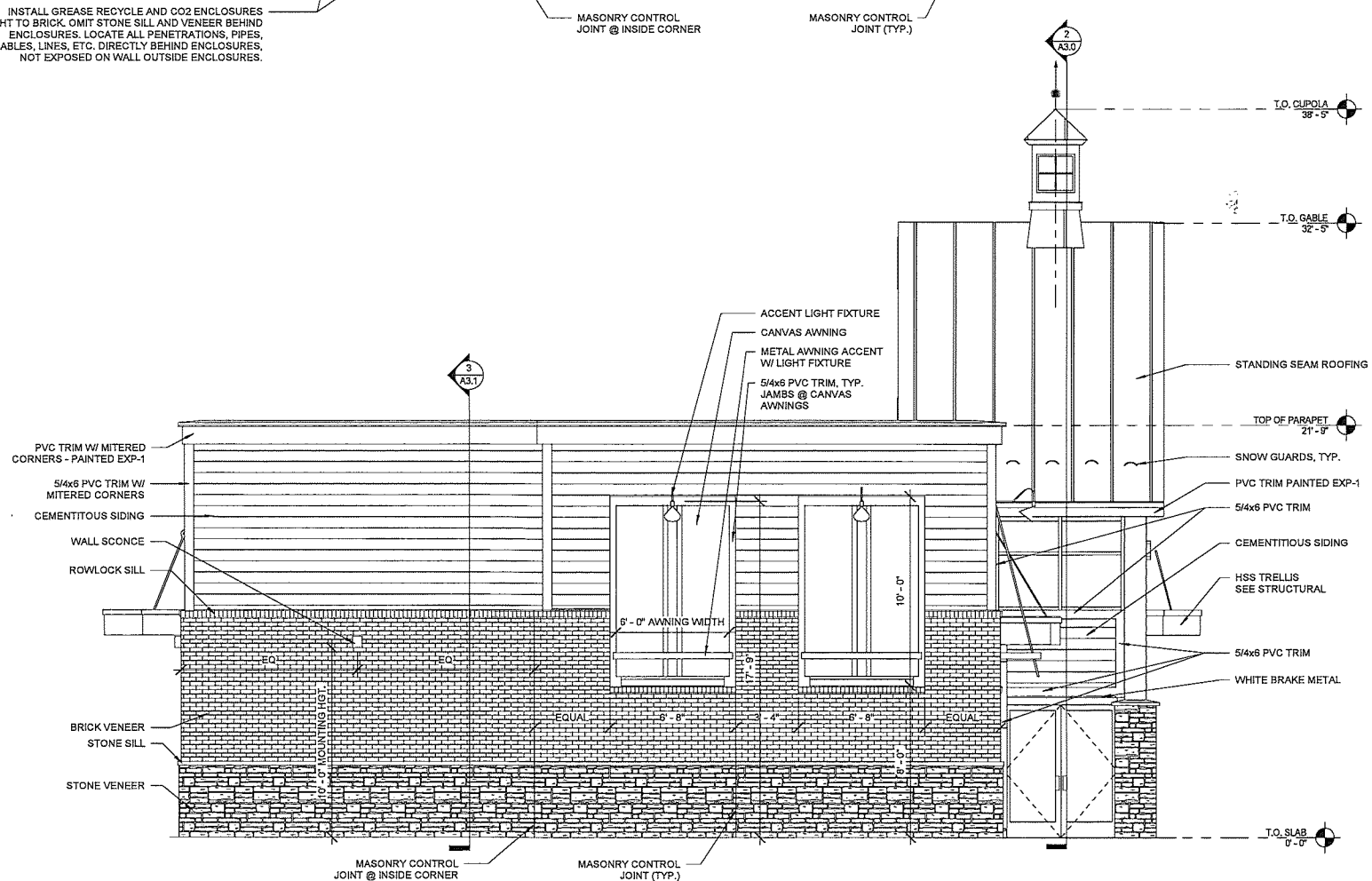
1. PAINT ALL EXTERIOR ELECTRICAL EQUIPMENT TO MATCH ADJACENT MATERIALS.
2. SEE CIVIL PLANS FOR DETAILED GRADING INFORMATION.
3. SEE SHEET A6.1 FOR EXTERIOR FINISH SCHEDULE.

SCALE	1/4" = 1'-0"
DRAWN BY	RW
THESE DRAWINGS ARE PROTECTED UNDER THE COPYRIGHT ACT OF 1976 AND SHALL NOT BE REPRODUCED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.	

A2.0



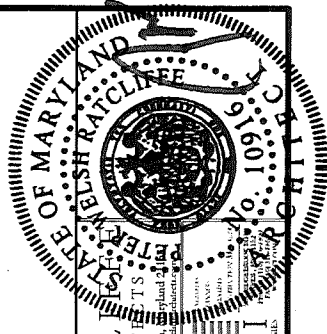
1 REAR EXTERIOR ELEVATION
SCALE = 1/4" = 1'-0"



2 RIGHT EXTERIOR ELEVATION
SCALE = 1/4" = 1'-0"

NOTES:

1. PAINT ALL EXTERIOR ELECTRICAL EQUIPMENT TO MATCH ADJACENT MATERIALS.
2. SEE CIVIL PLANS FOR DETAILED GRADING INFORMATION.
3. SEE SHEET A6.1 FOR EXTERIOR FINISH SCHEDULE.



RATCLIFF ARCHITECTS
10401 Stevenson Road
Stevenson, Maryland 21153
410-481-7000 • Fax 410-481-8300
www.ratcliffarchitects.com

KCI
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410-481-7000 • Fax 410-481-8300
www.kciarchitects.com

ROYAL FARMS

9518 Pulaski Highway
Middle River, MD 21220
Store #266

ELEVATIONS

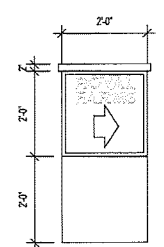
#	REVISED DATE	CONTENT
07-05-19	PERMIT SET	
	CONSTRUCTION SET	

SCALE 1/4" = 1'-0"

