

2019-0473-SI



\$150.00

BALTIMORE COUNTY
DEPARTMENT OF PERMITS, APPROVALS & INSPECTIONS
111 WEST CHESAPEAKE AVENUE
TOWSON, MD 21204
410-887-3391

B _____

A 187049

The applicant is authorized
to affirm that there are no
current violations at this
site pursuant to Section
112.7 BCG
Initials JK

SIGN USE PERMIT

Permit Fees are Non-Refundable; Make Check Payable to "Baltimore County, Maryland"

PROPERTY ADDRESS 9901 York Rd Cockeysville MDZIP CODE 21030BUSINESS NAME TargetZONING BROWNER'S NAME Dayton Hudson Target #1265

PHONE NO. _____

HISTORIC DISTRICT ☐ Yes ☐ NoMAILING ADDRESS 33rd South 6th street PO Box 9456 Mail Stop CC 1030 Minneapolis MN 55440APPLICANT/OWNER'S AGENT Frank CavanaghPHONE NO. 301-384-1300SIGN COMPANY NAME ARK Sign Services, Inc.PHONE NO. 301-384-1300

TYPE OF SIGN:

☐ Window Sign

TAX ACCOUNT NO. _____ / _____ / 2300001760

☐ Temporary- Including Real Estate/Construction/EventTemporary Signs in the Last Year: ☐ Yes ☐ No
☒ Permanent ☐ Changeable Copy ☒ Wall ☐ Face Change Only ☐ Non-Illuminated

☐ Freestanding ☐ Pylon ☐ Monument ☒ Illuminated (separate electrical permit required)
Size: 12 feet x 12 feet = 144 square feet

Height: _____ feet (freestanding signs)

Property Line/Street Right-of-Way Setbacks: front _____, sides _____ and _____, and rear _____.

NOTE: A construction plan, drawn to scale and clearly showing that all requirements have been met, must be attached; a site plan also must be attached for freestanding signs.

Table of Sign Regulations: 450.4. Attachment 1, 1.- An Electronic Changeable Copy Sign may only have a maximum Frequency of one instantaneous message change per 15 second cycle.

PROHIBITIONS: including roof signs (Sections 450.5.B.7 and 450.6.A, Baltimore County Zoning Regulations):

1. Signs cannot impair motorist's clear view of traffic or government signs. All signs are subject to Section 102.5, BCZR.
2. Signs cannot imitate or resemble government signs, except for private traffic control and notice signs.
3. Signs cannot be placed in or project into or above street right of way or governmental property.
4. Sign or framework cannot obstruct window or opening for light and air or access to building, fire hydrant, or stand pipe.
5. Vehicle cannot be parked for the purpose of displaying an attached sign.
6. Except for flags exempted, flags, pennants, ribbons, streamers, tethered balloons, laser projections, and similar objects are prohibited.
7. Portable signs are prohibited, except for A-frame and sandwich board signs issued a use permit in B.M. - C.T. zones.
8. There can be no display or simulation of moving parts or message, except for an outdoor advertising sign with tri-vision, a changeable copy sign, or a thermometer, barometer, weather vane, barber pole, or clock.
9. No sign may emit sound

450.6.B.3 Changeable copy signs must operate at a constant intensity and not give the appearance of movement by flashing, blinking, strobing, scrolling, oscillating, or alternating lights.

Work Description (including number of signs, special conditions, materials, locations and size):

install one 12x12+144sqft wall mounted LED Illuminated signs on 289' wall

CORNER LOT ☐

OWNER/AGENT CERTIFICATION

I solemnly affirm under the penalties of perjury and upon personal knowledge that the contents of the above are true and further agree to locate the proposed sign such that it will not violate Baltimore County laws and regulations.

Signature _____

Date 7-1-19

Frank Cavanagh
Print/Type Name

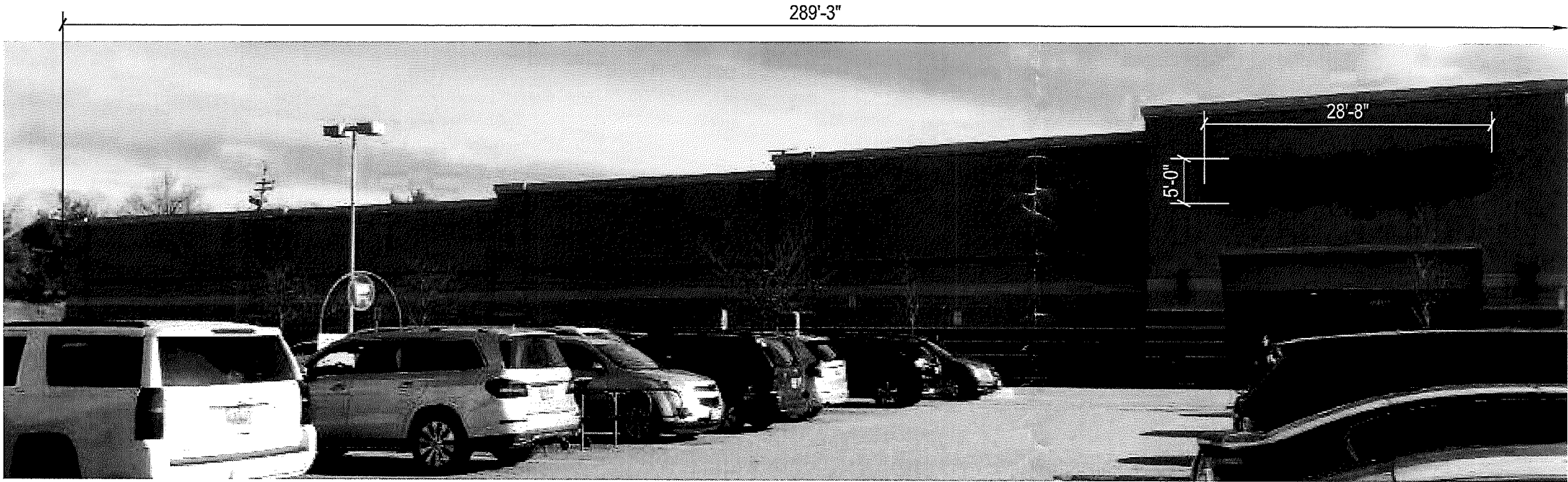
☐ Require Planning SignatureN/A

Date _____

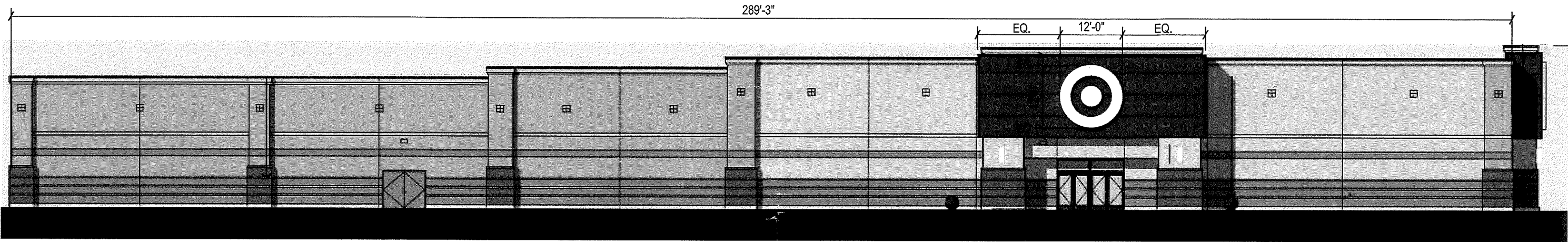
Copies: White-Office; Yellow- Applicant (keep
this Copy for your permanent records)

