



Case Information 2020-0042-A

Tax Account/Miscellaneous Notes/Related Cases

Hearing/Petition Info

Law Judge/Appeals/Courts Information

Tax Account/Miscellaneous Notes/Related Cases

Tax Account Information

Create New Tax Account

	Tax Account Number	Deed Book	Deed Folio	200 Scale Map Ref
	03-23-076980	26511	00696	068B2

Miscellaneous Notes

Create New Note

	Miscellaneous Note	Created Date	Created By
	No hearing held and no ALJ order issued. This petition was apparently abandoned, therefore, the case was closed by the Zoning Review Office.	08/27/2025	JPERLOW

Related Cases

Create New Related Case



No Related Cases Found

Violation Cases

Create New Violation Case



No Violation Cases Found

Concurrent Cases

Create New Concurrent Case

	Concurrent Case
	2008-0395-A

Kristen

Debra Wiley

From: Administrative Hearings
Sent: Monday, August 3, 2020 3:21 PM
To: Daniel Riter
Cc: Donna Mignon; Kristen L Lewis
Subject: RE: Case No: 2020-0042-A - 3424 Birch Hollow Road

Good Afternoon Mr. Riter,

Unfortunately, the voice mail message you've received is old and was at the beginning of the COVID-19 pandemic. However, I believe you've been advised a few times by our staff that since the administrative variance became a formal demand, which meant you were required to have a public hearing, you must re-post your sign with the hearing information included for 20 days before the hearing. This is regardless of any parties involved – it is simply a Code requirement that must be met and cannot be waived.

Our office has been holding the dates of August 11th and 12th and unfortunately you do not have enough time to have your sign posted now in order to meet the 20-day requirement for either of those hearing dates.

We have spoken to Kristen Lewis, the scheduler, and she is aware of the above. We will return your case file back to her on Wednesday and ask that you reach out to her to obtain a new hearing date in order to meet the sign posting requirement. She can be reached at 410-887-3391.

Thank you for contacting the Office of Administrative Hearings.

Debra Wiley, Legal Administrative Secretary
Baltimore County Office of Administrative Hearings
105 West Chesapeake Avenue, Suite 103
Towson, Maryland 21204
410-887-3868

From: Daniel Riter <driter@signaturehardwoodfloors.com>
Sent: Monday, August 3, 2020 2:30 PM
To: Administrative Hearings <administrativehearings@baltimorecountymd.gov>
Subject: Re: Case No: 2020-0042-A - 3424 Birch Hollow Road

CAUTION: This message from driter@signaturehardwoodfloors.com originated from a non Baltimore County Government or non BCPL email system. Hover over any links before clicking and use caution opening attachments.

I have called and left a message with your office. The office says that I do not need to re-post the sign. Especially if it's only one person and he is notified of the time and date through your office. Please let me know how we shall proceed

Thanks
Danny Riter

Sent from my iPhone

On Jul 30, 2020, at 7:23 AM, Administrative Hearings
<administrativehearings@baltimorecountymd.gov> wrote:

Debra Wiley

From: Administrative Hearings
Sent: Monday, August 3, 2020 3:21 PM
To: Daniel Riter
Cc: Donna Mignon; Kristen L Lewis
Subject: RE: Case No: 2020-0042-A - 3424 Birch Hollow Road

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Thanks
Danny Riter

Sent from my iPhone

On Jul 30, 2020, at 7:23 AM, Administrative Hearings
<administrativehearings@baltimorecountymd.gov> wrote:

Mr. Riter,

We were in the office all day yesterday. We will be in the office this morning; please call and if we've stepped away, leave us a voice message and we will return your call asap.

Thank you.

From: Danny Riter <driter@signaturehardwoodfloors.com>
Sent: Wednesday, July 29, 2020 3:37:10 PM
To: Administrative Hearings
Subject: Re: FW: Case No: 2020-0042-A - 3424 Birch Hollow Road

CAUTION: This message from driter@signaturehardwoodfloors.com originated from a non Baltimore County Government or non BCPL email system. Hover over any links before clicking and use caution opening attachments.

will you be in tomorrow? What time do you get in?

Danny

On Mon, Jul 27, 2020 at 9:17 AM Administrative Hearings
<administrativehearings@baltimorecountymd.gov> wrote:

From: Administrative Hearings <administrativehearings@baltimorecountymd.gov>
Sent: Monday, July 27, 2020 9:17 AM
To: browneyedgirl1231@hotmail.com; driter@signaturehardwoodfloor.com
Subject: FW: Case No: 2020-0042-A - 3424 Birch Hollow Road

Dear Mr. and Ms. Riter:

Due to the Covid 19, we are now re-scheduling hearings through virtual web-ex.

Please contact our office at 410-887-3868 to set up a new hearing date.

Thank you.

Donna Mignon, Legal Assistant

Baltimore County Office of Administrative Hearings

105 West Chesapeake Avenue, Suite 103

Towson, Maryland 21204

410-887-3868

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CONNECT WITH BALTIMORE COUNTY

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www.baltimorecountymd.gov

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Daniel Riter

Signature Hardwood Floors, Inc.

410.415.0755

www.signaturehardwoodfloors.com

Donna Mignon

From: Administrative Hearings
Sent: Monday, July 27, 2020 3:05 PM
To: Danny Riter
Subject: RE: FW: Case No: 2020-0042-A - 3424 Birch Hollow Road

Good Afternoon Mr. Riter:

Sorry, we are teleworking some of the days and going in the office other days due to Covid 19. I was in the office from 8:30-12:30. I will be in again tomorrow.

Unfortunately, you do have to pay for the posting again, since your neighbor requested a formal demand.

We will be in the office tomorrow around 8:30 if you would like to call us back.

Thank you.

Donna Mignon, Legal Assistant
Baltimore County Office of Administrative Hearings
105 West Chesapeake Avenue, Suite 103
Towson, Maryland 21204
410-887-3868

From: Danny Riter <driter@signaturehardwoodfloors.com>
Sent: Monday, July 27, 2020 2:41 PM
To: Administrative Hearings <administrativehearings@baltimorecountymd.gov>
Subject: Re: FW: Case No: 2020-0042-A - 3424 Birch Hollow Road

CAUTION: This message from driter@signaturehardwoodfloors.com originated from a non Baltimore County Government or non BCPL email system. Hover over any links before clicking and use caution opening attachments.

I have tried calling without any success. I received your vm about the two dates. Since its only one person that is in opposition, do I still need to post a sign? I really do not have an extra \$350 to post. At this point, because of my neighbor, I told him that I would not build. The only purpose in the meeting is because of the existing garage that was built 10' off. Can't we just schedule a conference call for this?

thanks
Danny

On Mon, Jul 27, 2020 at 9:17 AM Administrative Hearings <administrativehearings@baltimorecountymd.gov> wrote:

From: Administrative Hearings <administrativehearings@baltimorecountymd.gov>
Sent: Monday, July 27, 2020 9:17 AM
To: browneyedgirl1231@hotmail.com; driter@signaturehardwoodfloor.com
Subject: FW: Case No: 2020-0042-A - 3424 Birch Hollow Road

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Donna Mignon, Legal Assistant

Baltimore County Office of Administrative Hearings

105 West Chesapeake Avenue, Suite 103

Towson, Maryland 21204

410-887-3868

COVID-19 Stay Home • Wash Your Hands
Avoid Touching Your Face
Disinfect Surfaces Frequently

STOP THE SPREAD • FLATTEN THE CURVE

CONNECT WITH BALTIMORE COUNTY



--

Daniel Riter

Signature Hardwood Floors, Inc.

410.415.0755

www.signaturehardwoodfloors.com

Donna Mignon

From: Administrative Hearings
Sent: Monday, July 27, 2020 9:18 AM
To: browneyedgirl1231@hotmail.com; driter@signaturehardwoodfloors.com
Subject: FW: Case No: 2020-0042-A - 3424 Birch Hollow Road

From: Administrative Hearings <administrativehearings@baltimorecountymd.gov>
Sent: Monday, July 27, 2020 9:17 AM
To: browneyedgirl1231@hotmail.com; driter@signaturehardwoodfloor.com
Subject: FW: Case No: 2020-0042-A - 3424 Birch Hollow Road

Dear Mr. and Ms. Riter:

Due to the Covid 19, we are now re-scheduling hearings through virtual web-ex.
Please contact our office at 410-887-3868 to set up a new hearing date.

Thank you.

Donna Mignon, Legal Assistant
Baltimore County Office of Administrative Hearings
105 West Chesapeake Avenue, Suite 103
Towson, Maryland 21204
410-887-3868



FORMAL DEMAND FOR HEARING

CASE NUMBER: # 2020-042A

Address: 3424 Brich hollow - Pikesville MD

Petitioner(s): ~~Nordechai Hanel~~ Daniel Riter

TO THE ZONING COMMISSIONER OF BALTIMORE COUNTY:

I/We Nordechai Hanel
Name - Type or Print

() Legal Owner OR ☒ Resident of

8400 Dorian Rd
Address

Pikesville MD 21208
City State Zip Code

410-300-3660
Telephone Number

which is located approximately <50 feet from the property, which is the subject of the above petition, **do hereby formally demand that a public hearing be set in this matter.**

ATTACHED IS THE REQUIRED PROCESSING FEE FOR THIS DEMAND.

Nordechai Hanel 2/27/20
Signature Date

BALTIMORE COUNTY, MARYLAND
OFFICE OF BUDGET AND FINANCE
MISCELLANEOUS CASH RECEIPT

No. **195569**

PAID RECEIPT

Date:

2/27/2020

BUSINESS ACTUAL TIME DRW
 2/28/2020 2/27/2020 09:06:46 1

Fund	Dept	Unit	Sub Unit	Rev Source/ Obj	Sub Rev/ Sub Obj	Dept Obj	BS Acct	Amount
001	806	0000		6150				60

REG #501 WALKIN JR
 >>RECEIPT # 058015 2/27/2020 OFLN
 Dept 5 528 ZONING VERIFICATION
 CK # 195569
 Recpt Tot \$ 60.00
 00 CK 60.00 CA
 Baltimore County, Maryland

Total:

60.00

Rec From:

Mordechai Harel

For:

Formal Demand
2020-012-A

**CASHIER'S
 VALIDATION**

DISTRIBUTION

WHITE - CASHIER PINK - AGENCY YELLOW - CUSTOMER GOLD - ACCOUNTING
PLEASE PRESS HARD!!!!



ADMINISTRATIVE ZONING PETITION

FOR ADMINISTRATIVE VARIANCE - OR - ADMINISTRATIVE SPECIAL HEARING
To be filed with the Department of Permits, Approvals and Inspections

To the Office of Administrative Hearings for Baltimore County for the property located at:

Address 3424 Birch Hollow Rd. Currently zoned DE2
Deed Reference 26-51100096 10 Digit Tax Account # 0323070980
Owner(s) Printed Name(s) Daniel / Robyn Riter

(SELECT THE HEARING(S) BY MARKING **X** AT THE APPROPRIATE SELECTION(S) AND ADDING THE PETITION REQUEST)

For Administrative Variances, the Affidavit on the reverse of this Petition form must be completed and notarized.

The undersigned, who own and occupy the property situate in Baltimore County and which is described in the plan/plat attached hereto and made a part hereof, hereby petition for an:

1. **X** ADMINISTRATIVE VARIANCE from Section(s) 400.1 (BCZR) & 400.1.d (ZMDP)
180.3.B & (1964 Regs 205.3)

SEE
Attached

of the zoning regulations of Baltimore County, to the zoning law of Baltimore County.

2. _____ ADMINISTRATIVE SPECIAL HEARING to approve a waiver pursuant to Section 32-4-107(b) of the Baltimore County Code: (indicate type of work in this space: i.e., to raze, alter or construct addition to building)

of the Baltimore County Code, to the development law of Baltimore County.

Property is to be posted and advertised as prescribed by the zoning regulations.