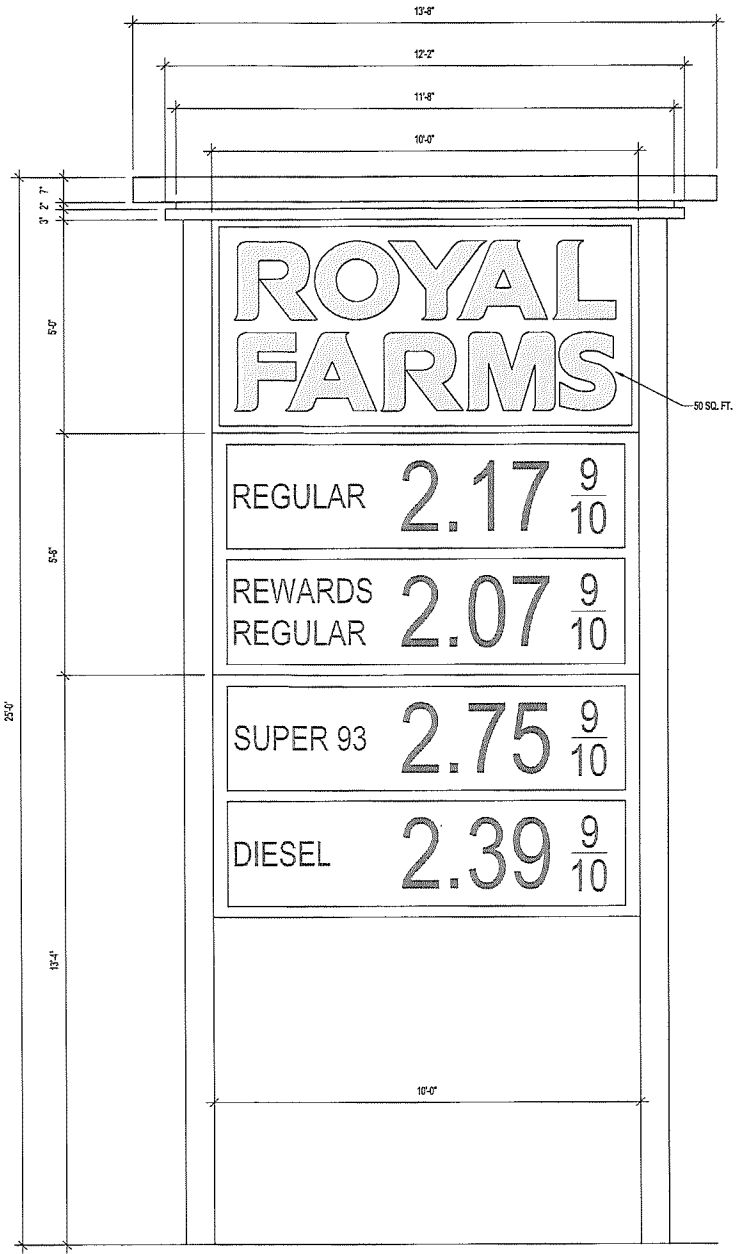
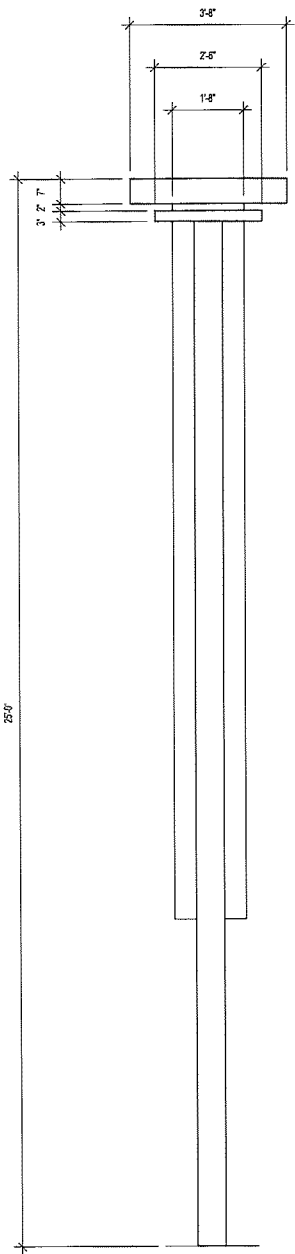
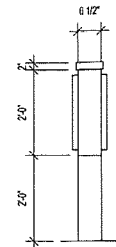
DRAWN BY RW

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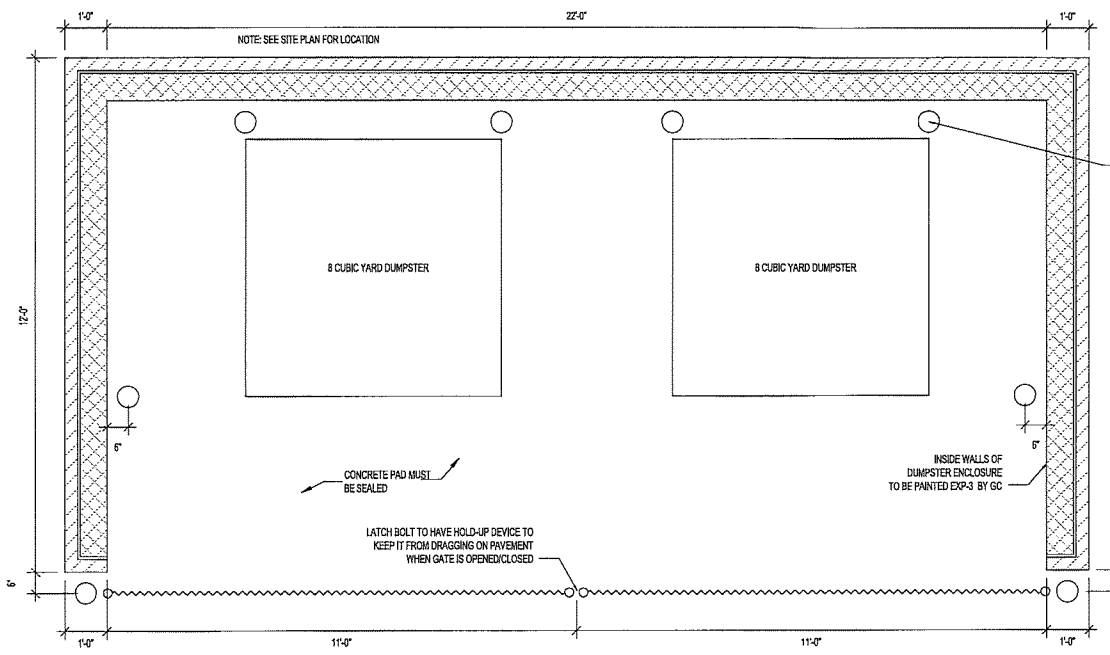
A2.1



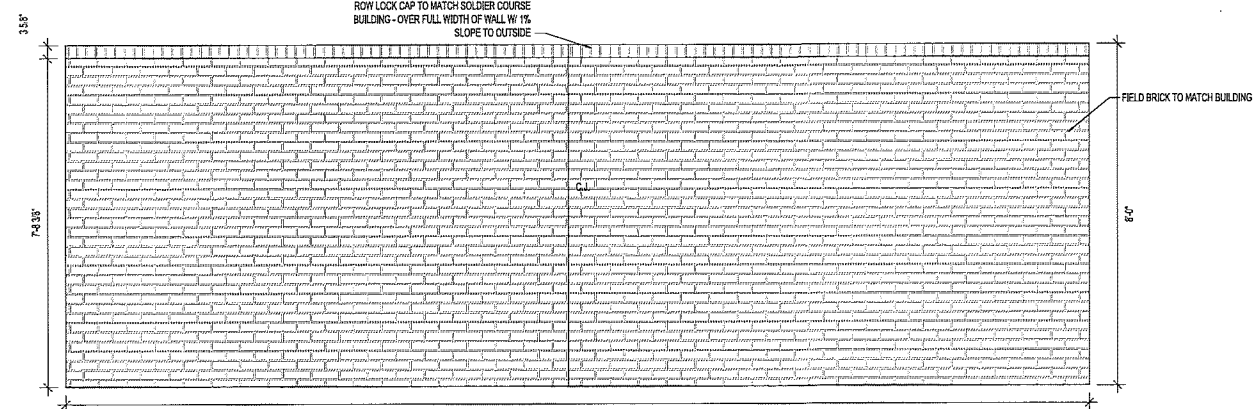
1 ENTRY/EXIT SIGNAGE
1/2" = 1'-0"