REV 03/12

Authority under Section 500.4, BCZR PAI Approval (SIGN ONLY)Signature JellyInitials JNPDate 7/1/19

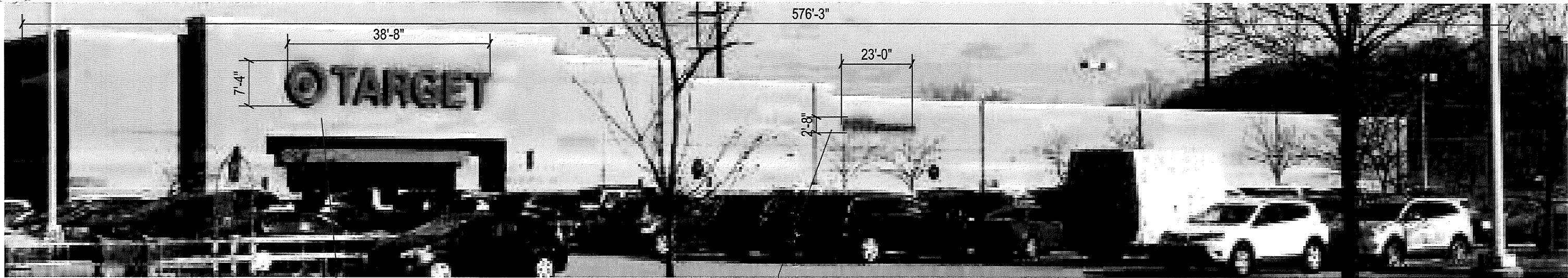


EXISTING SIDE BUILDING ELEVATION
scale: NTS



PROPOSED SIDE BUILDING ELEVATION
scale: NTS

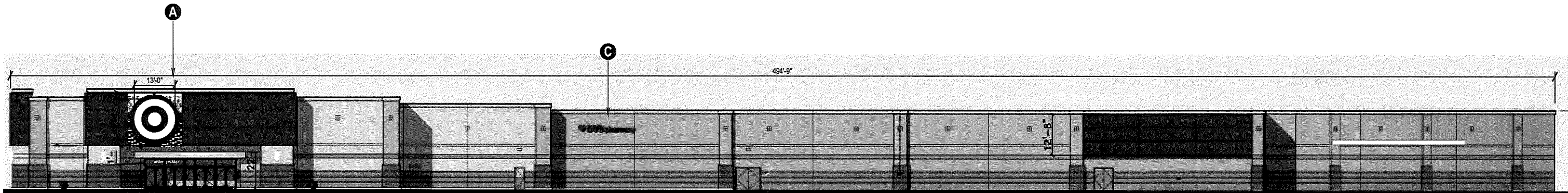
A LL144W - TARGET LOGO



EXISTING FRONT BUILDING ELEVATION
scale: NTS

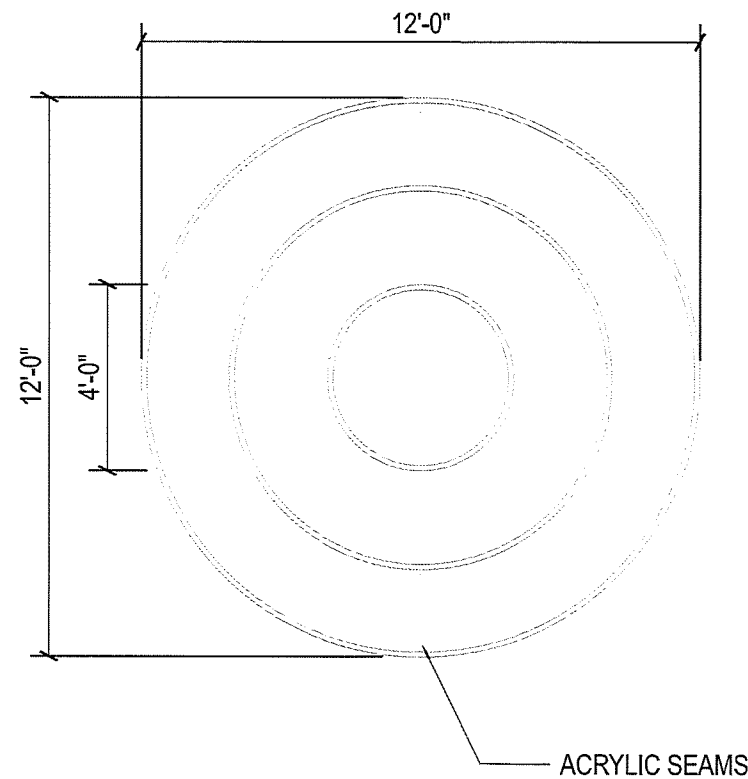
REMOVE & DISCARD EXISTING TARGET & LOGO

CVS PHARMACY LEAVE AS/IS

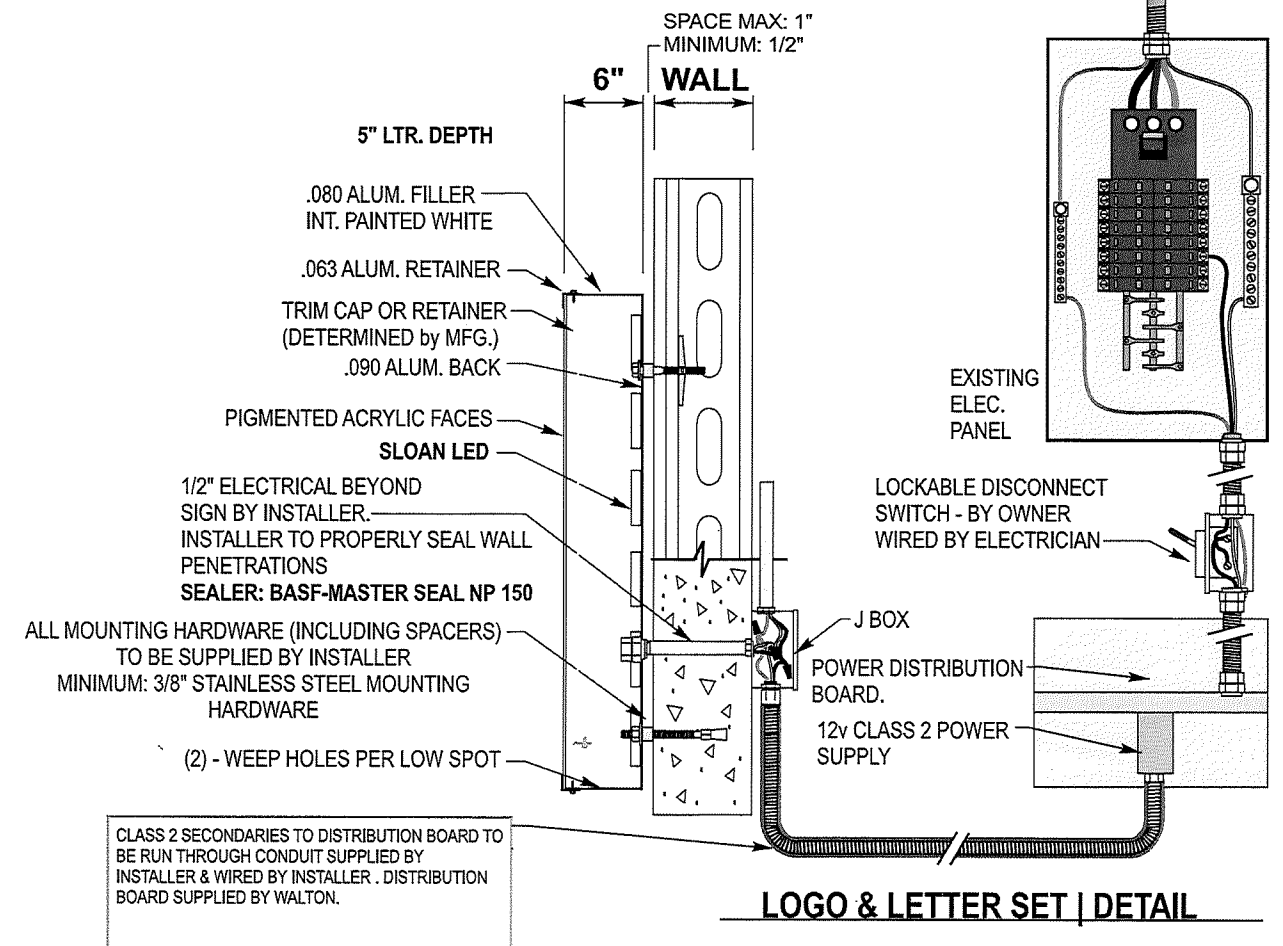
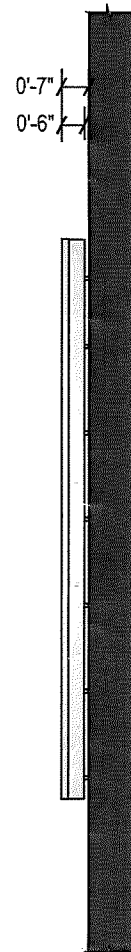


PROPOSED FRONT BUILDING ELEVATION
scale: NTS

A LL156W - TARGET LOGO



D ACRYLIC FACED INT. ILLUM. LOGO | LC-2
 scale: 1/4"=1'-0" 144sf - BOXED



CUSTOMER TO PROVIDE
 DEDICATED BRANCH CIRCUITS FOR SIGNS ONLY PER NEC CODE 600.5
 ALL BRANCH CIRCUITS SHALL BE DEDICATED TO SIGNS (INCLUDING GROUND AND NEUTRAL) AND SHALL NOT BE SHARED WITH OTHER LOADS. PROPERLY SIZED GROUND WIRE THAT CAN BE TRACED BACK TO BREAKER PANEL IS REQUIRED.

INSTALLER REQUIREMENTS
 ALL MOUNTING HARDWARE, SECONDARY WIRING AND CONDUITS ARE TO BE PROVIDED BY THE INSTALLATION CONTRACTOR. ALL PENETRATIONS IN THE WALL ARE TO BE SEALED WITH SILICONE AND TO BE WATERTIGHT.

ANY DEVIATION FROM THIS DRAWING MAY RESULT IN DAMAGE TO OR IMPROPER OPERATION OF SIGNAGE, CAUSING DELAYS AND ADDITIONAL COST.

NEW & REMODEL CONSTRUCTION
 ADEQUATE BEHIND THE WALL BACKING AND ACCESS IS REQUIRED FOR THE INSTALLATION OF NEW SIGNAGE. CUSTOMER TO FORWARD APPROVED SIGNAGE DRAWINGS TO THE ON SITE CONTACT TO INSURE THAT THE REQUIRED PROVISIONS ARE MADE DURING CONSTRUCTION. PRIOR TO THE SIGN INSTALLATION.

INSTALLER REQUIREMENTS FOR EIFS WALLS
 IT IS THE RESPONSIBILITY OF THE INSTALLATION CONTRACTOR TO PROVIDE ANY WALL SPACERS REQUIRED TO KEEP EIFS WALL MATERIAL FROM BEING COMPACTED DURING INSTALLATION OF ANY MOUNTING BOLTS REQUIRED FOR SIGNAGE.