I/we agree to pay expenses of above petition(s), advertising, posting, etc. and further agree to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

Owner(s)/Petitioner(s):

Daniel Riter , Robyn Riter
Name #1 - Type or Print Name #2 - Type or Print
[Signature] , [Signature]
Signature #1 Signature #2

3424 Birch Hollow Rd. Pikesville, MD
Mailing Address City State

21208 , 443-253-9408 , bruneyadgin123ie
Zip Code Telephone # Email Address

Attorney for Owner(s)/Petitioner(s):

Name- Type or Print

Signature

Mailing Address City State

Zip Code Telephone # Email Address

Representative to be contacted: drivesignaturehardware.com

Daniel Riter
Name - Type or Print

Signature

3424 Birch Hollow Rd. Pikesville, MD 21208
Mailing Address City State

21208 , 443-253-9408 , drivesignaturehardware.com
Zip Code Telephone # Email Address

A PUBLIC HEARING having been formally demanded and/or found to be required, it is ordered by the Office of Administrative Hearings for Baltimore County, this _____ day of _____ that the subject matter of this petition be set for a public hearing, advertised, and re-posted as required by the zoning regulations of Baltimore County.

Administrative Law Judge for Baltimore County

CASE NUMBER 2020-0042-A Filing Date 2/12/2020 Estimated Posting Date 2/23/2020 Reviewer gh

Rev 5/5/2016

Affidavit in Support of Administrative Variance

(THIS AFFIDAVIT IS NOT REQUIRED FOR AN HISTORIC ADMINISTRATIVE SPECIAL HEARING)

The undersigned hereby affirms, under the penalties of perjury and upon personal knowledge, to the Administrative Law Judge for Baltimore County, that the information herein given is true and correct and that the undersigned is/are competent to testify in the event that a public hearing is scheduled in the future with regard thereto. In addition, the undersigned hereby affirms that the property is not the subject of an active Code Enforcement case and that the residential property described below is owned and occupied by the undersigned.

Address: 3424 Birch Hollow Rd. Pikesville, MD 21208
Print or Type Address of property City State Zip Code

Based upon personal knowledge, the following are the facts upon which I/we base the request for an Administrative Variance at the above address. (Clearly state practical difficulty or hardship here)

the proposed pool house is located in the back section of the property. we would like to add a bathroom that can be used for pool activities. the distance from the pool house to the existing sewage system and existing patio & driveway would make it difficult to tie into.

(If additional space for the petition request or the above statement is needed, label and attach it to this Form)

[Signature]
Signature of Owner (Affiant)

Signature of Owner (Affiant)

Daniel Riter
Name- Print or Type

Name- Print or Type

The following information is to be completed by a Notary Public of the State of Maryland

STATE OF MARYLAND, COUNTY OF BALTIMORE, to wit:

I HEREBY CERTIFY, this 31st day of Jan, 2020, before me a Notary of Maryland, in and for the County aforesaid, personally appeared:

Print name(s) here: Daniel Riter

the Affiant(s) herein, personally known or satisfactorily identified to me as such Affiant(s).

AS WITNESS my hand and Notaries Seal

Cody Hawley
Notary Public
5-11-2022
My Commission Expires

CODY HAWLEY
Notary Public
Anne Arundel County
Maryland
My Commission Expires May 11, 2022

2020-0042-A

Administrative Variance from: section 400.0 (BCZR) & 400.1.d (ZCPM) ~~1302.3.B~~
(1964 Regs 205.3)

To permit a proposed addition (pool house) with a street side setback of 0 feet in lieu of the minimum required ~~40~~ feet.

Zoning Description

Zoning description for : 3424 Birch Hollow Rd
Beginning at a point of the NE corner of Birch Hollow Rd
and Dorian Rd . Being lot #1 in the sub division of
Stevenson at Anton Farms' as recorded in Baltimore
County Plat Book # 30, Folio #7, containing 24,350 sqft.
Also known as 3224 Birch Hollow rd and located in the 3rd
election district, 2nd councilmanic district

2020 - 0042-A



ADMINISTRATIVE ZONING PETITION

FOR ADMINISTRATIVE VARIANCE - OR - ADMINISTRATIVE SPECIAL HEARING

To be filed with the Department of Permits, Approvals and Inspections

To the Office of Administrative Hearings for Baltimore County for the property located at:

Address 3424 Birch Hollow Rd. Currently zoned DR2 (vested 220)
 Deed Reference 26S1100696 10 Digit Tax Account # 0323070980
 Owner(s) Printed Name(s) Daniel/Robyn Riter

(SELECT THE HEARING(S) BY MARKING ☒ AT THE APPROPRIATE SELECTION(S) AND ADDING THE PETITION REQUEST)

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1. ☒ ADMINISTRATIVE VARIANCE from Section(s) 400.1 (BCZR) & 400.1.d (ZMDP)
SEE ATTACHED 1802.3.B & (1964 Reg 205.3)

of the zoning regulations of Baltimore County, to the zoning law of Baltimore County.

2. ☐ ADMINISTRATIVE SPECIAL HEARING to approve a waiver pursuant to Section 32-4-107(b) of the Baltimore County Code: (indicate type of work in this space: i.e., to raze, alter or construct addition to building)

of the Baltimore County Code, to the development law of Baltimore County.

Property is to be posted and advertised as prescribed by the zoning regulations.

I/we agree to pay expenses of above petition(s), advertising, posting, etc. and further agree to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

Owner(s)/Petitioner(s):

Daniel Riter / Robyn Riter
 Name #1 - Type or Print / Name #2 - Type or Print
[Signature] / [Signature]
 Signature #1 / Signature #2
3424 Birch Hollow Rd. Pikesville MD
 Mailing Address / City / State
21208 / 443-253-9408 / brwnydg@ic123ie
 Zip Code / Telephone # / Email Address hghm@ic123ie

Attorney for Owner(s)/Petitioner(s):

 Name- Type or Print

 Signature

 Mailing Address / City / State

 Zip Code / Telephone # / Email Address

Representative to be contacted:

Daniel Riter
 Name - Type or Print
[Signature]
 Signature
3424 Birch Hollow Rd. Pikesville MD 21208
 Mailing Address / City / State
21208 / 443-253-9408 / dr@signaturehardware.com
 Zip Code / Telephone # / Email Address

A PUBLIC HEARING having been formally demanded and/or found to be required, it is ordered by the Office of Administrative Hearings for Baltimore County, this _____ day of _____, that the subject matter of this petition be set for a public hearing, advertised, and re-posted as required by the zoning regulations of Baltimore County.

 Administrative Law Judge for Baltimore County

CASE NUMBER 2020-0042-A Filing Date 2/12/2020 Estimated Posting Date 2/23/2020 Reviewer gh

Rev 5/5/2016

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Print or Type Address of property City State Zip Code

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[Signature]
Signature of Owner (Affiant)

Signature of Owner (Affiant)

Daniel Riter
Name- Print or Type

Name- Print or Type

The following information is to be completed by a Notary Public of the State of Maryland

STATE OF MARYLAND, COUNTY OF BALTIMORE, to wit:

I HEREBY CERTIFY, this 31st day of Jan, 2020, before me a Notary of Maryland, in and for the County aforesaid, personally appeared:

Print name(s) here: Daniel Riter

the Affiant(s) herein, personally known or satisfactorily identified to me as such Affiant(s).

AS WITNESS my hand and Notaries Seal

Cody Hawley
Notary Public
5-11-2022
My Commission Expires

CODY HAWLEY
Notary Public
Anne Arundel County
Maryland
My Commission Expires May 11, 2022

2020-0042-A

Administrative Variance from: section 400.0 (BCZR) & 400.1.d (ZCPM) (1964 Regs 205.3)
1802.3C.1

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Also known as 3224 Birch Hollow rd and located in the 3rd
election district, 2nd councilmanic district

2020-0042-A

BALTIMORE COUNTY, MARYLAND
OFFICE OF BUDGET AND FINANCE
MISCELLANEOUS CASH RECEIPT

No. **195470**

Date: **2/12/2020**

Fund	Dept	Unit	Sub Unit	Rev Source/ Obj	Sub Rev/ Obj	Dept	Obj	BS Acct	Amount
001	800	0000		6150					75.00

Total: **75.00**

Rec
From:

Daniel Riter

For:

3424 Birch Hollow Kn

2020-0042-A

DISTRIBUTION

WHITE - CASHIER

PINK - AGENCY

YELLOW - CUSTOMER

GOLD - ACCOUNTING

PLEASE PRESS HARD!!!!

CASHIER'S
VALIDATION

4-1-20
1:30 pm
PF

Formal Demand

(3/9)AV

CASE NO. 2020- 0042-A

CHECKLIST

<u>Comment Received</u>	<u>Department</u>	<u>Support/Oppose/ Conditions/ Comments/ No Comment</u>
_____	DEVELOPMENT PLANS REVIEW (if not received, date e-mail sent _____)	_____
<u>2-20</u>	DEPS (if not received, date e-mail sent _____)	<u>NO</u>
_____	FIRE DEPARTMENT	_____
_____	PLANNING (if not received, date e-mail sent _____)	_____
_____	STATE HIGHWAY ADMINISTRATION	_____
_____	TRAFFIC ENGINEERING	_____
_____	COMMUNITY ASSOCIATION	_____
_____	ADJACENT PROPERTY OWNERS	_____
ZONING VIOLATION (Case No. _____)		
PRIOR ZONING (Case No. _____)		
NEWSPAPER ADVERTISEMENT	Date: _____	
SIGN POSTING (1 st)	Date: _____	by _____
SIGN POSTING (2 nd)	Date: _____	by _____
PEOPLE'S COUNSEL APPEARANCE	Yes ☐ No ☐	
PEOPLE'S COUNSEL COMMENT LETTER	Yes ☐ No ☐	

Comments, if any: _____

Real Property Data Search

Search Result for BALTIMORE COUNTY

View Map	View GroundRent Redemption	View GroundRent Registration
Special Tax Recapture: None		
Account Identifier: District - 03 Account Number - 0323076980		
Owner Information		
Owner Name:	RITER DANIEL RITER ROBYN	Use: RESIDENTIAL Principal Residence: YES ✓
Mailing Address:	3424 BIRCH HOLLOW RD BALTIMORE MD 21208-1841	Deed Reference: /26511/ 00696
Location & Structure Information		
Premises Address:	3424 BIRCH HOLLOW RD 0-0000	Legal Description: 3424 BIRCH HOLLOW RD STEVENSON AT ANTON FARM
Map: 0068	Grid: 0010	Parcel: 0292
Neighborhood: 3030037.04	Subdivision: 0000	Section: 1
Block: C	Lot: 1	Assessment Year: 2020
		Plat No: 0030/ 0007
Town: None		
Primary Structure Built	Above Grade Living Area	Finished Basement Area
1965	3,961 SF	24,350 SF
Property Land Area	County Use	
	04	
Stories	Basement	Type
2	NO	SPLIT LEVEL
Exterior	Quality	Full/Half Bath
BRICK/	5	3 full/ 1 half
Garage	Last Notice of Major Improvements	
1 Detached		
Value Information		
	Base Value	Value
		As of 01/01/2020
Land:	112,300	112,300
Improvements	296,700	395,400
Total:	409,000	507,700
Preferential Land:	0	0
		Phase-in Assessments
		As of 07/01/2019
		As of 07/01/2020
		409,000
		441,900
Transfer Information		
Seller: GELBER ALLAN C	Date: 12/21/2007	Price: \$480,000
Type: ARMS LENGTH IMPROVED	Deed1: /26511/ 00696	Deed2:
Seller: WORMSER SYLVAN A	Date: 01/05/1993	Price: \$250,000
Type: ARMS LENGTH IMPROVED	Deed1: /09537/ 00628	Deed2:
Seller:	Date:	Price:
Type:	Deed1:	Deed2:
Exemption Information		
Partial Exempt Assessments:	Class	
County:	000	07/01/2019
State:	000	0.00
Municipal:	000	0.00
		0.00 0.00
Special Tax Recapture: None		
Homestead Application Information		
Homestead Application Status: No Application		
Homeowners' Tax Credit Application Information		
Homeowners' Tax Credit Application Status: No Application		
Date:		

ZAC AGENDA

Case Number: 2020-0042-A

Reviewer: Gary Hucik

Existing Use: RESIDENTIAL **Proposed Use:** RESIDENTIAL

Type: ADMINISTRATIVE VARIANCE

Legal Owner: Daniel & Robyn Riter

Contract Purchaser: No Contract Purchaser was set.

