

USE PERMIT



IT IS ORDERED by the Director of the Department of Permits, Approvals and Inspections of Baltimore County, this 6 day of January, 2020, that Michael O'Connor located at 16606 Debbs Road, Sparks MD 21152 should be and the

(Individual or business name)
(Street address)

same is hereby granted permission to operate an accessory
apartment

UP-2020-0001-IL
191961 iff. Munn
Permit (or Receipt) Number Director, Permits, Approvals and Inspections

Planner's Initials gh

**CASHIER'S
VALIDATION**

CLERK CRCT CT BALT CN
401 BOSLEY AVE 2ND FL
TOWSON, MD 21204420

01/06/2020

11:43:09

CREDIT CARD

VISA SALE

=====
LR - Card # XXXXXXXXXXXXX4155
Chip Card: CHASE VISA
AID: A0000000031010
Name ATC: 00DA
LR - TC: 91ACB38C97BDB342
SEQ #: 1
=====
SubT Batch #: 778
Tota INVOICE 1
=====
CRD- Approval Code: 09282G
Crec Entry Method: Chip Read
Othe Mode: Issuer
Tax Amount: \$0.00
-LL
01/0 SALE AMOUNT \$60.00 ***
#13: -LL

01/1

CUSTOMER COPY

Date: 1-6-2020

RETURNED FOR THE FOLLOWING REASONS:

incorrect _____ stale dated ☒ not enclosed
0.00

of the Court.

pt your checks. Contact the Accounting Office 410-887-2697.

be on each document to be recorded. Self-addressed, stamped
urn of your documents.

document _____ are missing _____ do not correspond to a

eed of Trust.

uyer Affidavit _____ is not included _____ does not
ther than the first time home buyer and does not contain the
ty Article 13-203 (5)(i) and (ii) or Real Property Article 14-104

ation is _____ missing _____ incomplete _____ not signed.

Certificate of Exemption from Withholding affidavit is _____ missing _____ incomplete or
incorrect-see comments below _____ must be an unaltered 2019 form approved by the
Comptroller _____ form is only valid if it was executed on the date the property was
transferred

MW506NRS form is _____ missing _____ incomplete _____ incorrect.

Licensee Affidavit must be signed when claiming an exemption. We do not accept computer
font signatures.

When submitting a re-recording, the original document (which will NOT have book/page) must
be submitted along with a copy of the first page of the previously recorded document. This copy page
(which will have the book/page and the original validation stamps) should be submitted as page 1 of
the re-recording, with the FULL original document to follow (including the original page 1). The
reason for re-recording should be written on the first page of the re-recording.

Documents need to be numbered in the order they are to be recorded. (For example: 1/2, 2/2 or
1 of 2, 2 of 2)

☒ OTHER

- ① this requires an intake sheet which must be signed off
by the Office of Finance.
- ② who are the owners? If Michael O'Connor and Nicol O'Connor,
then both must sign the Declaration as follows.
Signature
Michael O'Connor, owner
Signature

up- 2020-0001-IL

This Declaration of Understanding is made on this Monday the 6th day of January 2020, by and between Michael O'Connor and the Department of Permits, Approvals and Inspections

The Declarations who are also the owners of this property have filed an application for a use permit.

The property being located at 16606 Dubbs Rd. Sparks MD 21152. BEING KNOW AND DESIGNATED as Parcel, 0329 in Plot 11, Map 0021 in grid 0019.

BEING the same lot of ground which by Deed date 06/20/2001. Deed Reference Number /15315/00262.

The property is zones RC 2. The accessory Apartment is attached to the house (the original garage of the house). The size of it is 24'x24' = 576sf.

The Administrative Law Judge has approved the Declaration request to create an Accessory Apartment complete with dedicated bathing and cooking facilities, located on this owner-occupied property. The accessory apartment will be the housing for Sheran Smith, who is the mother of Nicol O'Connor. The residents of the property are Michael and Nicol O'Connor.

1. Any and all Improvements now existing or to be constructed on the Property shall be used ONLY as a single-family residence. No such improvements or additions shall ever be used as a separate living quarters or second residential unit. The kitchen for the Accessory Apartment will be constructed as part of the Property and shall be an accessory to the principal use of the Property as a single-family residence. The Accessory apartment will only house immediate family listed above.
2. Once the Accessory Apartment is no longer house or occupied by Sheran Smith or the property is sold, or the use permit has not been renewed within 2 years, the permit shall terminate. Then any proposed changes in occupancy to the Accessory Apartment by the property owner subsequently shall require a new request for a use permit.
3. Upon this permit in the accessory apartment in the principal dwelling, use permit termination requires removal of the second kitchen and former Accessory Apartment space to be occupied by the Declarant or subsequent purchaser.
4. The covenants, conditions and restrictions stated above shall run with a bind the Property and shall be enforced by Baltimore County, MD and by the owners of all or any portions of the Property.
5. Enforcement of the Covenants shall be by proceedings at law or in equity against any person or persons violating or attempting to violate any of the covenants, either to restrain the violation or to recover damages.

