

MEMORANDUM

DATE: April 14, 2020
TO: Zoning Review Office
FROM: Office of Administrative Hearings
RE: Case No. 2020-0004-A – Appeal Period Expired

The appeal period for the above-referenced cases expired on April 13, 2020. There being no appeal filed, the subject file is ready for return to the Zoning Review Office and is placed in the 'pick up box.'

/dlw

c:  Case File
Office of Administrative Hearings

IN RE: PETITION FOR VARIANCE

(5152 Byerly Road)

4th Election District

3rd Council District

Sarah Ciccarelli

Legal Owner

Petitioner

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BEFORE THE

OFFICE OF ADMINISTRATIVE

HEARINGS FOR

BALTIMORE COUNTY

CASE NO. 2020-0004-A

OPINION AND ORDER

This matter comes before the Office of Administrative Hearings (OAH) as a Petition for Variance filed by Sarah Ciccarelli for property located at 5152 Byerly Road. The Petitioner is requesting variance relief from § 400.3 of the Baltimore County Zoning Regulations (B.C.Z.R.) to approve an accessory structure (garage) at a total height of 24 feet in lieu of the required 15 feet height maximum. A site plan was marked as Petitioner's Exhibit 1.

This matter was originally filed as an Administrative Variance, with a closing date of February 3, 2020. On January 29, 2020, Kevin Faison, 5130 Byerly Road, requested a hearing. The hearing was held on Thursday, March 12, 2020 at 10:00 AM in Room 205 of the Jefferson Building, 105 West Chesapeake Avenue, Towson. The Petition was advertised and posted as required by the Baltimore County Zoning Regulations. Petitioner, Sarah Ciccarelli, and her husband, Ray Ciccarelli, appeared in support of the requested relief. Kevin Faison, testified in opposition to the requested variance.

The subject property is approximately 2.04 acres and is zoned RC- 2. Mr. Ciccarelli testified that he owns a race car and has a full-size tractor-trailer rig that he uses to transport the car to racing events. He testified that he needs this 24 foot high 2400 sq. ft. garage structure in order to accommodate the tractor-trailer. He testified that although his recently built home sits at

ORDER RECEIVED FOR FILING

Date 3/13/2020

By Sen

the top of a hill the proposed garage will be sited in the rear of the lot and approximately 20 feet downgrade from the home and will therefore not be visible from Byerly Road. Mrs. Ciccarelli stated that the site for the proposed structure will not be visible from the surrounding properties when there are leaves on the trees in the area, but she acknowledged that it would be visible from some surrounding vantage points during the remainder of the year. Petitioners submitted architectural plans for the proposed pole barn structure, which were admitted as Petitioners' Exhibit 2; and photos of the site and surrounding properties, which were admitted collectively as Petitioners' Exhibit 3.

Mr. Faison testified that he lives on an 18 acre farm which adjoins the Ciccarelli's property to the east. He submitted a thirteen page exhibit containing photos and other materials that was admitted as Protestant's Exhibit 1. An aerial Google Satellite photo in this exhibit shows that the Petitioner's property is bordered by the Faison's farm on the east and by the "Old Lippy Farm" to the north, which he testified is preserved by a land conservancy. He testified that a stream, "McGill's Run," as well as wetlands are also in the immediate vicinity. He explained that the area is already subject to flash flooding, and he and other neighbors are concerned about the addition of 2400 square feet of impervious surface. He further noted that because of the steep grade change this proposed 24 ft. high structure will look even larger from the property to the rear. In sum, he does not believe the proposed structure is compatible with this rural conservation zone.

The general rule is that "the authority to grant a variance should be exercised sparingly and only under exceptional circumstances." *Mueller v. People's Counsel for Baltimore County*, 177 Md. App. 43, 71(2007). This is because "a variance is an authorization for that which is prohibited by a zoning ordinance." *Cromwell v. Ward*, 102 Md. App. 691, 699 (1995). And because "citizens [of a given county or municipality] are entitled to strict enforcement of the existing zoning

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Date

3/13/2020

By

Sen

regulations.” *Salisbury Bd. Of Zoning Appeals v. Bounds*, 240 Md. 547, 555-56 (1965). Therefore, “[t]he burden is on the applicant to show facts to warrant a variance,” and “the specific need for the variance must be substantial and urgent and not merely for the convenience of the applicant.” *Mueller v. People’s Counsel for Baltimore County*, 177 Md. App. at 70.

Under BCZR Sec. 307, and Maryland common law, in order to be entitled to variance relief the Petitioners must satisfy a two-step legal analysis, summarized as follows:

- (1) It must be shown the property is unique in a manner which makes it unlike surrounding properties, and that uniqueness or peculiarity is what necessitates the requested variance relief; and
- (2) If variance relief is denied, Petitioner will experience a practical difficulty or hardship.

Cromwell v. Ward, supra. Finally, “unless there is a finding that the property is unique, unusual, or different, the process stops here and the variance is denied without any consideration of practical difficulty or unreasonable hardship.” *Mueller, supra*, 177 Md. App. at 70.

At the hearing the undersigned asked Mr. Ciccarelli directly whether there is anything unique about his property as compared with the surrounding properties. To his credit, Mr. Ciccarelli was forthright in conceding that there is not. The Petitioners have therefore failed to meet the first prong of the legal analysis. Further, even if I were to reach the second prong, the record evidence does not support a finding that Petitioners’ need for this variance is “substantial and urgent.” Rather, it shows that the variance request is “merely for the convenience of the applicant.” *Mueller, supra*, 177 Md. App. at 70. While I certainly understand that Mr. Ciccarelli would like to construct this large pole barn to house his race car and tractor-trailer, the law does not allow me to grant his requested variance. To the contrary, the neighboring property owners are entitled to “strict enforcement of the existing zoning regulations.” *Salisbury Bd. Of Zoning Appeals v. Bounds*, 240 Md. 547, 555-56 (1965). Finally, I do not believe the proposed structure

ORDER RECEIVED FOR FILING

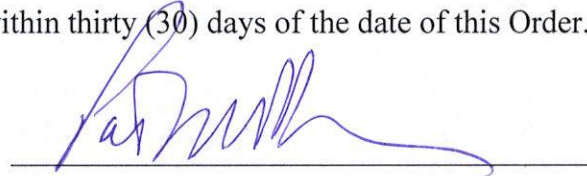
Date 3/13/2020

By Ben

is compatible in this rural conservation zone and I believe this proposed 2400 sq. ft. structure's impervious surface area would have a negative environmental impact on the surrounding properties.

THEREFORE, IT IS ORDERED, this **13th** day of **March, 2020** by the Administrative Law Judge for Baltimore County, that the Petition for Variance from B.C.Z.R. § 400.3 of the Baltimore County Zoning Regulations (B.C.Z.R) to approve an accessory structure (garage) at a total height of 24 feet in lieu of the required 15 feet height maximum, be and is hereby DENIED.

Any appeal of this decision must be made within thirty (30) days of the date of this Order.



PAUL M. MAYHEW
Managing Administrative Law Judge for
Baltimore County

PMM:sln

ORDER RECEIVED FOR FILING

Date 3/13/2020

By Sen



ADMINISTRATIVE ZONING PETITION

FOR ADMINISTRATIVE VARIANCE – OR – ADMINISTRATIVE SPECIAL HEARING

To be filed with the Department of Permits, Approvals and Inspections

To the Office of Administrative Hearings for Baltimore County for the property located at:

Address 5152 Bysterly RD Upperco MD 21155 Currently zoned RC2
Deed Reference 40614-100412 10 Digit Tax Account # 2500004780
Owner(s) Printed Name(s) Sarah Ciccarella

(SELECT THE HEARING(S) BY MARKING ☒ AT THE APPROPRIATE SELECTION(S) AND ADDING THE PETITION REQUEST)

For Administrative Variances, the Affidavit on the reverse of this Petition form must be completed and notarized.

The undersigned, who own and occupy the property situate in Baltimore County and which is described in the plan/plat attached hereto and made a part hereof, hereby petition for an:

1. ☒ **ADMINISTRATIVE VARIANCE** from Section(s) BCZP 400.3 TO APPROVE an accessory STRUCTURE (garage) at a total height of 24 FT in lieu of the required 15 FT height maximum

of the zoning regulations of Baltimore County, to the zoning law of Baltimore County.

2. ☐ **ADMINISTRATIVE SPECIAL HEARING** to approve a waiver pursuant to Section 32-4-107(b) of the Baltimore County Code: (indicate type of work in this space: i.e., to raze, alter or construct addition to building)

of the Baltimore County Code, to the development law of Baltimore County.

Property is to be posted and advertised as prescribed by the zoning regulations.

I/ we agree to pay expenses of above petition(s), advertising, posting, etc. and further agree to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

Owner(s)/Petitioner(s):

Sarah Ciccarella

Name #1 – Type or Print

Name #2 – Type or Print

Signature #1

Signature #2

5152 Bysterly RD Upperco MD

Mailing Address

City

State

21155

Zip Code

410 812-0406

Telephone #

RAY@CMINSTALL.COM

Email Address

sarah@cminstall.com

Attorney for Owner(s)/Petitioner(s):

Name- Type or Print

Signature

Mailing Address

City

State

Zip Code

Telephone #

Email Address

Representative to be contacted:

RAY Ciccarella

Name – Type or Print

Signature

5152 Bysterly RD Upperco MD

Mailing Address

City

State

21155

Zip Code

410 253116

Telephone #

RAY@CMINSTALL.COM

Email Address

A PUBLIC HEARING having been formally demanded and/or found to be required, it is ordered by the Office of Administrative Hearings for Baltimore County, this _____ day of _____, that the subject matter of this petition be set for a public hearing, advertised, and re-posted as required by the zoning regulations of Baltimore County.

Administrative Law Judge for Baltimore County

CASE NUMBER 2020-0004-A

Filing Date 1/7/20

Estimated Posting Date 1/19/20

Reviewer CF

Affidavit in Support of Administrative Variance

(THIS AFFIDAVIT IS NOT REQUIRED FOR AN HISTORIC ADMINISTRATIVE SPECIAL HEARING)

The undersigned hereby affirms under the penalties of perjury and upon personal knowledge to the Administrative Law Judge for Baltimore County, that the information herein given is true and correct and that the undersigned is/are competent to testify in the event that a public hearing is scheduled in the future with regard thereto. In addition, the undersigned hereby affirms that the property is not the subject of an active Code Enforcement case and that the residential property described below is owned and occupied by the undersigned.

Address: 5152 BYerly RD UPPerCo MD 21155
Print or Type Address of property City State Zip Code

Based upon personal knowledge, the following are the facts upon which I/we base the request for an Administrative Variance at the above address. (Clearly state practical difficulty or hardship here)

TRYing To Build A Garage To Fit my TRUCK/TRAILER & TRACTOR Equipment
& they NEED 13 FT TALL

* The truck / Trailer i use to go RACING with on the WEEKENDS
for FUN and i want to keep it out of the Elements to
give it Long life to keep the SUE, SUEW of it. They are
Very Expensive Vehicles.

(If additional space for the petition request or the above statement is needed, label and attach it to this Form)

Sarah Ciccarelli
Signature of Owner (Affiant)

Sarah Ciccarelli
Name- Print or Type

Signature of Owner (Affiant)

Name- Print or Type

The following information is to be completed by a Notary Public of the State of Maryland

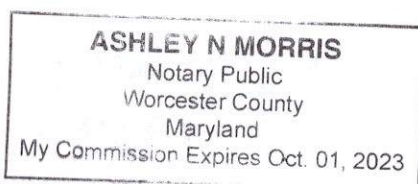
Worcester
STATE OF MARYLAND, COUNTY OF ~~BALTIMORE~~, to wit:

I HEREBY CERTIFY, this 27th day of December, 2019, before me a Notary of Maryland, in and for the County aforesaid, personally appeared:

Print name(s) here: Sarah Ciccarelli

the Affiant(s) herein, personally known or satisfactorily identified to me as such Affiant(s).

AS WITNESS my hand and Notaries Seal



Ashley Morris
Notary Public
10.01.2023
My Commission Expires

Affidavit in Support of Administrative Variance

(THIS AFFIDAVIT IS NOT REQUIRED FOR AN HISTORIC ADMINISTRATIVE SPECIAL HEARING)

The undersigned hereby affirms under the penalties of perjury and upon personal knowledge to the Administrative Law Judge for Baltimore County, that the information herein given is true and correct and that the undersigned is/are competent to testify in the event that a public hearing is scheduled in the future with regard thereto. In addition, the undersigned hereby affirms that the property is not the subject of an active Code Enforcement case and that the residential property described below is owned and occupied by the undersigned.

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Print or Type Address of property City State Zip Code

Based upon personal knowledge, the following are the facts upon which I/we base the request for an Administrative Variance at the above address. (Clearly state practical difficulty or hardship here)

Trying to Build a garage to fit my TRUCK/Trailer + Trailer Equipment
because they are 13 FT TALL
The TRUCK + Trailer I use to go racing with on WEEKENDS
for SUN and I want to KEEP it out of the Element to
give it longer life + TO KEEP SUN + SNOW off it they are
Very Expensive Vehicles

(If additional space for the petition request or the above statement is needed, label and attach it to this Form)

Sarah Ciccarelli
Signature of Owner (Affiant)

Sarah Ciccarelli
Name- Print or Type

Signature of Owner (Affiant)

Name- Print or Type

The following information is to be completed by a Notary Public of the State of Maryland

Worcester
STATE OF MARYLAND, COUNTY OF ~~BALTIMORE~~, to wit:

I HEREBY CERTIFY, this 27th day of December, 2019, before me a Notary of Maryland, in and for the County aforesaid, personally appeared:

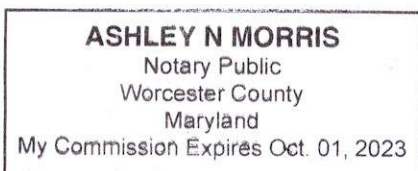
Print name(s) here: Sarah Ciccarelli

the Affiant(s) herein, personally known or satisfactorily identified to me as such Affiant(s).

AS WITNESS my hand and Notaries Seal

Ashley Morris
Notary Public

10.01.2023
My Commission Expires





ADMINISTRATIVE ZONING PETITION

FOR ADMINISTRATIVE VARIANCE – OR – ADMINISTRATIVE SPECIAL HEARING

To be filed with the Department of Permits, Approvals and Inspections

To the Office of Administrative Hearings for Baltimore County for the property located at:

Address 5152 BYERLY RD UPPERCO MD 21155 Currently zoned RC2
 Deed Reference 40614 / 00412 10 Digit Tax Account # 2500004780
 Owner(s) Printed Name(s) Sarah Ciccarelli

(SELECT THE HEARING(S) BY MARKING X AT THE APPROPRIATE SELECTION(S) AND ADDING THE PETITION REQUEST)

For Administrative Variances, the Affidavit on the reverse of this Petition form must be completed and notarized.

The undersigned, who own and occupy the property situate in Baltimore County and which is described in the plan/plat attached hereto and made a part hereof, hereby petition for an:

- ☒ **ADMINISTRATIVE VARIANCE** from Section(s) BCZR 400.3 TO APPROVE AN ACCESSORY STRUCTURE (GARAGE) at a total height of 24 FT in lieu of the required 15 FT height maximum

of the zoning regulations of Baltimore County, to the zoning law of Baltimore County.

- ☐ **ADMINISTRATIVE SPECIAL HEARING** to approve a waiver pursuant to Section 32-4-107(b) of the Baltimore County Code: (indicate type of work in this space: i.e., to raze, alter or construct addition to building)

of the Baltimore County Code, to the development law of Baltimore County.

Property is to be posted and advertised as prescribed by the zoning regulations.

I/we agree to pay expenses of above petition(s), advertising, posting, etc. and further agree to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

Owner(s)/Petitioner(s):

Sarah Ciccarelli
 Name #1 – Type or Print Name #2 – Type or Print
[Signature]
 Signature #1 Signature #2
5152 BYERLY RD UPPERCO MD
 Mailing Address City State
21155 / 410 820406 / Ray@Cminstall.com
 Zip Code Telephone # Email Address

Attorney for Owner(s)/Petitioner(s):

2/13/2020
[Signature]
 Name- Type or Print
 Signature
 Date
 Mailing Address City State
 Zip Code Telephone # Email Address

Representative to be contacted:

Ray Ciccarelli
 Name – Type or Print
[Signature]
 Signature
5152 BYERLY RD UPPERCO MD
 Mailing Address City State
21155 / 410 2153114 / Ray@Cminstall.com
 Zip Code Telephone # Email Address

A PUBLIC HEARING having been formally demanded and/or found to be required, it is ordered by the Office of Administrative Hearings for Baltimore County, this _____ day of _____, that the subject matter of this petition be set for a public hearing, advertised, and re-posted as required by the zoning regulations of Baltimore County.

