



JOHN A. OLSZEWSKI, JR.
County Executive

PAUL M. MAYHEW
Managing Administrative Law Judge
MAUREEN E. MURPHY
Administrative Law Judge

February 27, 2023

All Title Services, LLC – dimitrios@alittleservices.net
11811 Cedar Lane
Kingsville, MD 21087

RE: Petition for Administrative Variance
Case No. 2023-0015-A
Property: 11811 Cedar Lane

Dear Petitioner:

Enclosed please find a copy of the decision rendered in the above-captioned matter.

Pursuant to Baltimore County Code § 32-3-401(a), “a person aggrieved or feeling aggrieved” by this Decision and Order may file an appeal to the County Board of Appeals within thirty (30) days of the date of this Order. For further information on filing an appeal, please contact the Office of Administrative Hearings at 410-887-3868.

Sincerely,

A handwritten signature in black ink that reads "Maureen E. Murphy". The signature is fluid and cursive, with the first name "Maureen" and last name "Murphy" clearly distinguishable.

MAUREEN E. MURPHY
Administrative Law Judge
for Baltimore County

MEM:dlw
Enclosure

c: Adam Rosenblatt, Esq. – amrosenblatt@venable.com

IN RE: PETITION FOR ADMIN. VARIANCE	*	BEFORE THE
(11811 Cedar Lane)		
11 th Election District	*	OFFICE OF ADMINISTRATIVE
5 th Council District		
All Title Services, LLC	*	HEARINGS FOR
Petitioner	*	BALTIMORE COUNTY
	*	CASE NO. 2023-0015-A

* * * * *

OPINION AND ORDER

This matter comes before the Office of Administrative Hearings (“OAH”) as a Petition for Administrative Variance filed by the legal owner of the property, All Title Services, LLC (“Petitioner”) for the property located at 11811 Cedar Lane, Kingsville (the “Property”). The Petitioner is requesting Variance relief from the Baltimore County Zoning Regulations (“BCZR”), § 1A04.3.B.2.b to extend the Variance approved in Case No. 1981-0139-A to permit an addition to the existing home to be located 21 ft from the side property line in lieu of the minimum required 50 ft from the side property line.

The Property and requested relief is more fully depicted on the site plan (the “Site Plan”). (Pet. Ex.1). Floor Plans showing the existing and proposed building measurements (the “Floor Plans”). (Pet. Ex. 2). Plumbing, Electrical, and HVAC plans were also provided. (Pet. Ex. 3A, 3B, 3C). Three (3) street view photographs of the front of the existing house and side yard views. (Pet. Ex. 4A, 4B, 4C).

A Zoning Advisory Comment (“ZAC”) was received by Department of Environmental Protection and Sustainability (“DEPS”). The Petitioner having filed a Petition for Administrative Variance and the Property having been posted on February 5, 2023, and there being no request for a public hearing, a decision shall be rendered based upon the documentation presented. The

Petitioner has filed the supporting affidavits as required by §32-3-303 of the Baltimore County Code (“BCC”).

A variance request involves a two-step process, summarized as follows:

- (1) It must be shown the property is unique in a manner which makes it unlike surrounding properties, and that uniqueness or peculiarity must necessitate variance relief; and
- (2) If variance relief is denied, Petitioner will experience a practical difficulty or hardship.

Cromwell v. Ward, 102 Md. App. 691 (1995).

The Property was previously adjudicated to be unique in Case No.:1981-0139A. As a result, that factual finding is applicable to this case under the doctrine of collateral estoppel. *Garrity v. Maryland State Bd. of Plumbing*, 447 Md. 359, 368 (2016). (See also *Colandrea v. Wilde Lake Community Ass’n, Inc.*, 361 Md. 391 (2000); *Washington Suburban Sanitary Commission v. TKU Associates*, 281 Md. 1, 18-19 (1977)).

However, with regard to practical difficulty and unreasonable hardship, there are several problems with the requested Variance relief. First, an Administrative Variance relief under BCC, §32-3-303 requires that the Property be owner-occupied. The Property is owned by All Title Services, LLC, a Maryland limited liability company (the “Company”) which, according to SDAT records, is a forfeited entity. It is unclear why a title company would hold title to this residential Property. That fact notwithstanding, there was no evidence submitted that Dimitrios Thomaidis is the sole member of the Company, other than a typed entry on the Petition that he is the “owner and occupier.” Assuming *arguendo* that Mr. Thomaidis is the sole member of the Company, the Affidavit he signed affirms that “he lives in this house with his family.”

Second, the Site Plan, the Floor Plan, and the plumbing, electrical and HVAC plans all indicate that they were prepared for the “Levi’s Residence.” This fact is inconsistent with the assertion that Mr. Thomaidis is the “owner and occupier.”

Third, the Affidavit also asserts that Variance relief is for an ‘addition’ and seeks 21 ft side yard setback in lieu of the minimum of the required 50 ft. Upon review of the Site Plan and Floor Plans, the ‘addition’ is actually a 4-car garage along with a ‘garage workshop.’ It will have four (4) garage doors. While it may be characterized as an ‘attached garage,’ it should not be characterized as an ‘addition’ because it does not have livable space.

Fourth, per the Floor Plan, the proposed garage is at least 2,296 sf, but the existing house only measures 1,221 sf. It is the proposed size of the extra-large garage which generates the need for side yard Variance relief. Moreover, the Site Plan shows an existing, detached garage in the rear of the Property. (Pet. Ex. 1). As a result, I find that there is no practical difficulty or unreasonable hardship that would be suffered by the Company if side yard setback relief is not granted for a second, extra-large garage. *Montgomery County v. Rotwein*, 169 Md. App. 716, 906 A.2d 959 (2006). *Cromwell v. Ward*, 102 Md. App. 691, 651 A.2d 424 (1995). The practical difficulty alleged by the Petitioner is not the type of practical difficulty required by case law; it is self-inflicted. The law is clear that self-inflicted hardship cannot form the basis for a claim of practical difficulty. Speaking for the Court in *Cromwell, supra*, Judge Cathell noted:

Were we to hold that self-inflicted hardships in and of themselves justified variances, we would, effectively, not only generate a plethora of such hardships but we would also emasculate zoning ordinances. Zoning would become meaningless. We hold that practical difficulty or unnecessary hardship for zoning variance purposes cannot generally be self-inflicted.

Cromwell, at 722. In this case, the Petitioner can still make reasonable use of the Property as a home with the existing garage, without granting of Variance relief from the required setbacks for

the proposed garage.

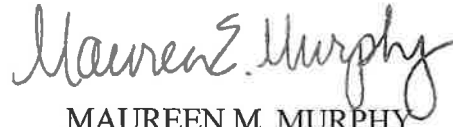
In *Chesley v. Annapolis*, 933 A.2d 475, 176 Md. App. 413 (Md. App. 2007), the Court of Special Appeals relied on the Court of Appeals holding in *Belvoir Farms Homeowners Ass'n. Inc. v. North*, 355 Md. 259, 276, 734 A.2d 227 (1999), wherein the Court recognized that the purpose of zoning restrictions is "to prevent exceptions as far as possible," so that the specific need for the variance "must be substantial and urgent and not merely for the convenience of the applicant[.]" (citing *Carney v. City of Baltimore*, 201 Md. 130, 137, 93 A.2d 74 (1952)). The *Chesley* Court emphasized the Court of Appeals' holding in *Belvoir Farms* in stating that: "it generally is not a hardship to be without a desired convenience or amenity on one's property, because zoning restrictions are to be enforced in the absence of a "substantial and urgent" need for a variance." *Id.* At 933 A.2d 488. (See *Belvoir Farms Homeowners Ass'n*, 355 Md. at 261, 734 A.2d 227). The *Chesley* Court stated: "the fact that a particular improvement would enhance the owner's enjoyment of the property did not establish that it would be a hardship to continue using the property without the variance." *Id.* At 933 A.2d 488-489. See, e.g., *Citrano v. North*, 123 Md. App. 234, 717 A.2d 960 (1998) (fact that proposed deck created a "pleasant amenity" did not create hardship); *North v. St. Mary's County*, 99 Md. App. 502, 519, 638 A.2d 1175 (owner's desire to build gazebo to read and view creek is not evidence of hardship), *cert. denied sub nom. Enoch v. North*, 336 Md. 224, 647 A.2d 444 (1994).

Accordingly, and for the reasons given herein, the requested Variance will be denied.

THEREFORE, IT IS ORDERED, this **27th** day of **February, 2023**, by the Administrative Law Judge for Baltimore County, that the Petition for Variance from the Baltimore County Zoning Regulations ("BCZR"), § 1A04.3.B.2.b to extend the Variance approved in Case No. 1981-0139-A to permit an addition to the existing home to be located 21 ft. from the side property line in lieu

of the minimum required 50 ft. from the side property line, be and it is hereby, **DENIED**.

Any appeal of this decision must be made within thirty (30) days of the date of this Order.

A handwritten signature in cursive script that reads "Maureen M. Murphy".

MAUREEN M. MURPHY
Administrative Law Judge
for Baltimore County

MEM:dlw

ADMINISTRATIVE ZONING PETITION
FOR ADMINISTRATIVE VARIANCE – OR – ADMINISTRATIVE SPECIAL HEARING
To be filed with the Department of Permits, Approvals and Inspections

Affidavit in Support of Administrative Variance

(THIS AFFIDAVIT IS NOT REQUIRED FOR AN HISTORIC ADMINISTRATIVE SPECIAL HEARING)

The undersigned hereby affirms under the penalties of perjury and upon personal knowledge to the Administrative Law Judge for Baltimore County, that the information herein given is true and correct and that the undersigned is/are competent to testify in the event that a public hearing is scheduled in the future with regard thereto. In addition, the undersigned hereby affirms that the property is not the subject of an active Code Enforcement case and that the residential property described below is owned and occupied by the undersigned.

Address: 11811 Cedar Lane Kingsville MD 21087
Print or Type Address of property City State Zip Code

Based upon personal knowledge, the following are the facts upon which I/we base the request for an Administrative Variance at the above address. **(Clearly state practical difficulty or hardship here)**

Petitioner lives in this house with his family and is proposing to build an addition on their family home. The addition was designed to hold the property line setback previously approved in Case No. 1981-0139-A. While the addition does not get any closer to the property line than the existing home, the length of the addition caused Zoning Review to instruct Petitioner to file this variance petition to extend the existing variance to include the addition to the home. The property was previously determined to be unique as shown by the approval of the prior variance. Its grade and shape (long and thin) severely limits the ability to place a home on the property. Petitioner faces further practical difficulty because the proposed addition is in line with the existing home and does not create any reduction in the setback already approved for the property and existing home. Petitioner was originally told the addition would not require a variance as long as it respects the existing setback, but was then told that a variance was needed when he applied for a permit to construct the addition designed in reliance on the initial statement that this setback was permitted. Denial of the variance would certainly cause a practical difficulty.

(If additional space for the petition request or the above statement is needed, label and attach it to this Form)

773
Signature of Owner (Affiant)
Dimitrios Thomaidis, owner and authorized representative
Name- Print or Type

Signature of Owner (Affiant)

Name- Print or Type

The following information is to be completed by a Notary Public of the State of Maryland

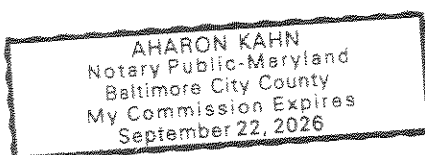
STATE OF MARYLAND, COUNTY OF BALTIMORE, to wit:

I HEREBY CERTIFY, this 13 day of January, 2023, before me a Notary of Maryland, in and for the County aforesaid, personally appeared:

Print name(s) here: Dimitrios Thomaidis

the Affiant(s) herein, personally known or satisfactorily identified to me as such Affiant(s).

AS WITNESS my hand and Notaries Seal



AK
Notary Public
9/22/2026
My Commission Expires

PROPERTY DESCRIPTION

Beginning for the same on the eastmost side of a street laid out 30 feet wide through the property formerly owned by the McCubbin Realty Corporation and known as Cedar Avenue, which point of beginning is located at a point on said Cedar Avenue distant 525 feet from the northwestmost corner of a lot of ground heretofore conveyed by The McCubbin Realty Corporation to Edward T. Lacey and wife by deed dated August 13, 1941 and recorded among the Land Records of Baltimore County in Liber CWB, Jr. 1184, folio 114, etc, and north 48 degrees 46 minutes east 525 feet from the end of the first line of the aforesaid Deed to Edward T. Lacey and wife and continuing the same course north 48 degrees 46 minutes east 105 feet; and running thence south 41 degrees 14 minutes east 678.68 feet; and running thence south 48 degrees 29 minutes seconds west 105 feet; thence north 41 degrees 14 minutes west 679.18 feet to the place of beginning.

Also,

Southeast Side of Cedar Lane,
320 feet Northeast the centerline
of Cross Road.

2023-0015-A

BALTIMORE COUNTY DEPARTMENT OF PERMITS, APPROVALS AND INSPECTIONS
ZONING REVIEW OFFICE

ADMINISTRATIVE VARIANCE INFORMATION SHEET AND DATES

Case Number: 2023 - 0015 -A Address 11811 Cedar Lane

Contact Person: M. Ted Vallman Phone Number: 410-887-3391
Planner, Please Print Your Name

Filing Date: 1/24/2023 Posting Date: 2/5/2023 Closing Date: 2/20/2023

Any contact made with this office regarding the status of the administrative variance should be through the contact person (planner) using the case number.