GENERAL NOTE
 • INSTALLER SHALL VERIFY WALL CONDITION IN THE FIELD.
 • TYPE, SIZE AND NUMBER OF FASTENERS TO BE DETERMINED.
 • ALL BOLT HOLES TO BE DRILLED OR PUNCHED.
 • ISOLATE ALL ALUMINUM FROM STEEL.



Permits, Approvals & Inspections

111W. Chesapeake Avenue
Towson, MD 21204

Report Generated On:
7/8/2019

Permit Processing Commerical Permit & Development Report

Page 1 of 1

Property Information

Tax Account Number: 2300001760

Plat Ref: 070:026

Election District: 8

Owner Name(s): DAYTON HUDSON CORPORATION and TARGET CORPORATION STORE-1265

PDM #: 08-0699

Address: 33RD SOUTH 6TH STREET PO BOX 9456 MAIL STOP CC-1030
MINNEAPOLIS, MN 55440

Zoning District(s): BR

Premise Address: 9901 YORK RD

Elevation Range: 364ft - 388ft

Affected Overlays	Instructions: Begin review process with Zoning Review, Room 111		Agency Acknowledgment
Contact Agency	Potential Overlay Issues	New Com Bldg. Interior Alts. Add / Ext. Alts. Piers/Pilings Grading/SW Tanks Ret. Walls/Bulk Razing Chg. of Occup. Tower Antenna Signs Elect. & Plumb	Initial & Date
DEPS-Sed. Control Jefferson Building 4th Floor Phone: 410-887-3226	Note: All Razing Permits must be sent to Sediment Control for review.		
PAI-Public Services County Office Building Room 119 Phone: 410-887-3751	Note: All permits for Grading, New Buildings & Building Additions must be sent to Public Services.		
Zoning Review County Office Building Room 111 Phone: 410-887-3391	Zoning Cases: 2000-0330-A	X X X X X X X X	



\$150.00

BALTIMORE COUNTY
DEPARTMENT OF PERMITS, APPROVALS & INSPECTIONS
111 WEST CHESAPEAKE AVENUE
TOWSON, MD 21204
410-887-3391

SIGN USE PERMIT

B
A 187049

The applicant is authorized to affirm that there are no current violations at this site pursuant to Section 112.7 BCC
Initials *[Signature]*

Permit Fees are Non-Refundable; Make Check Payable to "Baltimore County, Maryland"