Critical Area: No **Flood Plain:** No **Historic:** No **Election Dist:** 3 **Council Dist:** 2

Property Address: 3424 BIRCH HOLLOW RD

Location: S/east corner of Birch Hollow Road and Dorian Road

Existing Zoning: DR2

Area: 24,350 SQ. FT.

Proposed Zoning:

ADMINISTRATIVE VARIANCE:

To permit a proposed addition (pool house) with a street side setback of 0 ft. in lieu of the minimum required 25 ft.

Attorney: Not Available

Prior Zoning Cases: None

Concurrent Cases: 2008-0395-A

Violation Cases: None

Closing Date: 03/09/2020

Miscellaneous Notes:

3-9-20

BALTIMORE COUNTY, MARYLAND

Inter-Office Correspondence



TO: Hon. Paul M. Mayhew; Managing Administrative Law Judge
Office of Administrative Hearings

FROM: Jeff Livingston, Department of Environmental Protection and
Sustainability (EPS) - Development Coordination

DATE: February 20, 2020

SUBJECT: DEPS Comment for Zoning Item # 2020-0042-A
Address 3424 Birch Hollow Road
(Riter Property)

Zoning Advisory Committee Meeting of **February 24, 2020.**

X The Department of Environmental Protection and Sustainability has no
comment on the above-referenced zoning item.

Reviewer: Steve Ford



ADMINISTRATIVE ZONING PETITION

FOR ADMINISTRATIVE VARIANCE - OR - ADMINISTRATIVE SPECIAL HEARING
To be filed with the Department of Permits, Approvals and Inspections

To the Office of Administrative Hearings for Baltimore County for the property located at:

Address 3424 Birch Hollow Rd. Currently zoned DR2
Deed Reference 26-51100096 10 Digit Tax Account # 0323070980
Owner(s) Printed Name(s): Daniel / Robyn Riter

(SELECT THE HEARING(S) BY MARKING **X** AT THE APPROPRIATE SELECTION(S) AND ADDING THE PETITION REQUEST)

For Administrative Variances, the Affidavit on the reverse of this Petition form must be completed and notarized.

The undersigned, who own and occupy the property situate in Baltimore County and which is described in the plan/plat attached hereto and made a part hereof, hereby petition for an:

- ☒ ADMINISTRATIVE VARIANCE from Section(s) 400.1 (BCZR) & 400.1.d (ZMDP)
1803.13 & (1964 Regs 205.3)

SEE
Attached

of the zoning regulations of Baltimore County, to the zoning law of Baltimore County.

- ☐ ADMINISTRATIVE SPECIAL HEARING to approve a waiver pursuant to Section 32-4-107(b) of the Baltimore County Code; (indicate type of work in this space; i.e., to raze, alter or construct addition to building)

of the Baltimore County Code, to the development law of Baltimore County.

Property is to be posted and advertised as prescribed by the zoning regulations.

I/we agree to pay expenses of above petition(s), advertising, posting, etc. and further agree to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

Owner(s)/Petitioner(s):

Daniel Riter 1 Robyn Riter
Name #1 - Type or Print Name #2 - Type or Print
[Signature] 1 [Signature]
Signature #1 Signature #2

3424 Birch Hollow Rd. Pikesville, MD
Mailing Address City State

21208 443-253-9408 brannerad@ic231e
Zip Code Telephone # Email Address
brannerad@ic231e

Attorney for Owner(s)/Petitioner(s):

Name- Type or Print
Signature
Mailing Address City State
Zip Code Telephone # Email Address

Representative to be contacted:

Daniel Riter
Name - Type or Print
[Signature]
Signature
3424 Birch Hollow Rd. Pikesville, MD 21208
Mailing Address City State
21208 443-253-9408 brannerad@ic231e
Zip Code Telephone # Email Address
brannerad@ic231e

A PUBLIC HEARING having been formally demanded and/or found to be required, it is ordered by the Office of Administrative Hearings for Baltimore County, this _____ day of _____ that the subject matter of this petition be set for a public hearing, advertised, and re-posted as required by the zoning regulations of Baltimore County.

Administrative Law Judge for Baltimore County

CASE NUMBER 2020-0012-A Filing Date 2/12/2020 Estimated Posting Date 2/23/2020 Reviewer gh

Rev 5/5/2016



MICHAEL D. MALLINOFF, *Director*
Department of Permits,
Approvals & Inspections

March 09, 2020

JOHN A. OLSZEWSKI, JR.
County Executive

42-A, 3424 Birch Hollow Road

Petition was accepted for processing **ONLY** by the Bureau of Zoning Approvals, and Inspection (PAI) on February 12, 2020. This letter is not a **DECLARATION**.

The Zoning Advisory Committee (ZAC), which consists of representatives from several approval agencies, reviewed the plans that were submitted with your petition. All comments submitted thus far from members of the ZAC are attached. These comments are not intended to indicate the wisdom or wisdom of the zoning action requested, but to ensure that all parties (zoning commissioner, applicant, petitioner, etc.) are made aware of plans or problems with regard to the proposed improvements that may have a bearing on this case. All comments will be placed in the permanent case file.

If you need further information or have any questions, please do not hesitate to contact the commenting agency.

Very truly yours,
A handwritten signature in black ink, appearing to read "W. Carl Richards, Jr.", followed by a long, sweeping flourish.

W. Carl Richards, Jr.
Supervisor, Zoning Review

WCR/kl

Enclosures

c: People's Counsel

MDOT
MARYLAND DEPARTMENT
OF TRANSPORTATION

STATE HIGHWAY
ADMINISTRATION

Larry Hogan
Governor

Boyd K. Rutherford
Lt. Governor

Gregory Slater
Acting Secretary

Tim Smith, P.E.
Acting Administrator

Date: 2/20/20

Ms. Kristen Lewis
Baltimore County Office of
Permits and Development Management
County Office Building, Room 109
111 West Chesapeake Avenue
Towson, Maryland 21204

Dear Ms. Lewis:

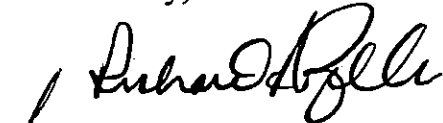
Thank you for the opportunity to review your referral request on the subject of the Case number referenced below. We have determined that the subject property does not access a State roadway and is not affected by any State Highway Administration projects. Therefore, based upon available information this office has no objection to Baltimore County Zoning Advisory Committee approval of Case No. 2020-0042-A

Administrative Variance

*Daniel & Robyn Riter
3424 Birch Hollow Road.*

Should you have any questions regarding this matter, please contact Mr. Richard Zeller at 410-229-2332 or 1-866-998-0367 (in Maryland only) extension 2332, or by email at (rzeller@mdot.maryland.gov).

Sincerely,



Wendy Wolcott, P.L.A.
Metropolitan District Engineer
Maryland Department of Transportation
State Highway Administration
District 4 - Baltimore and Harford Counties

WW/RAZ



JOHN A. OLSZEWSKI, JR.
County Executive

MICHAEL D. MALLINOFF, Director
Department of Permits,
Approvals & Inspections

February 27, 2020

NOTICE OF ZONING HEARING

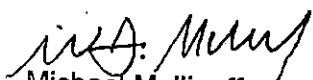
The Administrative Law Judge of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing in Towson, Maryland on the property identified herein as follows:

CASE NUMBER: 2020-0042-A

3424 Birch Hollow Road
S/east corner of Birch Hollow Road and Dorian Road
3rd Election District – 2nd Councilmanic District
Legal Owners: Daniel & Robyn Riter

Variance to permit a proposed addition (pool house) with a street setback of 0 ft. in lieu of the minimum required 25 ft.

Hearing: Wednesday, April 1, 2020 at 1:30 p.m. in Room 205, Jefferson Building,
105 West Chesapeake Avenue, Towson 21204


Michael Mallinoff
Director

MM:kl

C: Mr. & Mrs. Riter, 3424 Birch Hollow Road, Pikesville 21208
Mordechai Harel, 8400 Dorian Road, Pikesville 21208

- NOTES: (1) **THE PETITIONER MUST HAVE THE ZONING NOTICE SIGN POSTED BY AN APPROVED POSTER ON THE PROPERTY BY THURSDAY, MARCH 12, 2020.**
- (2) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMMODATIONS PLEASE CALL THE ADMINISTRATIVE HEARINGS OFFICE AT 410-887-3868.
- (3) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THE ZONING REVIEW OFFICE AT 410-887-3391.

TO: THE DAILY RECORD
Thursday, March 12, 2020 – Issue

Please forward billing to:
Daniel Riter
3424 Birch Hollow Road
Pikesville, MD 21208

443-253-9408

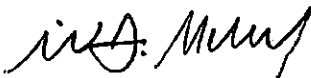
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CERTIFICATE OF POSTING

ATTENTION: KRISTEN LEWIS

DATE: 2/19/2020

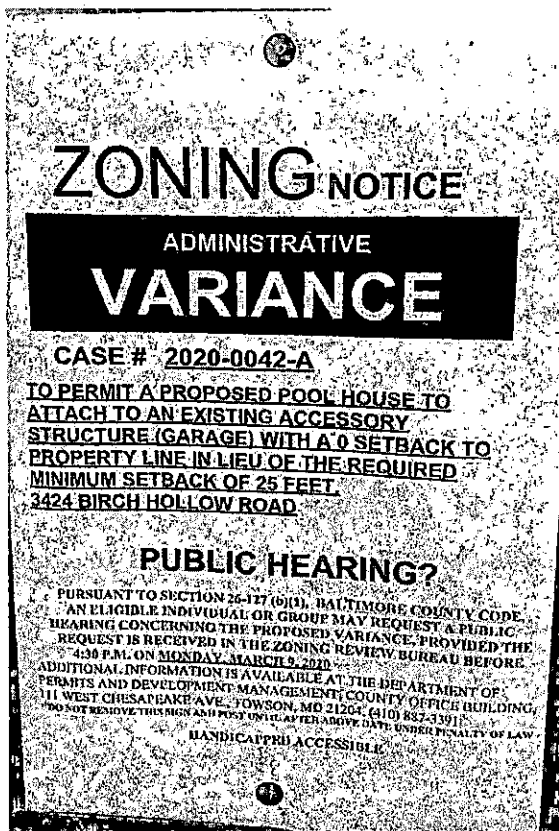
Case Number: 2020-0042-A

Petitioner / Developer: DANIEL RITER

Date of Closing: MARCH 9, 2020

This is to certify under the penalties of perjury that the necessary sign(s) required by law were posted conspicuously on the property located at:
3424 BIRCH HOLLOW ROAD

The sign(s) were posted on: FEBRUARY 19, 2020



Linda O'Keefe
(Signature of Sign Poster)

Linda O'Keefe
(Printed Name of Sign Poster)

523 Penny Lane
(Street Address of Sign Poster)

Hunt Valley, Maryland 21030
(City, State, Zip of Sign Poster)

410 - 666 - 5366
(Telephone Number of Sign Poster)

ADMINISTRATIVE VARIANCE INFORMATION SHEET AND DATES

Case Number 2020- 0042 -A Address 3424 Birch Hollow Road
Contact Person: CARY HURK Phone Number: 410-887-3391
Planner, Please Print Your Name
Filing Date: 2/12/20 Posting Date: 2/23/20 Closing Date: 3/9/20

Any contact made with this office regarding the status of the administrative variance should be through the contact person (planner) using the case number.