1. **POSTING/COST:** The petitioner must use one of the sign posters on the approved list and the petitioner is responsible for all printing/posting costs. Any reposting must be done only by one of the sign posters on the approved list and the petitioner is again responsible for all associated costs. The zoning notice sign must be visible on the property on or before the posting date noted above. It should remain there through the closing date.
2. **DEADLINE:** The closing date is the deadline for a neighbor (occupant or owner) within 1,000 feet to file a formal request for a public hearing. Please understand that even if there is no formal request for a public hearing, the process is not complete on the closing date.
3. **ORDER:** After the closing date, the file will be reviewed by the Administrative Law Judge. The judge may: (a) grant the requested relief; (b) deny the requested relief; or (c) order that the matter be set in for a public hearing. If all County/State agencies' comments are received, you will receive written notification as to whether the petition has been granted, denied, or will proceed to a public hearing. This decision is usually made within 10 days of the closing date. The written order will be mailed to you by First Class mail.
4. **POSSIBLE PUBLIC HEARING AND REPOSTING:** In cases that must go to a public hearing (whether due to a neighbor's formal request or by order of the Administrative Law Judge), notification will be forwarded to you. The sign on the property must be changed giving notice of the hearing date, time and location. As when the sign was originally posted, certification of this change and a photograph of the altered sign must be forwarded to this office.

Petitioner: This Part of the Form is for the Sign Poster Only (Detach Along Dotted Line)

USE THE ADMINISTRATIVE VARIANCE SIGN FORMAT

Case Number: 2023 - 0015 -A Address 11811 Cedar Lane

Petitioner's Name: All Title Services LLC Telephone (Cell) 410-261-9152

Posting Date: 2/5/2023 Closing Date: 2/20/2023

Wording for Sign: To Permit Section 1A04.3.B.2.b to extend the variance
approval in Case No. 1981-0139-A to permit an addition to
the existing home to be located 21 feet from the side property
line in lieu of 50 feet.

BALTIMORE COUNTY, MARYLAND
OFFICE OF BUDGET AND FINANCE
MISCELLANEOUS CASH RECEIPT

No. 221116

Date: 1/24/2023

Fund	Dept	Unit	Sub Unit	Rev Source/ Obj	Sub Rev/ Sub Obj	Dept	Obj	BS Acct	Amount
001	806	0000		6150					\$ 75
Total:									\$ 75.

Rec From: Venable LLP

For: Administrative Zoning Variance
 11811 Cedar Lane
 Zoning Case # 2023-0015-4

DISTRIBUTION

WHITE - CASHIER PINK - AGENCY YELLOW - CUSTOMER GOLD - ACCOUNTING
 PLEASE PRESS HARD!!!!

**CASHIER'S
 VALIDATION**

CERTIFICATE OF POSTING

2023-0015-A

RE: Case No.: _____

Petitioner/Developer: _____

All Title Services, LLC.

February 20, 2023

Date of Hearing/Closing: _____

Baltimore County Department of
Permits, Approvals and Inspections
County Office Building, Room 111
111 West Chesapeake Avenue
Towson, Maryland 21204

Attn: Kristen Lewis:

Ladies and Gentlemen:

This letter is to certify under the penalties of perjury that the necessary sign(s) required by law were posted conspicuously on the property located at: _____

11811 Cedar Lane ***SIGN 1***

February 5, 2023

The sign(s) were posted on _____
(Month, Day, Year)



Sincerely,

 February 5, 2023
(Signature of Sign Poster) (Date)

SSG Robert Black

(Print Name)

1508 Leslie Road

(Address)

Dundalk, Maryland 21222

(City, State, Zip Code)

(410) 282-7940

(Telephone Number)

CERTIFICATE OF POSTING

2023-0015-A

RE: Case No.: _____

Petitioner/Developer: _____

All Title Services, LLC.

February 20, 2023

Date of Hearing/Closing: _____

Baltimore County Department of
Permits, Approvals and Inspections
County Office Building, Room 111
111 West Chesapeake Avenue
Towson, Maryland 21204

Attn: Kristen Lewis:

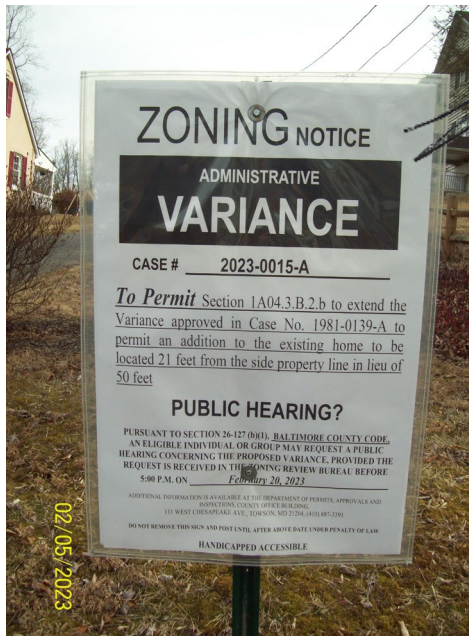
Ladies and Gentlemen:

This letter is to certify under the penalties of perjury that the necessary sign(s) required by law were posted conspicuously on the property located at: _____

11811 Cedar Lane ***SIGN 2***

February 5, 2023

The sign(s) were posted on _____
(Month, Day, Year)



Sincerely,

 February 5, 2023
(Signature of Sign Poster) (Date)

SSG Robert Black

(Print Name)

1508 Leslie Road

(Address)

Dundalk, Maryland 21222

(City, State, Zip Code)

(410) 282-7940

(Telephone Number)

BALTIMORE COUNTY, MARYLAND

Inter-Office Correspondence



TO: Hon. Paul M. Mayhew; Managing Administrative Law Judge
Office of Administrative Hearings

FROM: Jeff Livingston, Department of Environmental Protection and
Sustainability (EPS) - Development Coordination

DATE: February 6, 2023

SUBJECT: DEPS Comment for Zoning Item # 2023-0015-A
Address: 11811 Cedar Lane
Legal Owner: All Title Services, LLC

Zoning Advisory Committee Meeting of February 6, 2023.

X The Department of Environmental Protection and Sustainability offers the following comments on the above-referenced zoning item:

- X Development of the property must comply with the Regulations for the Protection of Water Quality, Streams, Wetlands and Floodplains (Sections 33-3-101 through 33-3-120 of the Baltimore County Code).
- X Development of this property must comply with the Forest Conservation Regulations (Sections 33-6-101 through 33-6-122 of the Baltimore County Code).

Additional Comments:

Forest Conservation Law may be addressed by filing a Single Lot Declaration of Intent provided forest clearing will not exceed 20,000 sf for building the pool.

Forest Buffer Easement recordation will not be required for this accessory structure since it is out of the buffer area; however, please be advised that future development activities at this lot may trigger this requirement. Moreover, in no instance shall the stream, wetlands or forest buffer towards the rear of the property be impacted without permission from EPS.

Reviewer: Thomas Krispin

BALTIMORE COUNTY, MARYLAND

Inter-Office Correspondence



TO: Hon. Paul M. Mayhew; Managing Administrative Law Judge
Office of Administrative Hearings

FROM: Jeff Livingston, Department of Environmental Protection and
Sustainability (EPS) - Development Coordination

DATE: February 2, 2023

SUBJECT: DEPS Comment for Zoning Item # 2023-0015-A
Address: 11811 Cedar Lane
Legal Owner: All Title Services, LLC

Zoning Advisory Committee Meeting of February 6, 2023.

X The Department of Environmental Protection and Sustainability offers the following comments on the above-referenced zoning item:

1. If the zoning variance is granted, Ground Water Management requests that it be conditioned to include the following:
 - a. The proposed addition has to meet GWM policies and regulations.

Additional Comments:

Reviewer: Rochelle V. Underwood

ZONING ADVISORY COMMITTEE AGENDA
ROOM 123, COUNTY OFFICE BUILDING
DISTRIBUTION MEETING January 30, 2023
FORMAL OR INFORMAL RESPONSE DUE AT February 6, 2023 Meeting

* Agenda Only
+ Agenda and Petition
& Agenda and Plat
Agenda, Petition and Plat

Distribution:

* Administrative Law Judge, Commissioner (Paul M. Mayhew), MS #4103, dwiley@baltimorecountymd.gov; dmignon@baltimorecountymd.gov
* PAI, Zoning Review H.O. Hearing File (Kristen Lewis), klewis@baltimorecountymd.gov
* PAI, Zoning Review DRC/ZAC Meeting File (Jeff Perlow), JPerlow@baltimorecountymd.gov
* PAI, Development Management (Lloyd Moxley), MS # 1105, lmoxley@baltimorecountymd.gov
* PAI, Code Enforcement (Lisa Henson), MS # 1105, lhenson@baltimorecountymd.gov
* PAI, Building Inspection (Matt Gawel), mg@baltimorecountymd.gov
* Economic Development Commission, Business Develop. (Stanley Jacobs), MS # 4300, sjacobs@baltimorecountymd.gov
* Highways (Tom Hargis), MS #1003 thargis@baltimorecountymd.gov
* Neighborhood Improvements (Marcia Williams), MS #4201, myneighborhoodimprovment@baltimorecountymd.gov
* County Council, District 3, (Tom Bostwick), MS #2201, council1@baltimorecountymd.gov
tbostwick@baltimorecountymd.gov
* Mike Ruby (Newspaper), mildmanneredcomm@aol.com
+ People's Counsel, rwheatley@baltimorecountymd.gov
+ IF CRITICAL AREA, Maryland Office of Planning (Joseph Griffiths), joseph.griffiths@maryland.gov
+ Kathy Are, kare@baltimorecountymd.gov
& State Highway Administration, Access Permits Division (Steven Autry), SAutry@mdot.maryland.gov
& Fire Department (Inspector Muddiman), MS # 1102F, dmuddiman@baltimorecountymd.gov
& PAI, Development Plans Review (Vishnu Desai), vdesai@baltimorecountymd.gov
People's Counsel (Peter Zimmerman), MS #4204 pzimmerman@baltimorecountymd.gov
Planning Office (Jenifer Nugent), MS # 4101, jnugent@baltimorecountymd.gov; Henry Ayakwah hayakwah@baltimorecountymd.gov; Taylor Bensley tbensley@baltimorecountymd.gov
DEPS (Jeff Livingston) – 2 copies of each, MS # 1319, jlivingston@baltimorecountymd.gov; Steve Ford, sford@baltimorecountymd.gov
IF FLOODPLAIN, Maryland Department of the Environment, kevin.wagner@maryland.gov
Public Works (Terry Curtis), MS #1315, tcurtis@baltimorecountymd.gov
* IF ELDERLY HOUSING, Community Development, MS #1102M
* IF TOWER, Tower Coordinator, c/o OIT, MS #2007
IF HELICOPTER, Police Department, Aviation Unit (Officer Taylor or Sgt. Wines)
IF PAWN SHOP, Police Department, Burglary/Pawn Unit (Det. Kropfelder), MS #1102E

The attached information is being forwarded to you for comment. Your comments should reflect any conflicts with the codes, standards, or regulations of your office or department. Development representatives that attend the meeting should be prepared to submit their agency's response as either "no comment", "written comment" or "more review time required" within one week at the next meeting. If no written response is received within two weeks, it is assumed that your agency has "no comment". All written comments must reference the ZAC item number. All comments received will be compiled and included in the zoning/development file for review and consideration by the hearing officer during the course of the upcoming zoning/development hearing.

If your agency or section is not represented at the meeting, you should return your written comments to the Department of Permits and Development Management (PDM), Room 111, County Office Building, 111 West Chesapeake Avenue, Towson, MD 21204 (Mail Stop #1105), Attention: Kristen Lewis

If you have any questions regarding a particular zoning petition, please contact the Zoning Review Planner (see initials after item number) at 410-887-3391.

ZAC AGENDA

Case Number: 2023-0008 **Reviewer:** Mitchell Kellman
Existng Use: RESIDENTIAL **Proposed Use:** RESIDENTIAL
Type: ADMINISTRATIVE VARIANCE
Legal Owner: Terrye and Robert Grosshandler
Contract Purchaser: No Contract Purchaser was set.

Critical Area: No **Flood Plain:** No **Historic:** No **Election Dist:** 3 **Council Dist:** 2

Property Address: 8205 TAMA CT

Location: Property located on the East side of Tama Court, 200 feet South of Marcia Drive.

Existing Zoning: DR 1 **Area:** .81 ACRES

Proposed Zoning:

ADMINISTRATIVE VARIANCE:

BCZR 1B02.3.B (202.3, R.40, 1955 regulations): To permit a dwelling addition (attached garage) with a 13-foot side yard and 36-foot side yard sum in lieu of 20 feet and 50 feet, respectively.

Attorney: Not Available

Prior Zoning Cases: None

Concurrent Cases: None

Violation Cases: None

Closing Date: 02/13/2023

Miscellaneous Notes:

ZAC AGENDA

Case Number: 2023-0014-A **Reviewer:** Jason Seidelman

Existing Use: RESIDENTIAL **Proposed Use:** RESIDENTIAL

Type: VARIANCE

Legal Owner: Michael and Jeanne Demos

Contract Purchaser: No Contract Purchaser was set.

Critical Area: No **Flood Plain:** No **Historic:** No **Election Dist:** 5 **Council Dist:** 3

Property Address: 1913 STRINGTOWN RD

Location: Property located on the Southeast side of Stringtown Rd. (40 feet), 2625 feet Southwest of intersection with cold Bottom Rd, (20 feet)

Existing Zoning: RC 2

Area: 10.62 ACRES

Proposed Zoning:

VARIANCE:

BCZR 400.1: To permit an accessory building (garage) to be located in the front and side yards, in lieu of the required rear yard only.