Administrative Law Judge for Baltimore County

CASE NUMBER 2020-0004-A Filing Date 1/17/2020 Estimated Posting Date 1/19/20 Reviewer CF

Zoning Property Description For

5152 Byerly RD Upper CO MD 21155

Beginning at a point on the North side of Byerly RD
Property Front which is 40 FT wide at a distance of
250 FT East of center-line of Nearest improved
Intersecting Street OLD HANOVER RD which is 40 FT wide

2020-0004 A

CERTIFICATION OF POSTING

RE: Case No. 2020-0004-A

Petitioner: Sarah Ciccarelli

Hearing Date: 3/12/20

Baltimore County Department of
Permits, Approvals and Inspections
Room 111, County Office Building
111 W. Chesapeake Ave.
Towson, Md. 21204

This letter is to confirm, under penalties of perjury, that the necessary sign(s)
were posted conspicuously on the property located at _____

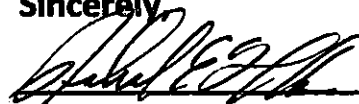
5152 Byerly Rd. – (front SW side of property) - (1 of 3)

5152 Byerly Rd. – (front NE side of property) - (2 of 3)

5152 Byerly Rd. - (enlargement of sign wording) - (3 of 3)

_____ on 2/21/20

Sincerely,

 2/21/20

Richard E. Hoffman

904 Dellwood Drive

Fallston, Md. 21047

(443) 243-7360

Certification of Posting

Case No 2020-0004-A



5152 Byerly Road (SW side of property – 1 of 3)

 2/21/20

Richard E. Hoffman

904 Dellwood Drive

Fallston, Md. 21047

443-243-7360

1977-1978

1978-1979

1979-1980

1980-1981

1981-1982

1982-1983

1983-1984

1984-1985

Certification of Posting

Case No 2020-0004-A



5152 Byerly Road (NE side of property – 2 of 3)

 2/21/20

Richard E. Hoffman

904 Dellwood Drive

Fallston, Md. 21047

443-243-7360

2012-12-10 10:11:11

2012-12-10 10:11:11

2012-12-10 10:11:11

2012-12-10 10:11:11

2012-12-10 10:11:11

2012-12-10 10:11:11

2012-12-10 10:11:11

2012-12-10 10:11:11

Certification of Posting

Case No 2020-0004-A

ZONING NOTICE
CASE # 2020-0004-A

**A PUBLIC HEARING WILL BE HELD BY
THE ADMINISTRATIVE LAW JUDGE
IN TOWSON, MD**

PLACE: ROOM 205. JEFFERSON BUILDING
105 WEST CHESAPEAKE AVENUE, TOWSON 21204

DATE AND TIME: THURSDAY, MARCH 12, 2020 AT 10:00 A.M.

REQUEST: VARIANCE FOR AN ACCESSORY STRUCTURE (GARAGE) AT A
TOTAL HEIGHT OF 24 FT. IN LIEU OF THE REQUIRED 15 FT. HEIGHT
MAXIMUM.

2/21/20 5:37 PM

5152 Byerly Road (Enlargement of wording – 3 of 3)

 2/21/20

Richard E. Hoffman

904 Dellwood Drive

Fallston, Md. 21047

443-243-7360

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RE-CERTIFICATION OF POSTING

RE: Case No. 2020-0004-A

Petitioner: Sarah Ciccarelli

Hearing Date: 3/12/20

Baltimore County Department of
Permits, Approvals and Inspections
Room 111, County Office Building
111 W. Chesapeake Ave.
Towson, Md. 21204

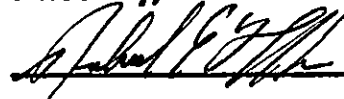
This letter is to confirm, under penalties of perjury, that the necessary sign(s)
were posted conspicuously on the property located at:

5152 Byerly Rd. – (front SW side of property) - (1 of 2)

5152 Byerly Rd. – (front NE side of property) - (2 of 2)

on 2/21/20 and re-photographed on 3/7/20

Sincerely,

 3/12/20

Richard E. Hoffman

904 Dellwood Drive

Fallston, Md. 21047

(443) 243-7360

THE UNIVERSITY OF MICHIGAN

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Certification of Posting

Case No 2020-0004-A



5152 Byerly Road (SW side of property – 1 of 2)

Richard E. Hoffman 3/7/20

Richard E. Hoffman

904 Dellwood Drive

Fallston, Md. 21047

443-243-7360

2004 to 2007

2004 to 2007

2004 to 2007

2004 to 2007

2004 to 2007

2004 to 2007

2004 to 2007

2004 to 2007

Certification of Posting

Case No 2020-0004-A



5152 Byerly Road (NE side of property – 2 of 3)

Richard E. Hoffman 3/7/20

Richard E. Hoffman

904 Dellwood Drive

Fallston, Md. 21047

443-243-7360

UNITED STATES DISTRICT COURT
SOUTHERN DISTRICT OF NEW YORK

ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED

1992-1993 season (1992-1993) (1992-1993)

[illegible]

2. 2nd order priority _____

[illegible]

32-15,000-100,000

.....

C H E C K L I S T

<u>Comment Received</u>	<u>Department</u>	<u>Support/Oppose/ Conditions/ Comments/ No Comment</u>
_____	DEVELOPMENT PLANS REVIEW (if not received, date e-mail sent _____)	_____
<u>1/14</u>	DEPS (if not received, date e-mail sent _____)	<u>NO Comment</u>
_____	FIRE DEPARTMENT	_____
_____	PLANNING (if not received, date e-mail sent _____)	_____
<u>1/15/20</u>	STATE HIGHWAY ADMINISTRATION	<u>NO Comment</u>
_____	TRAFFIC ENGINEERING	_____
_____	COMMUNITY ASSOCIATION	_____
_____	ADJACENT PROPERTY OWNERS	_____
ZONING VIOLATION	(Case No. _____)	
PRIOR ZONING	(Case No. _____)	
NEWSPAPER ADVERTISEMENT	Date: <u>No Newspaper</u>	
SIGN POSTING (1 st)	Date: <u>2/21/2020</u> by <u>Richard Hoffman</u>	
SIGN POSTING (2 nd)	Date: <u>3/7/2020</u> by <u>11 11</u>	
PEOPLE'S COUNSEL APPEARANCE	Yes ☒ No ☐	
PEOPLE'S COUNSEL COMMENT LETTER	Yes ☐ No ☐	

Comments, if any: Formal Demand filed by
Kevin Saison 5130 Byerly Road

Real Property Data Search

Search Result for BALTIMORE COUNTY

View Map	View GroundRent Redemption	View GroundRent Registration
Special Tax Recapture: None		
Account Identifier: District - 04 Account Number - 2500004780		
Owner Information		
Owner Name:	CICCARELLI SARAH W	Use: RESIDENTIAL
Mailing Address:	5152 BYERLY RD UPPERCO MD 21155-0000	Principal Residence: YES Deed Reference: /40614/ 00412
Location & Structure Information		
Premises Address:	5152 BYERLY RD UPPERCO 21155-0000	Legal Description: 2.037 AC 5152 BYERLY RD NS LIPPY PROPERTY
Map: 0031	Grid: 0004	Parcel: 0258
Neighborhood: 4020022.04	Subdivision: 0000	Section:
Block:	Lot: 2	Assessment Year: 2019
Plat No:		Plat Ref: 0078/ 0415
Town: None		
Primary Structure Built	Above Grade Living Area	Finished Basement Area
2019	3,960 SF	1000 SF
Property Land Area	County Use	
2.0400 AC	04	
Stories	Basement	Type
2	YES	STANDARD UNIT
Exterior	Quality	Full/Half Bath
SIDING/	5	4 full
Garage	Last Notice of Major Improvements	
2 Attached		
Value Information		
	Base Value	Value
		As of 01/01/2019
Land:	84,300	84,300
Improvements	496,100	558,700
Total:	580,400	643,000
Preferential Land:	0	
		Phase-in Assessments
		As of 07/01/2019
		As of 07/01/2020
		601,267
		622,133
		0
Transfer Information		
Seller: WOODENSBURG LAND AND CATTLE COMPANY LLC	Date: 08/29/2018	Price: \$135,000
Type: ARMS LENGTH VACANT	Deed1: /40614/ 00412	Deed2:
Seller: GALLETTI MARY MARGARET	Date: 12/07/2017	Price: \$153,300
Type: ARMS LENGTH MULTIPLE	Deed1: /39721/ 00229	Deed2:
Seller: LIPPY ENTERPRISES INC	Date: 12/13/2013	Price: \$0
Type: NON-ARMS LENGTH OTHER	Deed1: /34518/ 00421	Deed2:
Exemption Information		
Partial Exempt Assessments:	Class	
County:	000	07/01/2019 0.00
State:	000	07/01/2020 0.00
Municipal:	000	0.00 0.00 0.00 0.00
Special Tax Recapture: None		
Homestead Application Information		
Homestead Application Status: No Application		
Homeowners' Tax Credit Application Information		
Homeowners' Tax Credit Application Status: No Application		Date:

Debra Wiley

From: Jenae Johnson
Sent: Friday, February 7, 2020 8:50 AM
To: Debra Wiley
Subject: RE: Admin. Variance - Case No. 2020-0004-A (Closing date: 2/3/20)

Good morning,

Yes it's a formal demand.

From: Debra Wiley
Sent: Friday, February 07, 2020 8:49 AM
To: Jenae Johnson <jjohnson@baltimorecountymd.gov>; Kristen L Lewis <klewis@baltimorecountymd.gov>
Subject: Admin. Variance - Case No. 2020-0004-A (Closing date: 2/3/20)

Good Morning Jenae,

Did you find out from Kristen whether the above case had a formal demand since it was on her desk?

Thanks in advance.

Debra Wiley, Legal Administrative Secretary
Baltimore County Office of Administrative Hearings
105 West Chesapeake Avenue, Suite 103
Towson, Maryland 21204
410-887-3868



JOHN A. OLSZEWSKI, JR.
County Executive

MICHAEL D. MALLINOFF, *Director*
Department of Permits,
Approvals & Inspections

March 3, 2020

Sarah Ciccarelli,
5152 Byerly Road
Upperco MD 21155

RE: Case Number: 2020-0004-A, 5152 Byerly Road

To Whom It May Concern:

The above referenced petition was accepted for processing **ONLY** by the Bureau of Zoning Review, Department of Permits, Approvals, and Inspection (PAI) on January 7, 2019. This letter is not an approval, but only a **NOTIFICATION**.

The Zoning Advisory Committee (ZAC), which consists of representatives from several approval agencies, has reviewed the plans that were submitted with your petition. All comments submitted thus far from the members of the ZAC are attached. These comments are not intended to indicate the appropriateness of the zoning action requested, but to ensure that all parties (zoning commissioner, attorney, petitioner, etc.) are made aware of plans or problems with regard to the proposed improvements that may have a bearing on this case. All comments will be placed in the permanent case file.

If you need further information or have any questions, please do not hesitate to contact the commenting agency.

Very truly yours,

A handwritten signature in black ink, appearing to read "W. Carl Richards, Jr.", is written over the "Very truly yours," text.

W. Carl Richards, Jr.
Supervisor, Zoning Review

WCR/kl

Enclosures

c: People's Counsel

MDOT
MARYLAND DEPARTMENT
OF TRANSPORTATION
STATE HIGHWAY
ADMINISTRATION

Larry Hogan
Governor
Boyd K. Rutherford
Lt. Governor
Pete K. Rahn
Secretary
Gregory Slater
Administrator

Date: 1/15/20

Ms. Kristen Lewis
Baltimore County Office of
Permits and Development Management
County Office Building, Room 109
111 West Chesapeake Avenue
Towson, Maryland 21204

Dear Ms. Lewis:

Thank you for the opportunity to review your referral request on the subject of the Case number referenced below. We have determined that the subject property does not access a State roadway and is not affected by any State Highway Administration projects. Therefore, based upon available information this office has no objection to Baltimore County Zoning Advisory Committee approval of Case No. *2020-0004-A*

*Administrative Variance
Sarah Ciccarell
5152 Byerly Road.*

Should you have any questions regarding this matter, please contact Mr. Richard Zeller at 410-229-2332 or 1-866-998-0367 (in Maryland only) extension 2332, or by email at (rzeller@mdot.maryland.gov).

Sincerely,



Wendy Wolcott, P.L.A.
Metropolitan District Engineer
Maryland Department of Transportation
State Highway Administration
District 4 - Baltimore and Harford Counties

WW/RAZ

BALTIMORE COUNTY, MARYLAND

Inter-Office Correspondence



TO: Hon. Paul M. Mayhew; Managing Administrative Law Judge
Office of Administrative Hearings

FROM: Jeff Livingston, Department of Environmental Protection and
Sustainability (EPS) - Development Coordination

DATE: January 14, 2020

SUBJECT: DEPS Comment for Zoning Item # 2020-0004-A
Address 5152 Byerly Road
(Ciccarèll Property)

Zoning Advisory Committee Meeting of **January 20, 2020**.

X The Department of Environmental Protection and Sustainability has no
comment on the above-referenced zoning item.

Reviewer: Steve Ford

RE: PETITION FOR ADMINISTRATIVE * BEFORE THE OFFICE
VARIANCE *
5152 Byerly Road; North side of Byerly * OF ADMINISTRATIVE
Road 250 feet East of Old Hanover Road *
4th Election & 3rd Councilmanic Districts * HEARINGS FOR
Legal Owner(s): Sarah Ciccarell *
Petitioner(s) * BALTIMORE COUNTY
* 2020-004-A

* * * * *

ENTRY OF APPEARANCE

Pursuant to Baltimore County Charter § 524.1, please enter the appearance of People's Counsel for Baltimore County as an interested party in the above-captioned matter. Notice should be sent of any hearing dates or other proceedings in this matter and the passage of any preliminary or final Order. All parties should copy People's Counsel on all correspondence sent and all documentation filed in the case.

Peter Max Zimmerman

PETER MAX ZIMMERMAN
People's Counsel for Baltimore County

Carole S. Demilio

CAROLE S. DEMILIO
Deputy People's Counsel
Jefferson Building, Room 204
105 West Chesapeake Avenue
Towson, MD 21204
(410) 887-2188

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that on this 4th day of March, 2020, a copy of the foregoing Entry of Appearance was mailed to Ray Ciccerello, 5152 Byerly Road, Upperco, Maryland 21155, Representative for Petitioner(s).

Peter Max Zimmerman

PETER MAX ZIMMERMAN
People's Counsel for Baltimore County



FORMAL DEMAND FOR HEARING

CASE NUMBER: 2020-0004-A

Address: 5152 Byerly Road Upperco Md 21155

Petitioner(s): Sarah Circarelli

TO THE ZONING COMMISSIONER OF BALTIMORE COUNTY:

I/We Kevin Faison
Name - Type or Print

☒ Legal Owner OR ☐ Resident of
5130 Byerly Road Upperco Md 21155
Address

City _____ State _____ Zip Code _____
410 458 2728
Telephone Number

which is located approximately 100 feet from the property, which is the subject of the above petition, **do hereby formally demand that a public hearing be set in this matter.**
ATTACHED IS THE REQUIRED PROCESSING FEE FOR THIS DEMAND.

Kevin Faison
Signature

1/29/2020
Date

BALTIMORE COUNTY, MARYLAND
OFFICE OF BUDGET AND FINANCE
MISCELLANEOUS CASH RECEIPT

No. **194639**

PAID RECEIPT

Date: **1-29-2020**

BUSINESS ACTUAL TIME
 1/29/2020 1/29/2020 14:24:05

REG WS02 WALKIN MSJ
 >>RECEIPT # 010597 1/29/2020 OFLN

Fund	Dept	Unit	Sub Unit	Rev Source/ Obj	Sub Rev/ Sub Obj	Dept	Obj	BS Acct	Amount
001	806	0000		6150					60.00

5 528 ZONING VERIFICATION

194639

Recpt Tot \$ 60.00

00 CK 60.00 CA

Baltimore County, Maryland

Total: **60.00**

Rec

From:

2020 0004-A

For:

5152 BERRY RD

Formal Demand Hearing

DISTRIBUTION

WHITE - CASHIER

PINK - AGENCY

YELLOW - CUSTOMER

GOLD - ACCOUNTING

PLEASE PRESS HARD!!!!

**CASHIER'S
 VALIDATION**



JOHN A. OLSZEWSKI, JR.
County Executive

MICHAEL D. MALLINOFF, *Director*
Department of Permits,
Approvals & Inspections

February 6, 2020

NOTICE OF ZONING HEARING

The Administrative Law Judge of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing in Towson, Maryland on the property identified herein as follows:

CASE NUMBER: 2020-0004-A

5152 Byerly Road
North side of Byerly Road, 250 ft. east of Old Hanover Road
4th Election District – 2nd Councilmanic District
Legal Owners: Sarah Ciccarelli

Variance for an accessory structure (garage) at a total height of 24 ft. in lieu of the required 15 ft. height maximum.

Hearing: Thursday, March 12, 2020 at 10:00 a.m. in Room 205, Jefferson Building,
105 West Chesapeake Avenue, Towson 21204

A handwritten signature in black ink, appearing to read "Michael Mallinoff".

Michael Mallinoff
Director

MM:kl

C: Mr. & Mrs. Ciccarelli, 5152 Byerly Road, Upperco 21155
Kevin Faison, 5130 Byerly Road, Upperco 21155

- NOTES: (1) THE PETITIONER MUST HAVE THE ZONING NOTICE SIGN POSTED BY AN APPROVED POSTER ON THE PROPERTY BY FRIDAY, FEBRUARY 21, 2020.
- (2) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMMODATIONS PLEASE CALL THE ADMINISTRATIVE HEARINGS OFFICE AT 410-887-3868.
- (3) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THE ZONING REVIEW OFFICE AT 410-887-3391.