1. **POSTING/COST:** The petitioner must use one of the sign posters on the approved list (on the reverse side of this form) and the petitioner is responsible for all printing/posting costs. Any reposting must be done only by one of the sign posters on the approved list and the petitioner is again responsible for all associated costs. The zoning notice sign must be visible on the property on or before the posting date noted above. It should remain there through the closing date.
2. **DEADLINE:** The closing date is the deadline for an occupant or owner within 1,000 feet to file a formal request for a public hearing. Please understand that even if there is no formal request for a public hearing, the process is not complete on the closing date.
3. **ORDER:** After the closing date, the file will be reviewed by the zoning or deputy zoning commissioner. He may: (a) grant the requested relief; (b) deny the requested relief; or (c) order that the matter be set in for a public hearing. You will receive written notification, usually within 10 days of the closing date if all County agencies' comments are received, as to whether the petition has been granted, denied, or will go to public hearing. The order will be mailed to you by First Class mail.
4. **POSSIBLE PUBLIC HEARING AND REPOSTING:** In cases that must go to a public hearing (whether due to a neighbor's formal request or by order of the zoning or deputy zoning commissioner), notification will be forwarded to you. The sign on the property must be changed giving notice of the hearing date, time and location. As when the sign was originally posted, certification of this change and a photograph of the altered sign must be forwarded to this office.

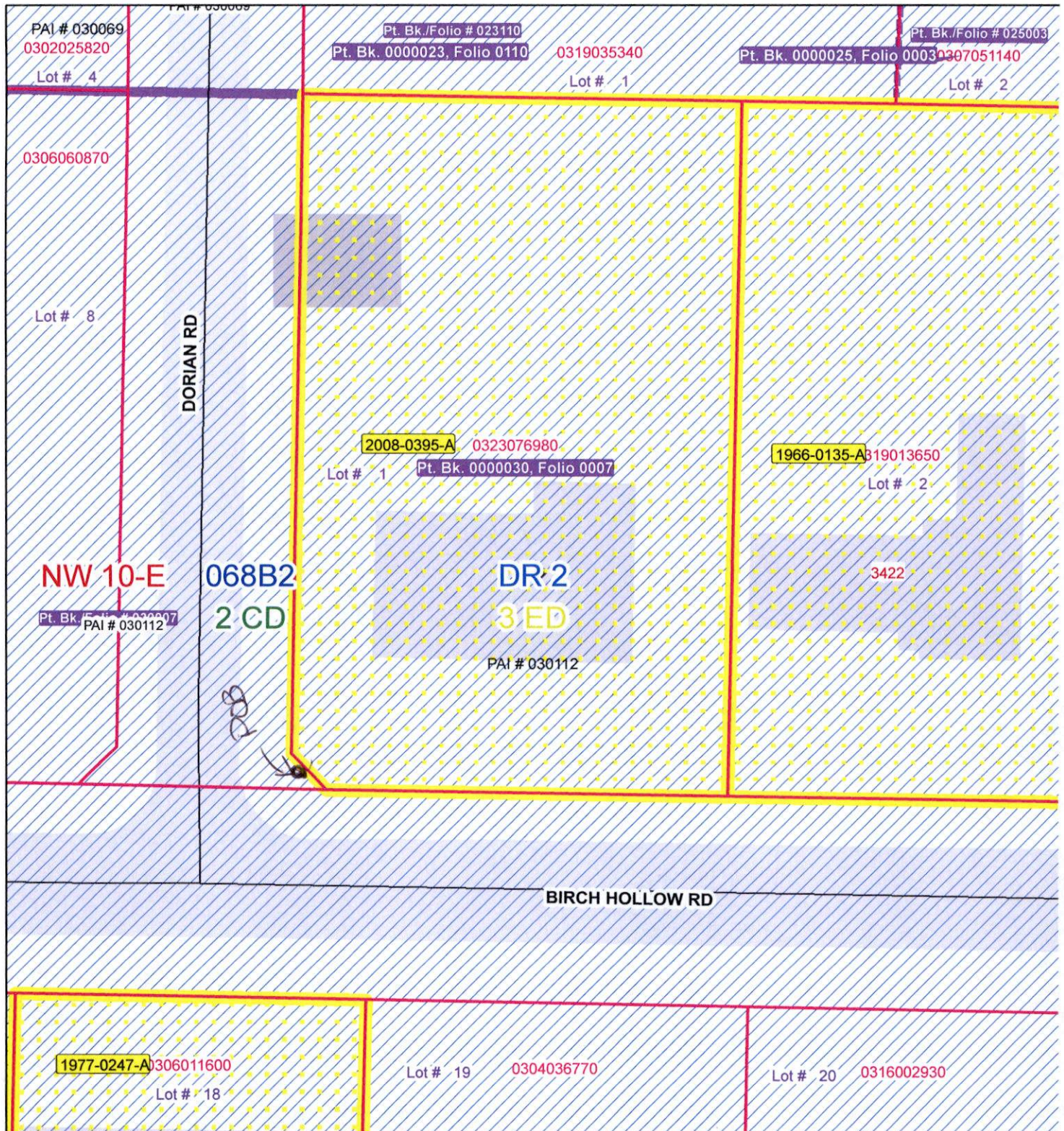
(Detach Along Dotted Line)

Petitioner: This Part of the Form is for the Sign Poster Only

USE THE ADMINISTRATIVE VARIANCE SIGN FORMAT

Case Number 2020- 0042 -A Address: 3424 Birch Hollow Road
Petitioner's Name: Daniel Aifer Telephone: 443-253-9468
Posting Date: 2/23/20 Closing Date: 3/9/20
Wording for Sign: To be proposed pool house attach to an existing
accessory structure (garage) with a 0 set back to property
line in lieu of the required minimum set back of
40 feet.

Enter Property Address Here



Publication Date: 2/12/2020



Publication Agency: Permits, Approvals & Inspections
Projection/Datum: Maryland State Plane,
FIPS 1900, NAD 1983/91 HARN, US Foot



0 10 20 40 60 80
Feet

1 inch = 40 feet

2020-0042-A



Real Property Data Search (w3)

Search Result for BALTIMORE COUNTY

View Map	View GroundRent Redemption	View GroundRent Registration
Special Tax Recapture: None		
Account Identifier: District - 03 Account Number - 0323076980		
Owner Information		
Owner Name:	RITER DANIEL RITER ROBYN	Use: RESIDENTIAL Principal Residence: YES
Mailing Address:	3424 BIRCH HOLLOW RD BALTIMORE MD 21208-1841	Deed Reference: 726511/ 00696
Location & Structure Information		
Premises Address:	3424 BIRCH HOLLOW RD 0-0000	Legal Description: 3424 BIRCH HOLLOW RD STEVENSON AT ANTON FARM
Map:	Grid:	Parcel:
0068	0010	0292
Neighborhood:	Subdivision:	Section:
3030037.04	0000	1
Block:	Lot:	Assessment Year:
C	1	2020
Plat No:		
Plat Ref:		0030/ 0007
Town: None		
Primary Structure Built	Above Grade Living Area	Finished Basement Area
1965	3,961 SF	
Property Land Area	County Use	
24,350 SF	04	
Stories	Basement	Type
2	NO	SPLIT LEVEL
Exterior	Quality	Full/Half Bath
BRICK/	5	3 full/ 1 half
Garage	Last Notice of Major Improvements	
1 Detached		
Value Information		
Base Value	Value	Phase-in Assessments
	As of 01/01/2020	As of 07/01/2019
Land:	112,300	
Improvements	296,700	
Total:	409,000	441,900
Preferential Land:	0	0
Transfer Information		
Seller: GELBER ALLAN C	Date: 12/21/2007	Price: \$480,000
Type: ARMS LENGTH IMPROVED	Deed1: /26511/ 00696	Deed2:
Seller: WORMSER SYLVAN A	Date: 01/05/1993	Price: \$250,000
Type: ARMS LENGTH IMPROVED	Deed1: /09537/ 00628	Deed2:
Seller:	Date:	Price:
Type:	Deed1:	Deed2:
Exemption Information		
Partial Exempt Assessments:	Class	07/01/2019
County:	000	0.00
State:	000	0.00
Municipal:	000	0.00 0.00
Special Tax Recapture: None		
Homestead Application Information		
Homestead Application Status: No Application		
Homeowners' Tax Credit Application Information		
Homeowners' Tax Credit Application Status: No Application		
Date:		