PROPERTY ADDRESS 9901 York Rd Cockeysville MD ZIP CODE 21030

BUSINESS NAME Target ZONING BR

OWNER'S NAME Dayton Hudson Target #1265 PHONE NO. HISTORIC DISTRICT ☐ Yes ☐ No

MAILING ADDRESS 33rd South 6th street PO Box 9456 Mail Stop CC 1030 Minneapolis MN 55440

APPLICANT/OWNER'S AGENT Frank Cavanagh PHONE NO. 301-384-1300

SIGN COMPANY NAME ARK Sign Services, Inc. PHONE NO. 301-384-1300

TYPE OF SIGN: ☐ Window Sign TAX ACCOUNT NO. / / 2300001760

☐ Temporary- Including Real Estate/Construction/Event

Temporary Signs in the Last Year: ☐ Yes ☐ No

☒ Permanent ☐ Changeable Copy ☒ Wall ☐ Face-Change Only ☐ Non-Illuminated

☐ Freestanding ☐ Pylon ☐ Monument ☒ Illuminated (separate electrical permit required)

Size: 13 feet x 13 feet = 169 square feet Height: feet (freestanding signs)

Property Line/Street Right-of-Way Setbacks: front, sides and, and rear.

NOTE: A construction plan, drawn to scale and clearly showing that all requirements have been met, must be attached; a site plan also must be attached for freestanding signs.

Table of Sign Regulations: 450.4. Attachment 1, 1.- An Electronic Changeable Copy Sign may only have a maximum Frequency of one instantaneous message change per 15 second cycle.

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9. No sign may emit sound

450.6.B.3 Changeable copy signs must operate at a constant intensity and not give the appearance of movement by flashing, blinking, strobing, scrolling, oscillating, or alternating lights.

Work Description (including number of signs, special conditions, materials, locations and size):

install one 13x13+169sqft wall mounted LED Illuminated signs on 576' wall

CORNER LOT ☐

OWNER/AGENT CERTIFICATION

I solemnly affirm under the penalties of perjury and upon personal knowledge that the contents of the above are true and further agree to locate the proposed sign such that it will not violate Baltimore County laws and regulations.

[Signature]
Signature

7-1-19
Date

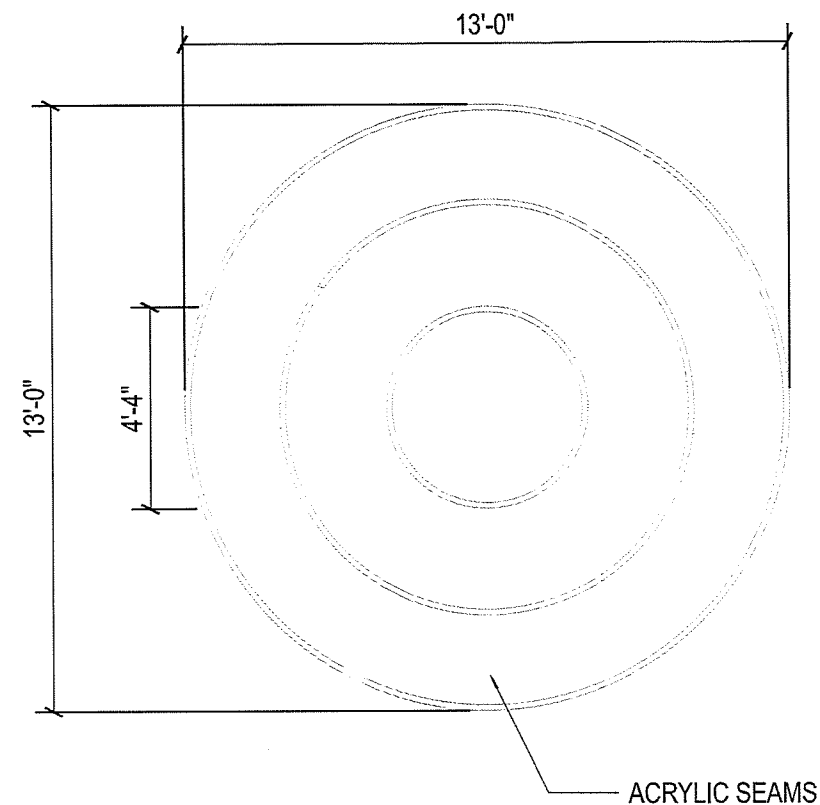
Frank Cavanagh
Print/Type Name

☐ Require Planning Signature *[Signature]* Date

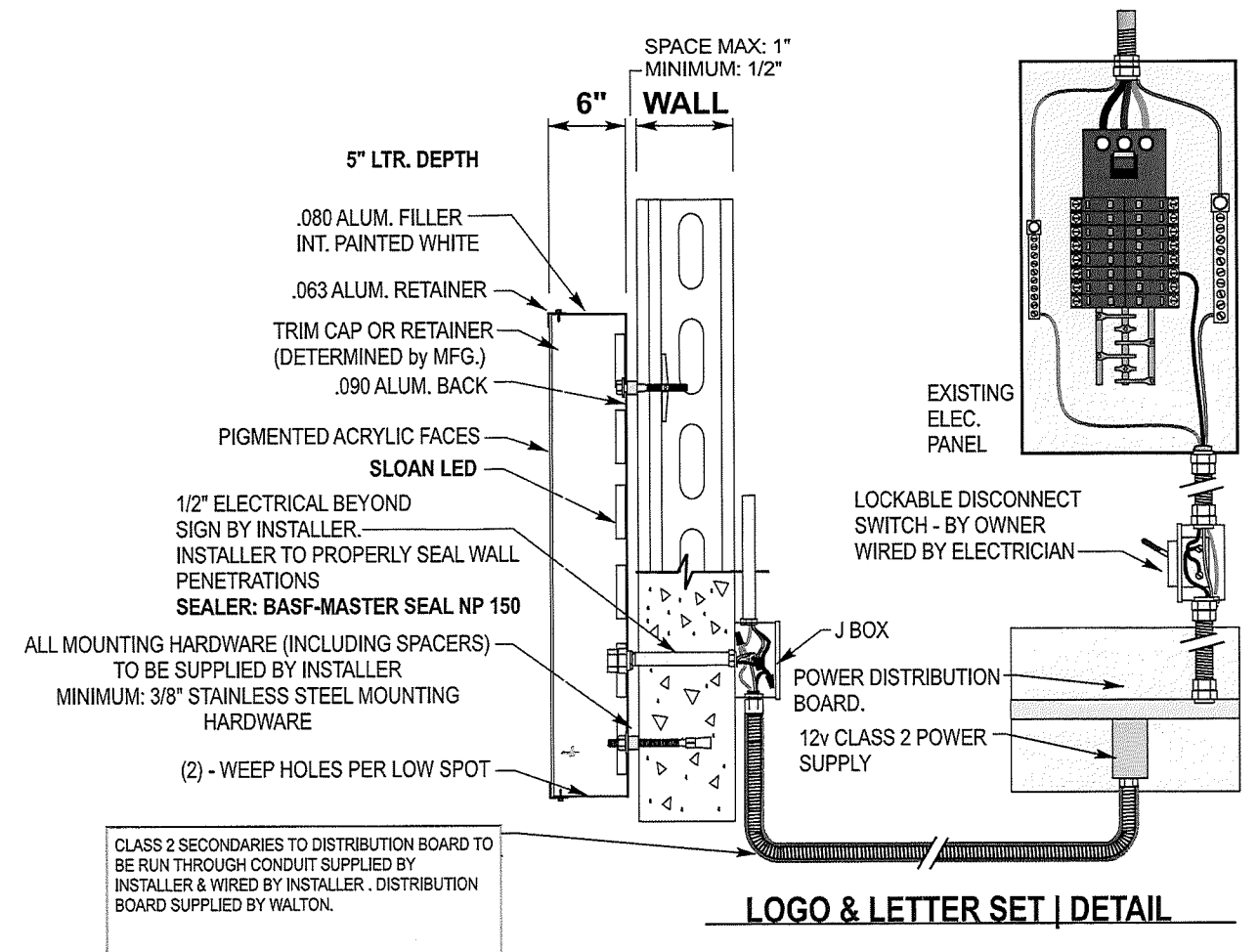
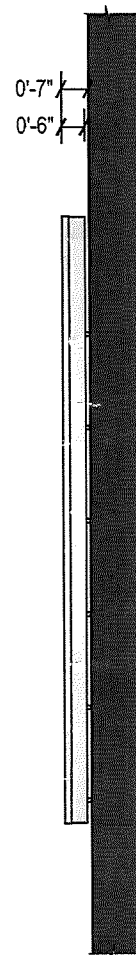
Copies: White-Office; Yellow- Applicant (keep this Copy for your permanent records)
REV 03/12