Sherry Nuffer

From: RICHARD HOFFMAN <dick_e@comcast.net>
Sent: Thursday, March 5, 2020 10:54 AM
To: Sherry Nuffer
Subject: Case # 2020-0004A / 5152 Byerly Road
Attachments: Cert. of posting - 5152 Byerly Rd.-cert. Hearing.docx; Certification of Posting-5152 Byerly Rd.-1 hearing.docx; Certification of Posting-5152 Byerly Rd.-2 hearing.docx; Certification of Posting-5152 Byerly Rd.-3 hearing.docx

CAUTION: This message from dick_e@comcast.net originated from a non Baltimore County Government or non BCPL email system. Hover over any links before clicking and use caution opening attachments.

Hi Sherry,

Attached are the Certifications for the subject case. Kindly let me that that you received them.

Thanks so much,
dickh



CERTIFICATION OF POSTING

RE: Case No. 2020-0004-A

Petitioner: Sarah Ciccarelli

Hearing Date: 3/12/20

Baltimore County Department of
Permits, Approvals and Inspections
Room 111, County Office Building
111 W. Chesapeake Ave.
Towson, Md. 21204

This letter is to confirm, under penalties of perjury, that the necessary sign(s)
were posted conspicuously on the property located at _____

5152 Byerly Rd. – (front SW side of property) - (1 of 3)

5152 Byerly Rd. – (front NE side of property) - (2 of 3)

5152 Byerly Rd. - (enlargement of sign wording) - (3 of 3)

_____ on 2/21/20

Sincerely,

Richard E. Hoffman

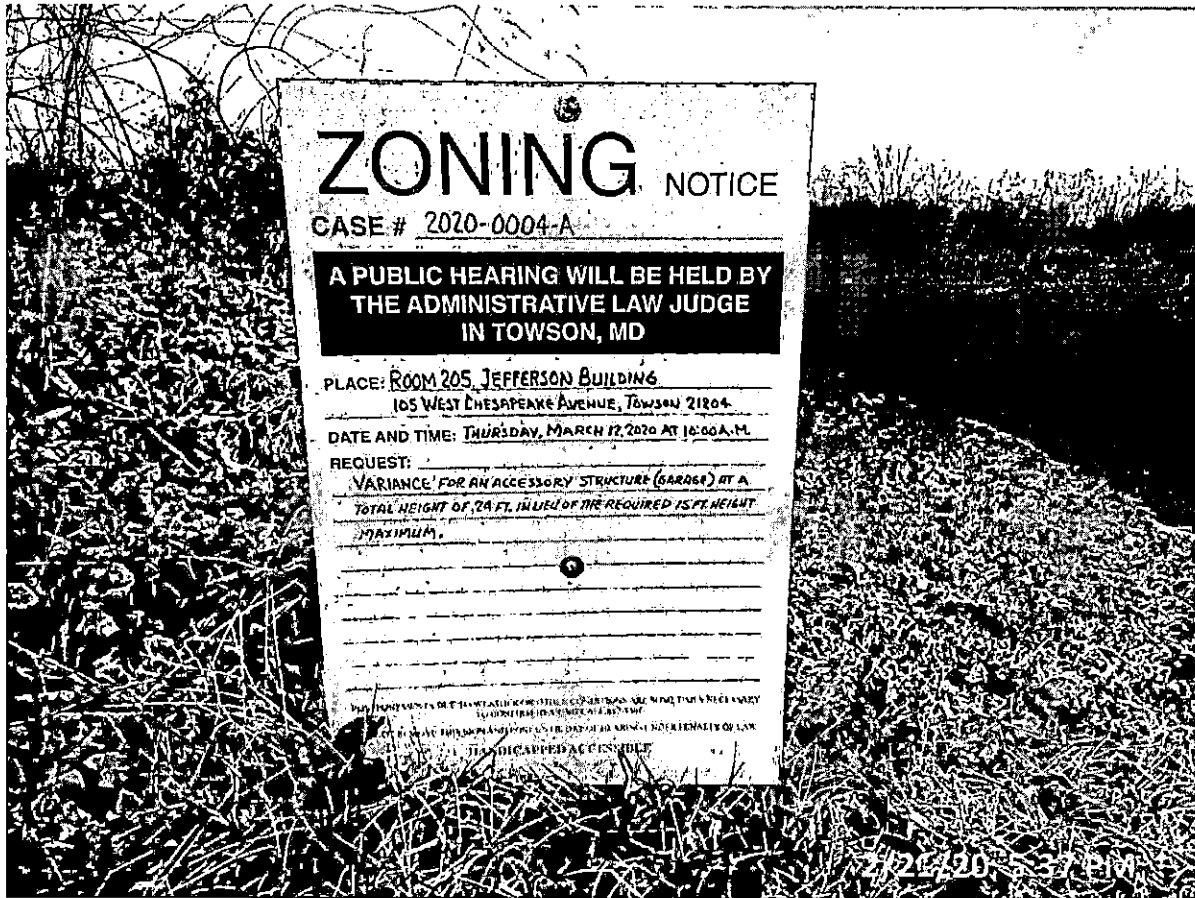
904 Dellwood Drive

Fallston, Md. 21047

(443) 243-7360

Certification of Posting

Case No 2020-0004-A



5152 Byerly Road (SW side of property – 1 of 3)

Richard E. Hoffman

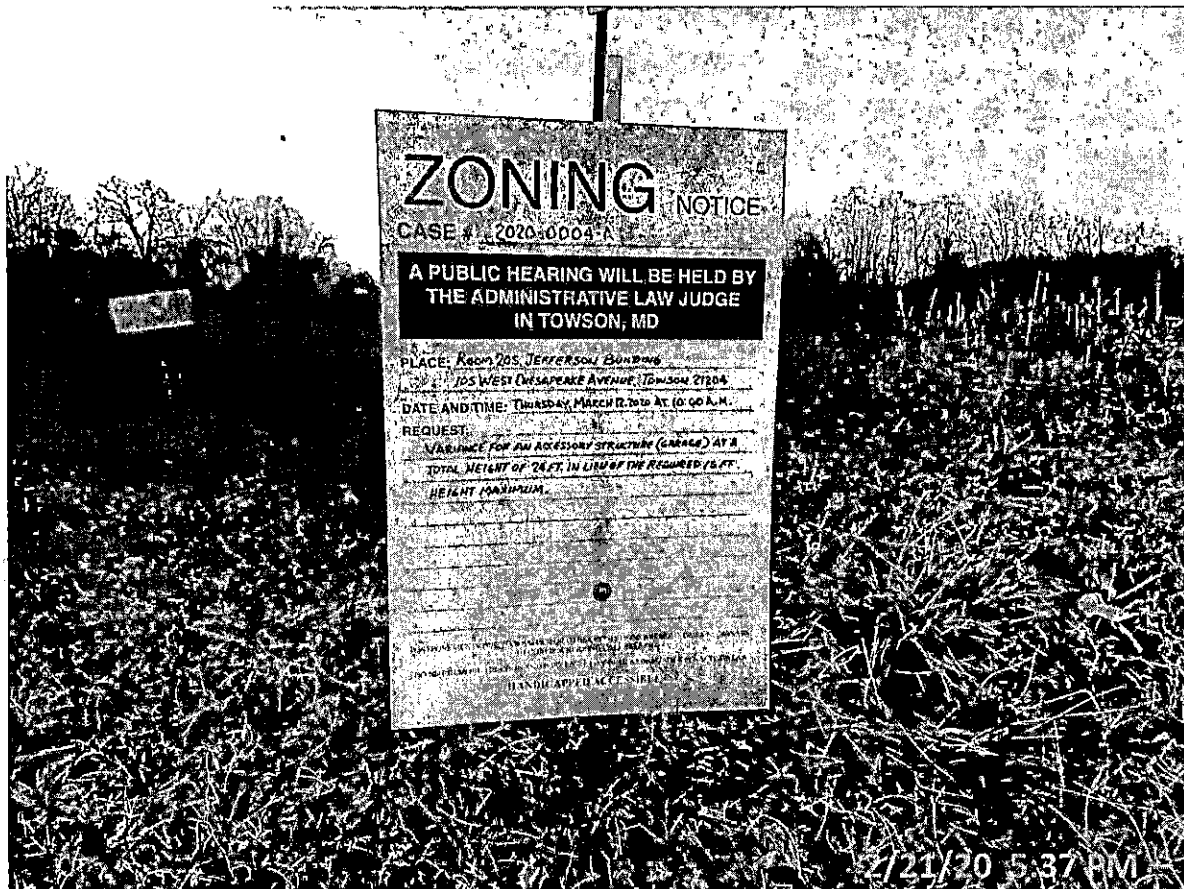
904 Dellwood Drive

Fallston, Md. 21047

443-243-7360

Certification of Posting

Case No 2020-0004-A



5152 Byerly Road (NE side of property – 2 of 3)

Richard E. Hoffman

904 Dellwood Drive

Fallston, Md. 21047

443-243-7360

Certification of Posting

Case No 2020-0004-A

ZONING NOTICE
CASE # 2020-0004-A

**A PUBLIC HEARING WILL BE HELD BY
THE ADMINISTRATIVE LAW JUDGE
IN TOWSON, MD**

PLACE: ROOM 205, JEFFERSON BUILDING
105 WEST CHESAPEAKE AVENUE, TOWSON 21204

DATE AND TIME: THURSDAY, MARCH 12, 2020 AT 10:00 A.M.

REQUEST: VARIANCE FOR AN ACCESSORY STRUCTURE (GARAGE) AT A
TOTAL HEIGHT OF 24 FT. IN LIEU OF THE REQUIRED 15 FT HEIGHT
MAXIMUM.

2/21/20 5:37

5152 Byerly Road (Enlargement of wording – 3 of 3)

Richard E. Hoffman

904 Dellwood Drive

Fallston, Md. 21047

443-243-7360

TO: THE DAILY RECORD
Friday, February 21, 2020 – Issue

Please forward billing to:
Sarah Ciccarelli
5152 Byerly Road
Upperco, MD 2115

410-812-0406

NOTICE OF ZONING HEARING

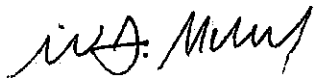
The Administrative Law Judge of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing in Towson, Maryland on the property identified herein as follows:

CASE NUMBER: 2020-0004-A

5152 Byerly Road
North side of Byerly Road, 250 ft. east of Old Hanover Road
4th Election District – 2rd Councilmanic District
Legal Owners: Sarah Ciccarelli

Variance for an accessory structure (garage) at a total height of 24 ft. in lieu of the required 15 ft. height maximum.

Hearing: Thursday, March 12, 2020 at 10:00 a.m. in Room 205, Jefferson Building,
105 West Chesapeake Avenue, Towson 21204.



Michael Mallinoff
Director of Permits, Approvals and Inspections for Baltimore County

- NOTES: (1) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMODATIONS, PLEASE CONTACT THE ADMINISTRATIVE HEARINGS OFFICE AT 410-887-3868.
(2) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THE ZONING REVIEW OFFICE AT 410-887-3391.

**DEPARTMENT OF PERMITS, APPROVALS AND INSPECTIONS
ZONING REVIEW OFFICE**

ADVERTISING REQUIREMENTS AND PROCEDURES FOR ZONING HEARINGS

The Baltimore County Zoning Regulations (BCZR) require that notice be given to the general public/neighboring property owners relative to property which is the subject of an upcoming zoning hearing. For those petitions which require a public hearing, this notice is accomplished by posting a sign on the property (responsibility of the legal owner/petitioner) and placement of a notice in a newspaper of general circulation in the County, both at least twenty (20) days before the hearing.

Zoning Review will ensure that the legal requirements for advertising are satisfied. However, the legal owner/petitioner is responsible for the costs associated with these requirements. The newspaper will bill the person listed below for the advertising. This advertising is due upon receipt and should be remitted directly to the newspaper.

OPINIONS MAY NOT BE ISSUED UNTIL ALL ADVERTISING COSTS ARE PAID.

For Newspaper Advertising:

Case Number: 2020-0004-A

Property Address: 5152 Byerly Rd

Property Description: _____

Legal Owners (Petitioners): Sarah Ciccarelli

Contract Purchaser/Lessee: _____

PLEASE FORWARD ADVERTISING BILL TO:

Name: Sarah Ciccarelli

Company/Firm (if applicable): _____

Address: 5152 Byerly Rd

Upper Co MD 21155

Telephone Number: 410-812-0406

ADMINISTRATIVE VARIANCE INFORMATION SHEET AND DATES

Case Number 2020- 0004 -A Address 5152 Byerly Rd
 Contact Person: Christina Frank Phone Number: 410-887-3391
Planner, Please Print Your Name

Filing Date: 1-7-20 Posting Date: 1-19-20 Closing Date: 2-3-20

Any contact made with this office regarding the status of the administrative variance should be through the contact person (planner) using the case number.

- POSTING/COST:** The petitioner must use one of the sign posters on the approved list and the petitioner is responsible for all printing/posting costs. Any reposting must be done only by one of the sign posters on the approved list and the petitioner is again responsible for all associated costs. The zoning notice sign must be visible on the property on or before the posting date noted above. It should remain there through the closing date.
- DEADLINE:** The closing date is the deadline for a neighbor (occupant or owner) within 1,000 feet to file a formal request for a public hearing. Please understand that even if there is no formal request for a public hearing, the process is not complete on the closing date.
- ORDER:** After the closing date, the file will be reviewed by the Administrative Law Judge. The judge may: (a) grant the requested relief; (b) deny the requested relief; or (c) order that the matter be set in for a public hearing. If all County/State agencies' comments are received, you will receive written notification as to whether the petition has been granted, denied, or will proceed to a public hearing. This decision is usually made within 10 days of the closing date. The written order will be mailed to you by First Class mail.
- POSSIBLE PUBLIC HEARING AND REPOSTING:** In cases that must go to a public hearing (whether due to a neighbor's formal request or by order of the Administrative Law Judge), notification will be forwarded to you. The sign on the property must be changed giving notice of the hearing date, time and location. As when the sign was originally posted, certification of this change and a photograph of the altered sign must be forwarded to this office.

(Detach Along Dotted Line)

Petitioner: This Part of the Form is for the Sign Poster Only

USE THE ADMINISTRATIVE VARIANCE SIGN FORMAT

Case Number 2020- 0004 -A Address 5152 Byerly Rd
 Petitioner's Name Sarah Ciccarelli Telephone 410-812-0406
 Posting Date: 1-19-20 Closing Date: 2-3-20
 Wording for Sign: To Permit an Accessory Structure (Garage) at a total
Height of 24 Ft. in Lieu of The Required maximum height of
15 Ft

Revised 6/30/2019

CITIZEN

CASE NAME _____
CASE NUMBER _____
DATE _____

~~PETITIONER'S SIGN-IN SHEET~~

E - MAIL

[illegible]

PETITIONERS

CASE NUMBER _____

DATE 3/12/2020

CITIZEN'S SIGN - IN SHEET

ADDRESS

E - MAIL

[illegible]

In Response to Zoning Variance Petition at 5152 Byerly Rd, Upperco

Baltimore County Case Number: 2020-0004-A

Surrounding Neighbors are **opposed** to requested height variance
Neighbors are also **opposed** to excessively large footprint of proposed structure

Main presentation on slides 2-6 (5 pages total)

Appendix with supporting documentation on slides 7-13

Kevin Faison – Submitted at the 3/12/2020 Public Hearing

10:00am - 11:00am

Room 205, Jefferson Building

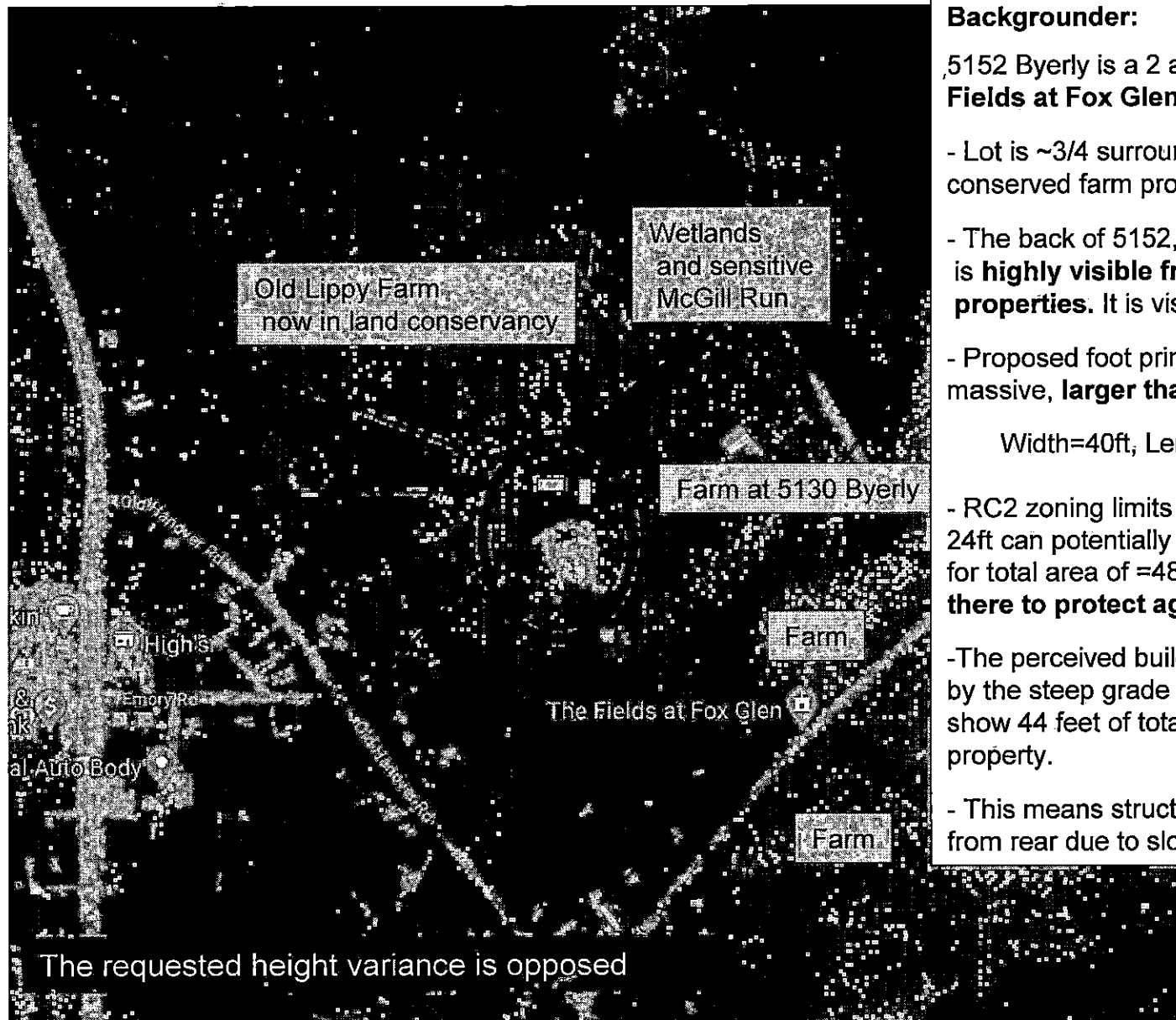
105 West Chesapeake Ave, Towson 21204

PROTESTANT' S

EXHIBIT NO.