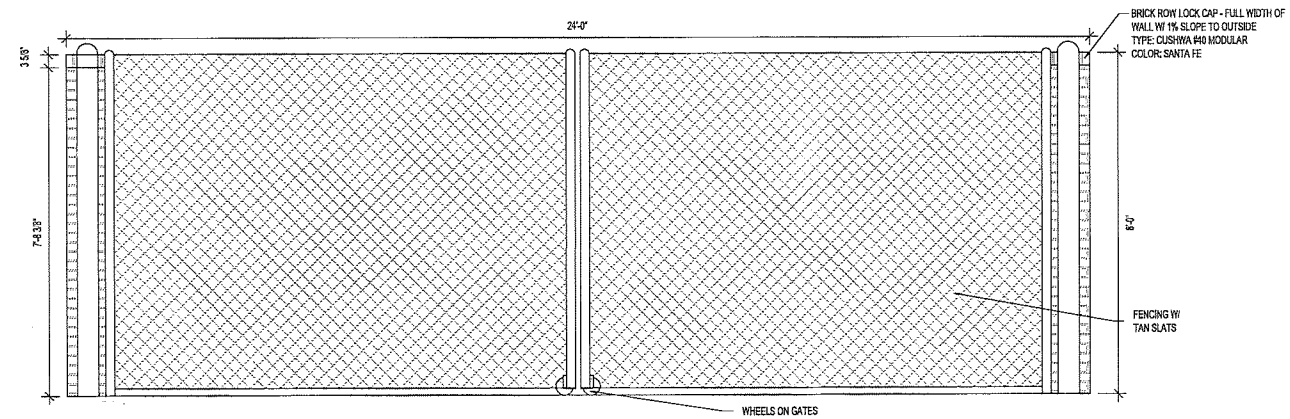
2 FUEL SIGN ELEVATION
1/2" = 1'-0"



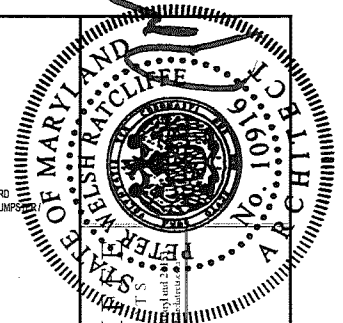
3 DUMPSTER ENCLOSURE - PLAN
1/2" = 1'-0"



4 DUMPSTER ENCLOSURE - REAR ELEVATION
1/2" = 1'-0"



5 DUMPSTER ENCLOSURE - FRONT ELEVATION
1/2" = 1'-0"



ROYAL FARMS

9518 Pulaski Highway
Middle River, MD 21220
Store #266

DUMPSTER ENCLOSURE &
EXTERIOR SIGNAGE

#	REVISED DATE	CONTENT
07-05-19		PERMIT SET
		CONSTRUCTION SET

SCALE NOTED
DRAWN BY RW

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A7.0

GENERAL NOTES

DIMENSIONS
DIMENSIONS SHOWN ON THE STRUCTURAL DRAWINGS ARE GENERALLY OBTAINED FROM THE ARCHITECT AND ARE INCLUDED AS INFORMATION COMPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. GENERALLY, ARCHITECTURAL DIMENSIONS WILL GOVERN OVER STRUCTURAL DIMENSIONS.
LAYOUT OF PYLON FOUNDATION & OTHER ITEMS MUST BE MADE USING THE DIMENSIONS SHOWN ON THE ARCHITECTURAL DRAWINGS ONLY.

FOUNDATIONS
BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE 3'-0" MINIMUM BELOW FINISHED GRADE. A BEARING CAPACITY OF 2,000 PSF. FOR FOOTING DESIGN, AND AN EQUIVALENT FLUID PRESSURE OF 50 PCF FOR RETAINING WALL DESIGN, HAS BEEN ASSUMED. IF SOIL OF THIS CAPACITY IS NOT ENCOUNTERED AT ELEVATIONS INDICATED ON PLAN, FOOTINGS SHALL BE INCREASED IN SIZE OR LOWERED AS DIRECTED BY THE STRUCTURAL ENGINEER. ELEVATIONS INDICATED ON PLAN ARE TO TOP OF FOOTINGS; ADJUST AS REQUIRED TO MEET MASONRY COURSE LINES. ALL FOOTINGS SHALL BE STEPPED AS REQUIRED TO PASS UNDER MECHANICAL PIPING. PROVIDE PIPE SLEEVES OF APPROPRIATE SIZE AND MATERIAL FOR ALL PIPES PASSING THROUGH FOUNDATION WALLS.
THE PLACING OF COMPACTED FILL MATERIAL AND EQUIPMENT USED FOR COMPACTION SHALL BE SUPERVISED AND APPROVED BY A GEOTECHNICAL ENGINEER. ALL FILL SHALL BE PLACED IN 8" LIFTS AND COMPACTED TO 95% MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT, AS DETERMINED BY ASTM D 698.

CAST IN PLACE CONCRETE AND REINFORCING
1. BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-14)
2. SPECIFICATIONS FOR STRUCTURAL CONCRETE (ACI 301)
3. DETAILS AND DETAILING OF CONCRETE REINFORCEMENT (ACI 315)
4. MANUAL OF STANDARD PRACTICE (GRS)
5. ACI DETAILING MANUAL (ACI SP-08)
6. STANDARD SPECIFICATIONS FOR TOLERANCES FOR CONCRETE CONSTRUCTION AND MATERIAL (ACI 117)
7. CHEMICAL ADMIXTURES FOR CONCRETE (ACI 212.3)
8. HOT WEATHER CONCRETING (ACI 305)
9. COLD WEATHER CONCRETING (ACI 305)
10. STANDARD SPECIFICATIONS FOR CURING CONCRETE (ACI 308.1)
11. GUIDE TO FORMWORK FOR CONCRETE (ACI 347)

CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH (F_c) AS FOLLOWS:
1. PYLON FOUNDATION = 4,000 PSI A/E, MAXIMUM W/C = 0.45

CONCRETE MATERIALS
REINFORCING - ASTM A 615, GRADE 60 DEFORMED
WELDED WIRE FABRIC - ASTM A 185
SPICE LAPS FOR ALL REINFORCING SHALL BE CLASS "B" SPICE.
CEMENT - ASTM C 150, TYPE I OR II
FLY ASH: ASTM C 618, IF USED MAXIMUM 10% BY WEIGHT
GROUND GRANULATED BLAST FURNACE SLAG: ASTM C 989, MAXIMUM 10% BY WEIGHT
AGGREGATES - ASTM C 33 ACI 304, ACI 211.1
COARSE AGGREGATE - SIZE #57
EXTERIOR CONCRETE SHALL BE AIR ENTRAINED 4%-6%.
ALL CONCRETE, EXCEPT CONCRETE USED FOR FOUNDATIONS, SHALL CONTAIN WATER REDUCING ADMIXTURE.
CONTRACTOR SHALL SUBMIT DESIGN MIX FOR ALL CLASSES OF CONCRETE PRIOR TO PLACING ANY CONCRETE.

STRUCTURAL STEEL
FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO AISC SPECIFICATIONS AND AWS D1.1
WIDE FLANGE SHAPED, ASTM A992 (F_y = 50 KSI)
TUBE STEEL: ASTM A 500, GRADE B (F_y = 46 KSI)
PLATE, BARS, ANGLE, CHANNEL, ASTM A36 (F_y = 36 KSI)
STRUCTURAL BOLTS, ASTM A325, NUTS, ASTM A563, WASHERS, ASTM F436
WELDING ELECTRODES: E70XX
HIGH STRENGTH BOLTS: ASTM A 325
ANCHOR BOLTS: ASTM A 307
BASE PLATE AND BEARING PLATE GROUT, ASTM C1107, NON-METALLIC, NON-SHRINK.
GALVANIZING OF STRUCTURAL STEEL: ASTM A 123 AND ASTM A153 FOR HARDWARE (SURFACE PREPARATION PER SSPC, SP-6).
SHOP COAT ALL STRUCTURAL STEEL WITH APPROVED PRIMER, UNLESS NOTED.
BEAM CONNECTIONS SHALL BE DESIGNED TO SUPPORT 50% BEAM WEB SHEAR CAPACITY PER AISC, UNLESS NOTED.