Authority under Section 500.4, BCZR PAI Approval (SIGN ONLY)

[Signature] *[Initials]* 7/1/19
Signature Initials Date



A **ACRYLIC FACED INT. ILLUM. LOGO | LC-2**
scale: 1/4"=1'-0" 169sf - BOXED



MATERIAL FINISH COLORS			
 WHITE	 7328 WHITE ATUGLAS ACRYLIC	 WHITE	 SLOAN LED WHITE
RETURNS	FACES	TRIMCAP RETAINERS	ILLUM.

CUSTOMER TO PROVIDE
DEDICATED BRANCH CIRCUITS FOR
SIGNS ONLY PER NEC CODE 600.5
ALL BRANCH CIRCUITS SHALL BE DEDICATED TO
SIGNS (INCLUDING GROUND AND NEUTRAL) AND
SHALL NOT BE SHARED WITH OTHER LOADS.
PROPERLY SIZED GROUND WIRE THAT CAN BE
TRACED BACK TO BREAKER PANEL IS REQUIRED.

INSTALLER REQUIREMENTS
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WIRING AND CONDUITS ARE TO BE PROVIDED
BY THE INSTALLATION CONTRACTOR.
ALL PENETRATIONS IN THE WALL ARE TO BE
SEALED WITH SILICONE AND TO BE WATERTIGHT.

ANY DEVIATION FROM THIS DRAWING MAY
RESULT IN DAMAGE TO OR IMPROPER
OPERATION OF SIGNAGE, CAUSING DELAYS
AND ADDITIONAL COST.

NEW & REMODEL CONSTRUCTION
ADEQUATE BEHIND THE WALL BACKING AND
ACCESS IS REQUIRED FOR THE INSTALLATION
OF NEW SIGNAGE. CUSTOMER TO FORWARD
APPROVED SIGNAGE DRAWINGS TO THE ON
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• ISOLATE ALL ALUMINUM FROM STEEL.



\$200-

BALTIMORE COUNTY
DEPARTMENT OF PERMITS, APPROVALS & INSPECTIONS
111 WEST CHESAPEAKE AVENUE
TOWSON, MD 21204
410-887-3391

B
A 183701

The applicant is authorized to affirm that there are no current violations at this site pursuant to Section 112.7 BCC
Initials EM

SIGN USE PERMIT

Permit Fees are Non-Refundable; Make Check Payable to "Baltimore County, Maryland"

PROPERTY ADDRESS 9901 York Road, Cockeysville, MD 21030 ZIP CODE 21030
BUSINESS NAME Target Corporation ZONING BR
OWNER'S NAME Dayton Hudson Corp. PHONE NO. 248-393-9809 HISTORIC DISTRICT ☐ Yes ☒ No
MAILING ADDRESS 33rd South 6th Street, PO Box 9456 Mail Stop CC-1030, Minneapolis, MN
APPLICANT/OWNER'S AGENT Emma McIntyre PHONE NO. 703-674-1314
SIGN COMPANY NAME United Sign Group LLC PHONE NO. 410-991-5552
TYPE OF SIGN: ☐ Window Sign TAX ACCOUNT NO. 2301000117100

☐ Temporary- Including Real Estate/Construction/Event Temporary Signs in the Last Year: ☐ Yes ☐ No

☐ Permanent ☐ Changeable Copy ☐ Wall ☐ Face Change Only ☐ Non-Illuminated

☐ Freestanding ☐ Pylon ☐ Monument ☒ Illuminated (separate electrical permit required)

Size: 4 feet x 5 feet = 2 square feet x 4 (BSF total) Height: 12 feet (freestanding signs)

Property Line/Street Right-of-Way Setbacks: front _____, sides _____ and _____, and rear _____.

NOTE: A construction plan, drawn to scale and clearly showing that all requirements have been met, must be attached; a site plan also must be attached for freestanding signs.

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9. No sign may emit sound

Work Description (including number of signs, special conditions, materials, locations and size):

Install drive up beacon

CORNER LOT ☐

OWNER/AGENT CERTIFICATION

I solemnly affirm under the penalties of perjury and upon personal knowledge that the contents of the above are true and further agree to locate the proposed sign such that it will not violate Baltimore County laws and regulations.

Emma McIntyre
Signature

4/26/19
Date

Emma McIntyre
Print/Type Name

☐ Require Planning Signature

N/A

Date _____

Copies: White-Office; Yellow- Applicant (keep this Copy for your permanent records)

REV 10/14

Authority under Section 500.4, BCZR **PAI Approval** (SIGN ONLY)

Signature

Initials

Date

[Signature]