1
In WITNESS WHEREOF, the parties hereto have duly executed the Declaration under seal on this 3rd day of January 2020.

State of Maryland, County of Baltimore to witness:

I HEARBY CERTIFY that on this 3rd day of January 2020, before the Subscriber, a Notary Public of State of Maryland, personally appeared Michael O'Connor.

Michael O'Connor

IN WITNESS WHEREOF, have hereunto set my hand and Notarial Seal.

My Commission Expires: 05/10/2020

James P. [Signature]
Notary Public

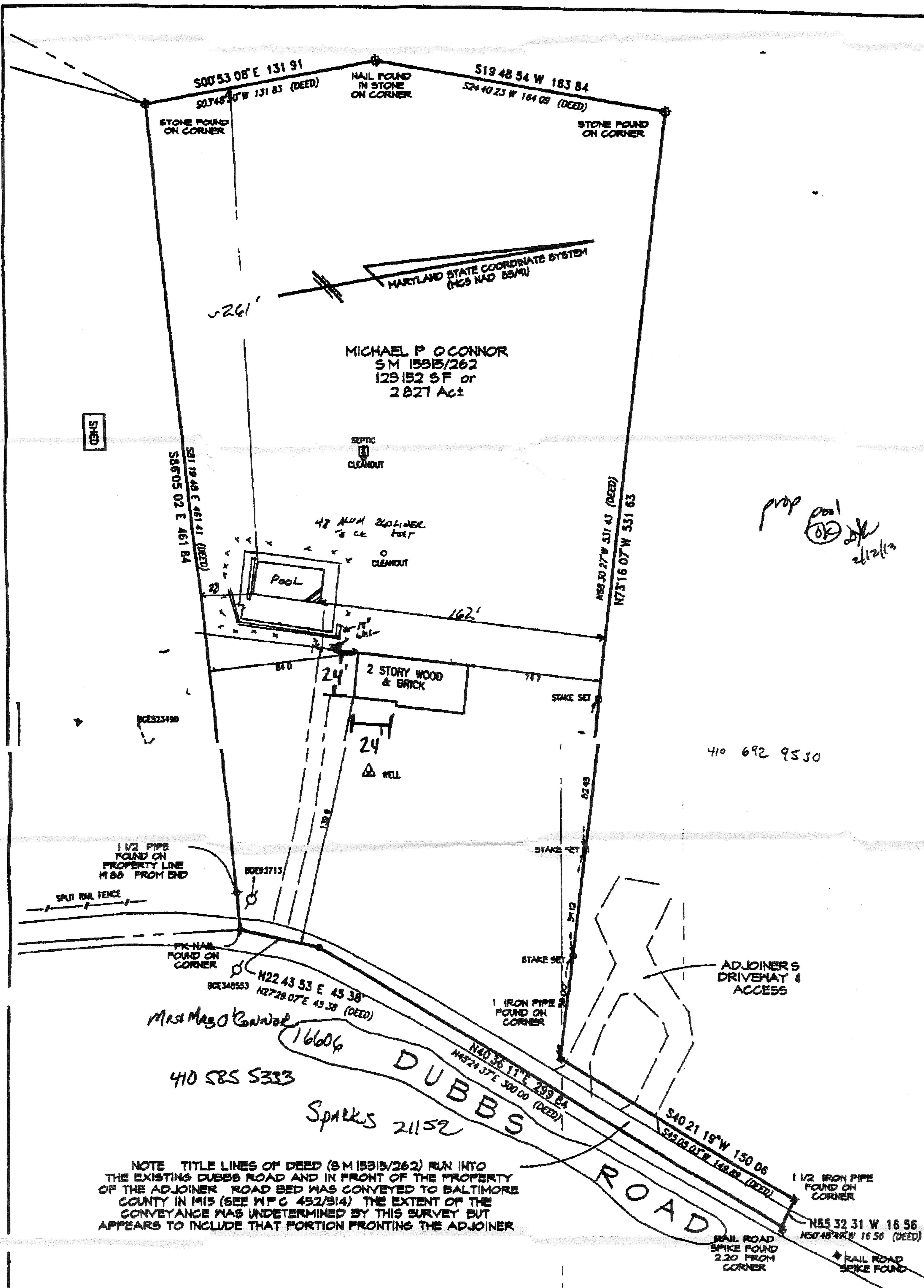


The Declaration of Understanding for the Accessory Apartment at:

16606 Debbs Road 21152
Address of property

is approved: *Michael Mallinoff*
Michael Mallinoff, Director
Department of Permits, Approvals and Inspections

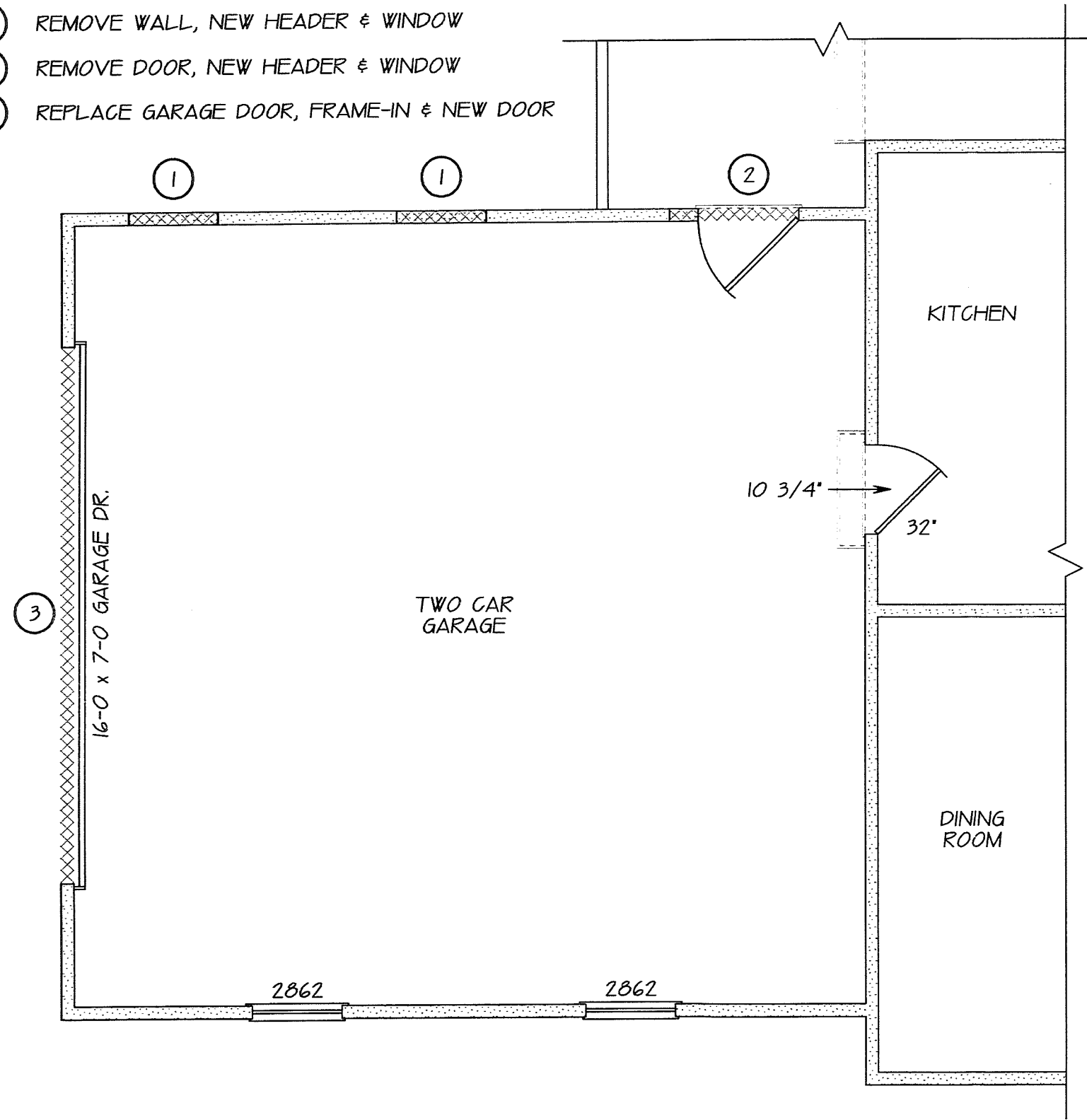
1-6-20
Date



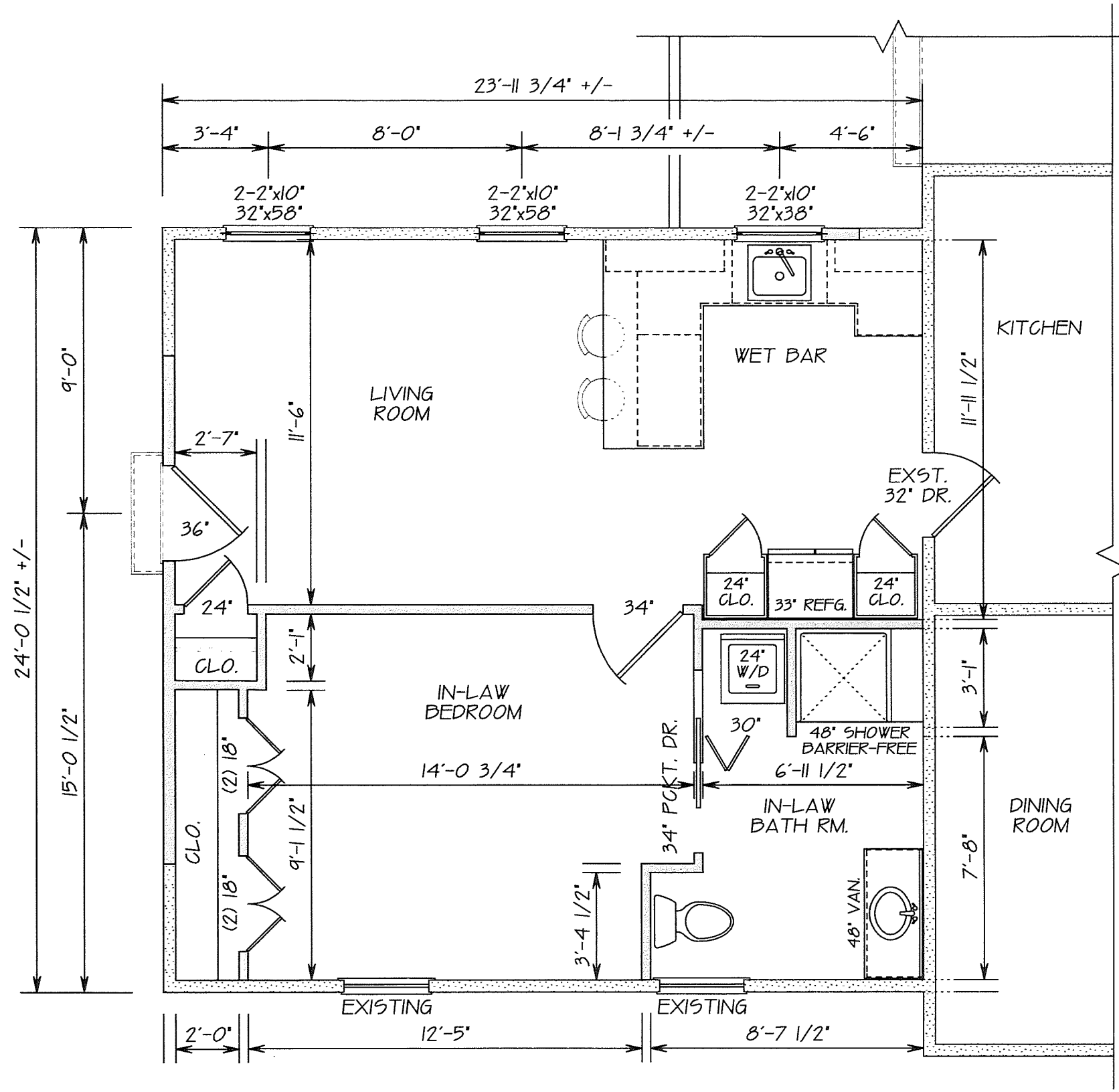
5 18 06

PLAT OF SURVEY		GERHOLD, CROSS & ETZEL, LTD.	
16606 DUBBS ROAD		REGISTERED PROFESSIONAL LAND SURVEYORS	
5th ELECTION DISTRICT		Suite 100	
MICHAEL P O'CONNOR		920 East Towsontown Boulevard	
SM 15915/262		Towson Maryland 21206	
DATE MAY 1 2006		PH (410) 823-4476	PAX (410) 823-4478
SCALE 1" = 20'		FIELD WORK	DRAWN E L