SHOP DRAWINGS
SHOP DRAWINGS SHALL BE SUBMITTED FOR ARCHITECT/ENGINEERS REVIEW FOR THE FOLLOWING ITEMS:

1. CONCRETE REINFORCING STEEL
2. STRUCTURAL STEEL

THE CONTRACTOR SHALL REVIEW AND VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT. ANY WORK FABRICATED OR INSTALLED INCORRECTLY DUE TO THE CONTRACTOR'S LACK OF VERIFICATION SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.

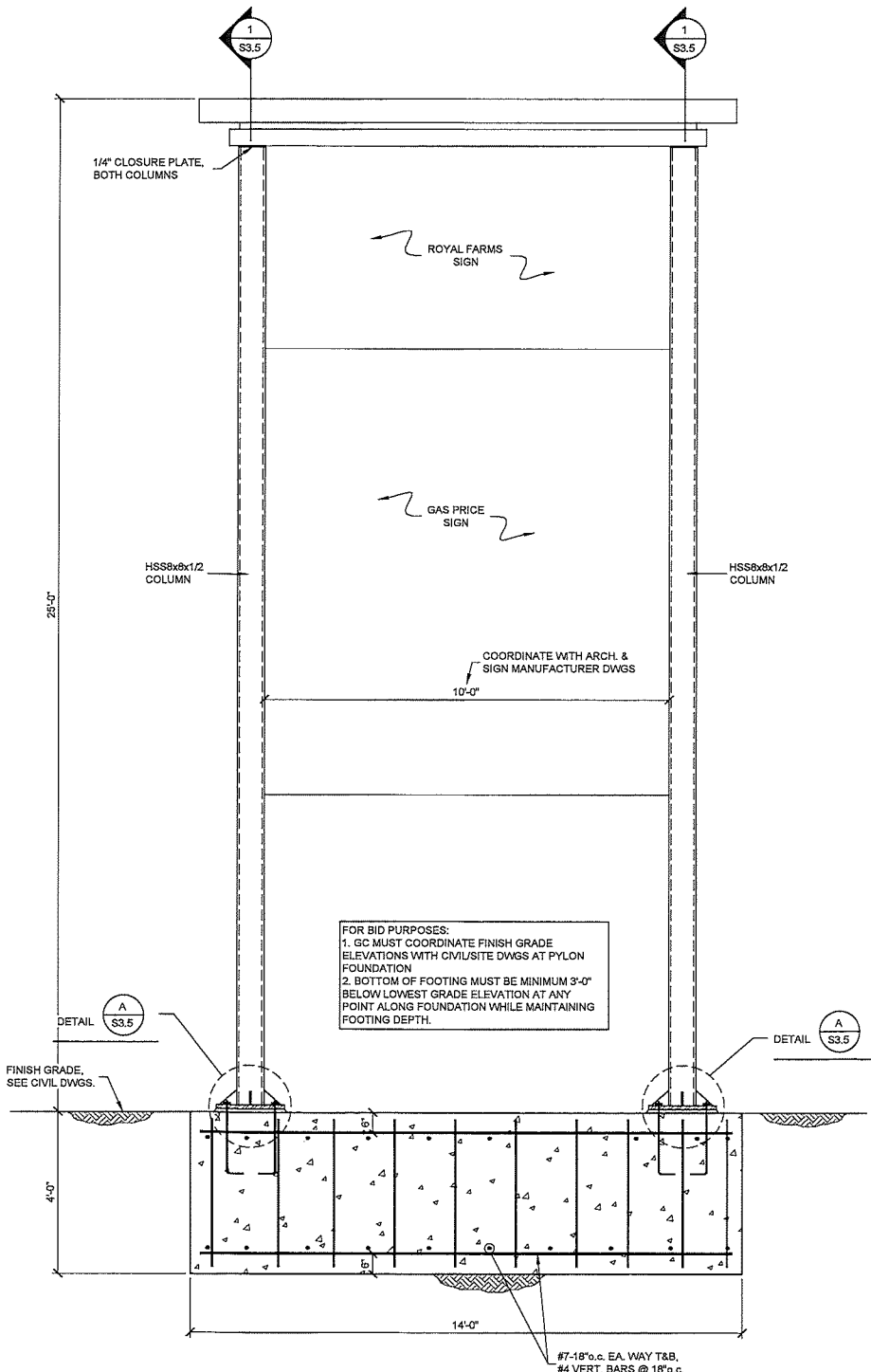
INSPECTION
AN INDEPENDENT INSPECTION AGENCY, SHALL BE RETAINED AND PAID FOR BY THE OWNER TO INSPECT/MONITOR/TEST THE ITEMS LISTED BELOW. INSPECTION AGENCY SHALL COMPLY AND PERFORM INSPECTION IN ACCORDANCE WITH THE REQUIREMENTS OF IBC "CHAPTER 17, STRUCTURAL TESTS AND SPECIAL INSPECTION."

1. EARTHWORK OPERATIONS INCLUDING VERIFICATION OF SOIL BEARING CAPACITY
2. CAST IN PLACE CONCRETE
3. STRUCTURAL STEEL

LIVE LOADS
THIS SIGNAGE HAS BEEN DESIGNED FOR THE FOLLOWING SUPERIMPOSED LOADS GOVERNING CODES:
INTERNATIONAL BUILDING CODE (IBC 2015)
MINIMUM DESIGN LOADS FOR BUILDINGS & OTHER STRUCTURES (ASCE 7-10)

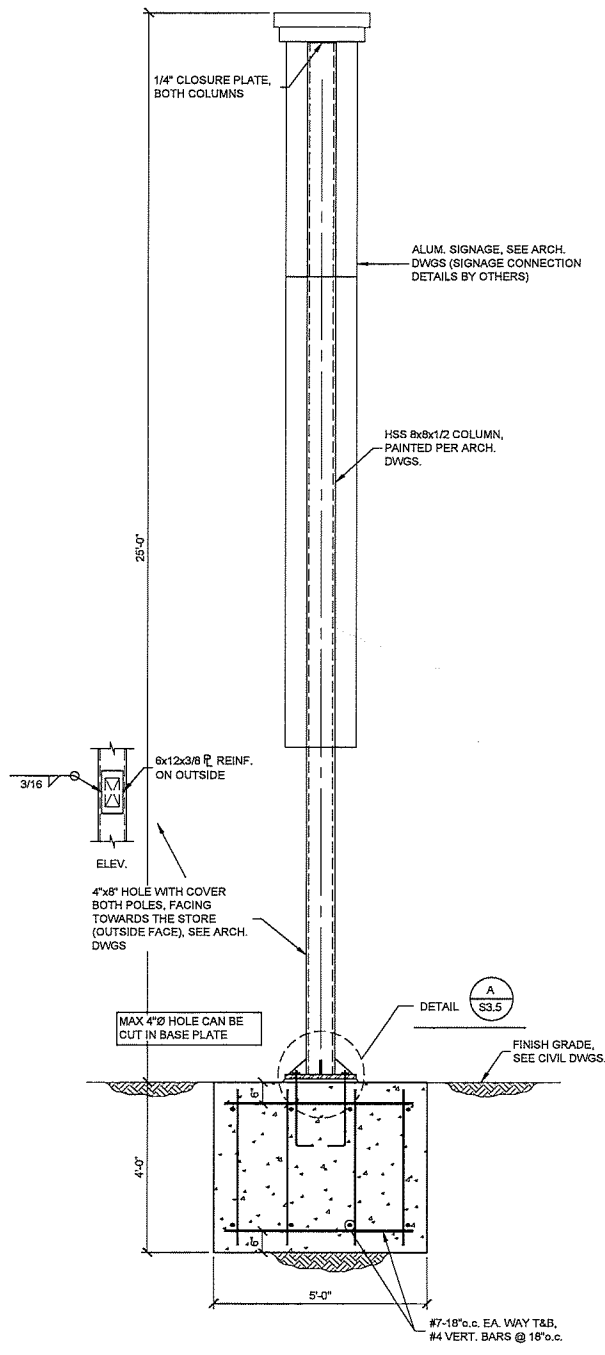
WIND LOAD:
BASIC WIND SPEED (3 SECOND GUST) = 115 MPH
EXPOSURE = B
WIND IMPORTANCE FACTOR = 1.0
EARTHQUAKE DESIGN DATA:
SEISMIC OCCUPANCY CATEGORY II
ASSUMED SITE CLASS D
S_s = 0.16g
S₁ = 0.051g
S_{0.5} = 0.171
S_{0.2} = 0.082
SPECTRAL RESPONSE COEFFICIENT, S_{0.2} = 0.082
SEISMIC IMPORTANCE FACTOR = 1.0