BCZR 400.3: To permit an accessory building (garage) with a height of 22 feet in lieu of the required maximum height of 15 feet.

Attorney: Not Available

Prior Zoning Cases: None

Concurrent Cases: None

Violation Cases: None

Closing Date:

Miscellaneous Notes:

ZAC AGENDA

Case Number: 2023-0015-A **Reviewer:** Mitchell Kellman

Existing Use: RESIDENTIAL **Proposed Use:** RESIDENTIAL

Type: ADMINISTRATIVE VARIANCE

Legal Owner: All Title Services, LLC.

Contract Purchaser: No Contract Purchaser was set.

Critical Area: No **Flood Plain:** No **Historic:** No **Election Dist:** 11 **Council Dist:** 5

Property Address: 11811 CEDAR LN

Location: Property located on the Southeast side of Cedar Lane, 320 feet Northeast of the centerline of Cross Rd.

Existing Zoning: RC 5

Area: 1.3 ACRES

Proposed Zoning:

ADMINISTRATIVE VARIANCE:

BCZR 1A04.3.B.2.b: To extend the variance approved in Case No. 1981-0139-A to permit an addition to the existing home to be located 21 feet from the side property line in lieu of the minimum required 50 feet from the side property line. The proposed addition does not get any closer to the property line than the existing home but extends the existing setback variances in the prior case.

Attorney: Adam M. Rosenblatt

Prior Zoning Cases: 1981-0139-A

Concurrent Cases: None

Violation Cases: None

Closing Date: 02/20/2023

Miscellaneous Notes:

ZAC AGENDA

Case Number: 2023-0016-A **Reviewer:** Jason Seidelman

Existing Use: RESIDENTIAL **Proposed Use:** RESIDENTIAL

Type: ADMINISTRATIVE VARIANCE

Legal Owner: Stephen and Christina Pedrotty

Contract Purchaser: No Contract Purchaser was set.

Critical Area: No **Flood Plain:** No **Historic:** No **Election Dist:** 8 **Council Dist:** 3

Property Address: 710 BOSLEY RD

Location: Property located on the Northeast side of Bosley Rd., 262 feet Northeast of Warren Rd.

Existing Zoning: DR 3.5

Area: 3.38 ACRES

Proposed Zoning:

ADMINISTRATIVE VARIANCE:

BCZR 400.1 and 400.3: To permit an accessory building (garage) to be located in the side yard and have height of 20 feet in lieu of the required rear yard placement and maximum height of 15 feet.

Attorney: Not Available

Prior Zoning Cases: None

Concurrent Cases: None

Violation Cases: None

Closing Date: 02/20/2023

Miscellaneous Notes:

ZAC AGENDA

Case Number: 2023-0017-SPHA **Reviewer:** Gary Hucik
Existing Use: RESIDENTIAL **Proposed Use:** RESIDENTIAL
Type: SPECIAL HEARING, VARIANCE
Legal Owner: Brian Gallagher
Contract Purchaser: No Contract Purchaser was set.

Critical Area: No **Flood Plain:** No **Historic:** No **Election Dist:** 9 **Council Dist:** 2

Property Address: 703 ABELL RIDGE CIR

Location: Property located on the Northwest corner of West Joppa Rd. and Abell Ridge Circle.

Existing Zoning: DR 2 **Area:** 1.5207 ACRES

Proposed Zoning:

SPECIAL HEARING:

1.) BCZR 500.7: To permit an accessory building (pool house) to have full bathroom and the refreshment area to have a stove. The structure will not be used as a dwelling.

2.) To permit any such further relief as may be deemed necessary by the Administrative Law Judge.

VARIANCE:

1.) BCZR 400.3: To permit the height of a proposed accessory building (pool house) of 18 feet in lieu of the required 15 feet.

2.) BCZR 400.1: To permit the proposed accessory structure (pool house pool) and the existing accessory building (garage) not to be located in the third of the rear yard of the lot, which is farthest removed from any street and to occupy more than 50 % of any such third.

3.) To permit any such further relief as may be deemed necessary by the Administrative Law Judge.

Attorney: Not Available

Prior Zoning Cases: 2006-0464-A

Concurrent Cases: None

Violation Cases: None

Closing Date:

Miscellaneous Notes:

SETBACK AND SCREENING



2023-0015-4

SEPARATION BETWEEN HOUSES



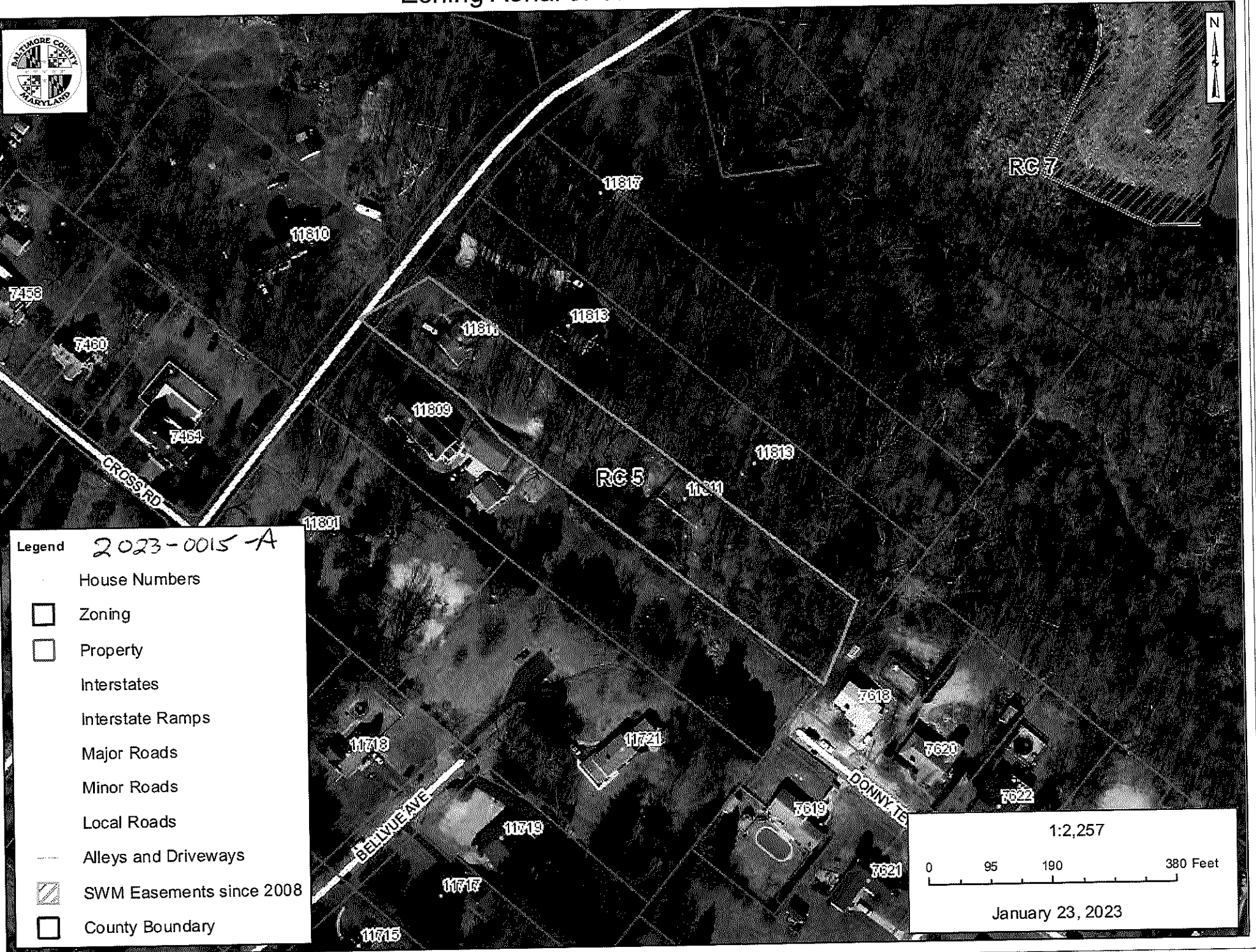
2023-0015-A

FRONT OF EXISTING DWELLING



2023-0015-A

Zoning Aerial of 11811 Cedar Lane



View Map

View GroundRent Redemption

View GroundRent Registration

Special Tax Recapture: None

Account Identifier: District - 11 Account Number - 1118049071

Owner Name: ALL TITLE SERVICES LLC

Use: RESIDENTIAL

Principal Residence: YES

Mailing Address: 11809 CEDAR LANE
KINGSVILLE MD 21087-

Deed Reference: /45152/ 00060

Premises Address: 11811 CEDAR LN
KINGSVILLE 21087-1639

Legal Description: SES CEDAR AV
1250 N BRADSHAW RD

Map: Grid: Parcel: Neighborhood: Subdivision: Section: Block: Lot: Assessment Year: Plat No:

0055 0020 0381 11010005.04 0000 2021 Plat Ref:

Town: None

Primary Structure Built: 1950

Above Grade Living Area: 1,815 SF

Finished Basement Area: 144 SF

Property Land Area: 1.3000 AC

County Use: 04

StoriesBasementType: 1 1/2 YES

Exterior QualityFull/Half BathGarage: STANDARD UNITSTUCCO/4 1 full/1 half 1Att/1Det

Last Notice of Major Improvements:

Value Information

Base Value Value Phase-in Assessments

As of As of As of

01/01/2021 07/01/2022 07/01/2023

Land: 97,800 97,800

Improvements: 173,300 206,400

Total: 271,100 304,200 293,167 304,200

Preferential Land: 0 0

Transfer Information

Seller: HIATT TIMOTHY S Date: 07/22/2021 Price: \$350,000

Type: NON-ARMS LENGTH OTHER Deed1: /45152/ 00060 Deed2:

Seller: ROBERTSON JAMES H Date: 09/28/1990 Price: \$178,000

Type: ARMS LENGTH IMPROVED Deed1: /08606/ 00808 Deed2:

Seller: Date: Price:

Type: Deed1: Deed2:

Exemption Information

Partial Exempt Assessments: Class 07/01/2022 07/01/2023

County: 000 0.00

State: 000 0.00

Municipal: 000 0.00|0.00 0.00|0.00

Special Tax Recapture: None

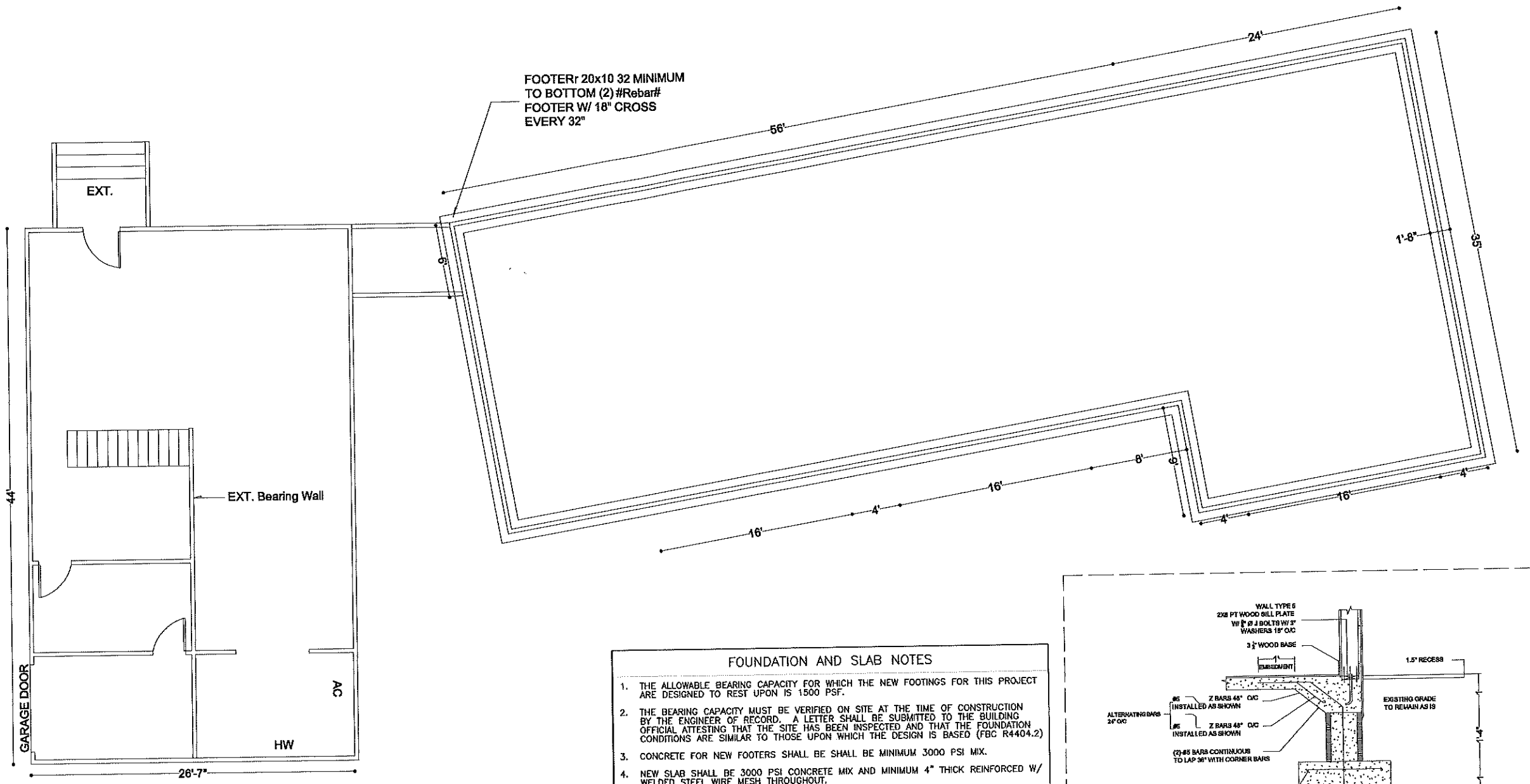
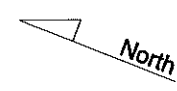
Homestead Application Information