1

Google Satellite Map of 5152 Byerly Rd and surrounding rural community



Backgrounder:

5152 Byerly is a 2 acre property, part of "The Fields at Fox Glen" sub division, **zoned RC2**

- Lot is ~3/4 surrounded by farms and/or other conserved farm property

- The back of 5152, site of proposed building, is **highly visible from the surrounding properties**. It is visible to many families.

- Proposed foot print of new structure is massive, **larger than existing house**.

Width=40ft, Length=60ft, Area=2400sqft

- RC2 zoning limits max height to 15ft
24ft can potentially accommodate two stories for total area of =4800 sqft, **zoning laws are there to protect against this**.

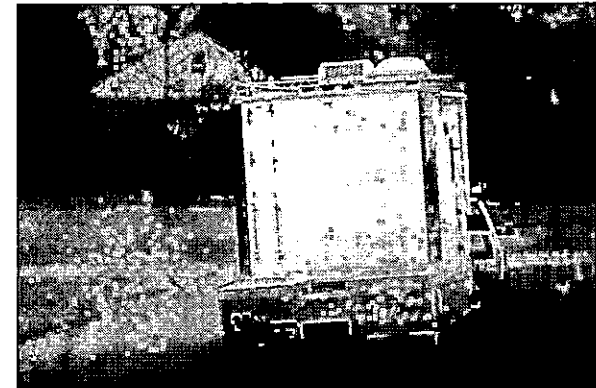
- The perceived building height is exasperated by the steep grade at the building site. Plats show 44 feet of total elevation change across property.

- This means structure will appear much higher from rear due to slope (even with 15ft height).

The requested height variance is opposed

Zoning Variance on Byerly Rd - Why such a large building on a two acre residential property? Why the request for 24ft height?

Recent photographs of commercial trucks parked on property and Google/Wikipedia provide some clues



Ciccarelli Moving & Installation, LLC
Reisterstown, MD
USDOT 2365007

Google search of this business shows,

Ciccarelli Moving & Installation
5152 Byerly Rd.
Upperco, MD 21155

(410) 215-3116

5152 Byerly address

The community is very concerned

- Multiple commercial trucks are frequently parked in violation of zoning regulations
- New business address infers commercial business activity at 5152, a residential property
- Runoff of oil and other contaminants from trucks may affect our wells and put our drinking water at risk
- We feel a 24ft height variance would enable an expanded illegal parking & commercial activity

Building Purpose as Stated in Zoning Variance Petition – “To Park Truck and Trailer”

- The building height and overall size seems driven by dimensions of the **tractor-trailer truck**
- The truck combination is composed of Freightliner diesel based Tractor incorporating camper function.
The tractor is large and intended to pull a very, very large, 3-axle cargo trailer
- The cargo trailer is a **car hauler, with lift, configured to haul multiple race cars. This is not a finished RV trailer** for occupancy by people, (Not an RV). A photograph showing this to be so can be found in the appendix.
- This Tractor Trailer is for the **Ray Ciccerelli Professional NASCAR Racing Team** in promotion of his business CMI Motorsports (Ciccerelli Moving and Installation).
 - This information is further documented on next slide.
 - All other documentation, maps, petition and code complaints are provided in attached Appendix
- These are commercial entities. Commercial truck and tractor trailer parking is not permissible in RC-2
- **County Zoning Office Staff** “this vehicle is not permitted on RC2 property at all. It cannot be parked outside. It cannot be parked inside a building” . The code enforcement activities on this issue are ongoing.



The requested height variance is opposed as it is likely to encourage continued code violations on the property

Published description of Ciccarelli CMI Motorsports, a commercial enterprise.

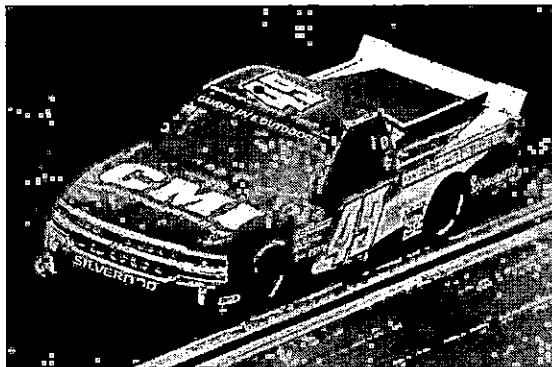
This documents the purpose and commercial use of the tractor trailer truck

In 2019, Ciccarelli acquired trucks, equipment, and owner points from the closed Premium Motorsports No. 49 truck^[4] and restarted his own team, now under the name CMI Motorsports, which stood for "Ciccarelli Moving & Installation", a company owned by Ciccarelli and which is one of the team's sponsors. After running the first two races of the season, Ciccarelli and the CMI Motorsports team skipped the third round at Las Vegas with a planned comeback for the fourth round at Martinsville.^[5]



The No.49, commercial use, tractor trailer race team truck **parked in rear yard of 5152 Byerly Road** as viewed from farm at 5130 Byerly Road

Approval of height variance would encourage illegal parking of this tractor trailer truck on a residential property in violation of zoning laws
** Code enforcement complaints are ongoing. Working with officer to resolve



Note: We wish Ray best success in his racing endeavors. **We just don't want to want to see this large tractor trailer truck or a moving business or a racing operation or any commercial trucks on this property.**

Ray at Daytona, Feb 2020

The requested height variance is opposed. The overall footprint is also opposed.

Neighbors are also concerned over the excessive foot print of proposed structure and possible negative impact to wells, adjacent fields and overall environment

Proposed Structure Dimensions → Width=40ft, Length=60ft, Area=2400 SqFt → Sited on just 2 acres

- This really amounts to an industrial sized building on a residential property within the Resource Conservation Zone
- There are multiple concerns with the total area of the impervious surfaces and whether this is compliant with BC codes → This is a large issue due to record breaking rainfall
- The property abuts to farmland already placed in land conservancy (Lippy Property)
- The property abuts to farmland likely to be placed in land conservancy (Faison property)
- Very close to the McGill Run and sensitive wetlands (an area targeted by Maryland Department of Natural Resources, ***DRN has funded runoff mitigation on the Faison farm***)
- What is the water management plan and is this plan viable? Fields are wet.
- Water runoff is a major concern, high rain events already overflow the McGill → flash flooding is common
- Water runoff can potentially impact wells and quality of drinking water, silt and nutrient runoff into McGill
- The community believes this sized structure is incompatible with the rural setting and the surrounding environment. Additional runoff will exasperate the flooding issue on Byerly Road
- **Perhaps the owners can reconsider the foot print of this structure in light of these issues**

Appendix containing supporting material

- Wikipedia information on the Ray Ciccerelli Racing Team
- Additional photographs
- Complaints logged with Baltimore County Code Enforcement
- Ciccerelli Zoning Variance Petition
- Zoning Maps

Wikipedia identifies 5152 owner, Ray Ciccarelli as Professional Stock Car Driver

Ray Ciccarelli

From Wikipedia, the free encyclopedia

Ray Ciccarelli (pronounced "siss-a-relli") (born January 20, 1970) is an American professional stock car racing driver. He currently competes part-time in the NASCAR Gander RV & Outdoors Truck Series, driving the No. 49 Chevrolet Silverado for CMI Motorsports. He has also competed in what is now the ARCA Menards Series East and the ARCA Menards Series, respectively.^[1]

Contents [hide]
1 Racing career
1.1 ARCA Racing Series
1.2 Gander RV & Outdoors Truck Series
2 Motorsports career results
2.1 NASCAR
2.1.1 Gander RV & Outdoors Truck Series
2.1.2 Busch East Series
2.2 ARCA Racing Series
3 References
4 External links

Ciccarelli Racing is a professional team competing in the NASCAR Gander Truck series. The race car hauler is marked with Gander/NASCAR and race car number

This is not a recreational vehicle trailer as photo shows at right

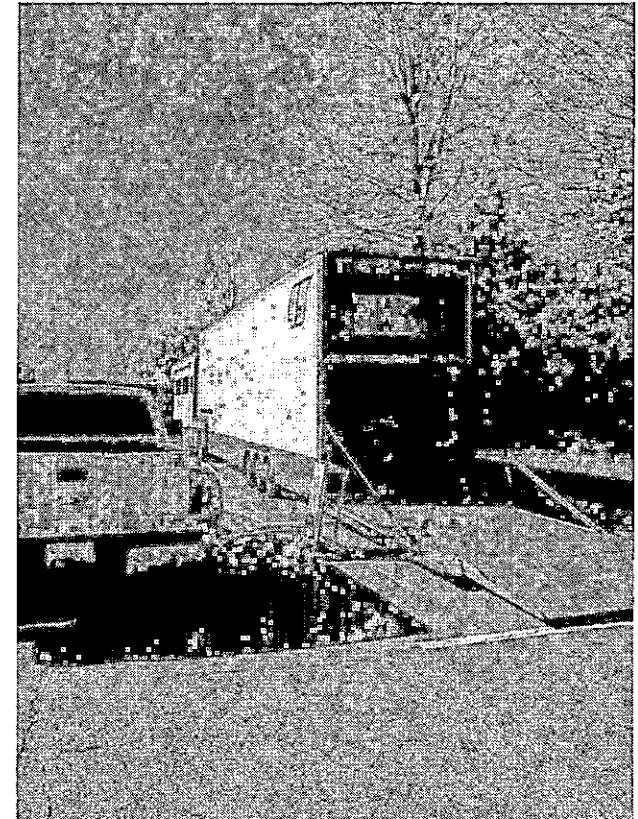
Racing career [edit]

ARCA Racing Series [edit]

Ciccarelli drove part-time in the series in 2014, 2015, and 2016 for teams Carter 2 Motorsports, Kimmel Racing, Hamilton-Hughes Racing, and Hixson Motorsports. He started his own team, Ciccarelli Racing, for 2017. The team's first race came in the season-opener at Daytona where Ciccarelli finished 21st in his No. 38 Ford after a solid seventh-place qualifying run. The team returned at Talladega, although they used owner points from the full-time Hixson Motorsports No. 3 car to have a better shot of qualifying for the race (which they successfully did). Using that number instead of the No. 38 (which had only run Daytona), they picked up a thirteenth-place finish in the race. Ciccarelli had driven for the Hixson team in a few races in 2016.

Gander RV & Outdoors Truck Series [edit]

From CMI Motorsports Facebook page



Variance request would further enable parking of professional Nascar tractor trailer / race car hauler in violation of RC2 zoning.

From Wikipedia

In 2019, Ciccarelli acquired trucks, equipment, and owner points from the closed Premium Motorsports No. 49 truck^[4] and restarted his own team, now under the name CMI Motorsports, which stood for "Ciccarelli Moving & Installation", a company owned by Ciccarelli and which is one of the team's sponsors. After running the first two races of the season, Ciccarelli and the CMI Motorsports team skipped the third round at Las Vegas with a planned comeback for the fourth round at Martinsville.^[5]

Additional photo and complaints against the property

Ciccarelli Moving & Installation and Race Team trucks parked at 5120 Byerly Road **taken 3/10/2020**



Search Complaints

Record CC1912657:
Constituent Complaint
Record Status: Close - Dismissed

Record Info ▼

Property Location

5152 BYERLY RD
UPPERCO MD 21155

Application Details

Complaint Description:

THERE'S A SHARED DRIVEWAY THAT HE PARKS HIS TRACTOR TRAILER ON - HE ACTUALLY PAVED A SECTION TO PUT IT ON.

**Code inspector advises
"Letter of Reconsideration"
as original complaint was
anonymous**

Record CC2000599:
Constituent Complaint
Record Status: Inspection Scheduled

Record Info ▼

Property Location

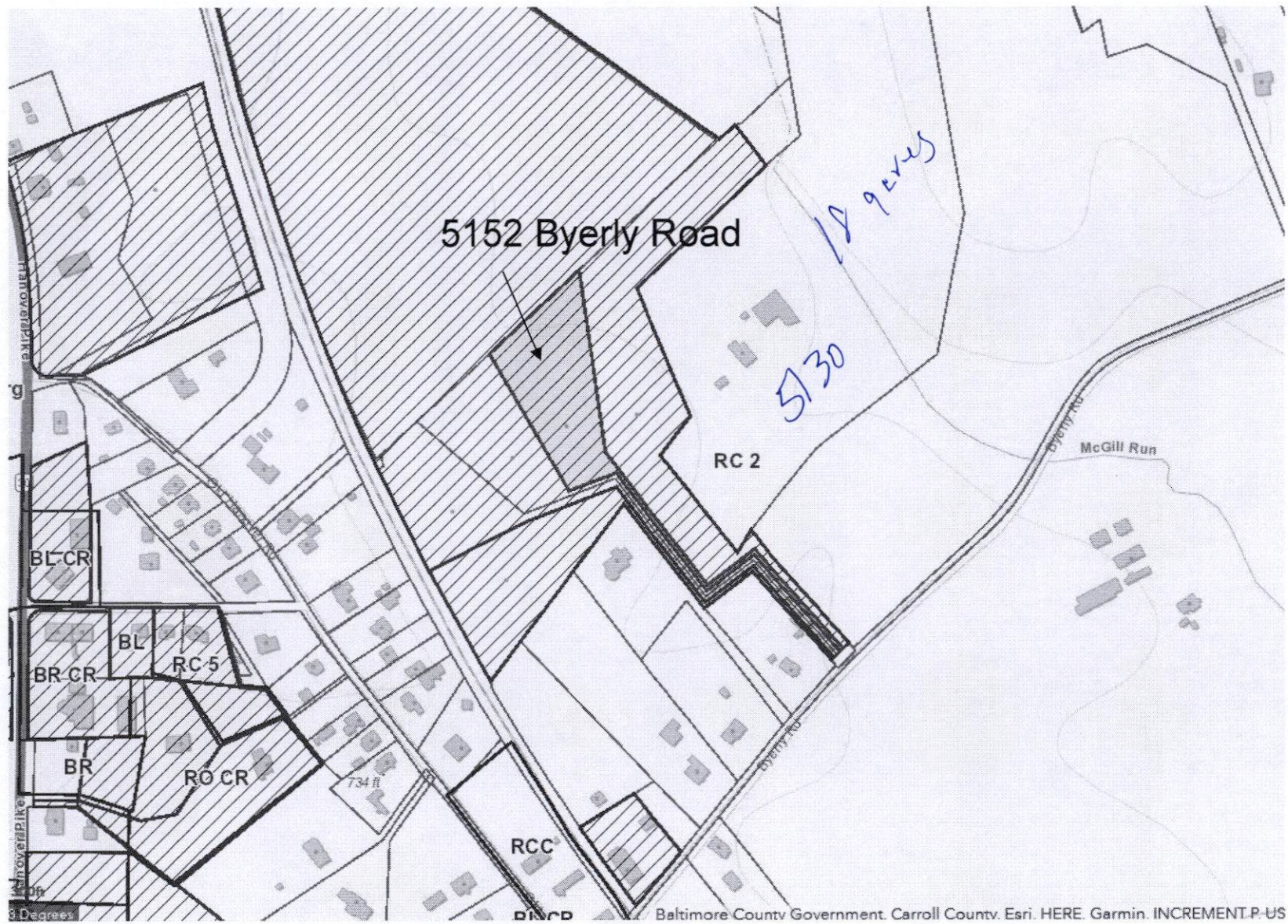
5152 BYERLY RD
UPPERCO MD 21155

[View Additional Locations>>](#)

Application Details

Complaint Description:

Description: Home owner has parked a large commercial tractor trailer truck on a residential property. There is also a 2nd very large mulicar trailer parked on the property. This is in full view of multiple adjacent properties and from many different angles. This seems to be in violation of county codes and is detrimental to surrounding property values. I am requesting that is be looked in to. Thank you. Note, you must process down a shared drive to find the property in question. *1/29/2020: UPDATE: HE HAS MOVED IT TO THE BACK OF THE YARD, AND IT SLOPES DOWN AND IS HARD TO SEE UNLESS YOU GO BACK THERE --- ARW *





ADMINISTRATIVE ZONING PETITION

FOR ADMINISTRATIVE VARIANCE - OR - ADMINISTRATIVE SPECIAL HEARING
To be filed with the Department of Permits, Approvals and Inspections

To the Office of Administrative Hearings for Baltimore County for the property located at:

Address: 5152 BYERLY RD, UPPER CO MD 21155 Currently zoned: DC2
Deed Reference: 4064-10012 10 Digit Tax Account #: 2500004780
Owner(s) Printed Name(s): Sarah Ciccarelli

(SELECT THE HEARING(S) BY MARKING X AT THE APPROPRIATE SELECTION(S) AND ADDING THE PETITION REQUEST.)