NOTES:
1. COORDINATE WITH PYLON SIGN SHOP DRAWINGS AND PYLON SIGN MANUFACTURER FOR ACCURATE DIMENSION OF SIGN CABINETS, CENTER TO CENTER OF COLUMN DIMENSIONS, TOP OF COLUMN ELEVATION, FINISHES, ETC.
2. REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL DIMENSIONS SUCH AS MASONRY BASE WIDTH, LENGTH, HEIGHT AND OTHER ARCHITECTURAL DIMENSIONS AND DETAILS.



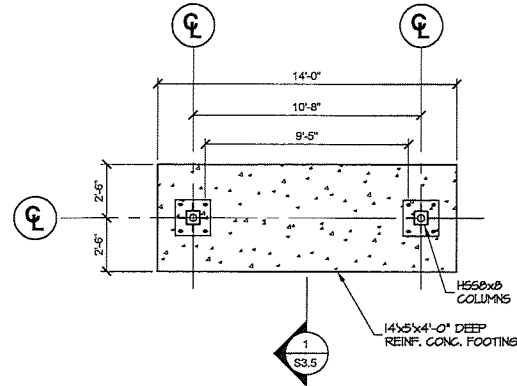
PYLON SIGN

SIGN ELEVATION

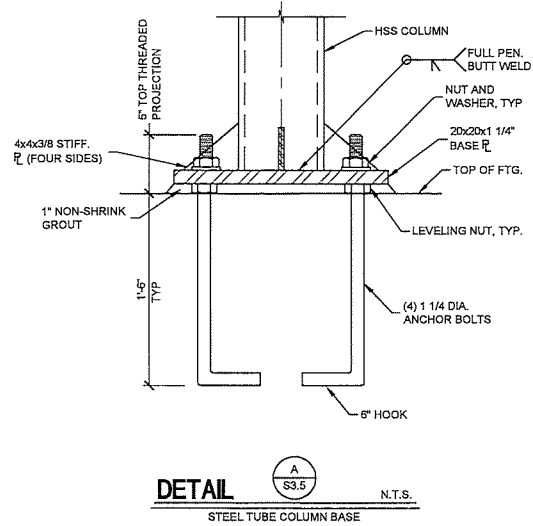
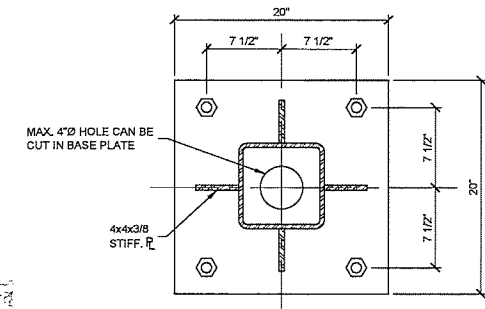


SECTION

NOTE:
1. CLEAN AND APPLY ASPHALT COAT PROTECTION AT ALL BELOW GRADE STRUCTURAL STEEL & MIN. 6" ABOVE GRADE.



PYLON FOUNDATION PLAN



DETAIL

STEEL TUBE COLUMN BASE

Professional Certification, I hereby certify that these documents were prepared by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 36655, Expiration Date: 06-07-2021.

Smita J. Patel

Date

RATCLIFFE ARCHITECTS

10484 Severn Road
Stevenson, Maryland 21153
410-484-1310 • Fax 410-484-1317 • info@ratcliffearch.com

6511 Harford Road
Baltimore, Maryland 21286
Telephone (410) 284-7600
Facsimile (410) 284-7600

MPM

ROYAL FARMS

9518 PULASKI HIGHWAY
MIDDLE RIVER, MD 21220
STORE #286

PYLON SIGNAGE

#	REVISED DATE	CONTENT
	07-05-19	PERMIT SET
		CONSTRUCTION SET

SCALE AS NOTED

DRAWN BY S. PATEL

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S3.5



BALTIMORE COUNTY
DEPARTMENT OF PERMITS, APPROVALS & INSPECTIONS
111 WEST CHESAPEAKE AVENUE
TOWSON, MD 21204
410-887-3391

\$200.00

B _____
A 178453
The applicant is authorized
to affirm that there are no
current violations at this
site pursuant to Section
112.7 BCC
Initials _____

SIGN USE PERMIT

Permit Fees are Non-Refundable; Make Check Payable to "Baltimore County, Maryland"

PROPERTY ADDRESS 10740 PULASKI HWY ZIP CODE 21162
BUSINESS NAME HOCHICK FUELS 102-DIESEL SIGN ZONING BR-AS/ML-AS
OWNER'S NAME Hochick Fuel Property PHONE NO. _____ HISTORIC DISTRICT ☐ Yes ☒ No
MAILING ADDRESS 1110 BITTAMG FARM RD BALTIMORE, MD 21237
APPLICANT/OWNER'S AGENT Madaya Lee-Hatchiff Arch. PHONE NO. 410-484-7010
SIGN COMPANY NAME _____ PHONE NO. _____

TYPE OF SIGN: ☐ Window Sign TAX ACCOUNT NO. 16 000 03871

☐ Temporary- Including Real Estate/Construction/Event Temporary Signs in the Last Year: ☐ Yes ☐ No

☐ Permanent ☐ Changeable Copy ☒ Wall ☐ Face Change Only ☐ Non-Illuminated

☐ Freestanding ☐ Pylon ☐ Monument ☒ Illuminated (separate electrical permit required)

Size: 1.916 feet x 10.25 feet = 19.639 square feet (both signs) Height: _____ feet (freestanding signs)

Property Line/Street Right-of-Way Setbacks: front _____, sides _____ and _____, and rear _____.

NOTE: A construction plan, drawn to scale and clearly showing that all requirements have been met, must be attached; a site plan also must be attached for freestanding signs.

Table of Sign Regulations: 450.4. Attachment 1, 1.- An Electronic Changeable Copy Sign may only have a maximum Frequency of one instantaneous message change per 15 second cycle.

450.6.B.3 Changeable copy signs must operate at a constant intensity and not give the appearance of movement by flashing, blinking, strobing, scrolling, oscillating, or alternating lights.