2020 - 0042-A













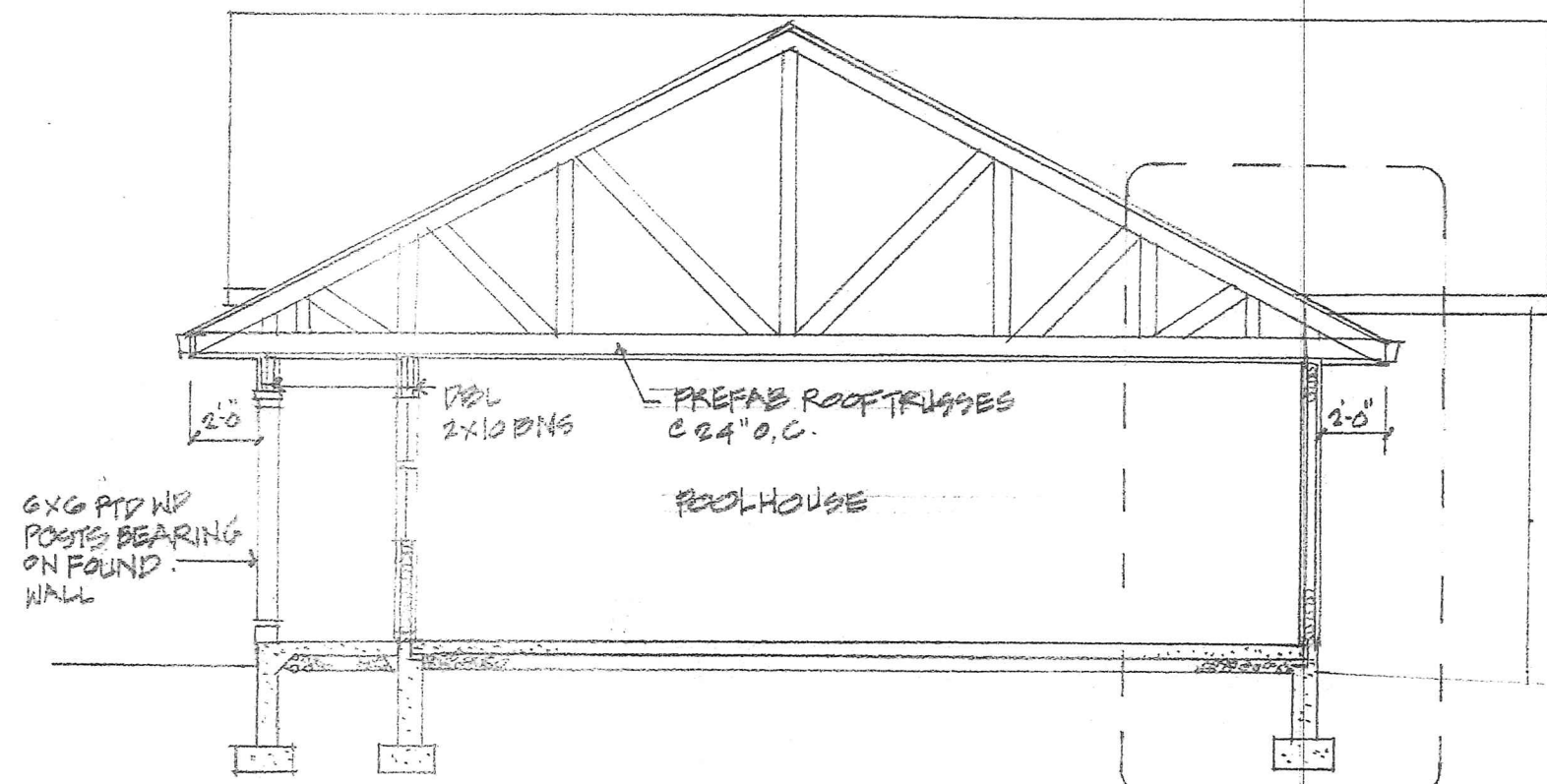




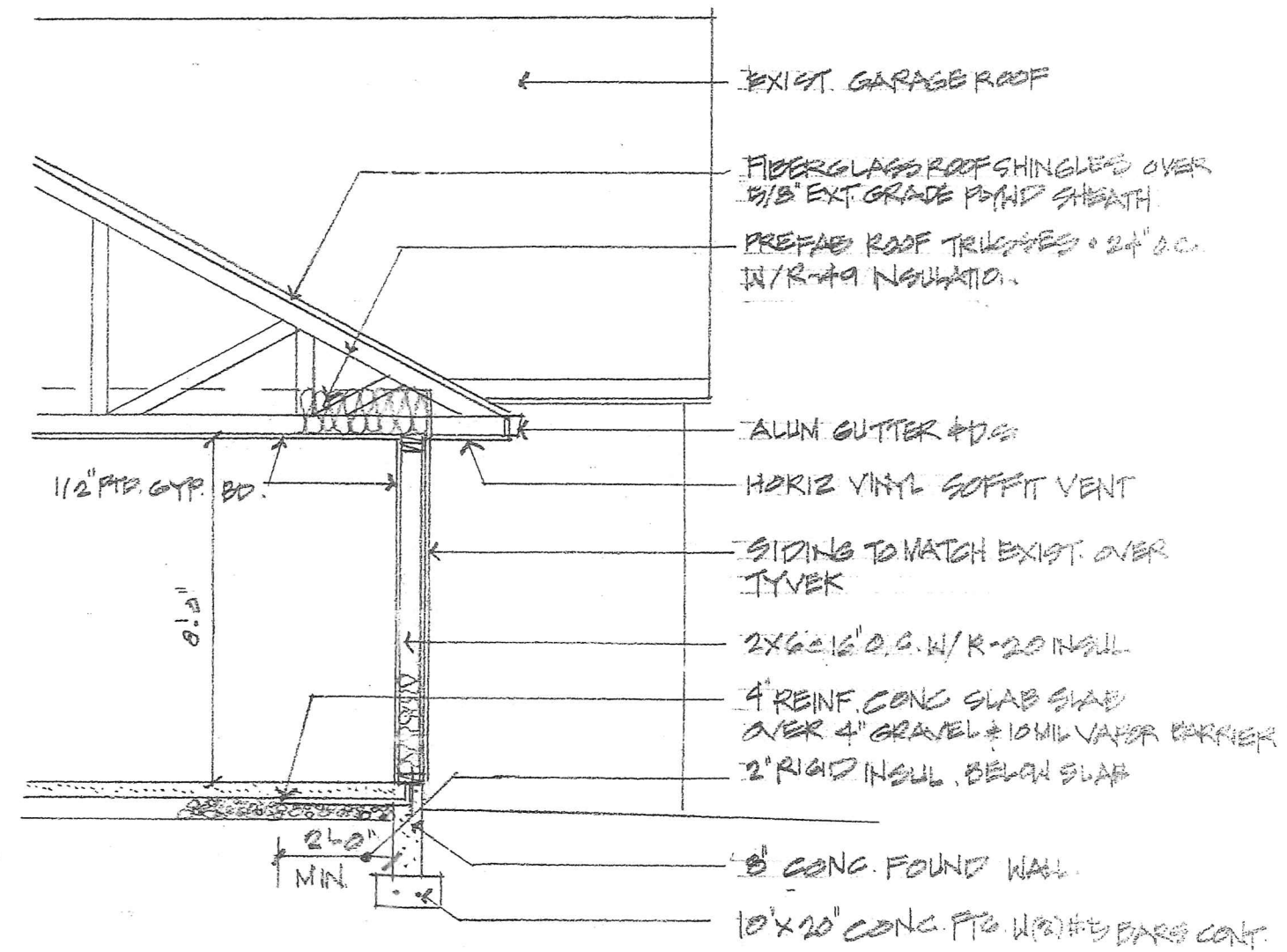




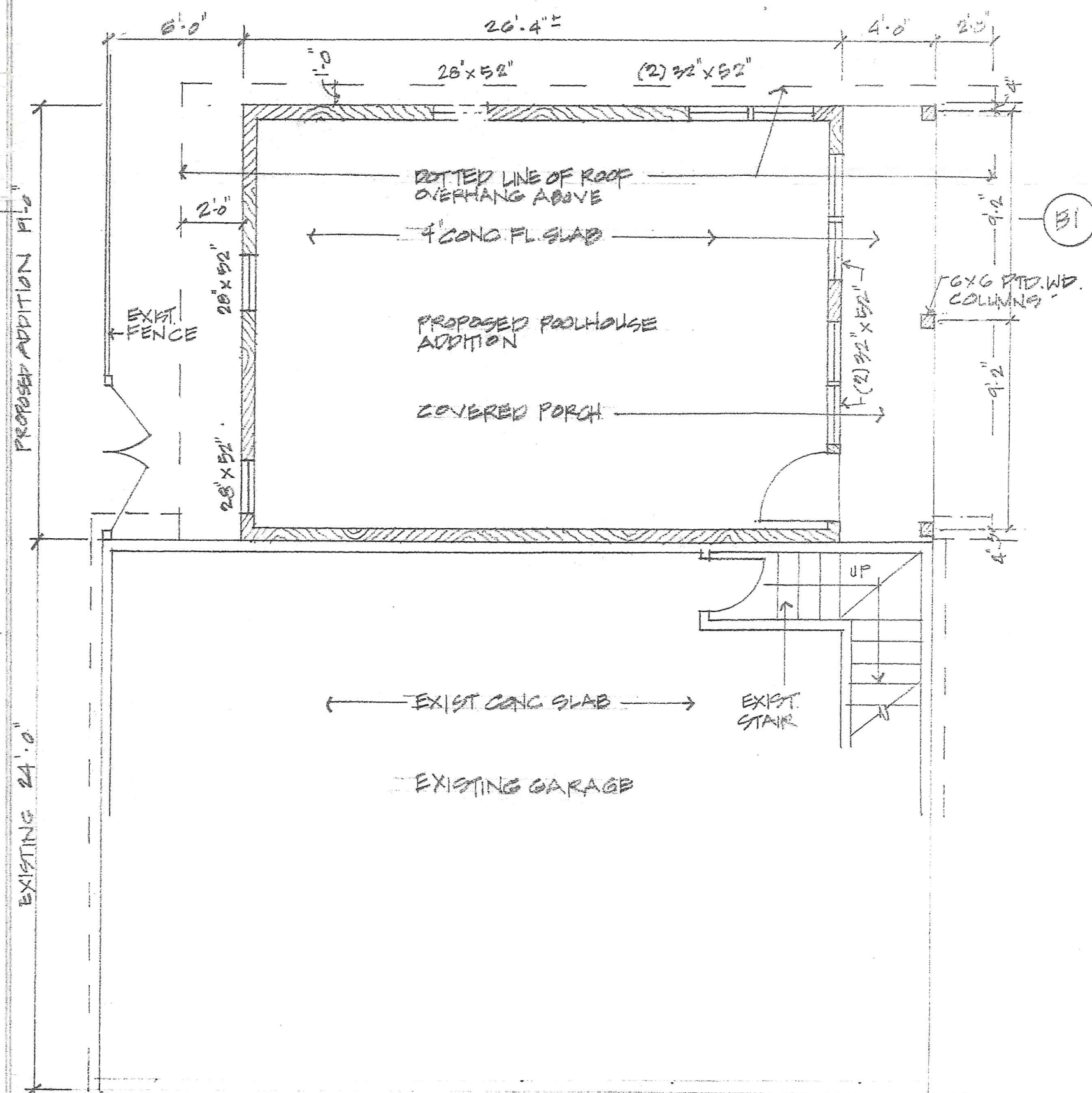
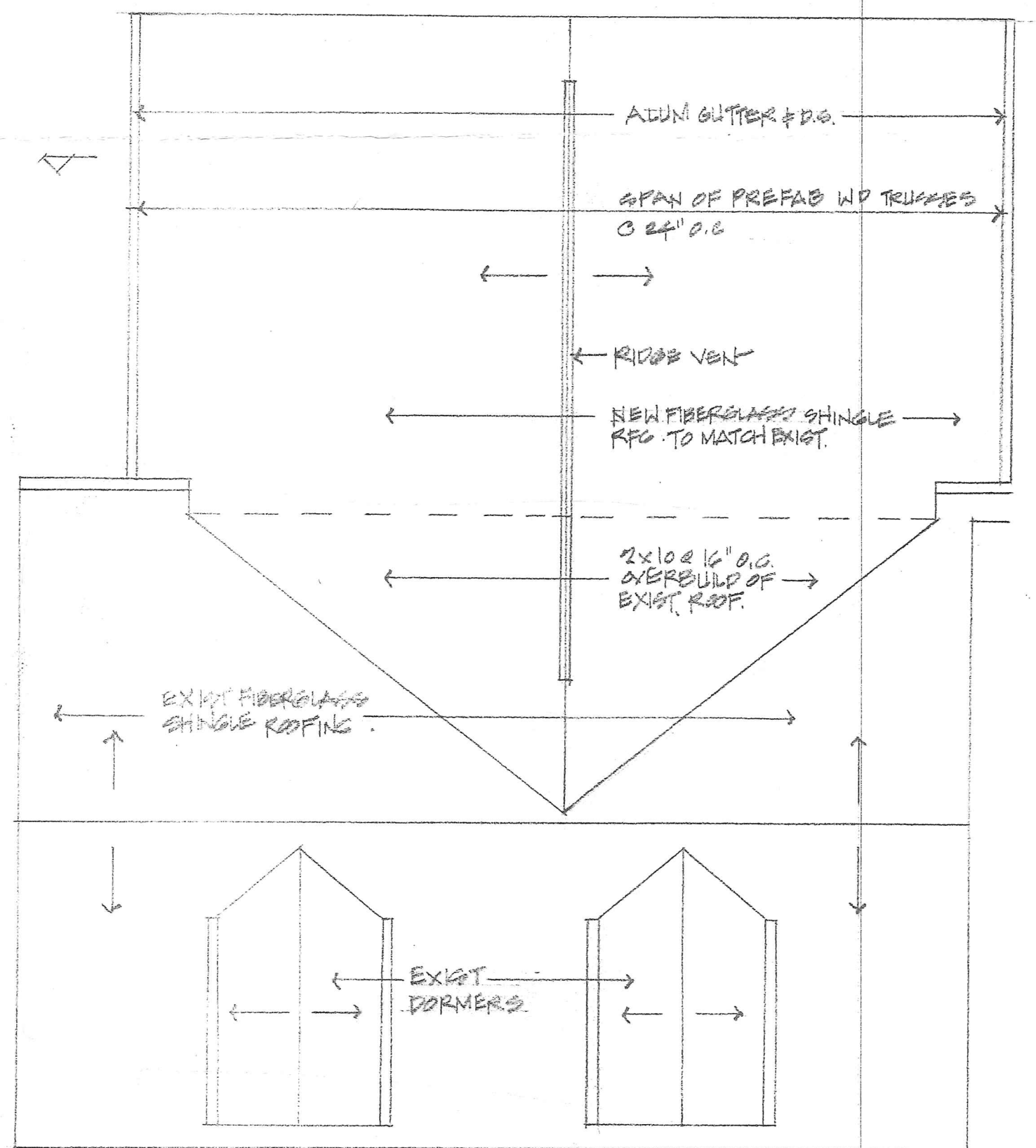
2020-0042-A