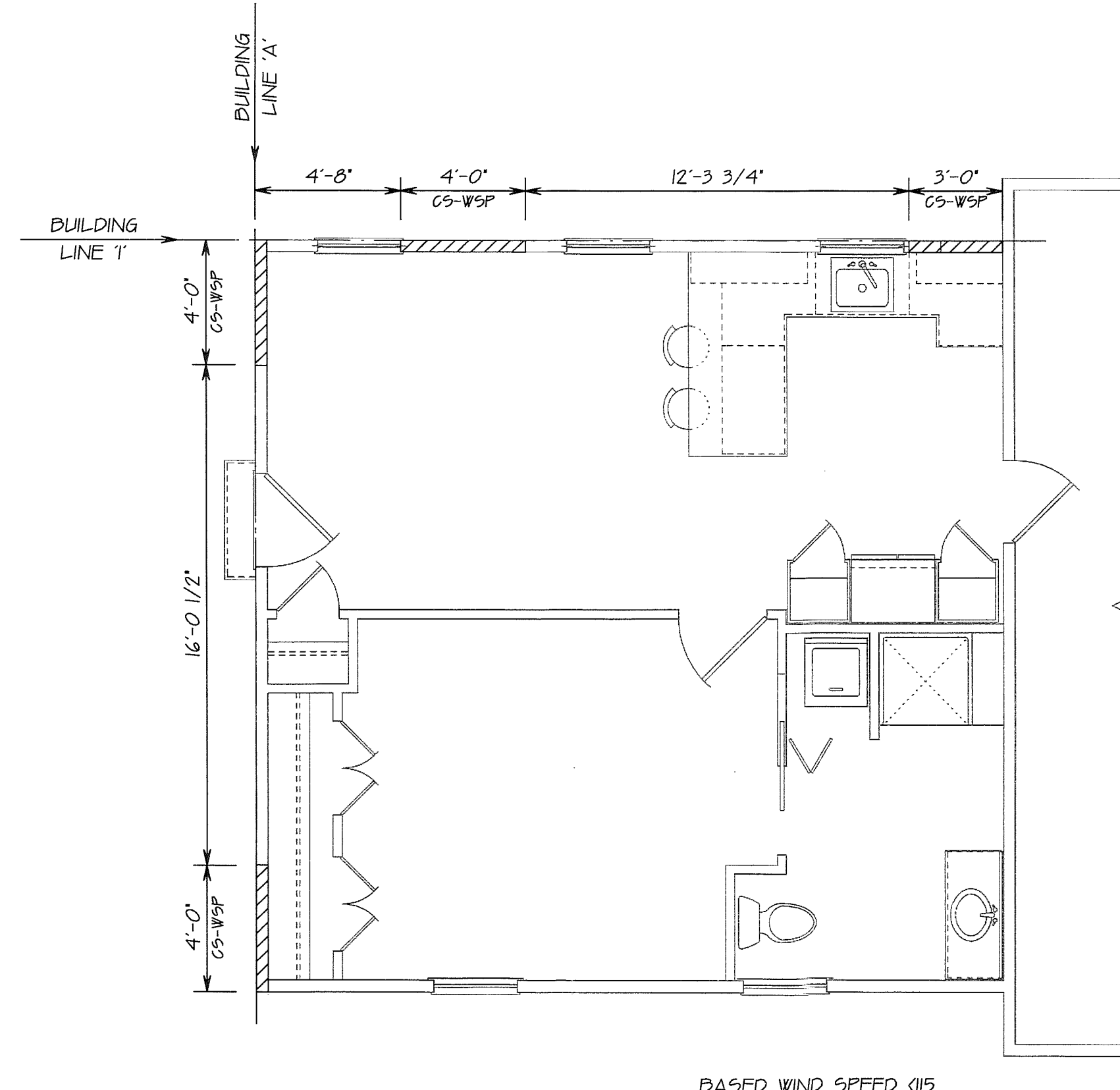
- NOTE:
- 1 REMOVE WALL, NEW HEADER & WINDOW
 - 2 REMOVE DOOR, NEW HEADER & WINDOW
 - 3 REPLACE GARAGE DOOR, FRAME-IN & NEW DOOR