For Administrative Variances, the Affidavit on the reverse of this Petition form must be completed and notarized.

The undersigned, who own and occupy the property situate in Baltimore County and which is described in the plat(s) attached hereto and made a part hereof, hereby petition for an:

1. ADMINISTRATIVE VARIANCE from Section(s) RCZP 400.3 to permit an accessory structure addition at 5152 Byerly Rd
The structure is 12 ft high maximum

of the zoning regulations of Baltimore County to the zoning law of Baltimore County.

2. ADMINISTRATIVE SPECIAL HEARING to approve a waiver pursuant to Section 12-4-107(b) of the Baltimore County Code; (indicate type of work in this space: i.e., to raise, alter or construct addition to building)

of the Baltimore County Code, to the Development law of Baltimore County.

Property is to be posted and advertised as prescribed by the zoning regulations. I agree to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

Owner(s)/Petitioner(s):

Sarah Ciccarelli
Name #1 - Type or Print Name #2 - Type or Print

Signature #1: 5152 Byerly Rd, Upper Co MD
Mailing Address: 5152 Byerly Rd, Upper Co MD
City: UPPER CO State: MD

Zip Code: 21155 Telephone #: 410-812-0400 Email Address: RAY.CICCARIELLO@BALCO.MD

Attorney for Owner(s)/Petitioner(s):

Name, Type or Print

Signature

Mailing Address City State

Zip Code Telephone # Email Address

Representative to be contacted:

Ray Ciccarelli
Name - Type or Print

Signature: [Signature]

5152 Byerly Rd, Upper Co MD

Mailing Address: 5152 Byerly Rd, Upper Co MD
City: UPPER CO State: MD

Zip Code: 21155 Telephone #: 410-812-0400 Email Address: RAY.CICCARIELLO@BALCO.MD

A PUBLIC HEARING having been formally demanded and/or found to be required, it is ordered by the Office of Administrative Hearings for Baltimore County, this _____ day of _____, that the subject matter of this petition be set for a public hearing, advertised, and re-posted as required by the zoning regulations of Baltimore County.

Administrative Law Judge for Baltimore County

CASE NUMBER: 2020-0004-A Filing Date: 11/1/20 Estimated Posting Date: 1/9/20 Reviewer: CP

Rev 5/2019

Zoning Property Description For

5152 Byerly Rd Upper Co MD 21155

Affidavit in Support of Administrative Variance

(THIS AFFIDAVIT IS NOT REQUIRED FOR AN HISTORIC ADMINISTRATIVE SPECIAL HEARING.)

The undersigned hereby affirms under the penalties of perjury and upon personal knowledge to the Administrative Law Judge for Baltimore County, that the information herein given is true and correct and that the undersigned is/are competent to testify in the event that a public hearing is scheduled in the future with regard thereto. In addition, the undersigned hereby affirms that the property is not the subject of an active Code Enforcement case and that the residential property described below is owned and occupied by the undersigned.

Address: 5152 Byerly Rd, Upper Co MD 21155
City: UPPER CO State: MD

Based upon personal knowledge, the following are the facts upon which I/we base the request for an Administrative Variance at the above address: (Clearly state practical difficulty or hardship here)

Trying to build a garage to fit my truck. It's a 2013 Ford F-150.

The truck is used to go to work on the weekends. It's the only way I can get to work. It's a 2013 Ford F-150.

(If additional space for the petition request or the above statement is needed, label and attach it to this form.)

Sarah Ciccarelli

Signature of Owner (Affiant)

Sarah Ciccarelli

Name - Print or Type

Signature of Owner (Affiant)

Name - Print or Type

The following information is to be completed by a Notary Public of the State of Maryland:

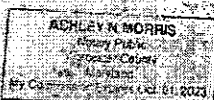
STATE OF MARYLAND, COUNTY OF BALTIMORE, to wit:

I HEREBY CERTIFY this 27th day of October, 2019, before me a Notary of Maryland, in and for the County aforesaid, personally appeared

Sarah Ciccarelli

the Affiant(s) herein, personally known or satisfactorily identified to me as such Affiant(s).

AS WITNESS my hand and Notaries Seal



Notary Public: Ashley N. Morris
My Commission Expires: 01/01/2023

REV 05/2019



ADMINISTRATIVE ZONING PETITION

FOR ADMINISTRATIVE VARIANCE - OR - ADMINISTRATIVE SPECIAL HEARING
To be filed with the Department of Permits, Approvals and Inspections

To the Office of Administrative Hearings for Baltimore County for the property located at:

Address: 5152 Beyerly Rd UPPERCO MD 21155 Currently zoned: RC2
Deed Reference: 90-114-1-0-0-116 10 Digit Tax Account #: 25-02-029-7-0-0
Owner(s) Printed Name(s): SARAH CICCARELLI

(SELECT THE HEARING(S) BY MARKING X AT THE APPROPRIATE SELECTION(S) AND ADDING THE PETITION REQUEST)

For Administrative Variances, the Affidavit on the reverse of this Petition form must be completed and notarized.

The undersigned, who own and occupy the property situate in Baltimore County and which is described in the plat(s) attached hereto and made a part hereof, hereby petition for an:

1. ☒ ADMINISTRATIVE VARIANCE from Section(s) RC22 400.3 to approve an ACCESSORY STRUCTURE (garage) at a TOTAL HEIGHT OF 24 FT in violation of the REQUIRED 15 FT HEIGHT MAXIMUM

of the zoning regulations of Baltimore County, to the zoning law of Baltimore County.

2. ☐ ADMINISTRATIVE SPECIAL HEARING to approve a waiver pursuant to Section 32-4-107(b) of the Baltimore County Code, (indicate type of work in this space, i.e., to raise, alter or construct addition to building)

of the Baltimore County Code, to the development law of Baltimore County.

Property is to be posted and advertised as prescribed by the zoning regulations.
I, the Affiant(s) hereby agree to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

Owner(s)/Petitioner(s):

SARAH CICCARELLI

Name # 1 - Type or Print Name # 2 - Type or Print

SARAH CICCARELLI

Signature # 1 Signature # 2

5152 Beyerly Rd UPPERCO MD

Mailing Address City State

21155 910-82-0406 Ray@Cminston

Zip Code Telephone # Email Address

Attorney for Owner(s)/Petitioner(s):

Name - Type or Print

Signature

Mailing Address

City

State

Zip Code

Telephone #

Email Address

Representative to be contacted:

Ray Ciccarelli

Name - Type or Print

Signature

5152 Beyerly Rd UPPERCO MD

Mailing Address City State

21155 910-82-0406 Ray@Cminston

Zip Code Telephone # Email Address

A PUBLIC HEARING having been formally demanded and/or found to be required, it is ordered by the Office of Administrative Hearings for Baltimore County, this 27th day of December, 2019, that the subject matter of this petition be set for a public hearing, advertised, and re-posted, as required by the zoning regulations of Baltimore County.

Administrative Law Judge for Baltimore County

CASE NUMBER 2020-0004-A

Filing Date 1/7/2020 Estimated Posting Date 1/19/20 Reviewer CP

REV 5/2016

Affidavit in Support of Administrative Variance

(THIS AFFIDAVIT IS NOT REQUIRED FOR AN HISTORIC ADMINISTRATIVE SPECIAL HEARING)

The undersigned hereby affirms under the penalties of perjury and upon personal knowledge to the Administrative Law Judge for Baltimore County, that the information herein given is true and correct and that the undersigned is/are competent to testify in the event that a public hearing is scheduled in the future with regard thereto. In addition, the undersigned hereby affirms that the property is not the subject of an active Code Enforcement case and that the residential property described below is owned and occupied by the undersigned.

Address: 5152 Beyerly Rd UPPERCO MD 21155
Part of Type Address of property City State Zip Code

Based upon personal knowledge, the following are the facts upon which I/we base the request for an Administrative Variance at the above address: (Clearly state practical difficulty or hardship here)

THEY ARE BUILDING A GARAGE TO BE MY DUAL PURPOSE, A TRAILER EQUIP
MENT, MYSELF, 13 FT TALL.
THE TRAILER TRUCK I WANT TO USE TO COLLECT RUBBISH AND WASTE
OR EVEN USE I WANT TO KEEP IT OUT OF THE ELEMENT TO
BECAUSE IT TAKES TOO LONG TO KEEP AND I HAVE TO KEEP IT THERE
WITH EXISTING VEHICLE

(If additional space for the petition request or the above statement is needed, label and attach it to this form)

Sarah Ciccarelli

Signature of Owner (Affiant)

SARAH CICCARELLI

Name - Print or Type

Signature of Owner (Affiant)

Name - Print or Type

The following information is to be completed by a Notary Public of the State of Maryland

STATE OF MARYLAND, COUNTY OF Worcester BALTIMORE, to wit:

I HEREBY CERTIFY, this 27th day of December, 2019, before me a Notary of Maryland, in and for the County aforesaid, personally appeared:

Part (names) here: SARAH CICCARELLI

the Affiant(s) herein, personally known or satisfactorily identified to me as such Affiant(s).

AS WITNESS my hand and Notaries Seal

Ashley N Morris

Notary Public

10-01-2023

My Commission Expires

ASHLEY N MORRIS

Notary Public

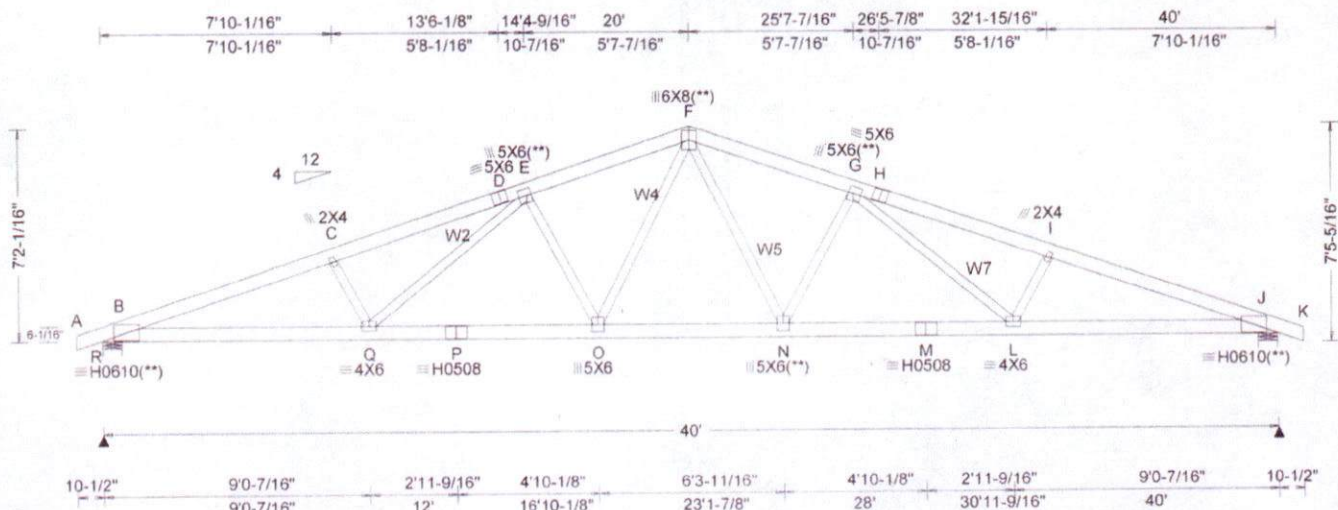
Worcester County

Maryland

My Commission Expires Oct 01, 2023

REV 05/2018

SEQN: 769174 /	COMN Ply: 1	Job Number: 21553	Cust: R 6697 JRef 1WPU66970005 T103
FROM:	Qty: 14	-Delmarva/Cioccarelli	DrwNo: 305.19.0937.02115
		Truss Label: 30Ags/Corn/40/412-15	DLD / SLS 11/01/2019



Loading Criteria (psf)	Wind Criteria	Snow Criteria (Pg.Pf in PSF)	Defl/CSI Criteria	Maximum Reactions (lbs)
TCLL: 30.00 TCDL: 5.00 BCLL: 0.00 BCDL: 5.00 Des Ld: 40.00 NCBCLL: 10.00 Soffit: 2.00 Load Duration: 1.15 Spacing: 48.0"	Wind Std: ASCE 7-10 Speed: 125 mph Enclosure: Closed Risk Category: II EXP: C Kzt: NA Mean Height: 20.00 ft TCDL: 3.0 psf BCDL: 1.8 psf MWFRS Parallel Dist: 0 to h/2 C&C Dist a: 4.00 ft Loc. from endwall: Any GCPr: 0.18 Wind Duration: 1.60	Pg: 30.0 Ct: 1.2 CAT: II Pf: 25.2 Ce: 1.0 Lu: - Cs: 1.00 Snow Duration: 1.15 Code / Misc Criteria Bldg Code: IBC 2015 TPI Std: 2014 Rep Fac: No FT/RT/PT: 2(0)/2(0)/2(0) Plate Type(s): HS, WAVE	PP Deflection in loc L/defl L/# VERT(LL): 0.493 O 965 240 VERT(CL): 0.660 O 721 240 HORZ(LL): 0.146 L - - HORZ(TL): 0.195 L - - Creep Factor: 2.0 Max TC CSI: 0.738 Max BC CSI: 0.995 Max Web CSI: 0.907 VIEW Ver: 17.02.02C.0211.16	Gravity Non-Gravity Loc R+ / R- / Rh / Rw / U / RL R 3352 - / - / - /1071 /1027 /315 J 3352 - / - / - /1071 /1027 - Wind reactions based on MWFRS R Brg Width = 8.0 Min Req = 3.4 J Brg Width = 8.0 Min Req = 3.4 Bearings R & J are a rigid surface. Members not listed have forces less than 375# Maximum Top Chord Forces Per Ply (lbs) Chords Tens.Comp. Chords Tens. Comp. B - C 4551 - 8097 F - G 3610 - 5872 C - D 4485 - 7689 G - H 4489 - 7433 D - E 4489 - 7433 H - I 4485 - 7689 E - F 3610 - 5872 I - J 4551 - 8097

Lumber
Top chord 2x6 SP SS Dense
Bot chord 2x6 SP SS Dense
Webs 2x4 SPF Stud
W2, W4, W5, W7 2x4 SPF #1/#2:

Plating Notes
(**) 6 plate(s) require special positioning. Refer to scaled plate plot details for special positioning requirements.

Purlins
In lieu of structural panels or rigid ceiling use purlins to laterally brace chords as follows:
Chord Spacing(in oc) Start(ft) End(ft)
TC 24 -0.88 20.00
TC 24 20.00 40.88
BC 66 0.15 39.85
Apply purlins to any chords above or below fillers at 24" OC unless shown otherwise above.

Loading
Bottom chord checked for 10.00 psf non-concurrent bottom chord live load applied per IBC-15 section 1607.

Truss designed for unbalanced snow loads.

Wind
Wind loads based on MWFRS with additional C&C member design.