Homestead Application Status: No Application

Homeowners' Tax Credit Application Information

Homeowners' Tax Credit Application Status: No Application Date:

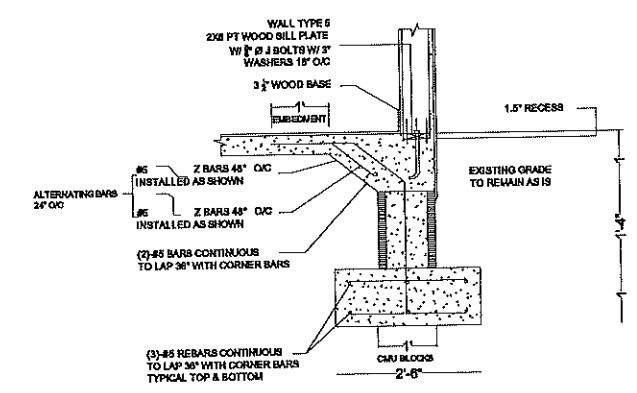
#2023-0015-A



FOOTER: 20x10 32 MINIMUM
TO BOTTOM (2) #Rebar#
FOOTER W/ 18" CROSS
EVERY 32"

FOUNDATION AND SLAB NOTES

1. THE ALLOWABLE BEARING CAPACITY FOR WHICH THE NEW FOOTINGS FOR THIS PROJECT ARE DESIGNED TO REST UPON IS 1500 PSF.
2. THE BEARING CAPACITY MUST BE VERIFIED ON SITE AT THE TIME OF CONSTRUCTION BY THE ENGINEER OF RECORD. A LETTER SHALL BE SUBMITTED TO THE BUILDING OFFICIAL ATTESTING THAT THE SITE HAS BEEN INSPECTED AND THAT THE FOUNDATION CONDITIONS ARE SIMILAR TO THOSE UPON WHICH THE DESIGN IS BASED (FBC R4404.2)
3. CONCRETE FOR NEW FOOTERS SHALL BE MINIMUM 3000 PSI MIX.
4. NEW SLAB SHALL BE 3000 PSI CONCRETE MIX AND MINIMUM 4" THICK REINFORCED W/ WELDED STEEL WIRE MESH THROUGHOUT.
5. NEW CONCRETE FOOTER SHALL BE PLACED OVER A SINGLE LAYER OF 20 MIL VISQUEEN OVER COMPACTED & TREATED SOIL.
6. TERMITE PROTECTION: THE EXCAVATED AREAS FOR THE INSTALLATION OF NEW FOOTINGS AND SLAB MUST BE FULLY TERMITE TREATED PRIOR TO FINAL POUR. THE TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS A PREVENTIVE TREATMENT TO NEW CONSTRUCTION.
7. NEW SLAB SHALL BE FORMED AND POURED LEVEL WITHOUT DEPRESSIONS, AND SHALL NOT BE LOADED UNTIL 48 HOURS PAST THE TIME OF POUR.
8. INSTALL 1.5" RECESS FOR WATER STOP IN THE PERIMETER OF THE NEW SLAB AT THE NEW EXTERIOR WALLS.

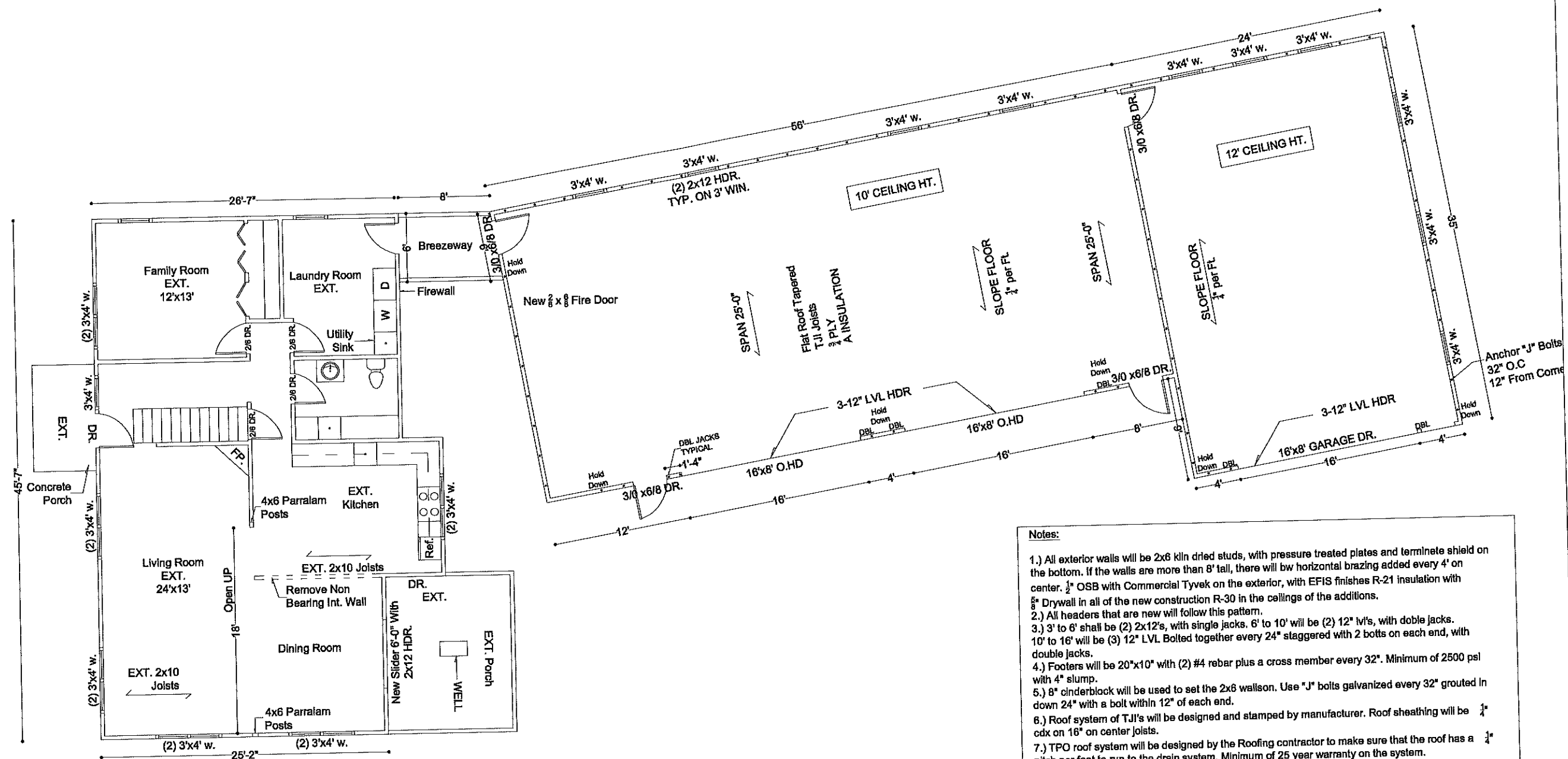


Footing Detail- Garages

N.T.S.

 Existing Basement & New Garage Footing
Scale: 1/4

LEVI'S RESIDENCE 11811 Cedar Lane Kingsville, Md. 21087	Drawn By: Checked By: Scale: 1/4 Date:	Sheet Title: Existing House- With Basement	Sheet Number: A-1
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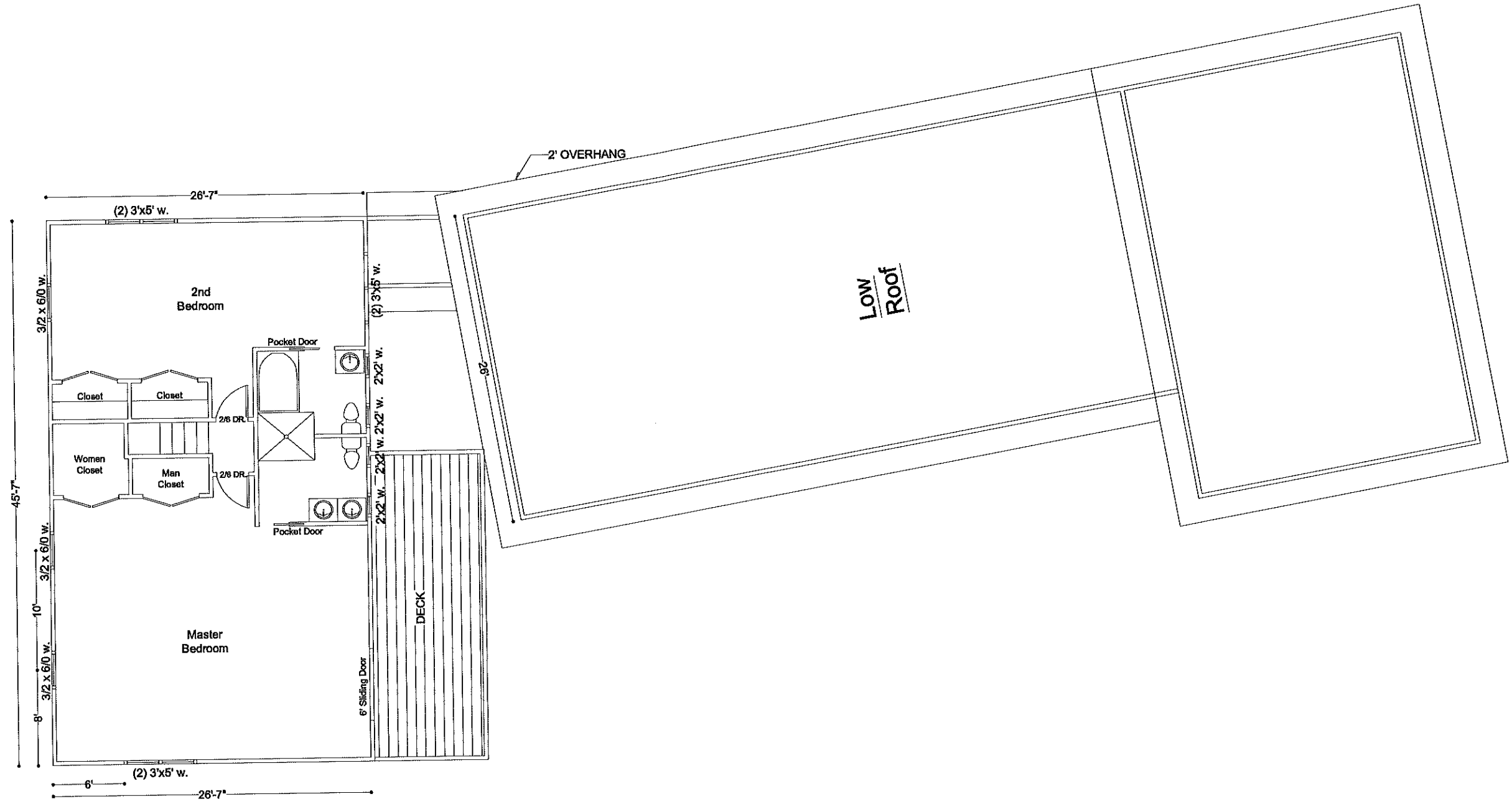
LEVI'S RESIDENCE
11811 Cedar Lane
Kingsville, Md. 21087

Drawn By:
Checked By:
Scale: 1/4
Date:

Sheet Title:
First Floor New-
With Garages

Sheet Number:

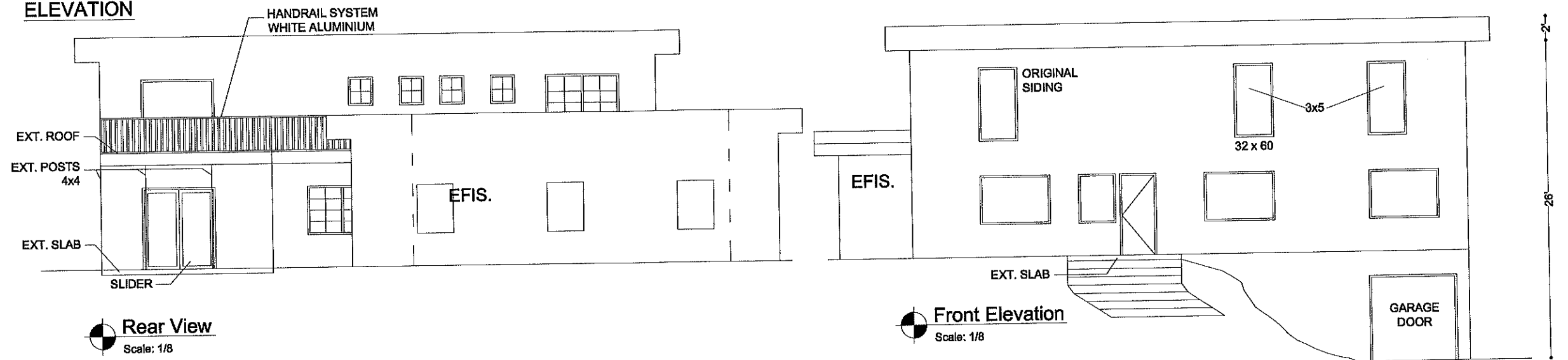
A-2



 **Second Floor New**
Scale: 1/4

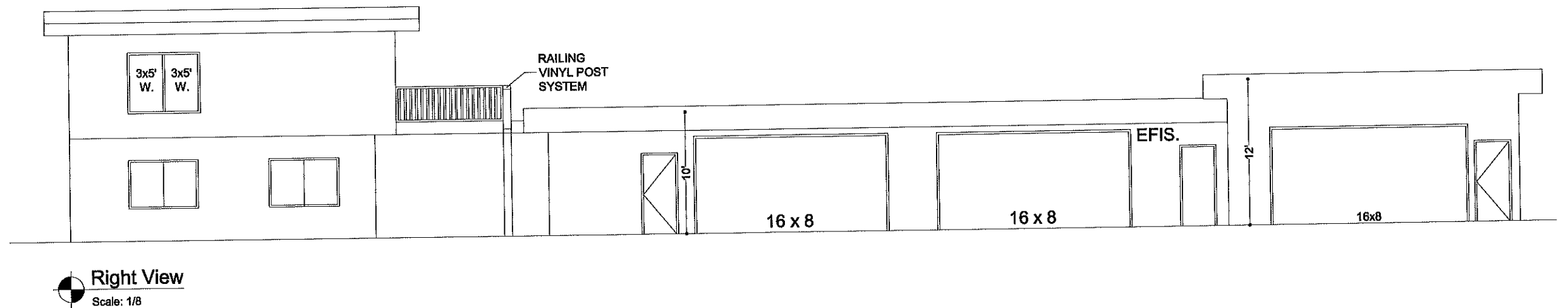
LEVI'S RESIDENCE 11811 Cedar Lane Kingsville, Md. 21087	Drawn By: Checked By: Scale: 1/4 Date:	Sheet Title: Second Floor New	Sheet Number: A-3
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ELEVATION



Rear View
Scale: 1/8

Front Elevation
Scale: 1/8



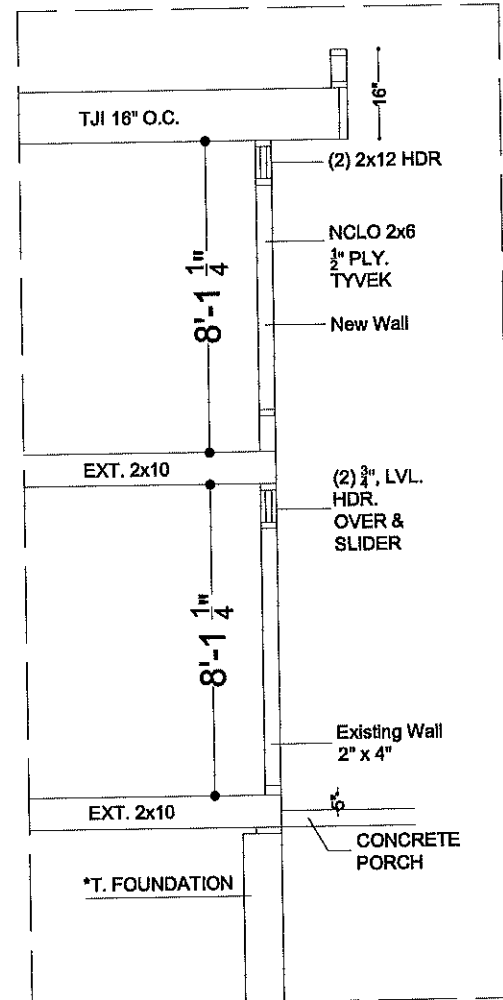
Right View
Scale: 1/8

LEVI'S RESIDENCE
11811 Cedar Lane
Kingsville, Md. 21087

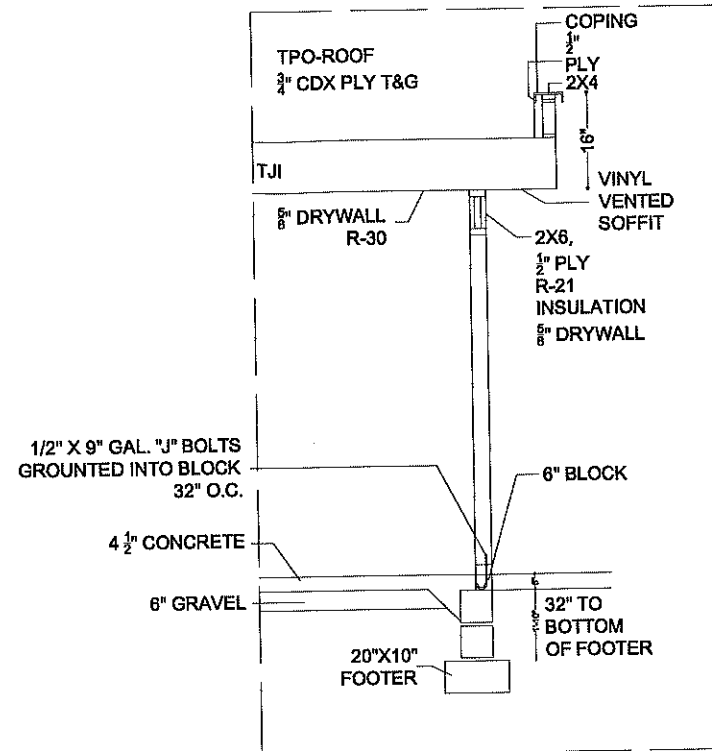
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Scale: 1/4
Date:

Sheet Title:
Elevation

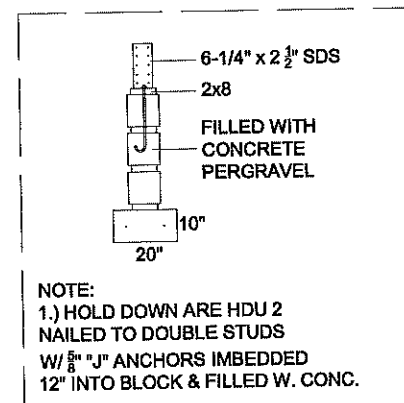
Sheet Number:
A-5



Detail A. (Main House Wall)
Scale: 1/2

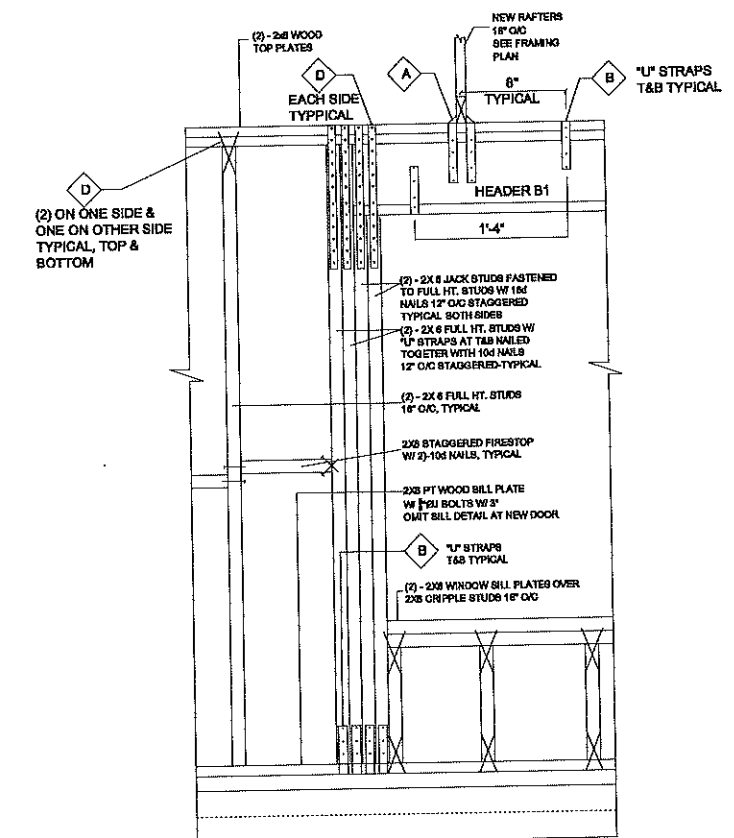


Detail B. (Garage Walls Typical)
Scale: 1/2



Detail C. (Hold Down)
Scale: 1/2

DESIGN LOADS	
CODES:	2014 FBC & ASCE 7-10
LIVE LOADS:	
NEW FLAT ROOF	20 PSF
DEAD LOADS:	
NEW FLAT ROOF	25 PSF
ROOFING	16 PSF
SHEATHING	2.5 PSF
FRAMING	3.0 PSF
INSULATION	0.5 PSF
CEILING	2.75 PSF
DEFLECTION:	
NEW ROOF FRAMING	L/240 OF SPAN
DESIGN WIND PRESSURES:	
WIND SPEED:	170 MPH
BLDG CAT.:	II
BLDG EXP.:	C
IMPR. FACT.:	1.00
$h=14'$	$K(z) = 0.85$
VELOCITY PRESSURE:	53.5 PSF
INT. PRES. COEFFS:	+/- 0.18
$a = 10\%$ OF 4' OR 0.4h	4.0'



**WALL TYPE-5
NEW WOOD FRAMING DETAIL**
(N.T.S.)

LEVI'S RESIDENCE
11811 Cedar Lane
Kingsville, Md. 21087

Drawn By:
Checked By:
Scale: 1/2
Date:

Sheet Title:
Detail - A

Sheet Number:
A-6

GENERAL NOTES

GENERAL REQUIREMENTS:

- ALL WORK AND DESIGN LOADING SHALL BE IN ACCORDANCE WITH THE 2014 FLORIDA BUILDING CODE AND ALL AMENDMENTS, ADDITIONS, AND ASCE 7-10.

CONCRETE:

- CONCRETE WORK AND REINFORCING STEEL INSTALLATION SHALL BE IN ACCORDANCE WITH THE RECENT ACI CODES.
- CONCRETE FOR THIS PROJECT SHALL BE NORMAL WEIGHT AGGREGATE CONCRETE WITH A MINIMUM COMPRESSIVE STRENGTH $f'(c)$ OF 3000 PSI AT 28 DAYS & A MAXIMUM WATER-CEMENTITIOUS MATERIAL RATIO OF 0.4 BY WEIGHT PER ACI318, TABLE 4.2.2.

REINFORCING STEEL:

- REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615 GRADE 60 STEEL ($F_y = 60\text{KSI}$).
- REINFORCING INSTALLATION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE RECENT ACI CODE.
- REINFORCING STEEL SHALL HAVE THE FOLLOWING MINIMUM COVER:
BEAMS PRIMARY REINFORCEMENT AND STIRRUPS 1.5"
FOOTING 3.0"
- CONCRETE MASONRY BLOCKS SHALL BE INSTALLED WITH MASONRY JOINT REINFORCEMENT AT EVERY COURSE. REINFORCEMENT SHALL BE 9 GAUGE LADDER TYPE REINFORCEMENT CONTINUOUS AND LAPPED MINIMUM TWO BLOCK WIDTHS & INSERTED INTO POURED CELLS OR TIE COLUMNS MINIMUM 4".

WOOD:

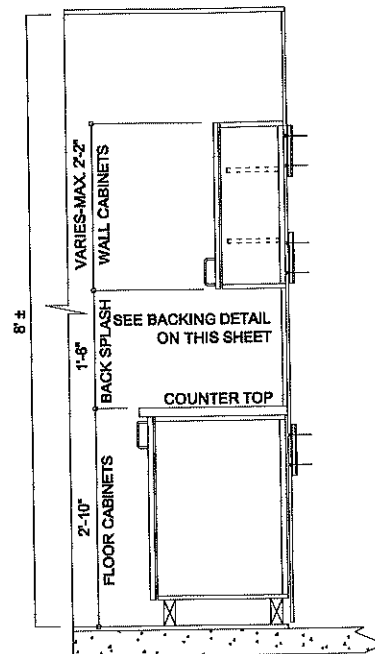
- WOOD FRAMING WORK SHALL BE IN ACCORDANCE WITH NDS-05 CODE.
- WOOD SHALL CONFORM TO SOUTHERN PINE NO. 1 OR BETTER WITH MINIMUM $F(b)=1,250$ PSI, MAXIMUM MOISTURE CONTENT 19 PERCENT.
- WOOD FRAMING TO BE FULLY PRESSURE TREATED WHERE IT IS IN CONTACT WITH CONCRETE OR MASONRY.