EXISTING TWO CAR GARAGE



FLOOR PLAN

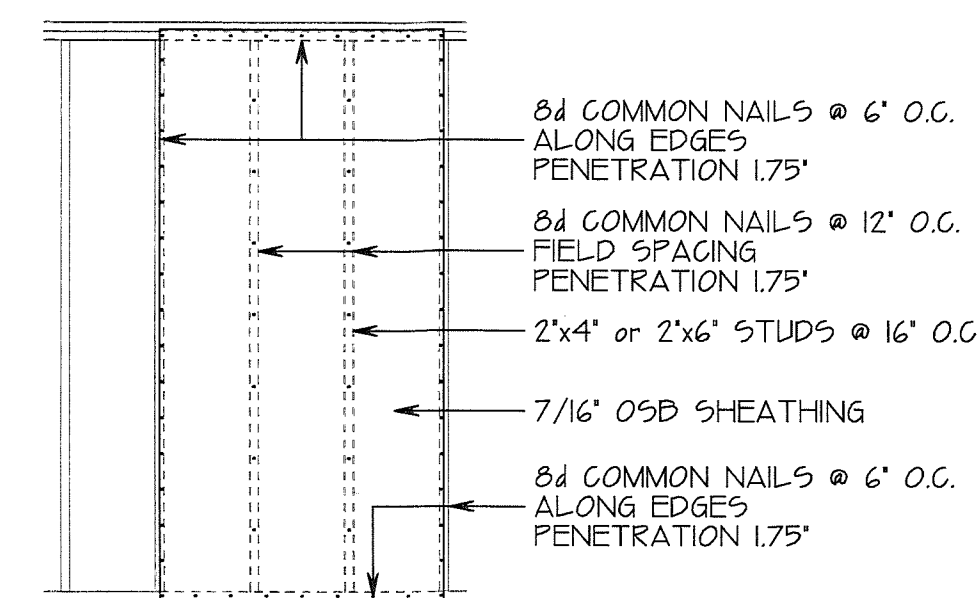


BASED WIND SPEED 115
FLOOR BRACED WALL SYSTEM

FLOOR	WALL LINE	PANEL TYPE	REQUIRED LENGTH	PROVIDED LENGTH
A		CS-WSP	48'	96'
1		CS-WSP	48'	84'

CS-WSP CONTINUOUS SHEATHING WOOD STRUCTURAL PANEL - MIN. 24" PANEL SHALL BE LOCATED AT EACH END OF BRACED WALL LINE. MINIMUM THICKNESS PANEL 3/8" ATTACHED WITH 6d COMMON NAILS AT 6" O.C. SPACING (PANEL EDGES) AND AT 12" SPACING (INTERMEDIATE SUPPORTS) OR 16" O.C. x 1 3/4" STAPLES AT 3" O.C. (PANEL EDGES) AND 6" O.C. SPACING (INTERMEDIATE SUPPORTS). SOLE PLATE TO JOIST AT BRACED WALL PANELS 3-16d @ 16" O.C.

THIS DRAWING SHOWS BRACED WALL LINES WITH 'CONTINUOUS STRUCTURAL PANEL SHEATHING' MEETING THE MINIMUM REQUIREMENTS OF SECTION R602.10.3 OF THE IRC. BRACED WALLS ARE OF THE MINIMUM LENGTHS SPECIFIED IN IRC 2015 R602.10.3.11