Additional Notes
Refer to General Notes for additional information

Chords	Tens.Comp.	Chords	Tens. Comp.
B - Q	7551 - 4063	N - M	6101 - 3225
Q - P	6101 - 3217	M - L	6101 - 3225
P - O	6101 - 3217	L - J	7551 - 4054
O - N	4774 - 2368		

Webs	Tens.Comp.	Webs	Tens. Comp.
C - Q	684 - 903	F - N	1655 - 941
Q - E	1425 - 833	N - G	997 - 1513
E - O	997 - 1513	G - L	1425 - 833
O - F	1655 - 941	L - I	684 - 903



11/01/2019

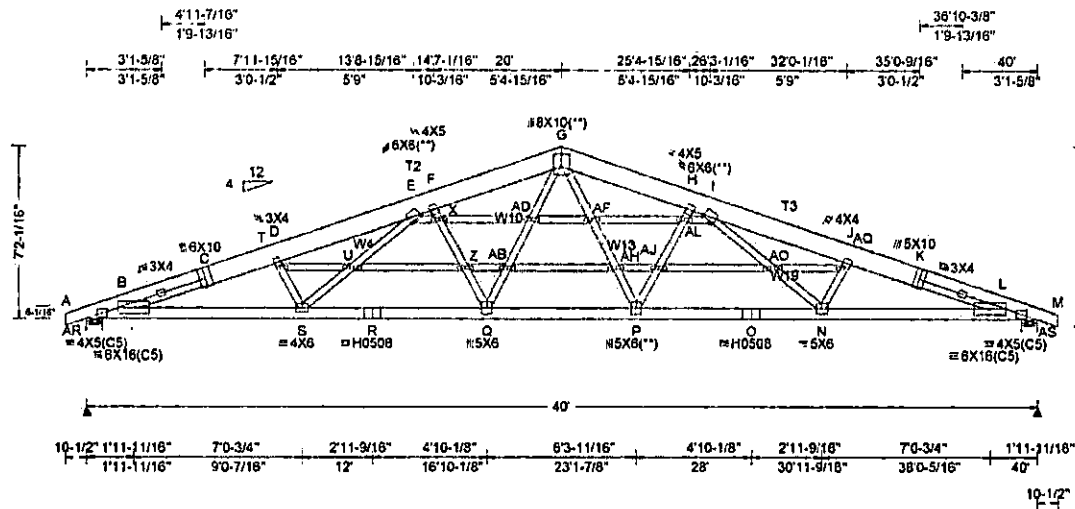
PETITIONER'S

EXHIBIT NO. 2

****WARNING**** READ AND FOLLOW ALL NOTES ON THIS DRAWING!
****IMPORTANT**** FURNISH THIS DRAWING TO ALL CONTRACTORS INCLUDING THE INSTALLERS
Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and follow the latest edition of BCSI (Building Component Safety Information, by TPI and SBCA) for safety practices prior to performing these functions. Installers shall provide temporary bracing per BCSI. Unless noted otherwise, top chord shall have properly attached structural sheathing and bottom chord shall have a properly attached rigid ceiling. Locations shown for permanent lateral restraint of webs shall have bracing installed per BCSI sections B3, B7, or B10, as applicable. Apply plates to each face of truss and position as shown above and on the Joint Details, unless noted otherwise. Refer to drawings 160A-Z for standard plate positions.
Alpine, a division of ITW Building Components Group Inc. shall not be responsible for any deviation from this drawing any failure to build the truss in conformance with ANSI/TPI 1, or for handling, shipping, installation and bracing of trusses. A seal on this drawing or cover page listing this drawing, indicates acceptance of professional engineering responsibility solely for the design shown. The suitability and use of this drawing for any structure is the responsibility of the Building Designer per ANSI/TPI 1 Sec.2.
For more information see this job's general notes page and these web sites: ALPINE: www.alpineitw.com, TPI: www.tpinet.org, SBCA: www.sbcindustry.com, ICC: www.iccsafe.org

ALPINE
AN ITW COMPANY
13723 Riverport Drive
Suite 200
Maryland Heights, MO 63043

2020-0004-A

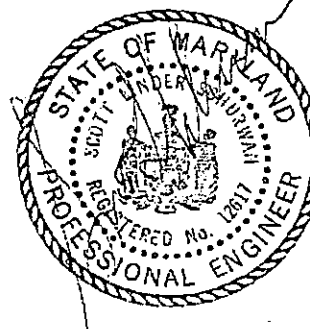


Loading Criteria (psf)	Wind Criteria	Snow Criteria (Pg, Pf in PSF)	Defl/CSI Criteria	Maximum Reactions (lbs)
TCLL: 30.00 TCCL: 5.00 BCLL: 0.00 BCCL: 5.00 Des Ld: 40.00 NCBCLL: 10.00 Soffit: 2.00 Load Duration: 1.15 Spacing: 48.0 "	Wind Std: ASCE 7-10 Speed: 125 mph Enclosure: Closed Risk Category: II EXP: C Kzt: NA Mean Height: 20.00 ft TCCL: 3.0 psf BCCL: 1.8 psf MWFRS Parallel Dist: 0 to h/2 C&C Dist a: 4.00 ft Loc. from endwall: Any GCPI: 0.18 Wind Duration: 1.60	Pg: 30.0 Ct: 1.2 CAT: II Pf: 25.2 Ce: 1.0 Lu: - Cs: 1.00 Snow Duration: 1.15 Code / Misc Criteria Bldg Code: IBC 2015 TPI Std: 2014 Rep Fac: No FT/RT/PT: 2(0)/2(0)/2(0) Plate Type(s): WAVE, HS	PP Deflection in loc L/defl U# VERT(LL): 0.418 E 999 240 VERT(CL): 0.559 E 846 240 HORZ(LL): 0.142 N - - HORZ(TL): 0.190 N - - Creep Factor: 2.0 Max TC CSI: 0.588 Max BC CSI: 0.964 Max Web CSI: 0.965 VIEW Ver: 17.02.02C.0211.16	Gravity Non-Gravity Loc R+ /R- /Rh /Rw /U /RL AR 3352 - / - /1074 /1024 /315 AS 3352 - / - /1074 /1024 - Wind reactions based on MWFRS AR Brg Width = 8.0 Min Req = 3.4 AS Brg Width = 8.0 Min Req = 3.4 Bearings AR & AS are a rigid surface. Members not listed have forces less than 375# Maximum Top Chord Forces Per Ply (lbs) Chords Tens.Comp. Chords Tens. Comp. B - C 4736 -8197 F - G 3578 -5862 AS - L 4815 -8576 G - H 3568 -5847 B - AR 4661 -8318 H - I 3736 -6183 C - D 4659 -8110 I - J 4692 -8051 D - E 4543 -7819 J - K 4827 -8370 E - F 3748 -6202 K - L 4891 -8471

Lumber	Wind	Additional Notes
Top chord 2x6 SP SS Dense T2, T3 2x10 SP 2400f-2.0E Bot chord 2x6 SP SS Dense Webs 2x4 SPF Stud W4, W10, W13, W19 2x4 SPF #1/#2:	Wind loads based on MWFRS with additional C&C member design.	Refer to General Notes for additional information Laterally brace end wall. Gable end and top wall plate are not braced by truss. Top of end wall shall be laterally braced by ceiling diaphragm or by other means as specified by the building designer.
Plating Notes		
All plates are 1.5X4 except as noted. (**) 4 plate(s) require special positioning. Refer to scaled plate plot details for special positioning requirements.		
Purlins		
In lieu of structural panels or rigid ceiling use purlins to laterally brace chords as follows: Chord Spacing(in oc) Start(ft) End(ft) TC 24 -0.88 20.00 TC 24 20.00 40.88 BC 63 0.29 39.71 Apply purlins to any chords above or below fillers at 24" OC unless shown otherwise above.		
Loading		
Bottom chord checked for 10.00 psf non-concurrent bottom chord live load applied per IBC-15 section 1607. Truss designed for unbalanced snow loads.		

Maximum Bot Chord Forces Per Ply (lbs)
Chords Tens.Comp. Chords Tens. Comp.
B - S 7744 -4176 P - O 6201 -3277 S - R 6217 -3278 O - N 6201 -3277 R - Q 6217 -3278 N - L 8013 -4340 Q - P 4864 -2432

Maximum Web Forces Per Ply (lbs)
Webs Tens.Comp. Webs Tens. Comp.
D - T 784 -1033 G - AF 1640 -910 T - S 760 -1010 AF - AH 1637 -908 S - U 1531 -899 AH - P 1644 -912 U - E 1510 -889 P - AJ 972 -1503 F - X 1007 -1548 AJ - AL 954 -1479 X - Z 965 -1497 AL - H 996 -1530 Z - Q 983 -1520 I - AO 1788 -1068 Q - AB 1664 -925 AO - N 1810 -1079 AB - AD 1658 -922 N - AQ 888 -1209 AD - G 1660 -923 AQ - J 913 -1234

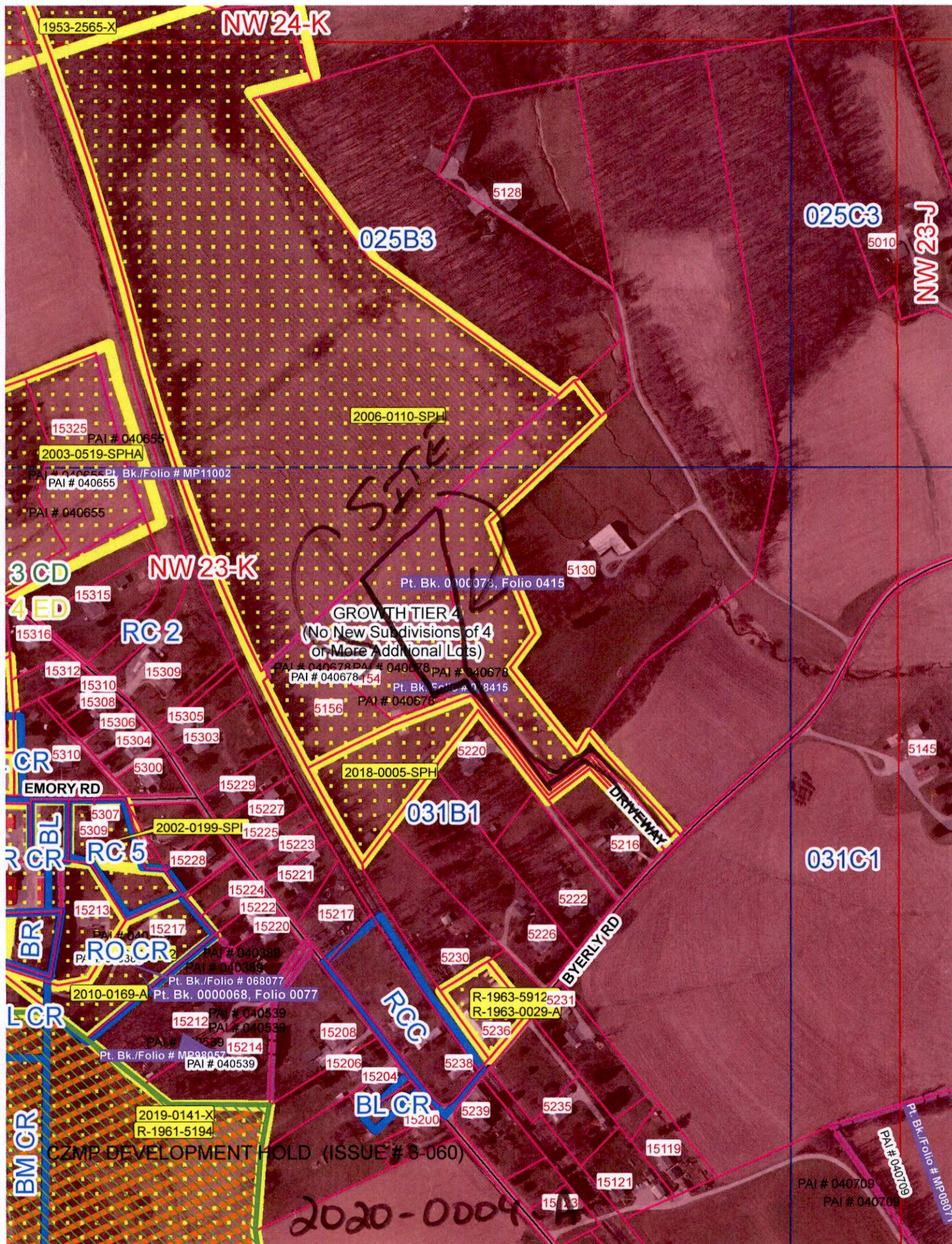


11/01/2019

****WARNING**** READ AND FOLLOW ALL NOTES ON THIS DRAWING!
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For more information see this job's general notes page and those web sites: ALPINE: www.alpineitw.com; TPI: www.tpinet.org; SBICA: www.sbicaindustry.com; ICC: www.iccsafe.org

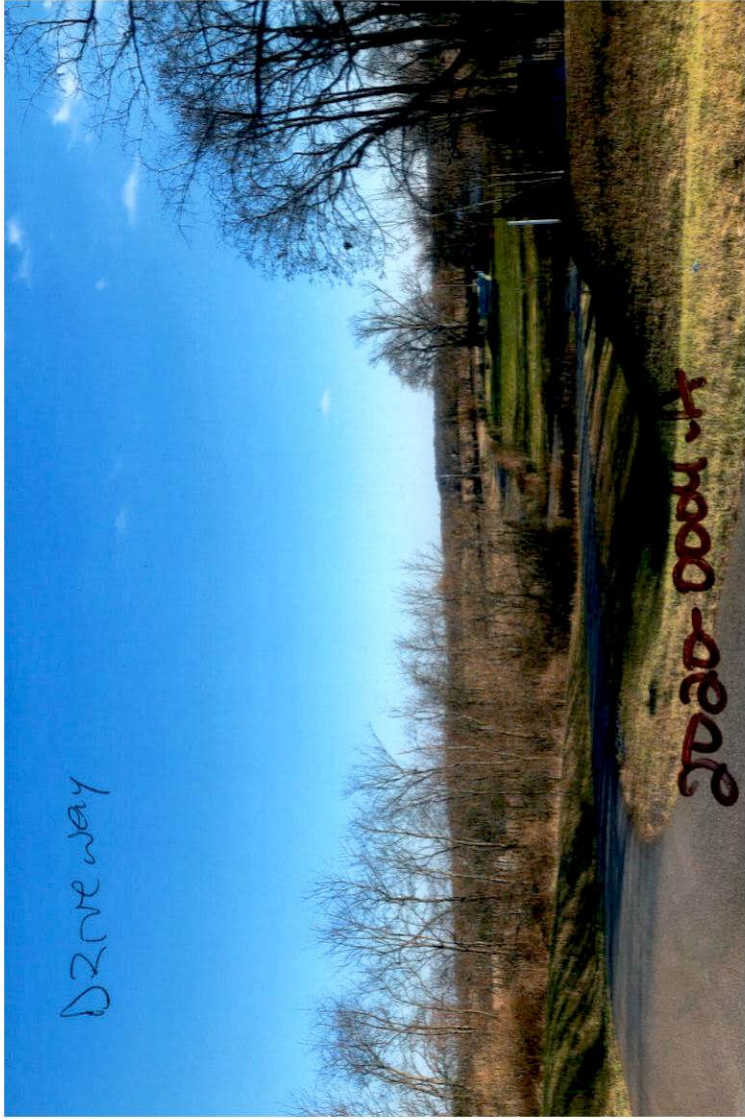
ALPINE
AN ITW COMPANY
13723 Riverport Drive
Suite 200
Maryland Heights, MO 63043