PROHIBITIONS: including roof signs (Sections 450.5.B.7 and 450.6.A, Baltimore County Zoning Regulations):

1. Signs cannot impair motorist's clear view of traffic or government signs. All signs are subject to Section 102.5, BCZR.
2. Signs cannot imitate or resemble government signs, except for private traffic control and notice signs.
3. Signs cannot be placed in or project into or above street right of way or governmental property.
4. Sign or framework cannot obstruct window or opening for light and air or access to building, fire hydrant, or stand pipe.
5. Vehicle cannot be parked for the purpose of displaying an attached sign.
6. Except for flags exempted, flags, pennants, ribbons, streamers, tethered balloons, laser projections, and similar objects are prohibited.
7. Portable signs are prohibited, except for A-frame and sandwich board signs issued a use permit in B.M. - C.T. zones.
8. There can be no display or simulation of moving parts or message, except for an outdoor advertising sign with tri-vision, a changeable copy sign, or a thermometer, barometer, weather vane, barber pole, or clock.
9. No sign may emit sound

Work Description (including number of signs, special conditions, materials, locations and size):

Install (2) TWO "Diesel" signs on fuel canopy
See attached. BOTH SIGNS ARE 19.639#

CORNER LOT ☐

OWNER/AGENT CERTIFICATION

I solemnly affirm under the penalties of perjury and upon personal knowledge that the contents of the above are true and further agree to locate the proposed sign such that it will not violate Baltimore County laws and regulations.

Madaya Lee
Signature

1/16/19
Date

Madaya Lee
Print/Type Name

☒ Require Planning Signature SNP

Date 1/23/19

Copies: White-Office; Yellow- Applicant (keep
this Copy for your permanent records)

REV 10/14

Authority under Section 500.4, BCZR **PAI Approval** (SIGN ONLY)

Jeffrey Rulow
Signature

SNP
Initials

1/23/19
Date



Permits, Approvals & Inspections

111W. Chesapeake Avenue
Towson, MD 21204

Report Generated On:
1/23/2019

Permit Processing Commerical Permit & Development Report

Page 1 of 1

Property Information

Tax Account Number: 1600003871

Election District: 11

Owner Name(s): RODICK REALTY LLC

PDM #: 11-1150

Address: 1110 BATAVIA FARM ROAD
BALTIMORE, MD 21237

Zoning District(s): BR AS
ML AS

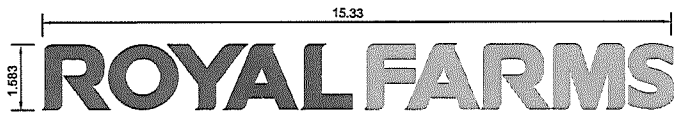
Premise Address: 10740 PULASKI HWY

Elevation Range: 18ft - 24ft

Affected Overlays	Instructions: Begin review process with Zoning Review, Room 111.	New Com Bldg.	Interior Alts.	Add / Ext. Alts.	Piers/Pilings	Grading/SW	Tanks	Ret Walls/Bulk	Razing	Chg. of Occup.	Tower Antenna	Signs	Elect. & Plumb	Agency Acknowledgment
Contact Agency	Potential Overlay Issues Growth Tier 1: Served by public sewer and inside URDL													Initial & Date
Planning Jefferson Building Room 101 Phone: 410-887-3211	Commercial Revitalization Districts - Cowenton-Ebenezer	X		X								X		JWA 1/23/19
DEPS-Dev. Coord. Jefferson Building 4th Floor Phone: 410-887-3733	100 Year Flood Zone	X		X		X	X	X			X			
DEPS-Sed. Control Jefferson Building 4th Floor Phone: 410-887-3226	Note: All Razing Permits must be sent to Sediment Control for review. 100 Year Flood Zone	X		X		X		X						
PAI-Public Services County Office Building Room 119 Phone: 410-887-3751	Note: All permits for Grading, New Buildings & Building Additions must be sent to Public Services. 100 Year Flood Zone	X	X	X		X	X			X	X	X		OK To File
Zoning Review County Office Building Room 111 Phone: 410-887-3391	Zoning Cases: 1961-5321-X; 2018-0081-X; 1999-0318-X; 1989-0494-XA; 2003-0009-SPHX	X		X	X	X	X			X	X	X		JNP RINA 1/23/19
Building Plans Review County Office Building Room 120 Phone: 410-887-3987	100 Year Flood Zone	X	X	X	X		X	X			X			

RFS 102 PROPOSED SIGNAGE

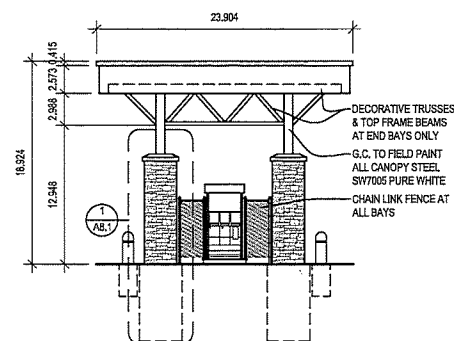
4 Building Signs on Fuel Canopies



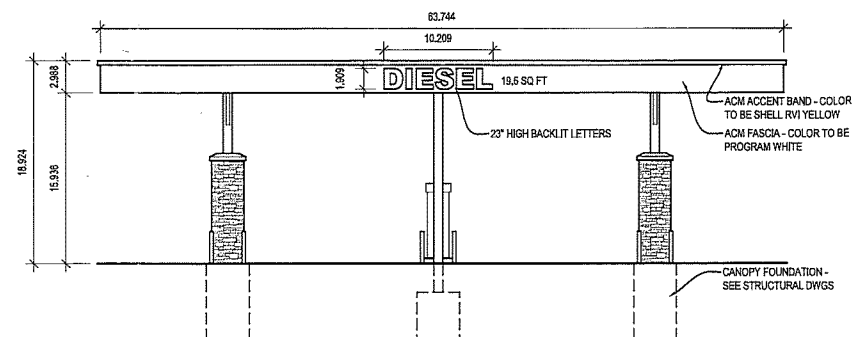
(X2) Front & Back



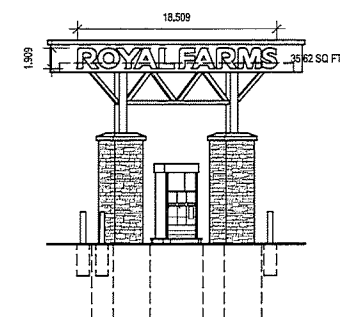
(X2) Front & Back



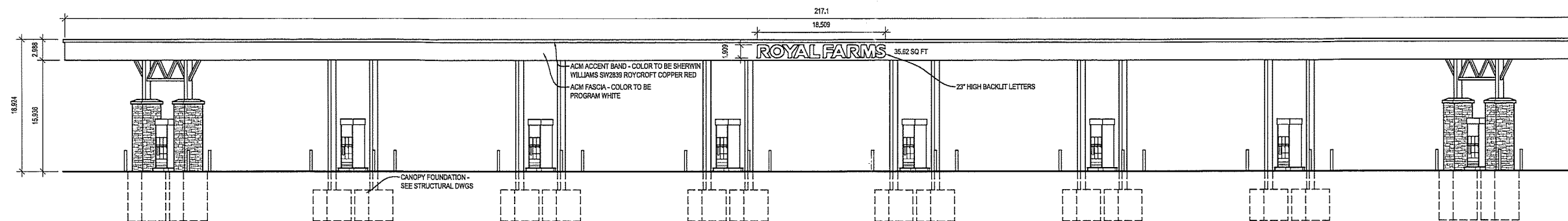
4 HIGH FLOW FUEL CANOPY SIDE ELEVATION



3 HIGH FLOW FUEL CANOPY FRONT ELEVATION
1/8" = 1'-0"



2 FUEL CANOPY SIDE ELEVATION
1/8" = 1'-0"



1 FUEL CANOPY FRONT ELEVATION
1/8" = 1'-0"

RA | **RATCLIFFE**
ARCHITECTS
1000 Stevenson Road • Stevenson, Maryland 21153
410-484-7610 • Fax 410-484-3819 • info@ratcliffearchitects.com