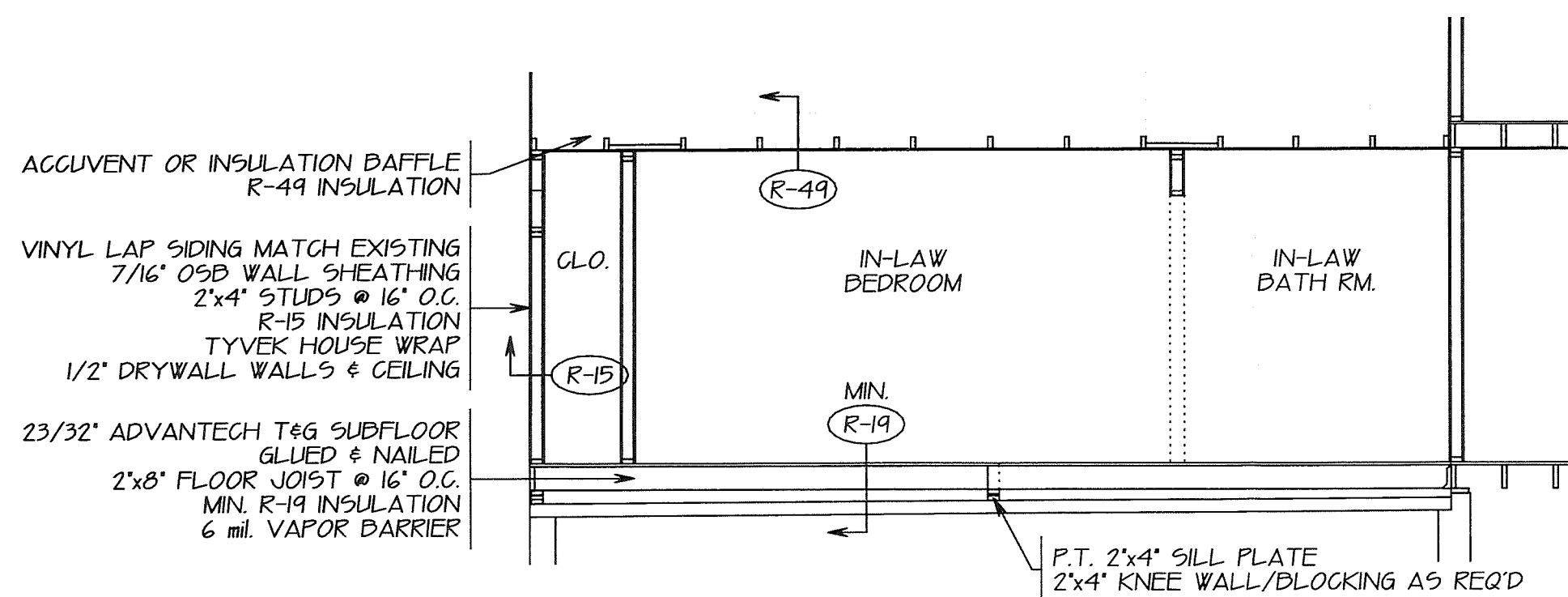
EXTERIOR WALL SHEATHING TO WALL FRAMING ASSEMBLY

REAR ELEVATION

LEFT SIDE ELEVATION

FRONT ELEVATION

WIND BRACING DIAGRAM



BUILDING SECTION

- R301 CLIMATE ZONE 4A
- R4012 COMPLIANCE METHOD: MANDATORY AND PRESCRIPTIVE PROVISIONS
- R402.11 VAPOR RETARDER: WALL ASSEMBLIES IN THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH VAPOR RETARDER REQUIREMENTS OF SECTION R702.7 OF THE INTERNATIONAL RESIDENTIAL CODE 2015 EDITION
- R402.12 ATTIC INSULATION: R-49
- R402.12 WOOD FRAME WALL: R-20 OR R-13 + R5 CONTINUOUS INSULATION
- R402.12 BASEMENT WALL INSULATION: R-10/R-10 FOIL FACED CONTINUOUS, UNINTERRUPTED DATT'S FULL HEIGHT
- R402.12 CRAWL SPACE WALL INSULATION: R-10/R-10 FOIL FACED CONTINUOUS DATT'S FULL HEIGHT EXTENDING FROM FLOOR ABOVE TO FINISH GRADE LEVEL AND THEN VERTICALLY OR HORIZONTALLY AN ADDITIONAL 2'-0"
- R402.12 FLOOR INSULATION OVER UNCONDITIONED SPACE: R-19 DATT INSULATION
- R402.12 WINDOW U-VALUE/SHGC: 35 (U-VALUE) .40 (SHGC)
- R402.210 SLAB ON GRADE FLOORS LESS THAN 12" BELOW GRADE: R-10 RIGID FOAM BOARD UNDER SLAB EXTENDING EITHER 2'-0" HORIZONTALLY OR 2'-0" VERTICALLY
- R402.2.4 ATTIC ACCESS: ATTIC ACCESS SCUTTE WILL BE WEATHERSTRIPPED AND INSULATED R-49

2015 IECC CODE COMPLIANCE

- R403.1 BUILDING THERMAL ENVELOPE (AIR LEAKAGE): EXTERIOR WALLS AND PENETRATIONS WILL BE SEALED PER THIS SECTION OF THE 2015 IECC WITH GASKETS, WEATHERSTRIPPING OR AN AIR BARRIER OF SUITABLE MATERIAL. SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW SEALING FOR DIFFERENTIAL EXPANSION AND CONTRACTION.
- R403.1.2 BUILDING THERMAL ENVELOPE TIGHTNESS TEST: BUILDING ENVELOPE SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 3 AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM E 779 OR ASTM E 1827 WITH (BLOWER DOOR) AT A PRESSURE OF 0.2 INCHES W.G. (50 PASCALES). TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE BUILDING INSPECTOR.
- R403.1.2 FIREPLACES: NEW WOOD BURNING FIREPLACES WILL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR. FIREPLACE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 127 (FACTORY BUILT FIREPLACE AND UL 107 (MASONRY FIREPLACE).
- R403.1.4 ROOMS CONTAINING FUEL-BURNING APPLIANCES WHERE OPEN COMBUSTION AIR DUCTS PROVIDE COMBUSTION AIR TO OPEN COMBUSTION FUEL BURNING APPLIANCES, THE ALLIANCES AND COMBUSTION AIR SHALL BE LOCATED OUTSIDE THE BUILDING THERMAL ENVELOPE OR ENCLOSED IN A ROOM ISOLATED FROM INSIDE THE THERMAL ENVELOPE. EXCEPTIONS: 1. DIRECT VENT APPLIANCES WITH BOTH INTAKE AND EXHAUST PIPES INSTALLED CONTINUOUS TO THE OUTSIDE. 2. FIREPLACES AND STOVES COMPLYING WITH SECTION R402.4.2 AND SECTION R406 OF THE IRC.
- R403.1.5 RECESSED LIGHTING: RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE.