JS

4/26/19



Permits, Approvals & Inspections

111W. Chesapeake Avenue
Towson, MD 21204

Report Generated On:
4/26/2019

Permit Processing Commerical Permit & Development Report

Page 1 of 1

Property Information

Tax Account Number: 2300001760

Plat Ref: 070:026

Election District: 8

Owner Name(s): DAYTON HUDSON CORPORATION and TARGET CORPORATION STORE-1265

PDM #: 08-0699

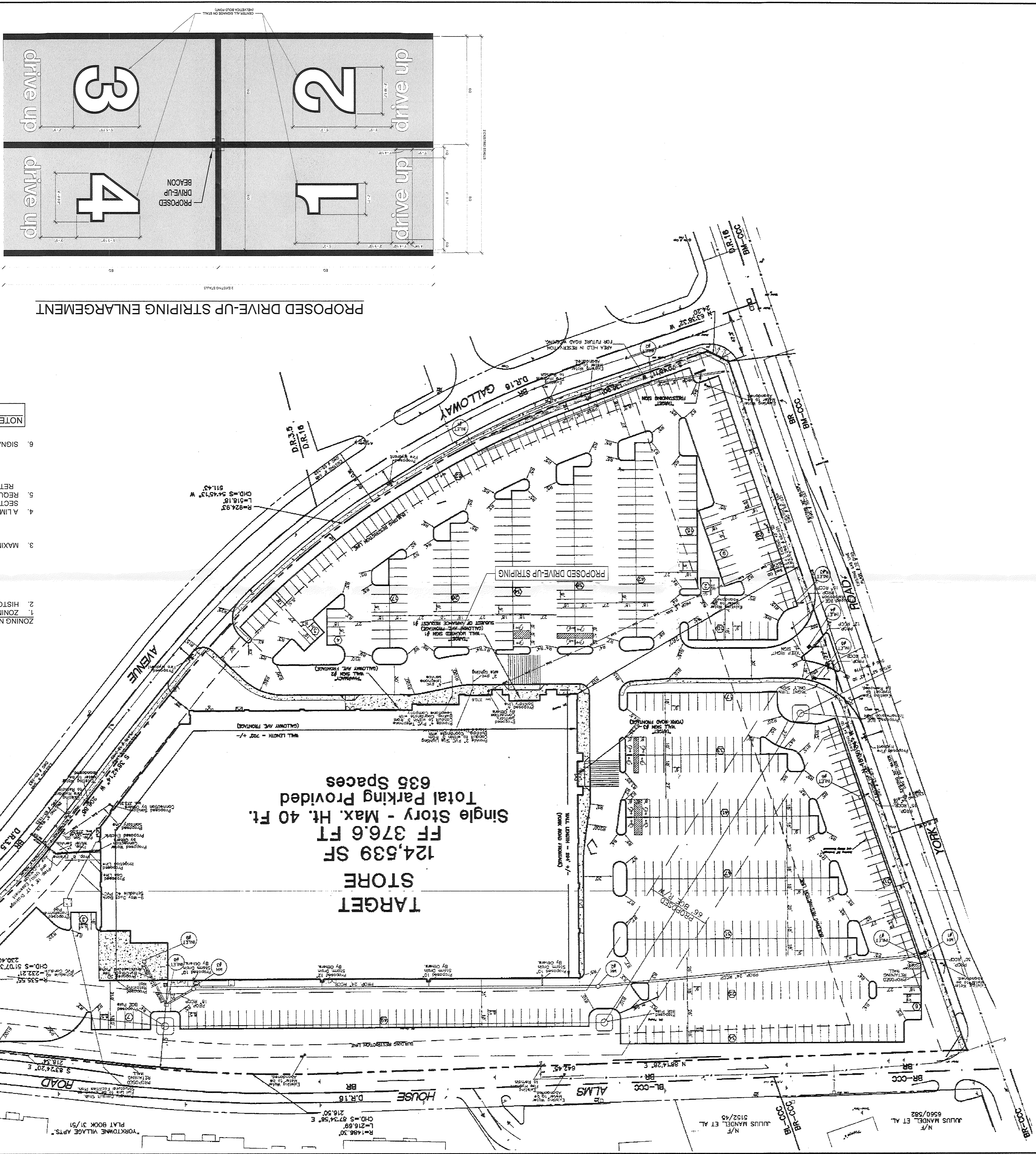
Address: 33RD SOUTH 6TH STREET PO BOX 9456 MAIL STOP CC-1030
MINNEAPOLIS, MN 55440