ROYAL FARMS

10740 PULASKI HIGHWAY
WHITE MARSH, MARYLAND 21162
STORE #102

FUEL CANOPY

#	REVISED DATE	CONTENT
	09-11-18	PERMIT SET

SCALE	NOTED
DRAWN BY	STAFF

THESE DRAWINGS ARE PROTECTED UNDER THE COPYRIGHT ACT OF 1976 AND SHALL NOT BE REUSED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

A8.0



\$200.00

BALTIMORE COUNTY
DEPARTMENT OF PERMITS, APPROVALS & INSPECTIONS
111 WEST CHESAPEAKE AVENUE
TOWSON, MD 21204
410-887-3391

B _____
A 178453
The applicant is authorized to affirm that there are no current violations at this site pursuant to Section 112.7 BCC
Initials _____

SIGN USE PERMIT

Permit Fees are Non-Refundable; Make Check Payable to "Baltimore County, Maryland"

PROPERTY ADDRESS 10740 PULASKI HWY ZIP CODE 21162
BUSINESS NAME ROYAL FIRMS #102-RF LOGO ZONING BR-AS/ML-AS
OWNER'S NAME Michael Royal Property PHONE NO. _____ HISTORIC DISTRICT ☐ Yes ☐ No
MAILING ADDRESS 1110 BAITOMCI FARM RD BALTIMORE, MD 21237
APPLICANT/OWNER'S AGENT MADALAYI LEE - HATCHIFFE ARCH. PHONE NO. 410-484-7010
SIGN COMPANY NAME _____ PHONE NO. _____

TYPE OF SIGN: ☐ Window Sign TAX ACCOUNT NO. 16 1000 103871

☐ Temporary- Including Real Estate/Construction/Event Temporary Signs in the Last Year: ☐ Yes ☒ No

☒ Permanent ☐ Changeable Copy ☒ Wall ☐ Face Change Only ☐ Non-Illuminated

☐ Freestanding ☐ Pylon ☐ Monument ☒ Illuminated (separate electrical permit required)

Size: 15.33 feet x 1.583 feet = 24.267 square feet (BOTH SIGNS) Height: _____ feet (freestanding signs)

Property Line/Street Right-of-Way Setbacks: front _____, sides _____ and _____, and rear _____.

NOTE: A construction plan, drawn to scale and clearly showing that all requirements have been met, must be attached; a site plan also must be attached for freestanding signs.

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8. There can be no display or simulation of moving parts or message, except for an outdoor advertising sign with tri-vision, a changeable copy sign, or a thermometer, barometer, weather vane, barber pole, or clock.
9. No sign may emit sound

Work Description (including number of signs, special conditions, materials, locations and size):

Install (2) TWO "ROYAL FIRMS" WALL SIGNS ON
FUEL CANOPY. SEE ATTACHED. BOTH SIGNS ARE 24.267 SQ. FT.
CORNER LOT ☐

OWNER/AGENT CERTIFICATION

I solemnly affirm under the penalties of perjury and upon personal knowledge that the contents of the above are true and further agree to locate the proposed sign such that it will not violate Baltimore County laws and regulations.

Madalayi Lee
Signature

1/16/19
Date

Madalayi Lee
Print/Type Name

☒ Require Planning Signature LMH

Date 1/23/19

Copies: White-Office; Yellow- Applicant (keep this Copy for your permanent records)

REV 10/14

Authority under Section 500.4, BCZR PAI Approval (SIGN ONLY)

Jeffrey Perlor
Signature

JNP
Initials

1/23/19
Date



Permits, Approvals & Inspections

111W. Chesapeake Avenue
Towson, MD 21204

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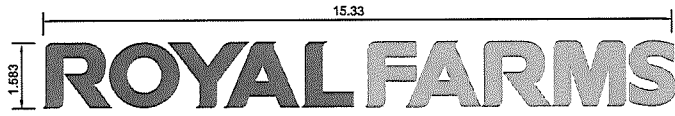
Premise Address: 10740 PULASKI HWY

Elevation Range: 18ft - 24ft

Affected Overlays	Instructions: Begin review process with Zoning Review, Room 111	New Com Bldg.	Interior Alts.	Add / Ext. Alts.	Piers/Pilings	Grading/SW	Tanks	Ret. Walls/Bulk	Razing	Chg. of Occup.	Tower Antenna	Signs	Elect. & Plumb	Agency Acknowledgment
Contact Agency	Potential Overlay Issues													Initial & Date
	Growth Tier 1: Served by public sewer and inside URDL													
Planning Jefferson Building Room 101 Phone: 410-887-3211	Commercial Revitalization Districts - Cowenton-Ebenezer	X		X								X		<i>Filed 1/23/19</i>
DEPS-Dev. Coord. Jefferson Building 4th Floor Phone: 410-887-3733	100 Year Flood Zone	X		X		X	X	X			X			
DEPS-Sed. Control Jefferson Building 4th Floor Phone: 410-887-3226	Note: All Razing Permits must be sent to Sediment Control for review. 100 Year Flood Zone	X		X		X		X						
PAI-Public Services County Office Building Room 119 Phone: 410-887-3751	Note: All permits for Grading, New Buildings & Building Additions must be sent to Public Services. 100 Year Flood Zone	X	X	X		X	X			X	X	X		OK To File
Zoning Review County Office Building Room 111 Phone: 410-887-3391	Zoning Cases: 1961-5321-X; 2018-0081-X; 1999-0318-X; 1989-0494-XA; 2003-0009-SPHX	X		X	X	X	X			X	X	X		<i>JMP 1/23/19</i>
Building Plans Review County Office Building Room 120 Phone: 410-887-3987	100 Year Flood Zone	X	X	X	X		X	X			X			