2020-0204-A



Drive way

2020-0001-A



FRONT



2025-0004-A

Side



REAR



New
Rear - Garage
Location



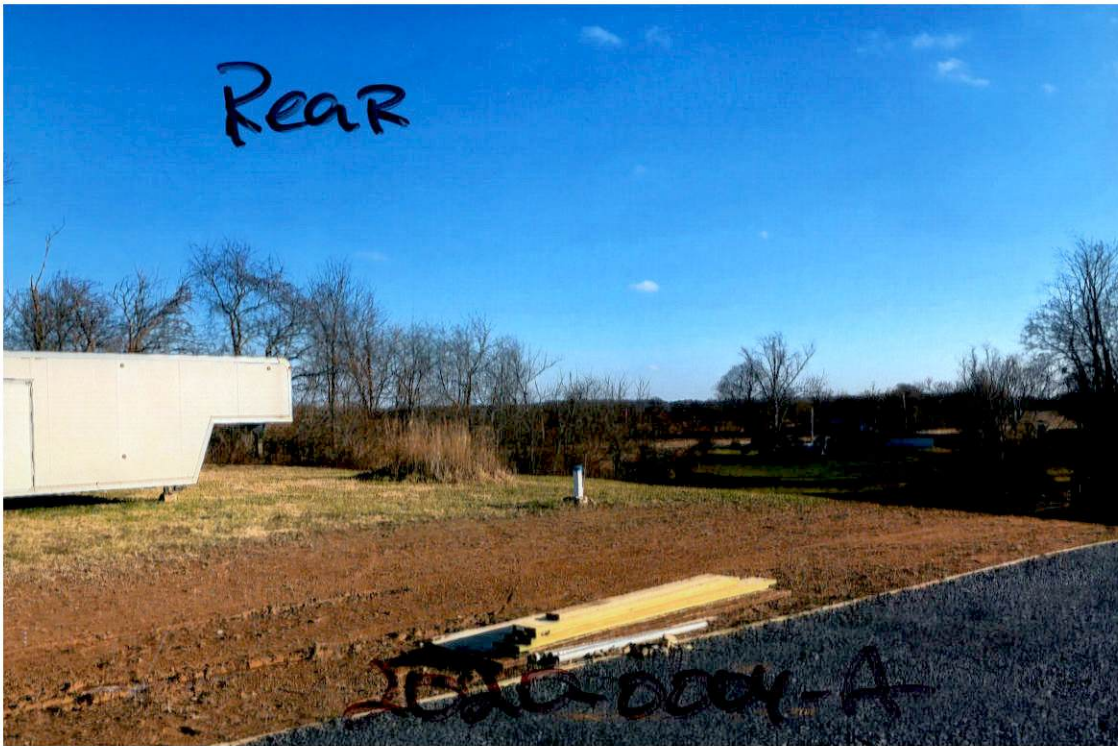
0004-A

Rear



2020-0004-A

Rear

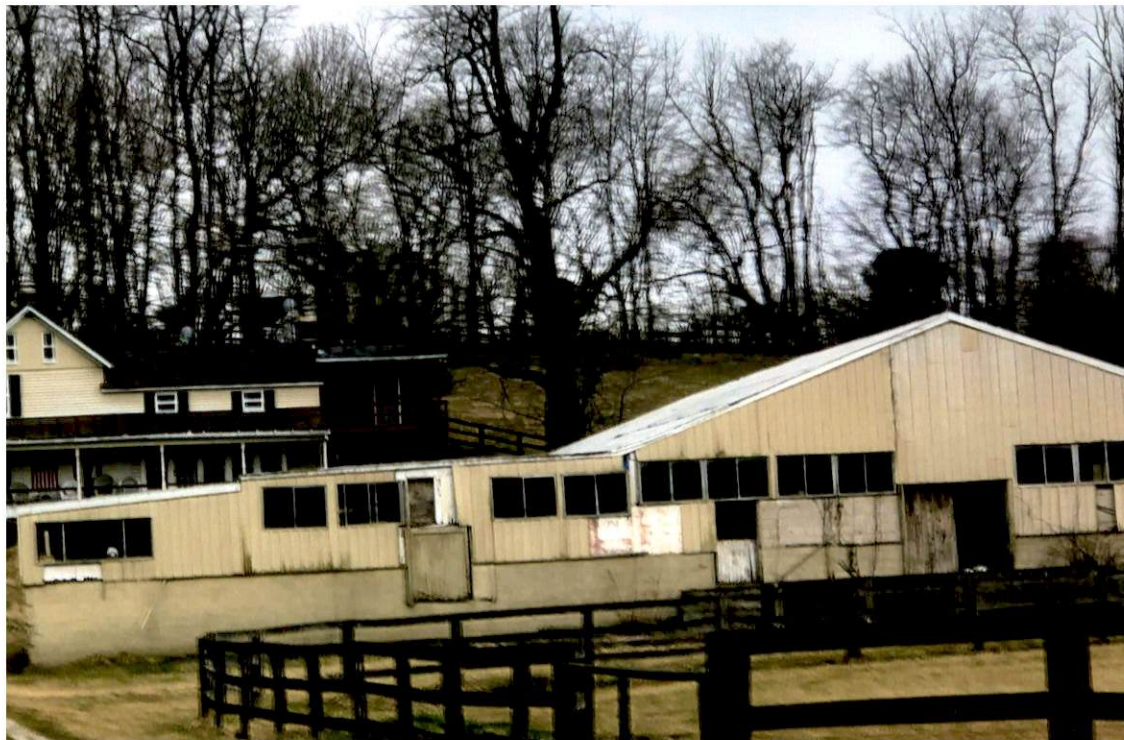






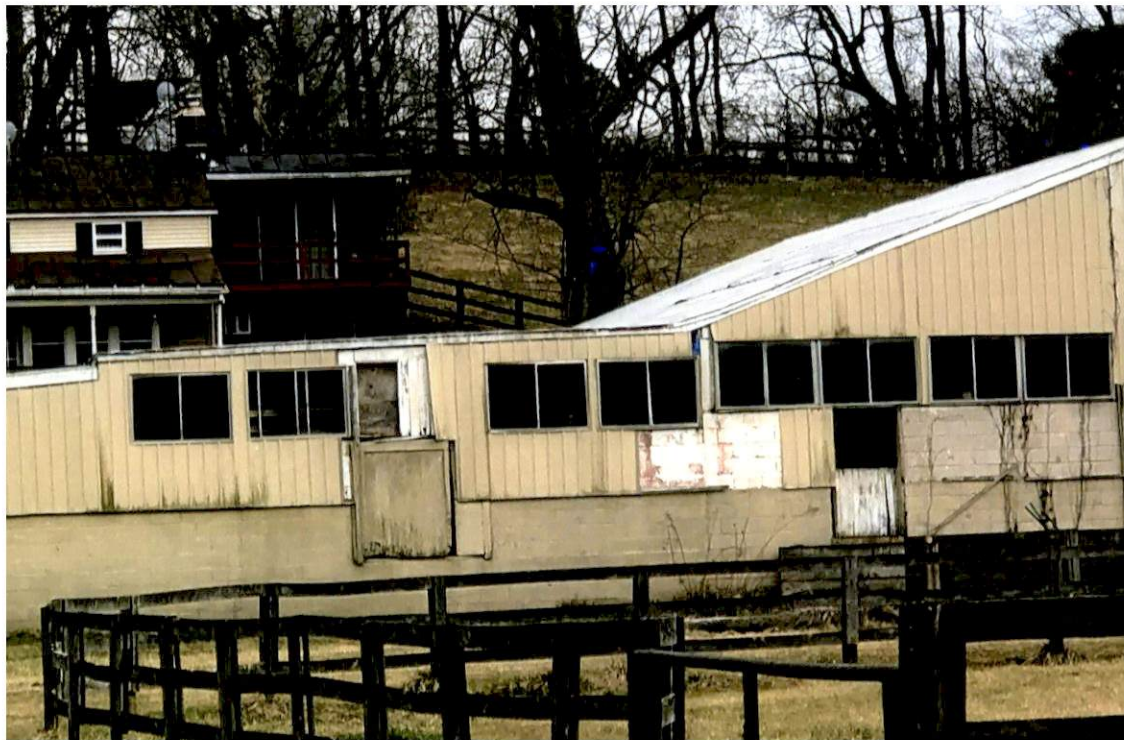




































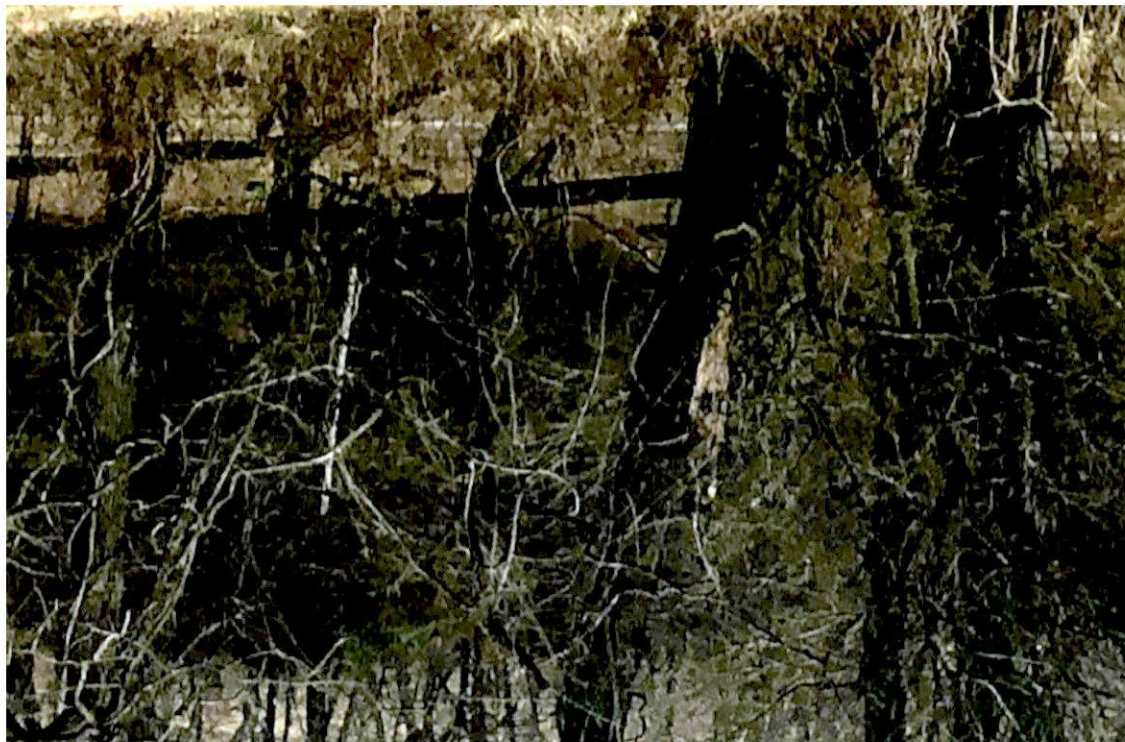
















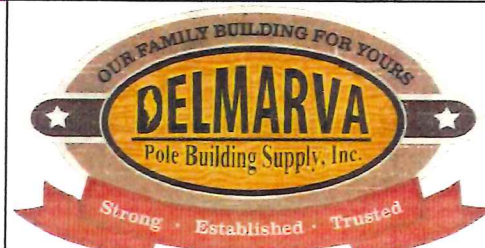




GABLE ELEVATION

DELMARVA POLE BUILDING SUPPLY INC.

317 N. LAYTON AVE
WYOMING, DE 19934
(302) 698-3636



Date:
11-6-2019

Technician:
J. Stubbs

Reviewed By:
J. Stubbs

Scale:

Date:

Modification:

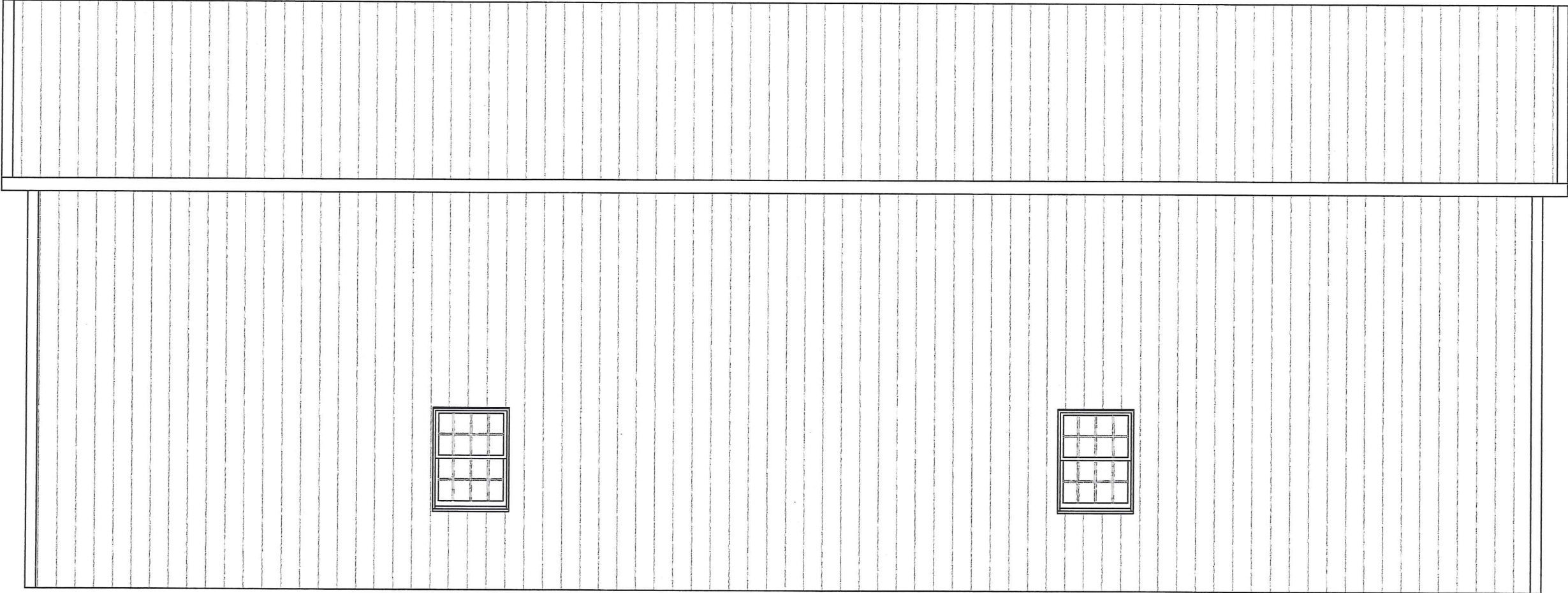
RAY & SARAH CICCARELLI
5152 BYERLY ROAD
UPPERCO, MD 21155

40' x 60' x 16'

Sheet

A2

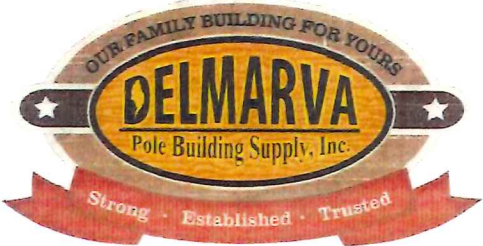
2020-0004-A



EAVE ELEVATION

DELMARVA
POLE BUILDING SUPPLY INC.

317 N. LAYTON AVE
WYOMING, DE 19934
(302) 698-3636



Date:
11-6-2019

Technician:
J. Stubbs

Reviewed By:
J. Stubbs

Scale:

Date:

Modification:

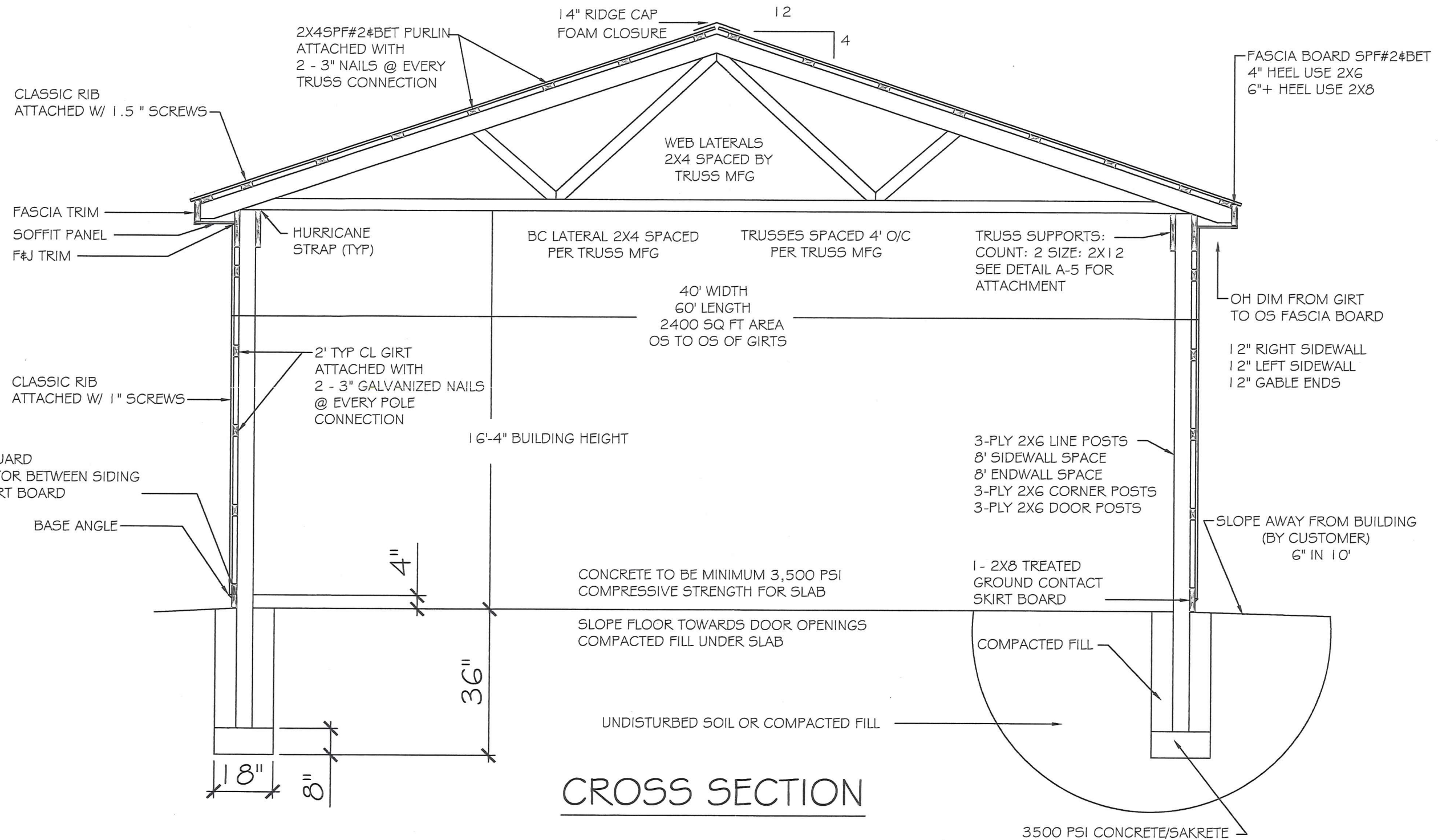
RAY & SARAH CICCARELLI
5152 BYERLY ROAD
UPPERCO, MD 21155

40' x 60' x 16'

Sheet

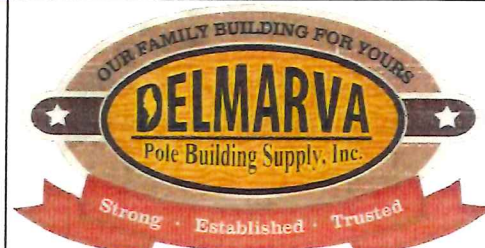
A3

2020-0004 A



DELMARVA POLE BUILDING SUPPLY INC.