SHEATHING:

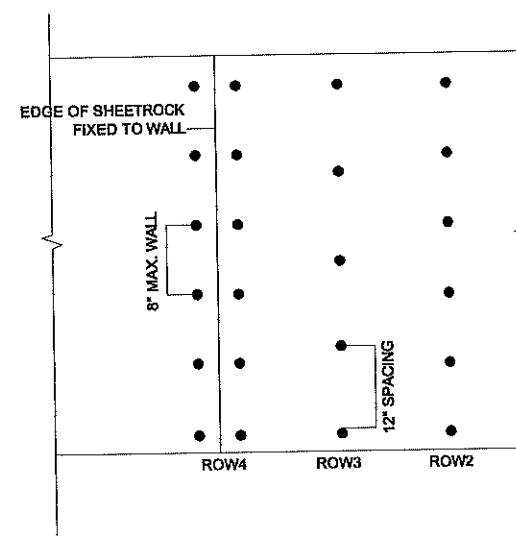
- ALL NEW SHEATHING SHALL BE 5/8" CD EXPOSURE PLYWOOD UNLESS OTHERWISE NOTES ON THE SPECIAL DETAILS.
- ROOF PLYWOOD SHEATHING SHALL BE ATTACHED WITH 10d RING-SHANK NAILS 3" O/C ALONG THE SEAMS AND EDGES, AND 6" O/C IN THE FIELD OF THE PLYWOOD.
- WALL PLYWOOD SHEATHING SHALL BE ATTACHED WITH 3/16"x2.5" SCREWS AT 4" O/C AT SEAMS & EDGES, AND 6 INCHES O/C IN THE FIELD OF THE PLYWOOD.
- PLYWOOD ON THE WALLS TO BE WRAPPED WITH 30# BUILDING PAPER PRIOR TO WIRE LATH AND STUCCO INSTALLATION AND APPLICATION.
- NEW BUILDING PAPER TO HAVE MINIMUM 6" HEAD LAP AND 12" SIDE LAPS AND INSTALLED WITH ROOFING NAILS & 2" TIN TABS 4" O/C ON H&V LAPS & 8" IN FIELD.
- ALL FASTENERS SHALL BE SEATED PROPERLY INSTALLED 1/2 INCH FROM EDGE OF PLYWOOD AT SPECIFIED SPACING.

BOLTS & NAILS:

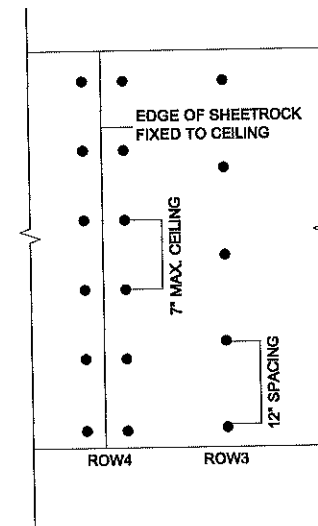
- ALL NAILS TO BE HOT DIPPED GALVANIZED OR ZINC COATED FOR FULL RUST PREVENTION.
- ALL BOLTS CONFORM TO ASTM STANDARD A325 AND TO BE HOT DIPPED GALVANIZED OR ZINC COATED WITH ZINC COATED WASHERS.
- ALL BOLTS TO HAVE MINIMUM 1 INCH DIAMETER WASHERS ON BOTH ENDS, HOLE SAME SIZE AS BOLTS.
- ALL BOLT HOLES SHALL BE STANDARD SIZE WITH 1/16 INCH MAXIMUM TOLERANCE.



CABINET ATTACHMENT SECTION
(N.T.S.)



SHEETROCK NAILING PATTERN-WALL
(N.T.S.)



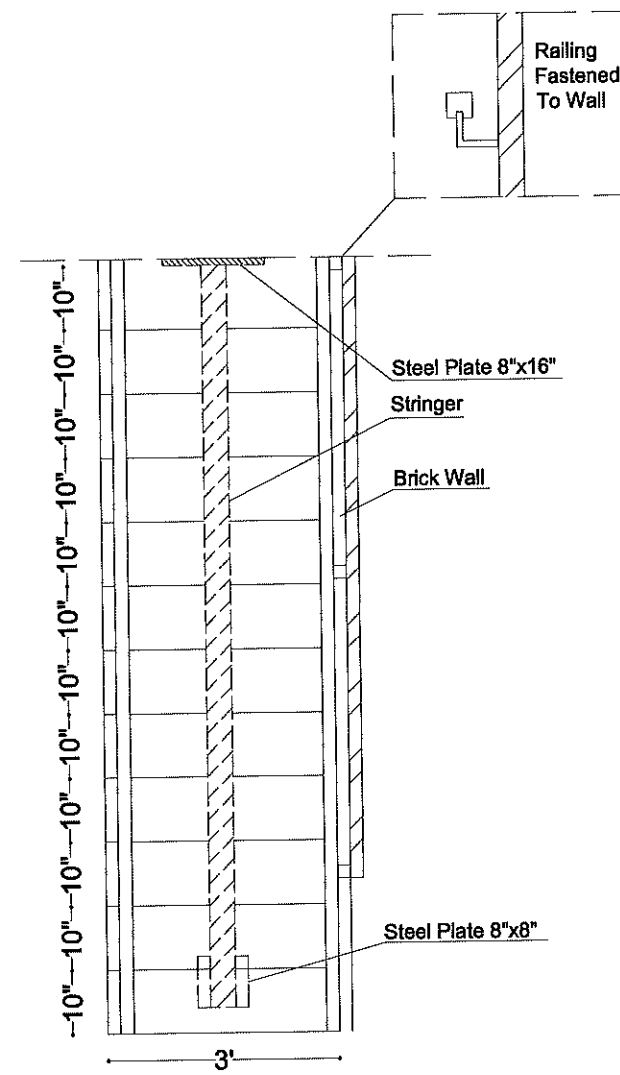
SHEETROCK NAILING
PATTERN-CEILING
(N.T.S.)

LEVI'S RESIDENCE
11811 Cedar Lane
Kingsville, Md. 21087

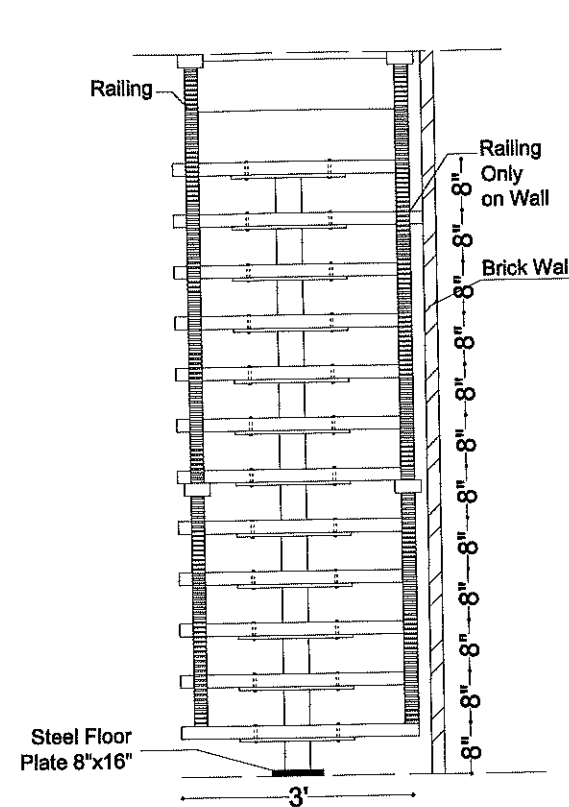
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Sheet Title:
Detail - B

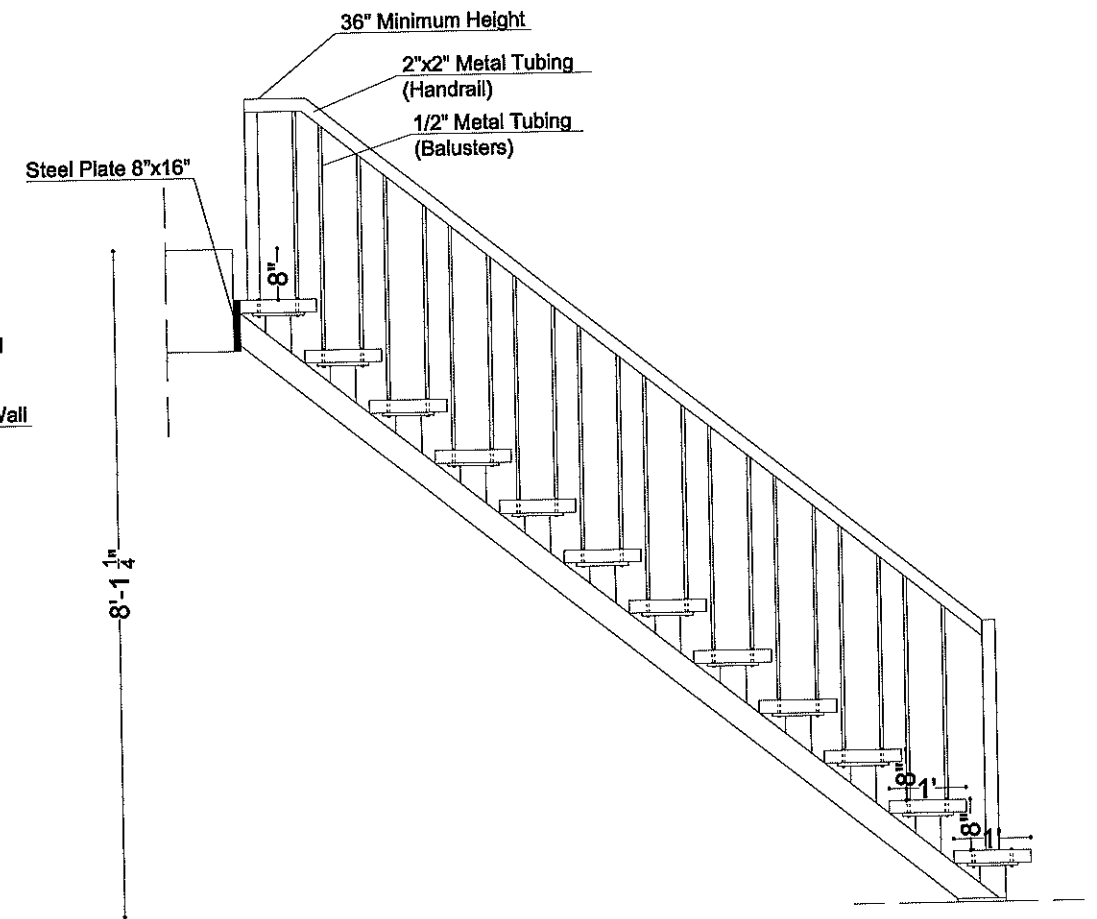
Sheet Number:
A-7



Stair Layout (Top View)
Scale: 1"=1'



Front View
Scale: 1"=1'



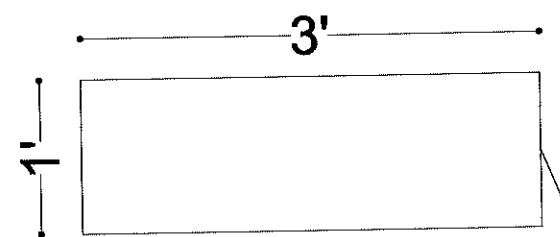
Side View
Scale: 1"=1'

LEVI'S RESIDENCE
11811 Cedar Lane
Kingsville, Md. 21087

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Scale:
Date:

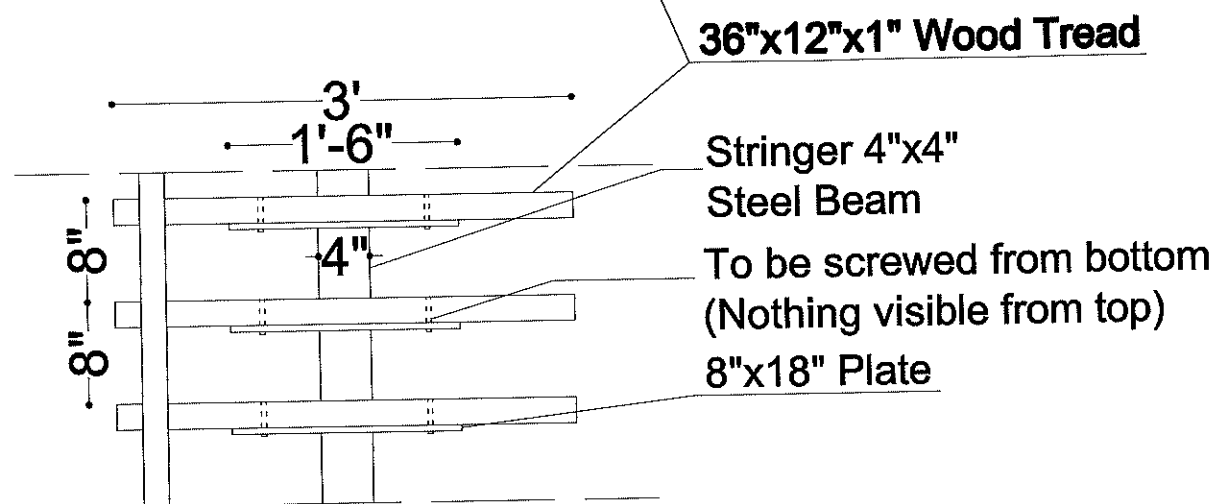
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Stair Detail

Sheet Number:
A-8



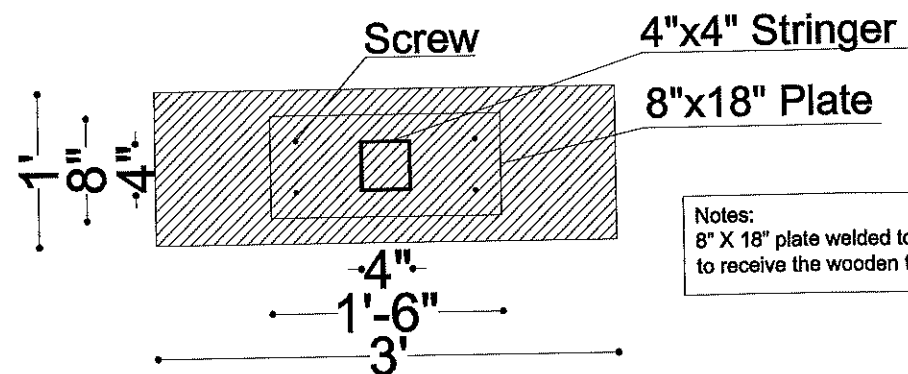
Step Detail (Upper View)