Zoning District(s): BR

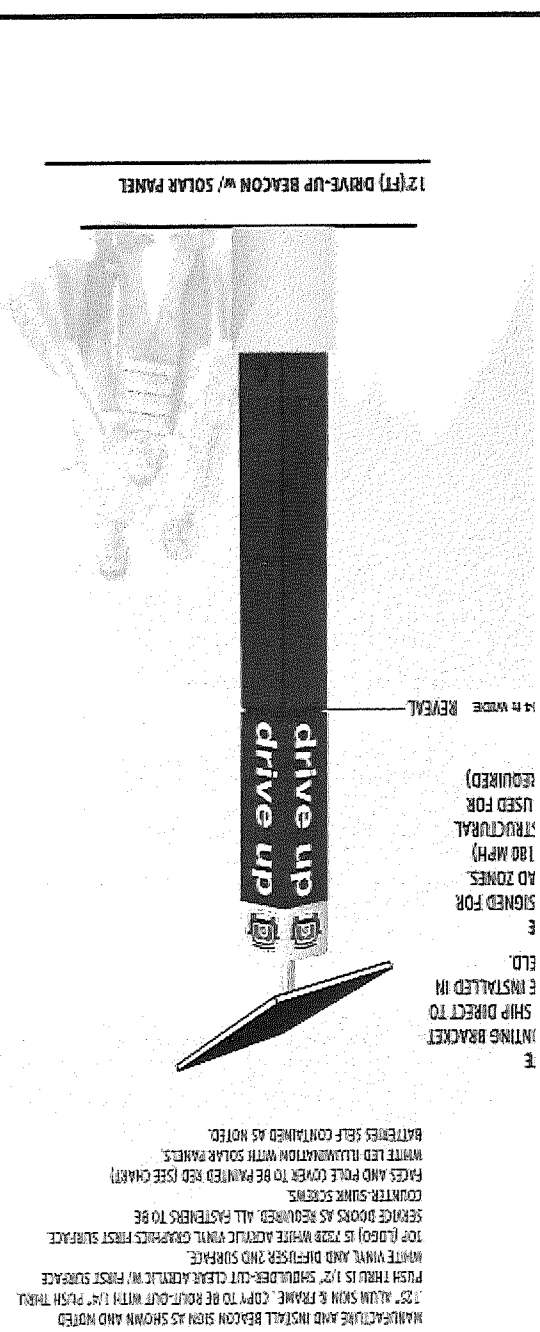
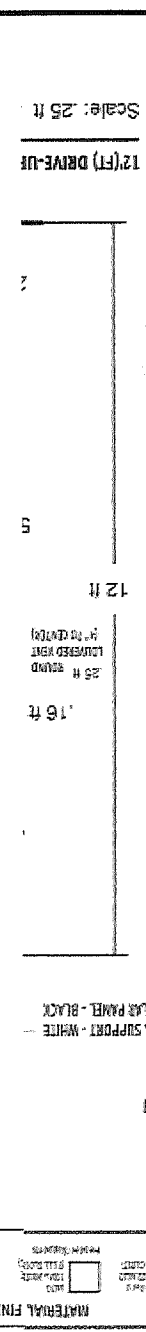
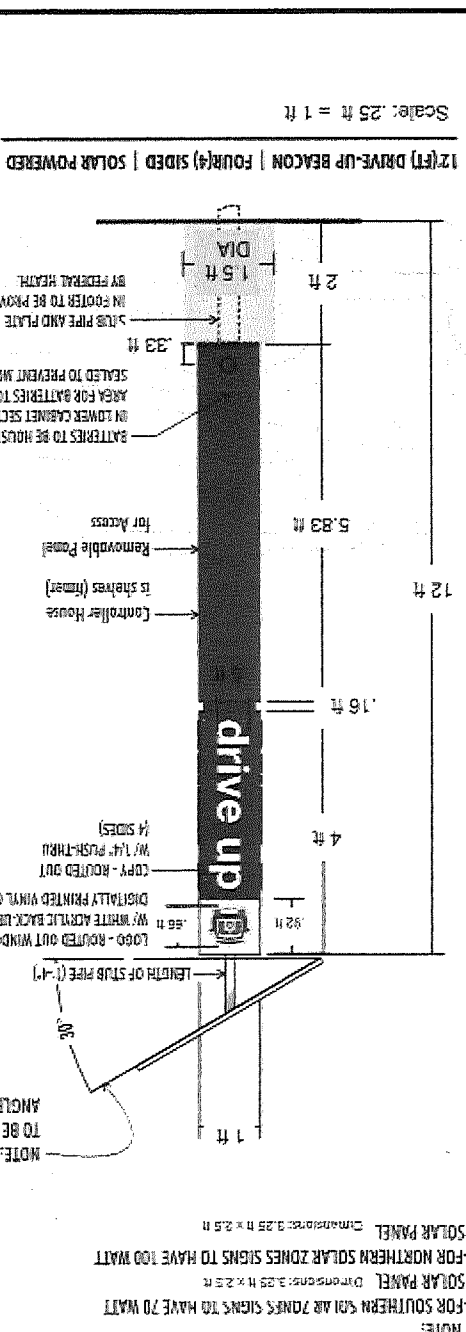
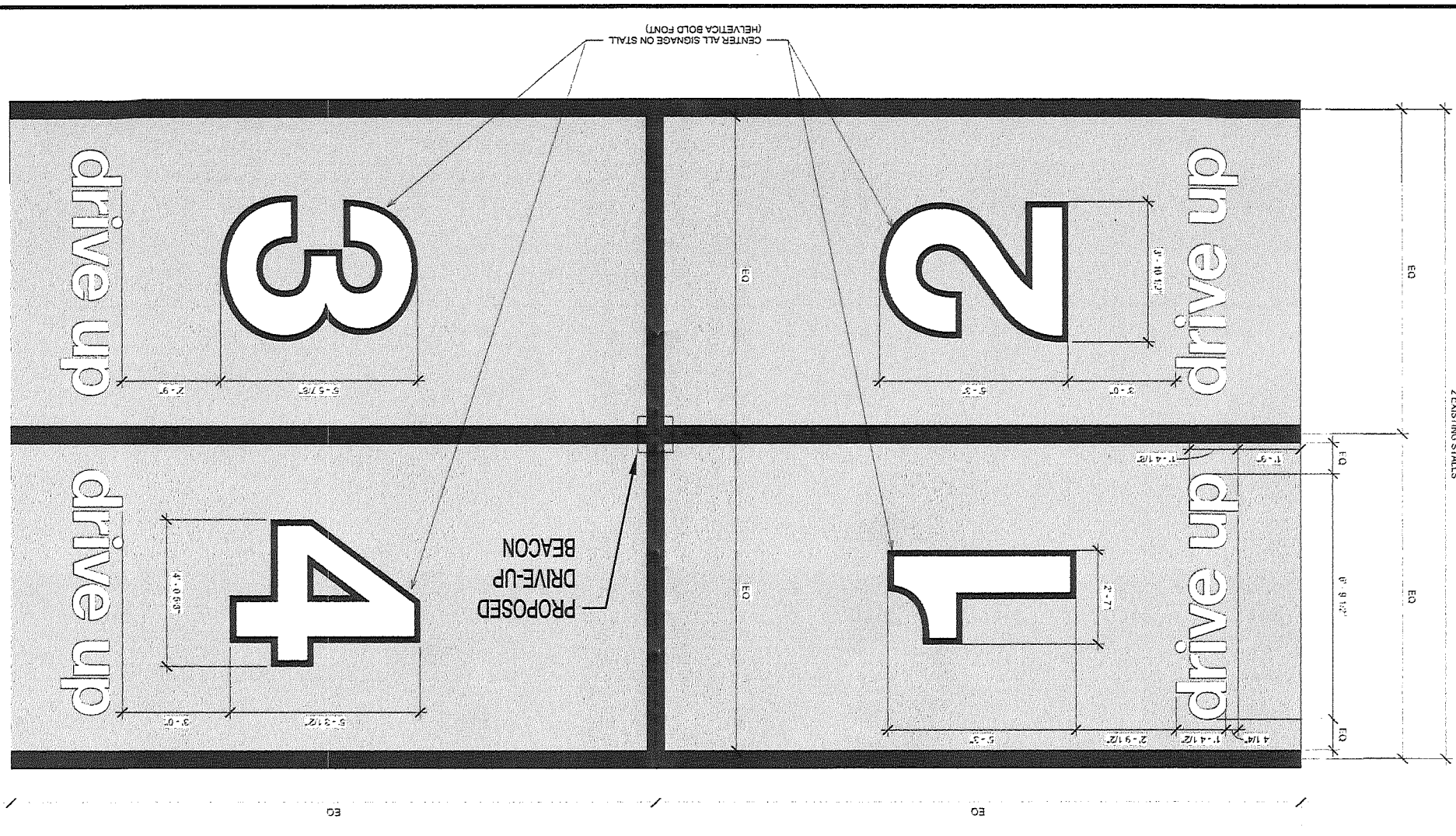
Premise Address: 9901 YORK RD

Elevation Range: 364ft - 388ft

Affected Overlays	Instructions: Begin review process with Zoning Review, Room 111	New Com Bldg	Interior Alts.	Add / Ext. Alts.	Piers/Pilings	Grading/SW	Tanks	Ret Walls/Bulk	Razing	Chg. of Occup.	Tower Antenna	Signs	Elect. & Plumb	Agency Acknowledgment
Contact Agency	Potential Overlay Issues													Initial & Date
	Growth Tier 1: Served by public sewer and inside URDL													
DEPS-Sed. Control Jefferson Building 4th Floor Phone: 410-887-3226	Note: All Razing Permits must be sent to Sediment Control for review.													
PAI-Public Services County Office Building Room 119 Phone: 410-887-3751	Note: All permits for Grading, New Buildings & Building Additions must be sent to Public Services.													
Zoning Review County Office Building Room 111 Phone: 410-887-3391	Zoning Cases: 2000-0330-A	X		X	X	X	X			X	X	X		