317 N. LAYTON AVE
WYOMING, DE 19934
(302) 698-3636



Date:
11-6-2019

Technician:
J. Stubbs

Reviewed By:
J. Stubbs

Scale:

Date:

Modification:

RAY & SARAH CICCARELLI

5152 BYERLY ROAD
UPPERCO, MD 21155

40' x 60' x 16'

Sheet

A4

2020-0004-A

A
5

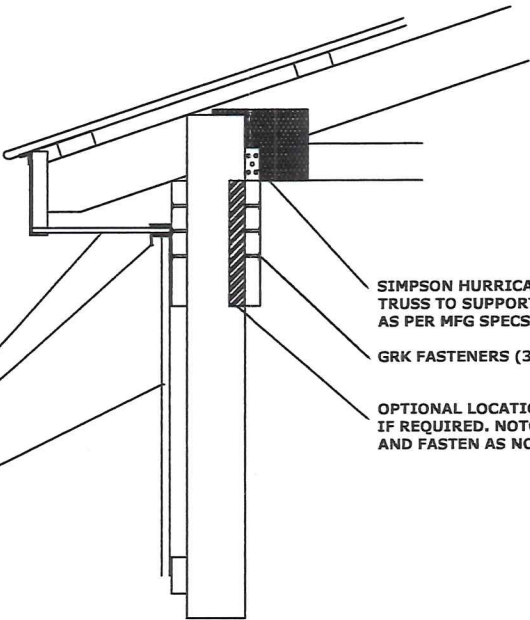
TRUSS TO SUPPORT CONNECTION DETAILS

CONNECTION AT POST LOCATIONS

INSTALL SOFFIT PANEL INTO F & J TRIM
NAIL INTO BOTTOM OF FASCIA BOARD

INSTALL F & J TRIM TO SUPPORT
WITH FLAT HEAD ROOFING NAIL

INSTALL WALL PANELS, ATTACH
TO GIRTS WITH 1" SCREWS



SIMPSON HURRICANE TRUSS TIE AT EACH
TRUSS TO SUPPORT CONNECTION, FASTEN
AS PER MFG SPECS.

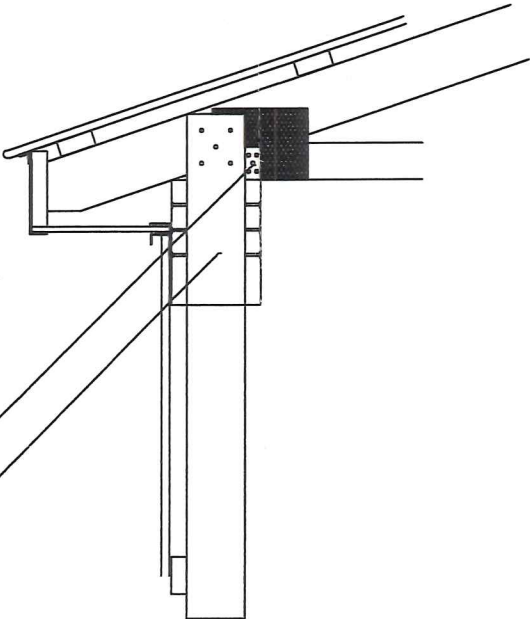
GRK FASTENERS (3 - 5/16" x 4" RSS)

OPTIONAL LOCATION OF THIRD SUPPORT
IF REQUIRED. NOTCH INTO POST AS SHOWN
AND FASTEN AS NOTED ABOVE

CONNECTION AT INTERMEDIATE TRUSS

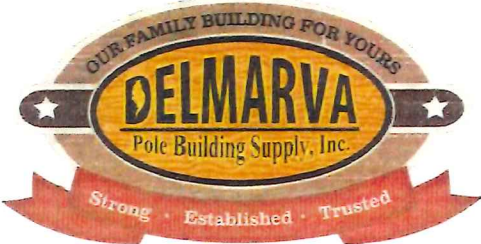
SIMPSON HURRICANE TRUSS TIE @ EACH
TRUSS TO SUPPORT CONNECTION, FASTEN
AS PER MFG SPECS.

2X6X18" TRUSS CONNECTION BLOCK
INSTALLED BETWEEN SUPPORTS



CONNECTION DETAILS

DELMARVA
POLE BUILDING SUPPLY INC.
317 N. LAYTON AVE
WYOMING, DE 19934
(302) 698-3636



Date: 11-6-2019	Date:	Modification:
Technician: J. Stubbs		
Reviewed By: J. Stubbs		
Scale:		

RAY & SARAH CICCARELLI
5152 BYERLY ROAD
UPPERCO, MD 21155

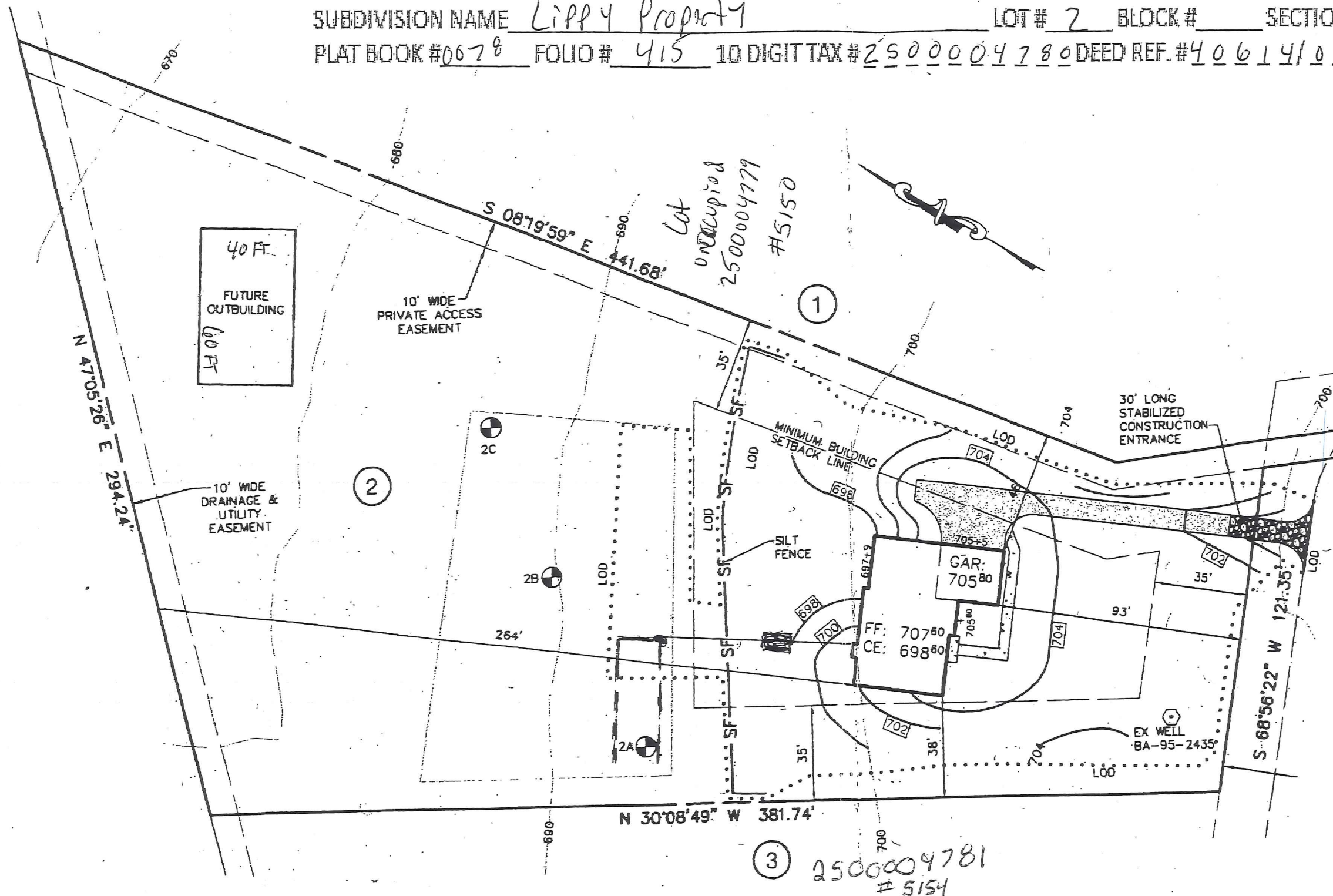
40' x 60' x 16'

Sheet

A5

2020-0004-A

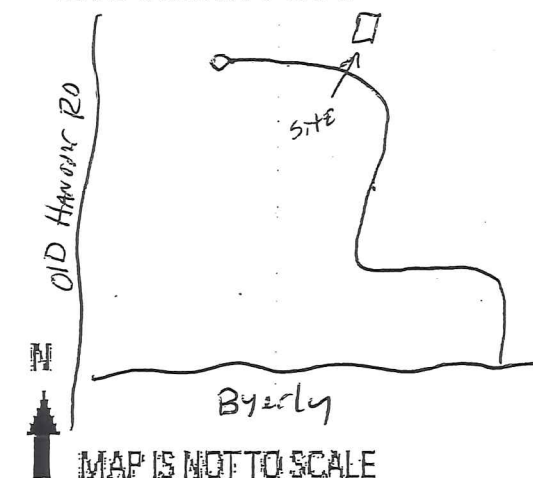
ZONING HEARING PLAN FOR VARIANCE _____ FOR SPECIAL HEARING _____ (MARK TYPE REQUESTED WITH X)
 ADDRESS 5152 Byerly Rd Upper Co MD 21055 OWNER(S) NAME(S) Sarah Ciccarelli
 SUBDIVISION NAME Lippy Property LOT# 2 BLOCK# _____ SECTION# _____
 PLAT BOOK #0678 FOLIO # 415 10 DIGIT TAX # 2500004780 DEED REF. # 40614100412



PLAN DRAWN BY _____

DATE June 5, 2018 SCALE: 1 INCH = 40 FEET

SITE VICINITY MAP



ZONING MAP# 0031
 SITE ZONED RC2
 ELECTION DISTRICT 4th
 COUNCIL DISTRICT 3rd
 LOT AREA ACREAGE 2.037
 OR SQUARE FEET _____
 HISTORIC? NO
 IN CBCA? NO
 IN FLOOD PLAIN? NO
 UTILITIES? MARK WITH X
 WATER IS: PUBLIC _____ PRIVATE X
 SEWER IS: PUBLIC _____ PRIVATE X
 PRIOR HEARING? _____
 IF SO GIVE CASE NUMBER
 AND ORDER RESULT BELOW
2006-0110-SPH

— PETITIONER'S
 — EXHIBIT NO. 1

VIOLATION CASE INFO:



10 GERARD AVENUE
 SUITE 101
 TIMONIUM, MD 21093
 PHONE: (410) 252-4444
 FAX: (410) 252-4493
 WWW.POLARISLC.COM

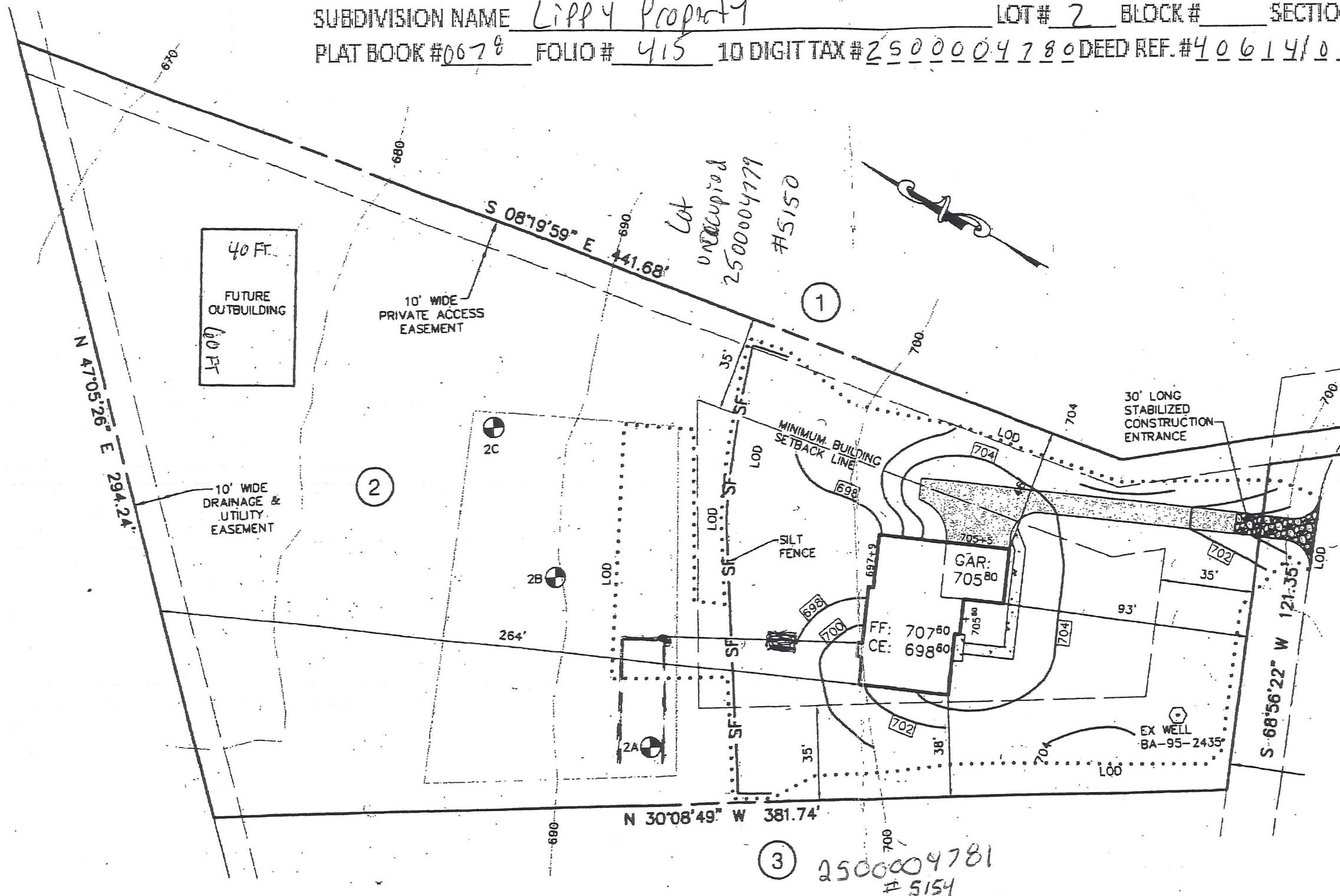
2020-0004-A

ZONING HEARING PLAN FOR VARIANCE _____ FOR SPECIAL HEARING _____ (MARK TYPE REQUESTED WITH X)

ADDRESS S152 Byerly Rd Upper Co MD 2155 OWNER(S) NAME(S) Sarah Ciccarelli

SUBDIVISION NAME Lippy Property LOT # 2 BLOCK # _____ SECTION # _____

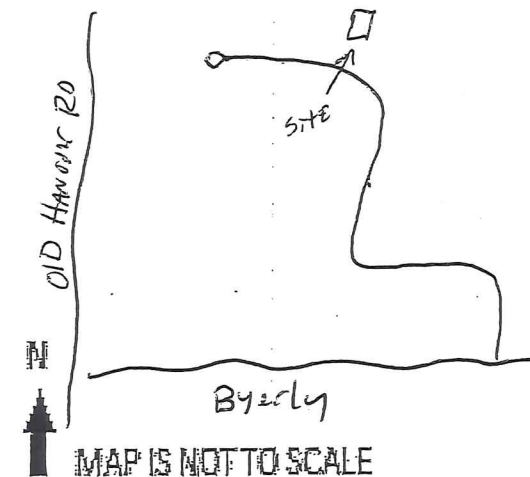
PLAT BOOK # 0678 FOLIO # 415 10 DIGIT TAX # 2500004780 DEED REF. # 40614/00412



PLAN DRAWN BY _____

DATE June 5, 2018 SCALE: 1 INCH = 40 FEET

SITE VICINITY MAP



ZONING MAP# 0031

SITE ZONED RC2

ELECTION DISTRICT 4th

COUNCIL DISTRICT 3rd

LOT AREA ACREAGE 2.037

OR SQUARE FEET _____

HISTORIC? NO

IN CBCA? NO

IN FLOOD PLAIN? NO

UTILITIES? MARK WITH X

WATER IS:

PUBLIC _____ PRIVATE X

SEWER IS:

PUBLIC _____ PRIVATE X

PRIOR HEARING? _____

IF SO GIVE CASE NUMBER

AND ORDER RESULT BELOW

2006-0110-SP4

VIOLATION CASE INFO:



10 GERARD AVENUE
SUITE 101
TIMONIUM, MD 21093
PHONE: (410) 252-4444
FAX: (410) 252-4493
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2020-0004-A