RFS 102 PROPOSED SIGNAGE

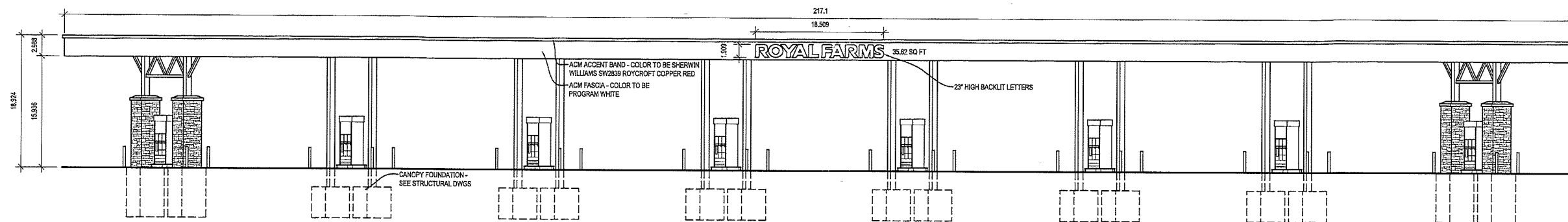
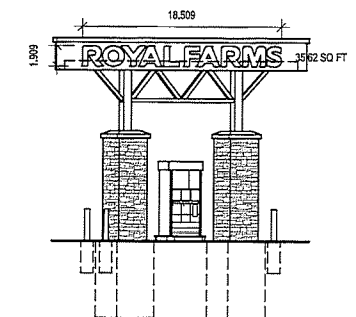
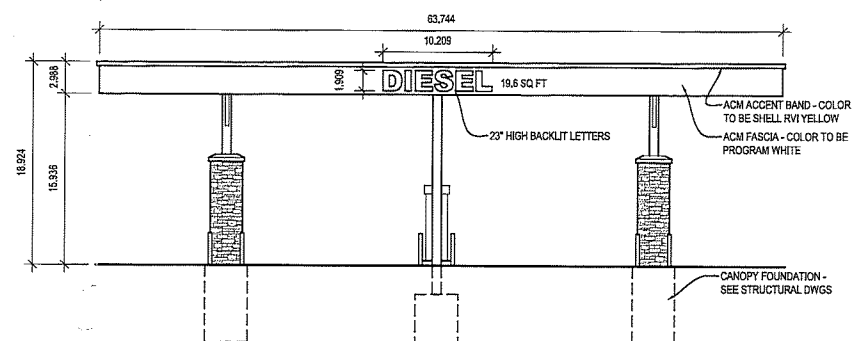
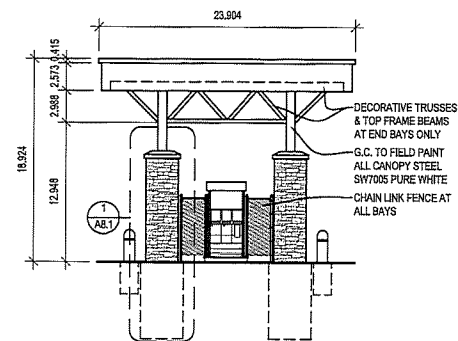
4 Building Signs on Fuel Canopies



(X2) Front & Back



(X2) Front & Back



RATCLIFFE
ARCHITECTS

1004 Stevenson Road • Stevenson, Maryland 21153
410-484-7000 • Fax 410-484-5819 • info@medfieldarchitects.com

ROYAL FARMS

10740 PULASKI HIGHWAY
WHITE MARSH, MARYLAND 21162
STORE #102

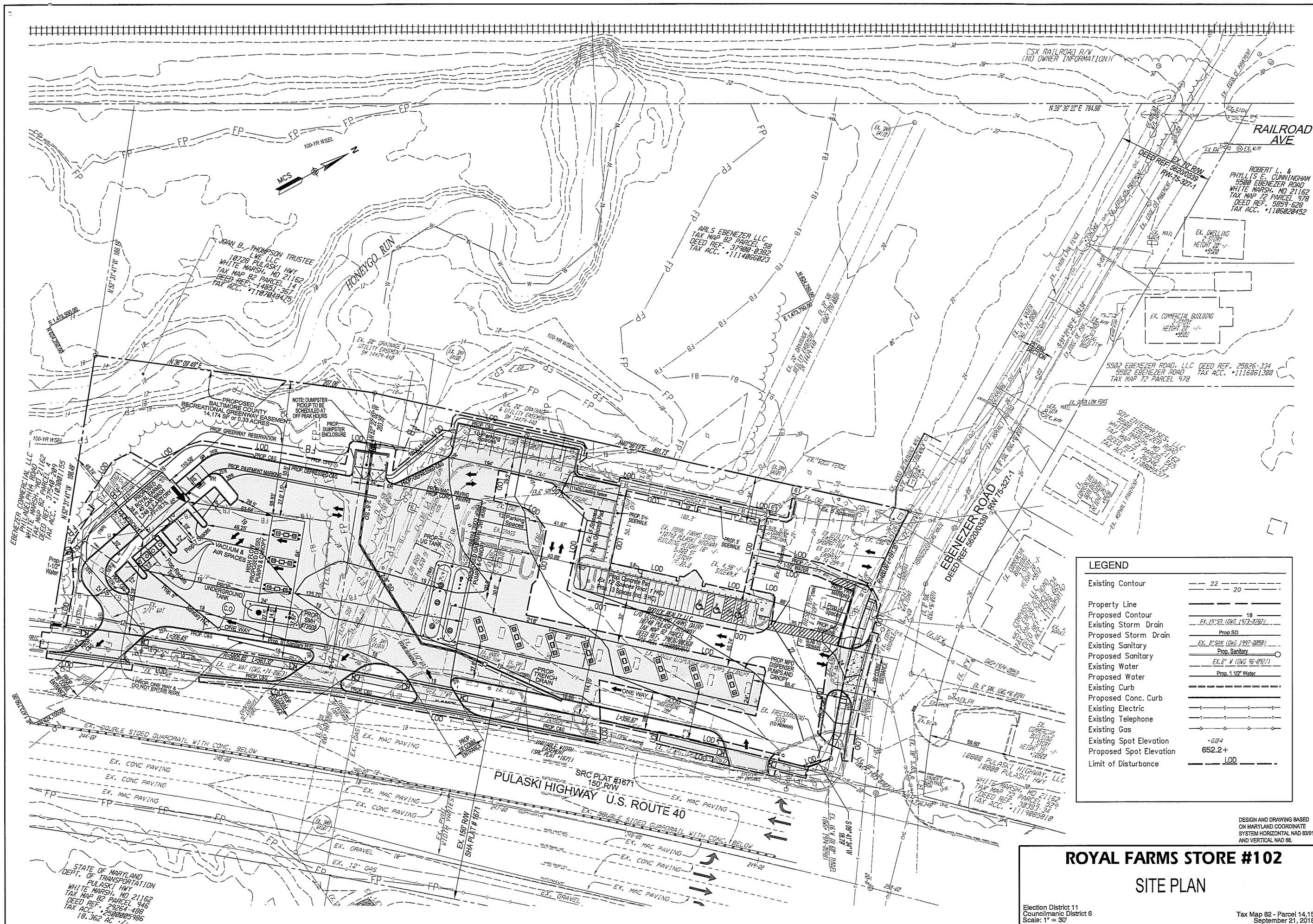
FUEL CANOPY

[illegible]

SCALE	NOTED
DRAWN BY	STAFF

THESE DRAWINGS ARE PROTECTED UNDER THE COPYRIGHT ACT OF 1976 AND SHALL NOT BE REUSED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

A8.0



LEGEND	
Existing Contour	22 20
Property Line	18
Proposed Contour	EX. 15' ST. (LONG 1973-1982)
Existing Storm Drain	Prop. SD
Proposed Storm Drain	EX. 8" SAN. (LONG 1997-2009)
Existing Sanitary	Prop. Sanitary
Proposed Sanitary	EX. 8" W. (LONG 96-1997)
Existing Water	Prop. 1 1/2" Water
Proposed Water	
Existing Curb	
Proposed Conc. Curb	
Existing Electric	
Existing Telephone	
Existing Gas	
Existing Spot Elevation	652.2+
Proposed Spot Elevation	LOD
Limit of Disturbance	

ROYAL FARMS STORE #102
SITE PLAN

Election District 11
Souncilmanic District 6
Scale: 1" = 30'

DESIGN AND DRAWING BASED
ON MARYLAND COORDINATE
SYSTEM HORIZONTAL NAD 83/91
AND VERTICAL NAD 88.

STATE OF MARYLAND
DEPT. OF TRANSPORTATION
PULASKI HWY
TAX MAP 82 PARCEL 96
DEED REF. 29264-486
TAX ACC. 2000005986
18,362 AC.

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