BUILDING SECTION B1
3/16" = 1'-0"



EXTERIOR WALL SECTION 1
1/4" = 1'-0"



REVISIONS	BY

Riter Residence

One Story Rear Addition To Garage
2434 Birch Hollow Road
Baltimore, MD 21209

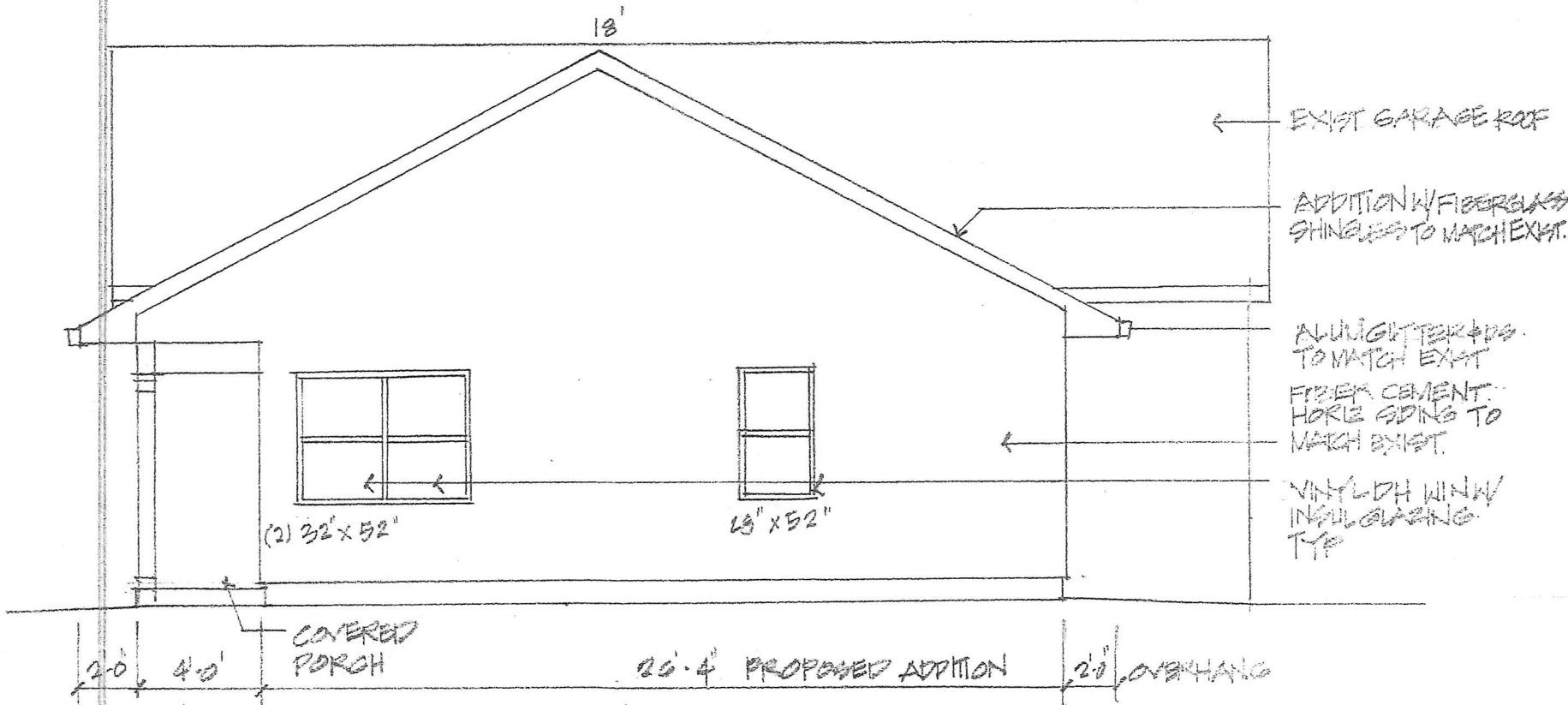
Leonard Design Studio

James Leonard, AIA
615 Kingston Road
Baltimore, MD 21212
443.717.0203
j11739@comcast.net

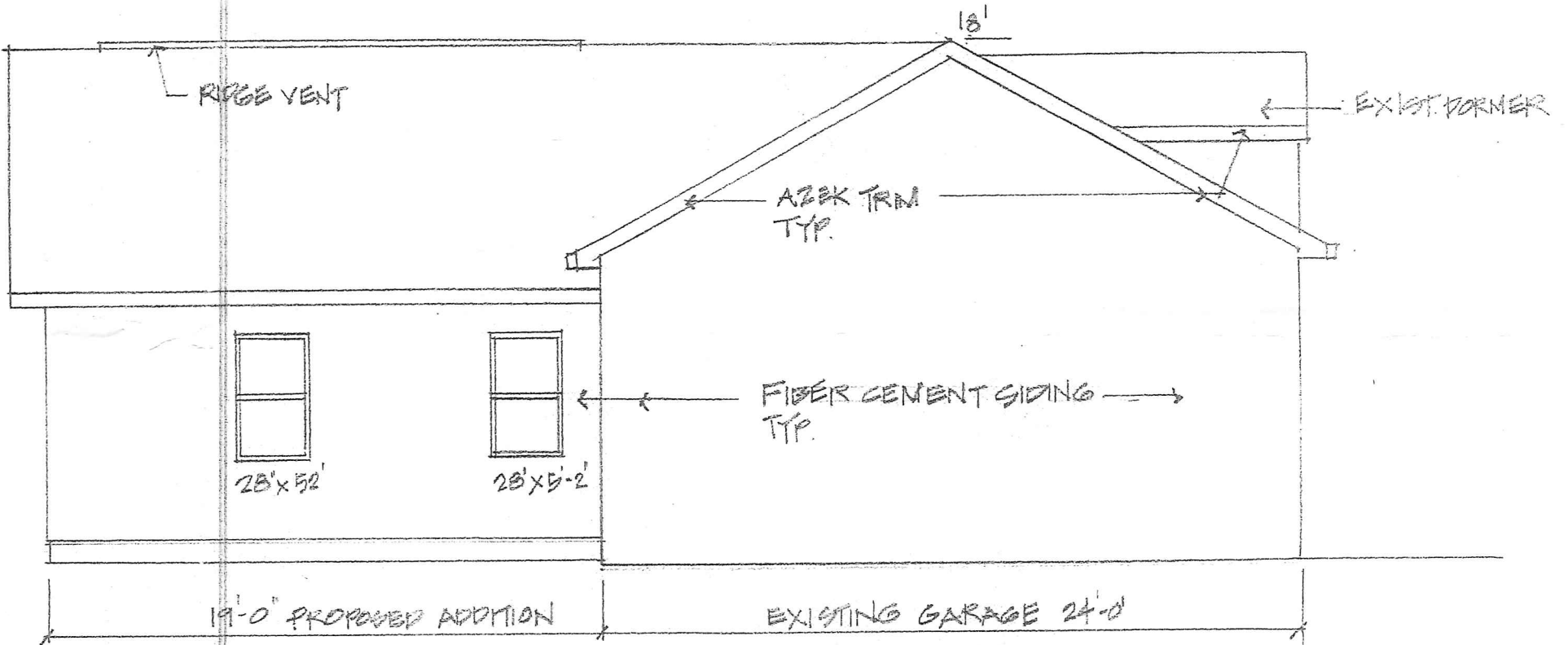
Date	
Scale	
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Job	
Sheet	1
Of 2 Sheets	

2012 IECC CODE COMPLIANCE

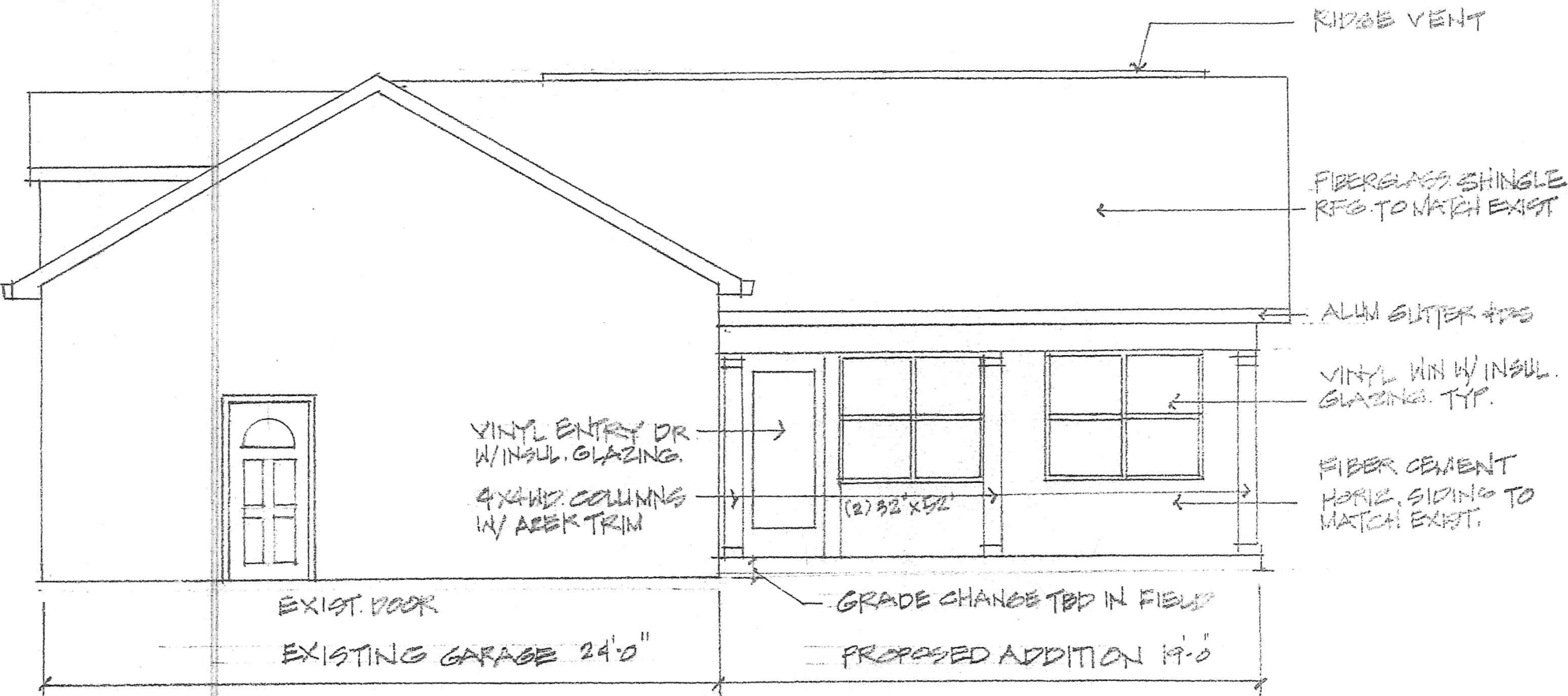
- R301.1 Climate Zone 4
- R401.2 Compliance Method: Mandatory and Prescriptive Provisions
- R402.1.1 Attic Insulation: R-49 / Raised Hell Trusses: R-38
- R402.1.1 Wood Frame Wall: R-20 or R13 + R5 continuous insulation
- R402.1.1 Basement Wall Insulation: R-13/R-10 foil-faced continuous, uninterrupted batts, full height
- R402.1.1 Crawl Space Wall Insulation: R-13/R-10 foil-faced continuous BATTs full height extending from floor above to finish grade level and then vertically or horizontally an additional 2'-0"
- R402.1.1 Floor Insulation over Unconditioned Space: R-19 BATT insulation
- R402.1.1 Window U-Value: .35 / SHGC .40
- R402.2.9 Slab on Grade Floors Less than 12" Below Grade: R-10 Rigid foam board under slab extending either 2'-0" horizontally or 2'-0" vertically
- R402.2.4 Attic access scuttle will be weather-stripped and insulated R-49
- R402.4 Building Thermal Envelope (air leakage): Exterior walls and penetrations will be sealed per this section of the 2012 IECC with caulk, gaskets, weather-stripping or an air barrier of suitable material.
- R402.4.1 Building Envelope Tightness Test: Building envelope tightness and insulation installation must meet the inspection criteria listed in table 402.4.1.2. A "Blower Door Air Infiltration Test" shall be performed in all units. See also Section R303.4 of the 2012 IRC.
- R402.4.2 Fireplaces: All wood-burning masonry fireplaces will have tight-fitting flue dampers and outdoor combustion air. Fireplaces shall have gasketed doors.
- R402.4.4 Recessed Lighting: Recessed luminaries installed in the building thermal envelope shall be sealed to limit air leakage
- R403.1.1 Thermostat: All dwelling units will have at least (1) programmable thermostat for each separate heating and cooling system per 2012 IECC Section 403.1
- Where a heat pump system having supplementary electric resistance heat is used, the thermostat shall prevent the supplementary heat from coming on when heat pump can meet heating load.
- R403.2.1 Mechanical Duct Insulation:
Supply ducts in Attic R-8 minimum
Supply ducts outside of conditioned spaces R-8 minimum
All other ducts except those located completely inside the building thermal envelope R-6 minimum.
Ducts located under concrete slabs must be R-6 minimum.
- R403.2.2 Duct Sealing: All ducts, air handlers, filter boxes will be sealed. Joints and seams will comply with section M1601.4.1 of the IRC. A duct tightness test ("Duct Blaster" duct total leakage test) will be performed on all homes and shall be verified by either a post construction test or a rough-in test. Duct tightness test not required if air handler and all ducts are located within the conditioned space.
- R403.5 Mechanical Ventilation: Outdoor (make-up) air will be brought into the home through a duct with an automatic or gravity damper
- R403.6 Equipment sizing shall comply with R403.6
- R404.1 Lighting Equipment: A minimum of 75% of all lamps (lights) must be high-efficiency lamps.
Water Heater: Minimum efficiency established by NAECA
Mechanical Testing: All mechanical testing to be performed by certified testing agency.