PROPOSED DRIVE-UP STRIPING ENLARGEMENT

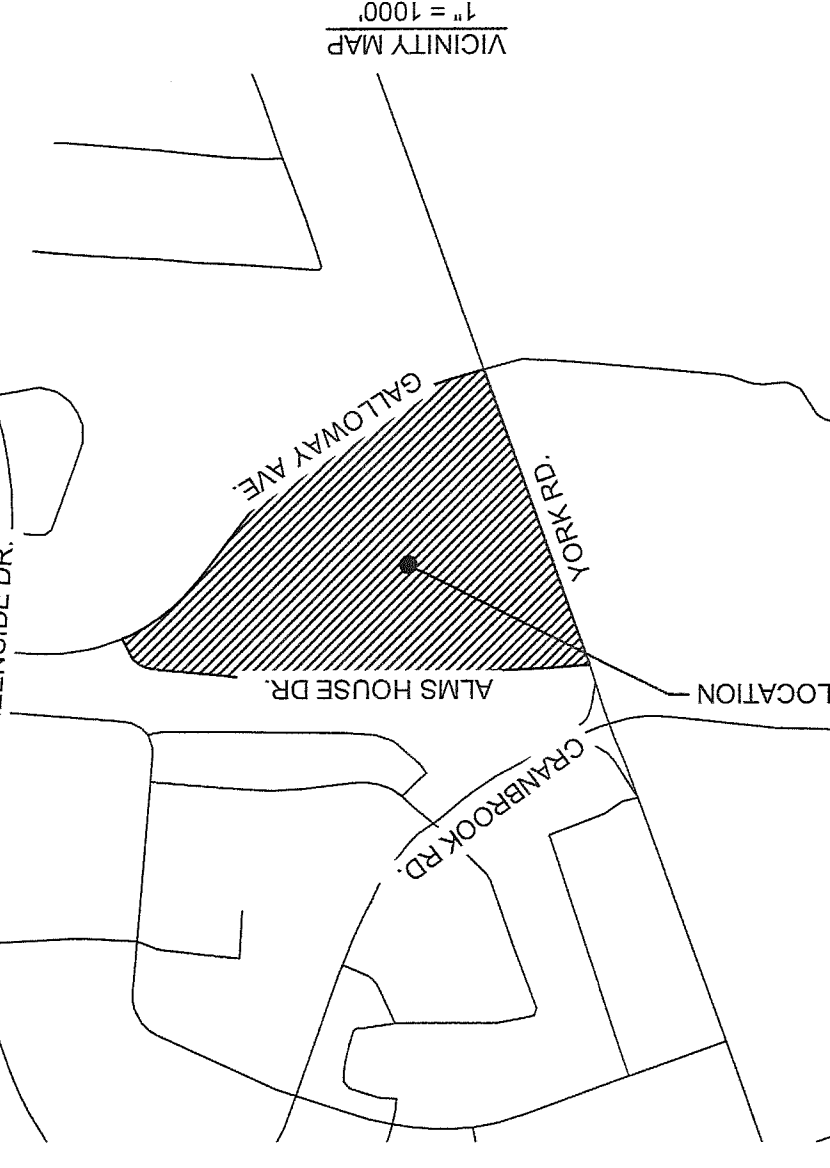


NOTE: SITE LAYOUT BASED ON ZONING RECORD 00-33A & 'PLAN TO ACCOMPANY REQUEST' PREPARED BY BL COMPANIES DATED 10/26/99.

1. ZONING: BR
 2. HISTORICAL ZONE: BR
 3. MAXIMUM FLOOR AREA RATIO: 2.0
 4. A LIMITED EXEMPTION B-2 PURSUANT TO BALTIMORE COUNTY CODE SECTION 26-171(A)(2) IS REQUESTED.
 5. REQUIRED PARKING SPACES: 127,000 SF @ 5 SP PER 1,000 SF = 635 SPACES
 6. SIGNAGE: ALL SIGNAGE SHALL COMPLY WITH BCZR SECTION 450. INCLUDES 6 STANDARD HANDICAP SPACES
- 127,000 SF @ 5 SP PER 1,000 SF = 635 SPACES
TOTAL SPACES PROVIDED = 635 SPACES
TOTAL SPACES REQUIRED = 635 SPACES
- EXISTING SQUARE FOOTAGE = 127,000 SF
PERMITTED SQUARE FOOTAGE = 131,412.272 SF
PERMITTED FLOOR AREA RATIO = 2.0
- DATE OF ZONING ORDER: 3/21/2000
ZONING HEARING CASE NUMBER: 00-330-A
10. DEED REF: 118/576
11. PROPOSED IMPERVIOUS AREA: 6.5
12. TO THE BEST OF OUR KNOWLEDGE, THE SITE IS NOT WITHIN THE 100 YEAR FLOOD PLAN
13. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO WETLANDS WITHIN THE SITE BOUNDARIES.
14. TO THE BEST OF OUR KNOWLEDGE, THE SITE IS NOT A DESIGNATED AREA OF CRITICAL STATE AND NOT IN THE CHESAPEAKE BAY CRITICAL AREA.
15. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO KNOWN ARCHAEOLOGICAL SITES WITHIN THE SITE BOUNDARIES.
16. THIS PROPERTY IS NOT WITHIN A HISTORIC DISTRICT.
17. THERE ARE NO KNOWN FOREST BUFFERS WITHIN THE SITE BOUNDARIES.
18. THE ZONING DESIGNATION AND ZONING HISTORY FOR THE PROPERTY WAS TAKEN FROM AVAILABLE BALTIMORE COUNTY GIS INFORMATION.
19. THE EXISTING BUILDINGS VARY FROM 10-60 YEARS OLD. LOCATED WITHIN 500' WALKING DISTANCE OF A BUILDING ENLARGED OF THE BALTIMORE COUNTY ZONING MANUAL PER A LETTER DATED 10/22/98 AND SIGNED BY CARL RICHARDS ON 10/26/99.

- GENERAL NOTES**
1. GROSS SITE AREA: 413.1 AC (570,636 SF)
 2. NET SITE AREA: 411.2 AC (487,812 SF)
 3. TAX ACCOUNT NUMBERS: 0802000290
 4. ELECTION DISTRICT: 8
 5. COUNCILMANIC DISTRICT: 4085.03
 6. CENSUS TRACT: 32
 7. WATERSHED: 11
 8. SUBSEWER SHED: 118/576
 9. OWNER: DAYTON HUDSON CORPORATION TARGET
 10. DEED REF: 118/576
 11. PROPOSED IMPERVIOUS AREA: 6.5
 12. TO THE BEST OF OUR KNOWLEDGE, THE SITE IS NOT WITHIN THE 100 YEAR FLOOD PLAN
- GRAPHIC SCALE IN FEET
0 25 50 100
- NORTH

LOCATED ALONG YORK ROAD NORTH 428.14 FEET FROM INTERSECTION OF YORK ROAD AND CALLOWAY AVENUE



CON

PROPOSED I

TARGET TIMONIUM
PLAN TO ACCOMPANY DRC
REQUEST

SHEET NUMBER
1

BALTIMORE COUNTY

SITE PLAN

M/D

DATE
04/02/2019

SCALE
AS SHOWN

DESIGNED BY
CEC

DRAWN BY
CEC

CHECKED BY
DW

KIMLEY-HORN AND ASSOCIATES, INC.

11400 COMMERCE PARK DR., SUITE 400, RESTON, VA 20191

PHONE: 703-674-1300 FAX: 703-674-1350

WWW.KIMLEY-HORN.COM

NO.

REVISIONS

DATE

BY