Scale 2"=1'



Step Detail (Front View)

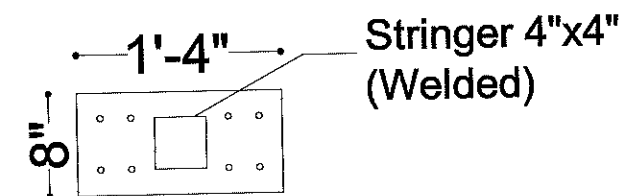
Scale 2"=1'



Step Detail (Bottom View)

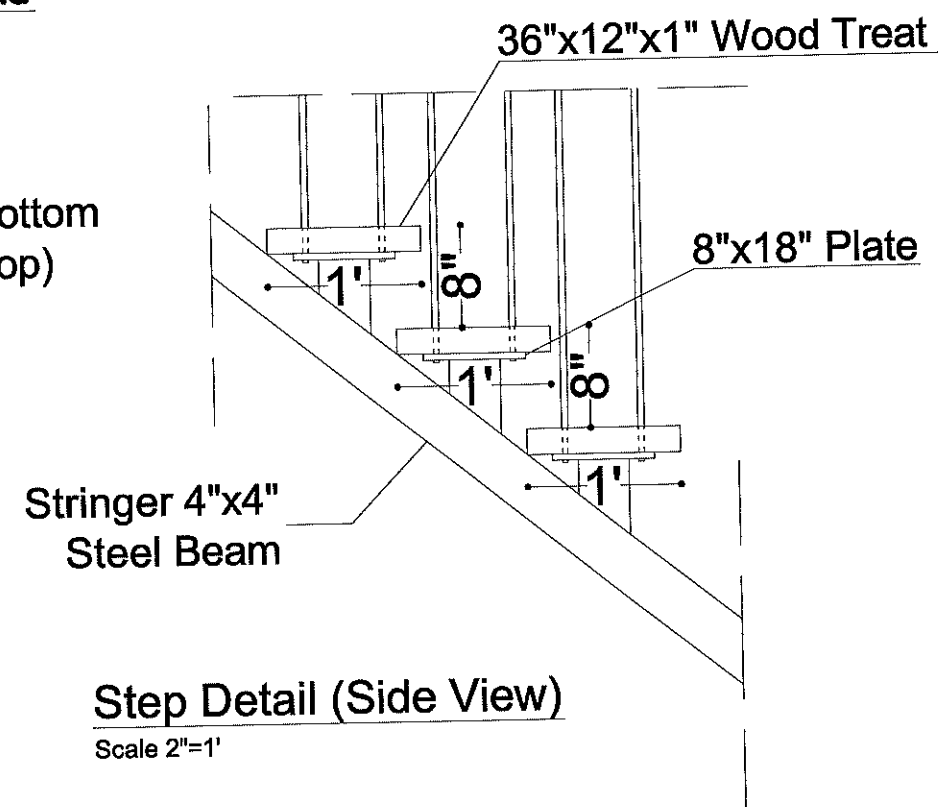
Scale 2"=1'

Notes:
8" X 18" plate welded to the Stringer with 4 holes
to receive the wooden treat on top of it



Stringer Steel Plate

Scale 2"=1'



Step Detail (Side View)

Scale 2"=1'

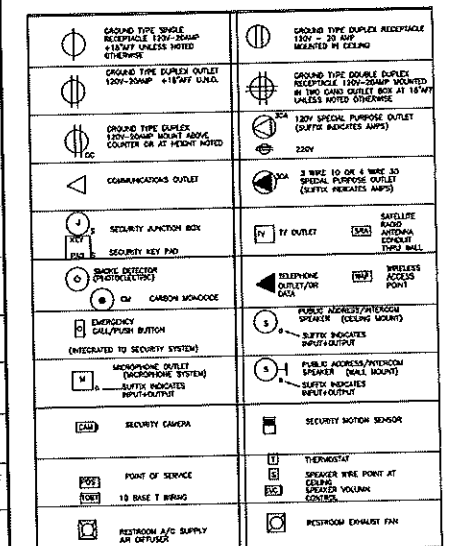
LEVI'S RESIDENCE
11811 Cedar Lane
Kingsville, Md. 21087

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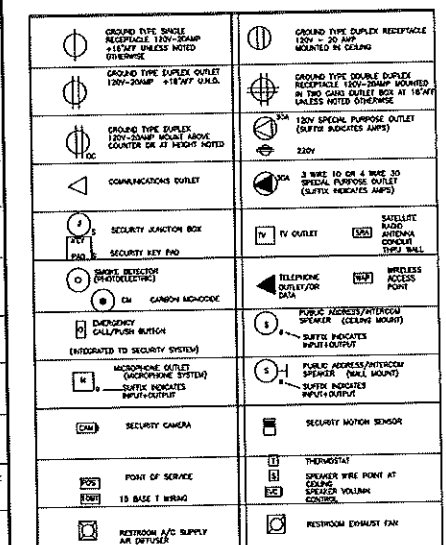
Sheet Title:
Stair Detail-2

Sheet Number:

A-9



Sheet Number:
E-1



Sheet Number:
E-2

PART 1 - GENERAL

1. GENERAL. THE GENERAL AND SPECIAL CONDITIONS AND REQUIREMENTS OF THE CONTRACT AND SPECIFICATIONS AS WELL AS PLANS AND SPECIFICATIONS OF OTHER DISPLAYS AND FIXTURES SHALL APPLY AND BE PART OF THE WORK. THESE SPECIFICATIONS AND THE ACCOMPANYING PLANS ARE INTENDED TO PROVIDE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM. PROVIDER SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM. PROVIDER SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM.

1.2. COORDINATION. THE CONTRACTOR SHALL COORDINATE WITH ALL OTHER TRADES AND PROFESSIONALS TO ENSURE THAT THE ELECTRICAL SYSTEM IS INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF NFPA 70, NEC, AND ALL OTHER CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM.

1.3. MATERIALS. ALL MATERIALS SHALL BE PROVIDED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM. PROVIDER SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM.

1.4. LABOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM. PROVIDER SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM.

1.5. PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM. PROVIDER SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM.

1.6. TESTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM. PROVIDER SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM.

1.7. UTILITY COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM. PROVIDER SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM.

1.8. PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM. PROVIDER SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM.

1.9. INTERFERENCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM. PROVIDER SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM.

1.10. SHOP DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM. PROVIDER SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM.

1.11. SUBSTITUTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM. PROVIDER SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM.

1.12. WARRANTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM. PROVIDER SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM.

1.13. RECORD DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM. PROVIDER SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM.

PART 2 - REQUIREMENTS

2.1. SHOP DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM. PROVIDER SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM.

2.2. DISCONNECTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM. PROVIDER SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM.

2.3. RACEWAYS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM. PROVIDER SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM.

2.4. CONDUCTORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM. PROVIDER SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM.

2.5. SPICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM. PROVIDER SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM.

2.7. WIRING DEVICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM. PROVIDER SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM.

2.8. TELEPHONE CABINET/BOARD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM. PROVIDER SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM.

2.9. LIGHTING FIXTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM. PROVIDER SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM.

2.10. LIGHTING FIXTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM. PROVIDER SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM.

2.11. LIGHTING FIXTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM. PROVIDER SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM.

2.12. LIGHTING FIXTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM. PROVIDER SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM.

2.13. LIGHTING FIXTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM. PROVIDER SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM.

2.14. LIGHTING FIXTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM. PROVIDER SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM.

2.15. LIGHTING FIXTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM. PROVIDER SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM.

2.16. LIGHTING FIXTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM. PROVIDER SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM.

2.17. LIGHTING FIXTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM. PROVIDER SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM.

2.18. LIGHTING FIXTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM. PROVIDER SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM.

2.19. LIGHTING FIXTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM. PROVIDER SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM.

2.20. LIGHTING FIXTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM. PROVIDER SHALL BE RESPONSIBLE FOR THE COMPLETE FINISHING AND INSTALLATION OF THE ELECTRICAL SYSTEM.

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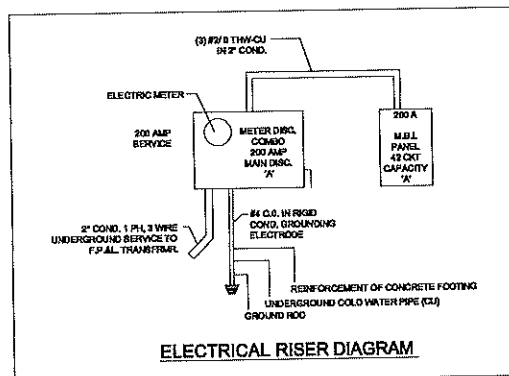
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SPECIFICATION: SQUARE				ELECTRICAL				MANS: LUGS ONLY			
MAIN BUS RATING: 200 AMPS				PANEL - A -				LOCATION: LIVING RM			
VOLTAGE: 120/240, 1-PH, 3-WIRE								MOUNTING: FLUSH MOUNT			
AMPS	POLES	TOTAL VA	WIRE SIZE	DESCRIPTION	CKT. NO.	CKT. NO.	DESCRIPTION	WIRE SIZE	TOTAL VA	POLES	AMPS
20	1	1500	12	GENERAL LIGHTING	1	2	SMALL APPLIANCES	12	1,500	1	20
20	1	1500	12	GENERAL LIGHTING	3	4	SMALL APPLIANCES	12	1,500	1	20
60	2	10,000	6	AHU HEAT STRIP #1	5	6	LIVING ROOM LIGHTING	12	1,500	1	20
40	2	8	8	ACU #1	7	8	LIVING ROOM POWER	12	1,500	1	20
50	2	12,000	6	WATER(external)	9	10	BATH GFI'S	12	1,500	1	20
20	1	1,200	12	DISHWASHER	11	12	EXTERIOR CITY'S	12	1,500	1	20
20	1	1,000	12	CARBIDE DISPOSAL	13	14	FAMILY/DINING/BREAKFAST LTO.	12	1,500	1	20
20	1	1,500	12	REFRIGERATOR #1	15	16	KITCHEN LIGHTING	12	1,500	1	20
20	1	1,500	12	MICROWAVE	17	18	DRYER(OPTIONAL)	6	5,000	2	30
15	1	415	12	FOYER/ENTRY	19	20	BATH LIGHTS	12	2,000	1	20
15	1	1,000	12	EXTERIOR GFI	21	22	BEDROOM POWER	12	1,500	1	20
					23	24	SNOKE DETECTORS	12	1,000	1	20
					25	26	COOK TOP	6	5,000	2	30
					27	28					
					29	30					
					31	32	SPARE				
					33	34	SPARE				
					35	36					
					37	38					
					39	40					
					41	42					
TOTAL LOAD(WATTS)=				58519				WATTS			
DEMAND LOAD CALCULATIONS											
TOTAL GENERATED CALCULATED LOAD:				58519							
FIRST 10 KW @ 100% :				10,000							
REMAINING @ 40% :				19,407							
A/S 10 KW @ 100% :				10,000							
TOTAL:				39,407							
CURRENT PER PHASE =				164 AMPS							
TOTAL LOAD (VA) / (240V) =				230 AMP SERVICE							
* VERIFY ALL EQUIPMENT LOAD, BREAKER, AND WIRE SIZES PRIOR TO INSTALLATIONS											



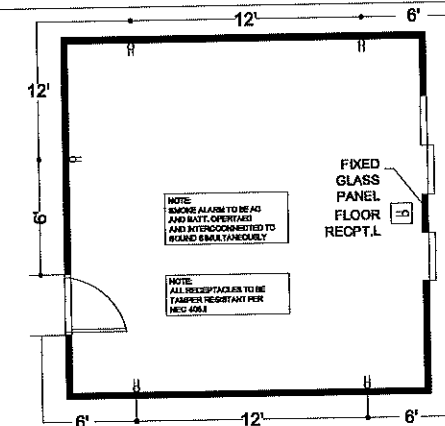
NOTE: CONTRACTOR TO VERIFY PANEL BOARD AND SERVICE BEFORE DOING ANY WORK. IF FIELD CONDITIONS ARE DIFFERENT THE DESIGNER SHALL BE NOTIFIED IMMEDIATELY.

NOTE: EACH SERVICE DISCONNECT AND PANEL BOARD SHALL BE PROVIDED WITH SUTGE PROTECTION

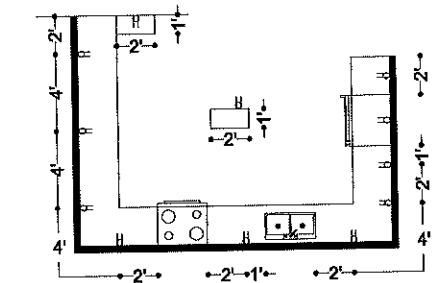
NOTE: WHERE PREVIOUSLY APPROVED BY ARCHITECT, ENGINEER, AND RULING AUTHORITIES, "ROMEX" TYPE ON-METALLIC SHEATHED CABLE CONDUCTORS MAY BE USED FOR #8 AND SMALLER BRANCH CIRCUIT WIRING PER NEC 336.