REAR ELEVATION
3/16"=1'-0"



SIDE ELEVATION 1
3/16"=1'-0"



SIDE ELEVATION 2
3/16"=1'-0"

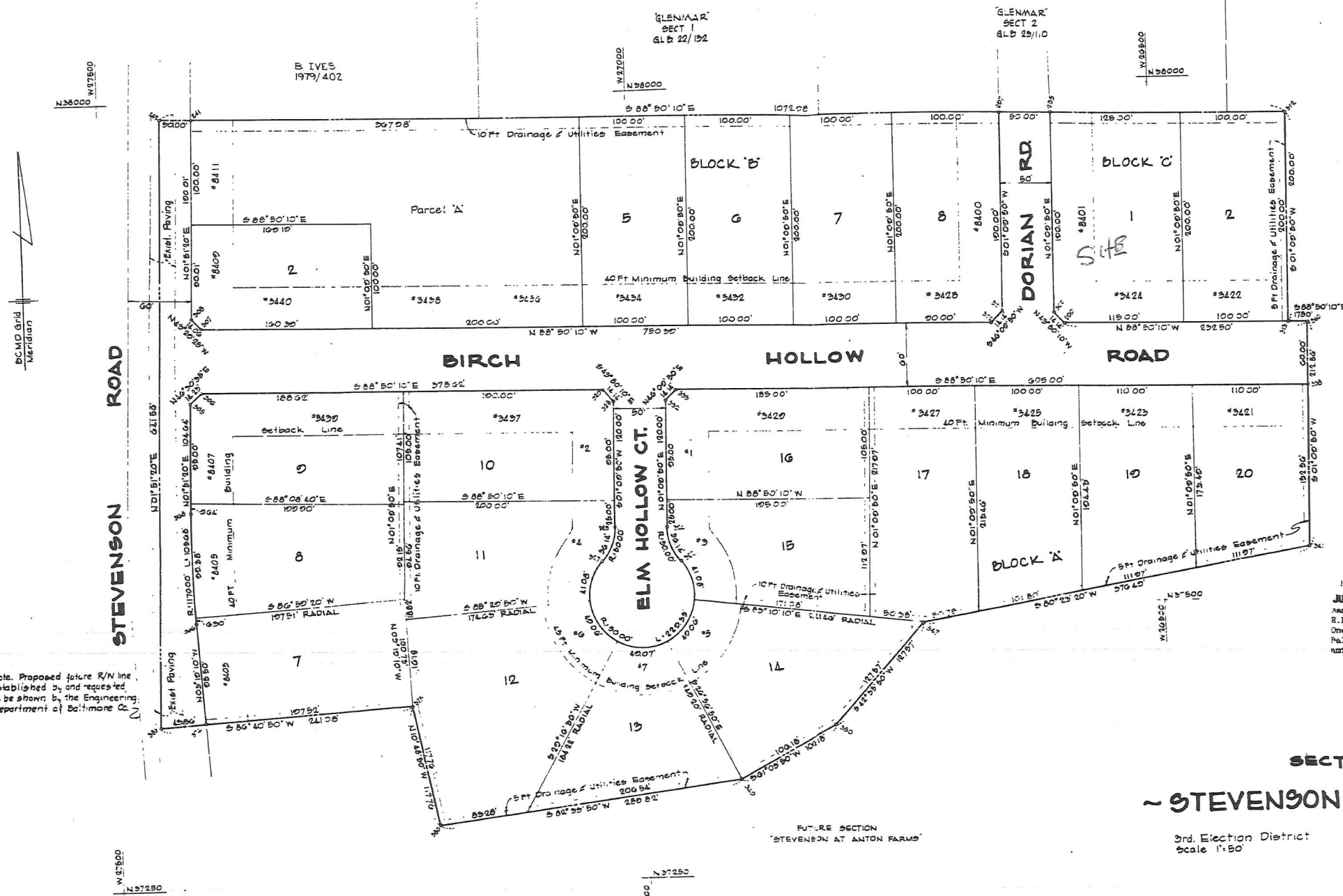
REVISIONS	BY

Riter Residence
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Baltimore, MD 21209

Leonard Design Studio
James Leonard, AIA
615 Kingston Road
Baltimore, MD 21212
443 717 0203
jl1739@comcast.net

Date	
Scale	
Drawn	
Job	
Sheet	2
Of	2 Sheets

Note: Proposed future R/W line established by, and requested to be shown by, the Engineering Department of Baltimore Co.



CO-ORDINATES					
No.	West	North	No.	West	North
241	27412.04	97083.38	247	27057.73	97592.02
242	27442.05	97081.25	248	27021.2	97709.70
243	26904.25	97067.06	249	27031.06	97718.20
244	26944.28	97068.08	250	26972.13	97704.09
245	26988.25	97066.20	251	26901.85	97714.48
246	26998.09	97777.10	252	26937.20	97702.15
247	26948.07	97778.71	253	26985.84	97702.15
248	26998.18	97740.32	254	26960.10	97589.66
249	27420.78	97713.80	255	26731.37	97486.80
250	27410.46	97723.59	256	26915.04	97341.52
251	27408.52	97763.57	257	26917.71	97502.80
252	27418.10	97755.70	258	27421.02	97509.36
253	26969.87	97068.46	259	27424.17	97609.21
254	26979.59	97768.59	260	27417.20	97408.24
255	26904.75	97591.39	261	27420.10	97410.06
256	26974.97	97584.71	262	27108.02	97304.01
257	27014.30	97585.75	263	27420.78	97408.72

CURVE DATA					
From	To	R	L	T	Chd
523	527	50.00	30.14	18.50	4.21 21.34
527	528	50.00	22.26	—	26.21 0.08
528	529	50.00	30.14	18.50	4.21 21.34
529	530	117.00	105.00	52.57	0.00 10.30

RRG 30 FORM 7
JUL 31 1964
Name day: 10:11
R.R.C. Bu.
One of 12
Baltimore
noted, in

SECTION ONE
~ STEVENSON AT ANTON FARMS ~

3rd. Election District
Scale 1"=50'
Baltimore County, Maryland
June 23, 1964

DEVELOPER
H.M.H. CONSTRUCTION COMPANY
2612 FORDS LANE
BALTIMORE, MD. 21215

APPROVED, BALTIMORE COUNTY PLANNING BOARD 30 June 1964 DATE: 7/15/64 Director	APPROVED: 7/30/64 DATE: 7/30/64 DEPUTY STATE & COUNTY HEALTH OFFICER	NOTE: STREETS and/or ROADS shown hereon and mention thereof in deeds are for purposes of description only, and the same are not intended to be dedicated to public use; the fee simple title to the lands thereof is expressly reserved in the grantors of the deed to which this plat is attached their heirs and assigns.	NOTE: COORDINATES and BEARINGS shown on this plat are referred to the system of coordinates established in The Baltimore County Metropolitan District and are based on the following traverse stations: 1507 W 27459.90 N 97092.35 1508 W 27406.70 N 98980.95	OWNERS CERTIFICATE: The requirements of Section 72-8 Article 17 of the Annotated Code of Maryland, (Flick 1947 Supplement) as far as they relate to the preparation of this plat have been complied with. H.M.H. CONSTRUCTION COMPANY Morris Sugarman DATE: 7/17/64	SURVEYORS CERTIFICATE: I JOHN C. CHILDS SR. a Registered Land Surveyor of the State of Maryland do hereby certify that the land shown hereon has been laid out and the plat thereof prepared in accordance with the provisions of the law relating to the subdivision of land known as House Bill 4459, Chapter 1016 of the Acts of 1945 and subsequent amendatory acts. J. C. Childs REGISTERED LAND SURVEYOR, No. 3622 DATE: 7-15-64	MATZ, CHILDS & ASSOCIATES 2129 N. CHARLES ST. BALTIMORE 18, MD. COMPUTED: H.W.G. DRAWN: T.P. CHECKED: P.L. J.C. Childs MSA 334.1336-4409 30-7
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2020-0042-A