- R403.11 THERMOSTAT: ALL DWELLING UNITS WILL HAVE AT LEAST (1) PROGRAMMABLE THERMOSTAT FOR EACH SEPARATE HEATING AND COOLING SYSTEM PER 2015 IECC SECTION 403.11
- R403.12 WHERE A HEAT PUMP SYSTEM HAVING SUPPLEMENTARY ELECTRIC RESISTANCE HEAT IS USED THE THERMOSTAT SHALL PREVENT THE SUPPLEMENTARY HEAT FROM COMING ON WHEN HEAT PUMP CAN MEET HEATING LOAD.
- R403.31 MECHANICAL DUCT INSULATION: SUPPLY AND RETURN DUCTS IN ATTIC R-8 MINIMUM, R-6 WHEN LESS THAN 3" SUPPLY AND RETURN DUCTS OUTSIDE OF CONDITIONED SPACES R-8 MINIMUM. ALL OTHER DUCTS EXCEPT THOSE LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE R-6 MINIMUM. DUCTS LOCATED UNDER CONCRETE SLABS MUST BE R-6 MINIMUM.
- R403.3.2 DUCT SEALING: ALL DUCTS, AIR HANDLERS, FILTER BOXES WILL BE SEALED. JOINTS AND SEAMS WILL COMPLY WITH SECTION M601.41 OF THE IRC. A DUCT TIGHTNESS TEST (DUCT BLASTER DUCT TOTAL LEAKAGE TEST) WILL BE PERFORMED ON ALL HOMES AND SHALL BE VERIFIED BY EITHER A POS. CONSTRUCTION TEST OR A ROUGH-IN TEST. DUCT TIGHTNESS TEST IS NOT REQUIRED IF THE AIR HANDLER AND ALL DUCTS ARE LOCATED WITHIN THE CONDITIONED SPACE.
- R403.6 MECHANICAL VENTILATION: OUTDOOR MAKE-UP AND EXHAUST AIR DUCTS TO BE PROVIDED WITH AUTOMATIC OR GRAVITY DAMPER THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING.
- R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICIENCY TO COMPLY WITH TABLE R403.6.1
- R403.7 EQUIPMENT SIZING SHALL COMPLY WITH R403.7
- R404.1 LIGHTING EQUIPMENT: A MINIMUM OF 75% OF ALL LAMP(S) MUST BE HIGH EFFICACY LAMPS.

Authorization/Limitations for Use of Plans
This set of drawings, the design itself, and any accompanying specifications are the property of Design Build Remodeling Group, Inc. and shall not be used for any other project without the written consent of Design Build Remodeling Group, Inc. A copy of these drawings and specifications will be provided to the Client. It is understood that these drawings are not to be used for construction by any other parties.

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SHEET No.

1 of 1

SCALE: 1/4" = 1' 0"

UP-2020-0001-IL

CREATIVE OUTLOOKS, LLC
PHILIP F. GUGLIUZZA

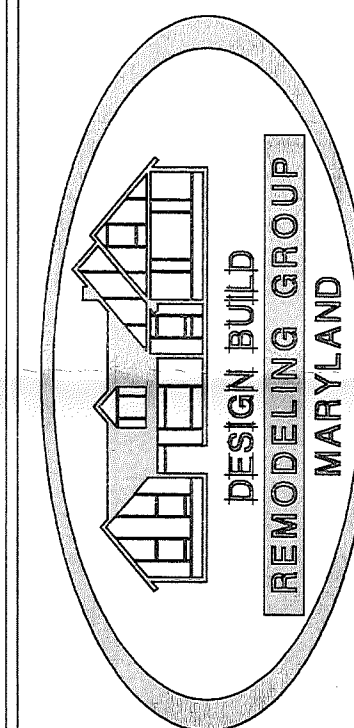
CUSTOM HOME PLANNING & DESIGN
HOME ADDITION-REMODELING DESIGN
COMPLETE CONSTRUCTION PLANS

PHONE: 410-596-1042

IN-LAW SUITE

RENOVATION FOR:
O'CONNOR RESIDENCE
16606 DUEBS RD
SPARKS, MARYLAND 21152

DATE: DEC. 16, 2019
DRAWN BY: PFG
SCALE: 1/4" = 1' 0"



ADDITIONS: GARAGE, FAMILY ROOM,
OWNER'S SUITE & BATHROOMS,
IN-LAW SUITES & MORE
KITCHEN REMODEL & ADDITIONS
WHOLE HOUSE RENOVATIONS
DESIGN-BUILD REMODELING GROUP
ADDITIONAL DISABILITY NEEDS

P.O. BOX 1285
ELDENSBURG, MARYLAND 21784
PHONE: 443-300-2268