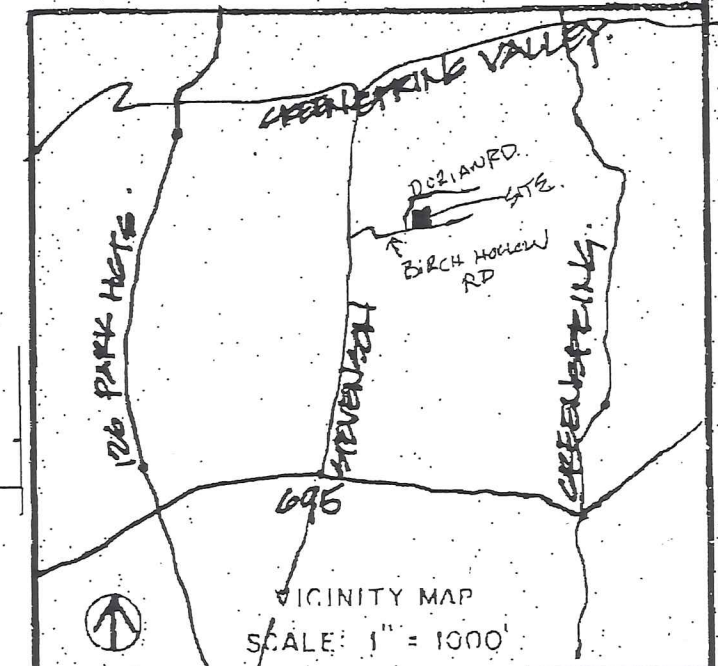
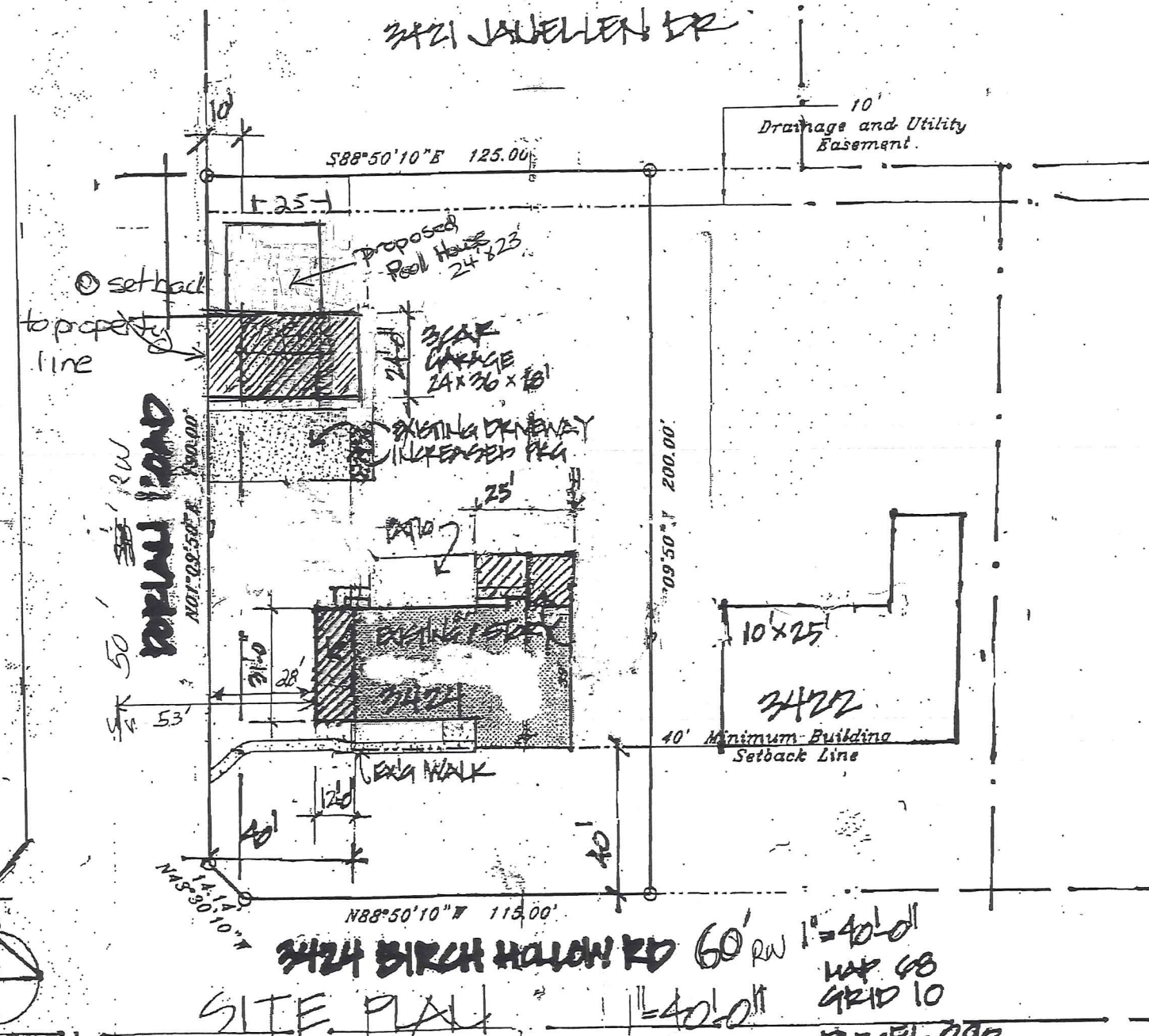
PLAT TO ACCOMPANY PETITION FOR ZONING ☒ VARIANCE ☐ SPECIAL HEARING

PROPERTY ADDRESS 3424 BIRCH HOLLOW RD SEE PAGES 5 & 6 OF THE CHECKLIST FOR ADDITIONAL REQUIRED INFORMATION

SUBDIVISION NAME STEVENSON AT ALTON FARMS

PLAT BOOK # 30 FOLIO # 7 LOT # 1 SECTION # Block C

OWNER DANIEL + ROBYN RITER



LOCATION INFORMATION

ELECTION DISTRICT 3

COUNCILMANIC DISTRICT 2

1" = 200' SCALE MAP # 068B2

ZONING DR-2

LOT SIZE 24,350 SF

	ACREAGE	SQUARE FEET
SEWER	☒ PUBLIC	☐ PRIVATE
WATER	☒ PUBLIC	☐ PRIVATE

	YES	NO
CHESAPEAKE BAY CRITICAL AREA	☒	☒
100 YEAR FLOOD PLAIN	☐	☒
HISTORIC PROPERTY/BUILDING	☐	☒

PRIOR ZONING HEARING 2008-0395-A

ZONING OFFICE USE ONLY
REVIEWED BY _____ ITEM # _____

PREPARED BY Daniel Riter SCALE OF DRAWING: 1" = 40'-0"

REVISED BY OWNER WHO IS RESPONSIBLE FOR REVISIONS.

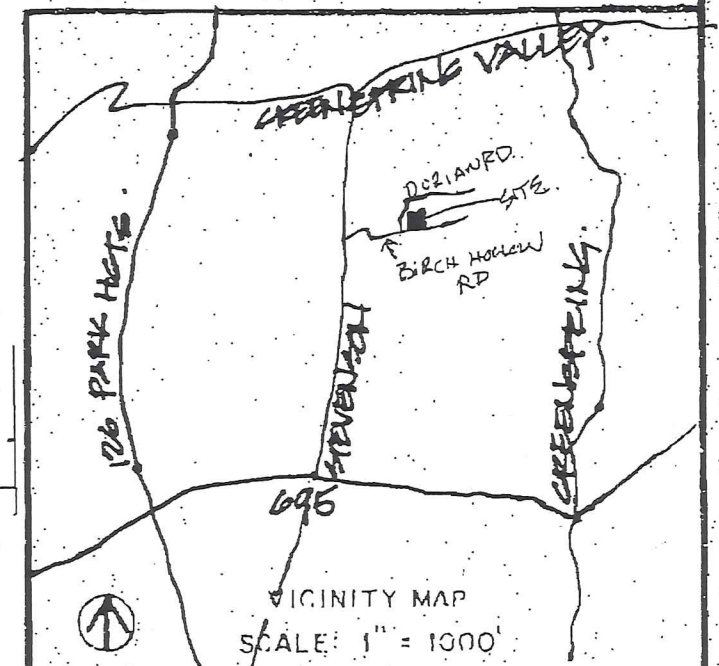
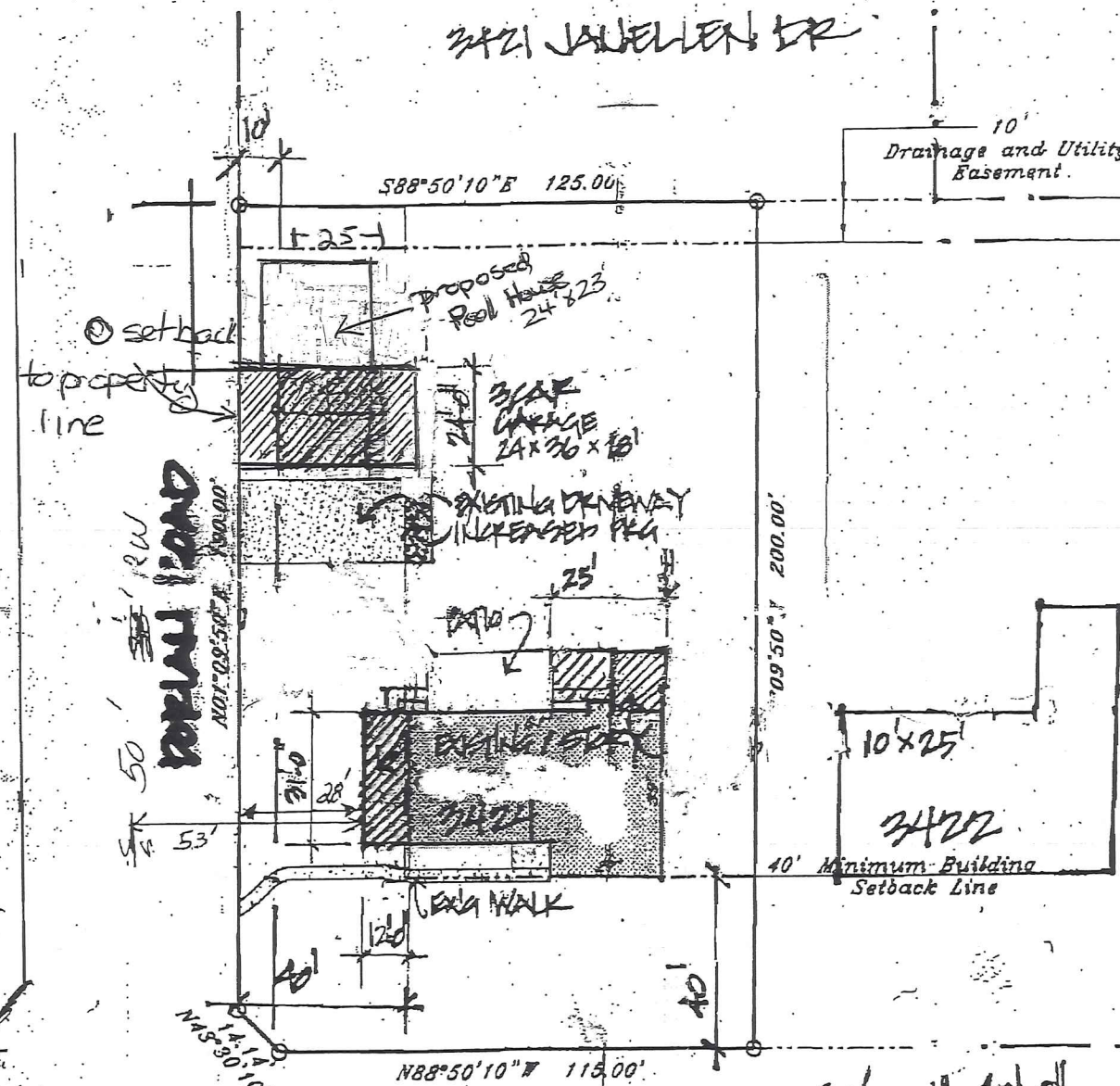
PLAT TO ACCOMPANY PETITION FOR ZONING ☒ VARIANCE ☐ SPECIAL HEARING

PROPERTY ADDRESS 3424 BIRCH HOLLOW RD SEE PAGES 5 & 6 OF THE CHECKLIST FOR ADDITIONAL REQUIRED INFORMATION

SUBDIVISION NAME STEVENSON AT ANTON FARMS

PLAT BOOK # 30 FOLIO # 7 LOT # 1 SECTION # Block C

OWNER DANIEL + ROBYN RITER



LOCATION INFORMATION

ELECTION DISTRICT 3
 COUNCILMANIC DISTRICT 2
 1" = 200' SCALE MAP # 068 B2
 ZONING DR 2
 LOT SIZE 24,350 SF
 ACREAGE 0.55 SQUARE FEET
 SEWER ☒ PUBLIC ☐ PRIVATE
 WATER ☒ PUBLIC ☐ PRIVATE
 CHESAPEAKE BAY CRITICAL AREA ☐ YES ☒ NO
 100 YEAR FLOOD PLAIN ☐ YES ☒ NO
 HISTORIC PROPERTY/BUILDING ☐ YES ☒ NO
 PRIOR ZONING HEARING 2008-0395-A

ZONING OFFICE USE ONLY
 REVIEWED BY _____ ITEM # _____

REVISOR BY OWNER WHO IS RESPONSIBLE FOR REVISIONS.

PREPARED BY Daniel Riter

SCALE OF DRAWING: 1" = 40'-0"