NOTE: ALL SMOKE DETECTORS TIED TOGETHER AND ON AFCI BREAKERS BEDROOM FAN TO BE AFCI

ELECTRICAL SPECIFICATION	
1.	ALL ELECTRICAL WORK SHALL COMPLY WITH THE LATEST NATIONAL ELECTRICAL CODE, THE FLORIDA FIRE CODE, FLORIDA BUILDING CODE AND ALL OTHER APPLICABLE LOCAL CODES AND ORDINANCES.
2.	THE ELECTRICAL CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER TRADES TO AVOID INTERFERENCE.
3.	THE ELECTRICAL CONTRACTOR SHALL THOROUGHLY REVIEW THE PROJECT TO ENSURE THAT ALL WORK MEETS OR EXCEEDS THE ABOVE REQUIREMENTS, ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION.
4.	CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS AND COORDINATE WITH THE OWNER'S REP. AND APPROPRIATE UTILITIES AS REQUIRED.
5.	CONTRACTOR IS DIRECTED TO OBTAIN COPIES OF ALL RELATED PLANS, SPECIFICATIONS, SHOP DRAWINGS, CALLOUT CUTS AND ADDENDUM TO COORDINATE THE RELATED WORK AND SCHEDULING.
6.	DO NOT SCALE THE ELECTRICAL DRAWINGS. REFER TO THE ARCHITECTURAL, MECHANICAL DRAWINGS AND APPROVED SHOP DRAWINGS FOR THAT EXACT LOCATION OF ALL EQUIPMENT.
7.	THE CONTRACTOR IS REMOVED THAT ELECTRICAL SERVICE TO AND FOR MECHANICAL AND OTHER EQUIPMENT ARE BASED ON EQUIPMENT DESIGN DATA. THE VALUES MAY DIFFER DEPENDING UPON THE ACTUAL EQUIPMENT FURNISHED TO THE JOB.
8.	ALL PANELBOARDS AND LOAD CENTERS SHALL BE PROVIDED WITH A TYPED/WRITTEN DIRECTORY SHOWING CIRCUITS NUMBERS AND A COMPLETE DESCRIPTION OF EACH CIRCUIT. ALL PANELBOARDS ARE TO HAVE GROUND BUSES.
9.	RACEWAYS EXPOSED TO THE OUTSIDE OR INSTALLED UNDERGROUND SHALL BE GALVANIZED RIBBON STEEL EXCEPT ON 50M. 40 PVC WITH GROUND WIRE.
10.	ALL CONDUCTOR WIRE SHALL BE COPPER, 95% CONDUCTIVITY, WITH 800 VOLT INSULATION TYPE THIN OR THINL.
11.	ALL RECEPTACLES AND PHONE JACKS ARE TO BE MOUNTED AT 18" A.F.F., UNLESS NOTED OTHERWISE. ALL LIGHTING SWITCHES ARE TO BE MOUNTED AT 48" A.F.F. UNLESS NOTED OTHERWISE. COORDINATE CENTERPOINT ELEC. OUTLETS W/ CABINET SUPPLIES (14" UNLESS NOTED OTHERWISE).
12.	ALL ELECTRICAL WIRING DEVICES INDICATED TO BE INSTALLED IN MASONRY WALLS AND FLOORS ARE TO BE FLUSH MOUNTED.
13.	ALL CONDUIT RUNS SHALL BE CONCEALED UNLESS SPECIFICALLY NOTED OTHERWISE.
14.	THE CONTRACTOR SHALL COORDINATE WITH THE MECHANICAL CONTRACTOR TO ENSURE THAT ALL NECESSARY CONDUITS FOR AIR CONDITIONING CONTROLS ARE INCLUDED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL EQUIPMENT IS WIRING PROPERLY AND FULLY OPERATIONAL.
15.	ALL SPECIAL PURPOSE OUTLETS SHALL BE PROVIDED TO MATCH THE EQUIPMENT THAT THEY SERVE.
16.	VERIFY ACTUAL LIGHTING FIXTURE ARRANGEMENT WITH THE ARCHITECTURAL PLANS AND INTERIOR DESIGNER DRAWINGS.
17.	IT IS ELECTRICAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE POWER COMPANY TO BE CERTAIN THAT ALL REQUIREMENTS NECESSARY TO MEET POWER COMPANY SPECIFICATIONS ARE INCLUDED.
18.	INSTALL SMOKE DETECTORS AHEAD OF WALL SWITCHES AND CONNECT TO BATH OR KITCHEN LIGHTING CIRCUIT.
19.	MINIMUM 2 SPARES REQUIRED IN ELEC. PANEL.
20.	EACH BALLAST AND/OR AUTO TRANSFORMER MUST BE PROVIDED WITH OVERHEAT PROTECTION ON PRIMARY SIDE.
21.	ALL ELECTRICAL SWITCHES, OUTLETS, ETC.: WHITE, STANDARD TOGGLE SWITCH
22.	ARC FAULT BREAKERS REQ'D @ ALL BEDROOM CKTS. ALL RECEPTACLES TO BE TAMPER RESISTANT
23.	INSTALL GROUND FAULT OUTLETS AT LOCATIONS, WITHIN EXISTING PORTION OF HOUSE, WHERE GFI OUTLETS ARE REQUIRED (KITCHEN, BATH, ETC.)



TYP. ELECTRICAL ROOM LAYOUT



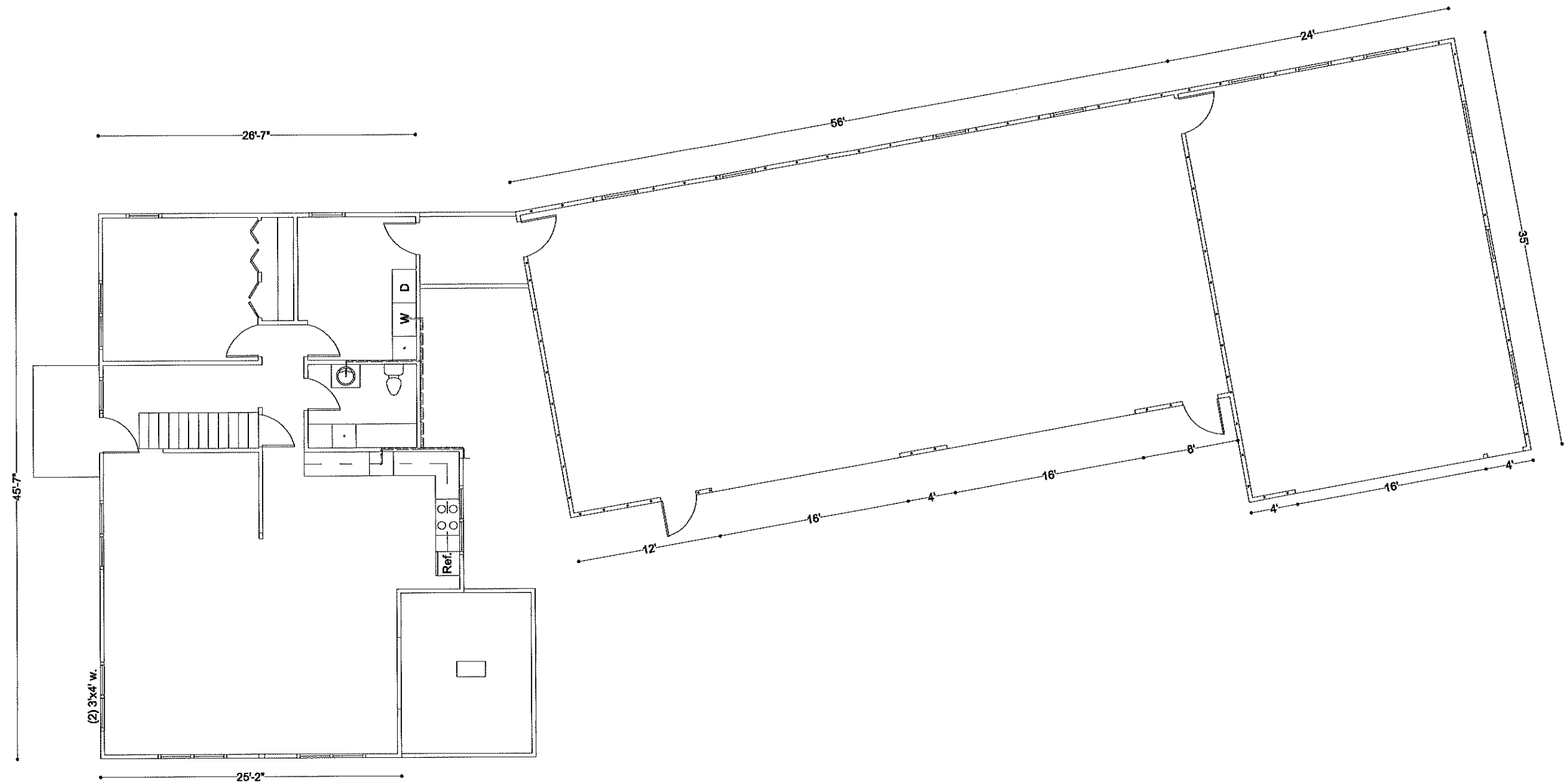
TYP. ELECTRICAL KITCHEN LAYOUT

LEVI'S RESIDENCE
11811 Cedar Lane
Kingsville, Md. 21087

Drawn By:
Checked By:
Scale: 1/4
Date:

Sheet Title:
Electrical Detail

Sheet Number:
E-3



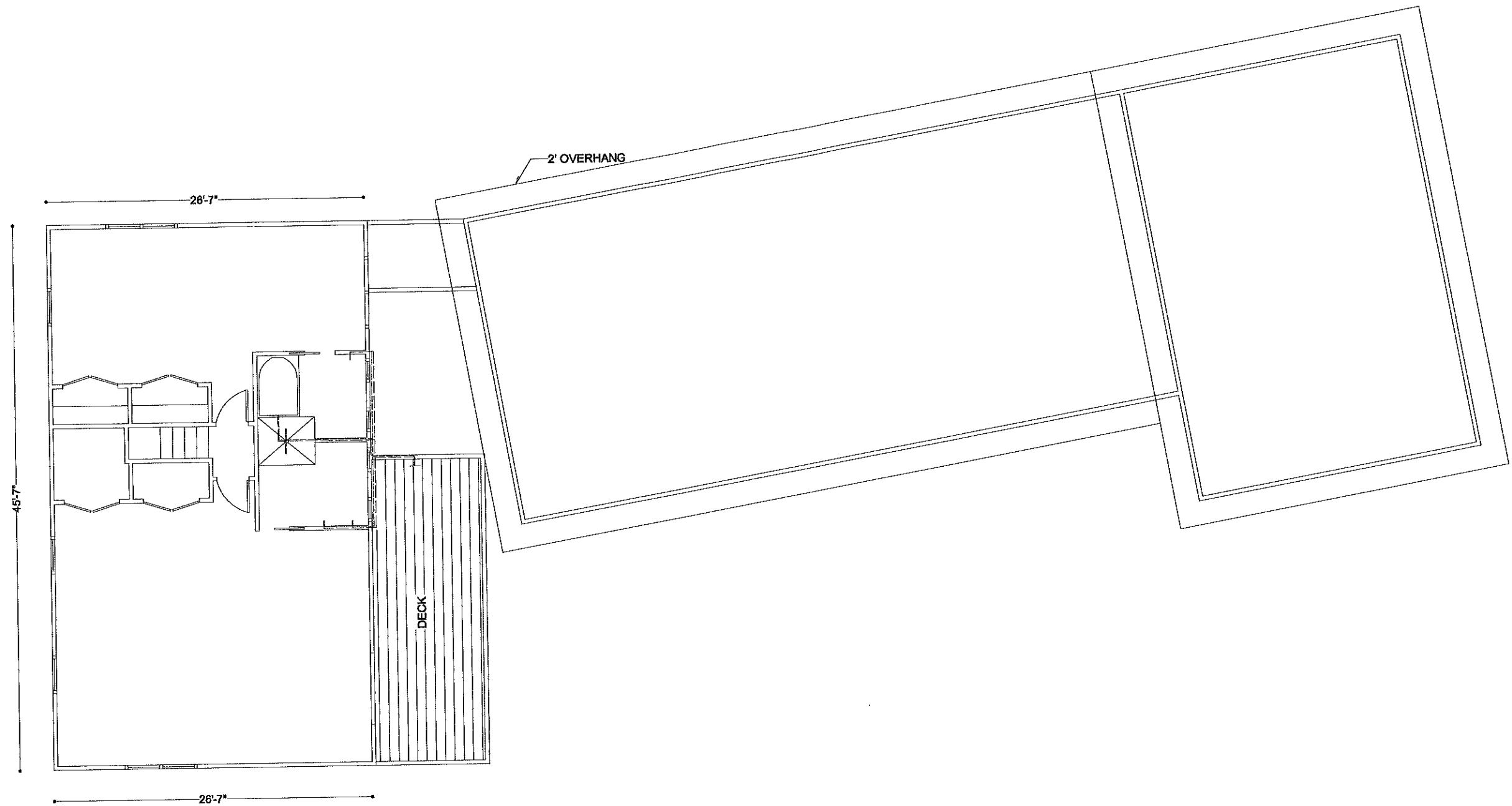
 **First Floor- Plumbing**
Scale: 1/8

LEVI'S RESIDENCE
11811 Cedar Lane
Kingsville, Md. 21087

Drawn By:
Checked By:
Scale: 1/4
Date:

Sheet Title:
First Floor-Plumbing

Sheet Number:
P-1



Second Floor- Plumbing
Scale: 1/8

LEVI'S RESIDENCE
11811 Cedar Lane
Kingsville, Md. 21087

Drawn By:
Checked By:
Scale: 1/4
Date:

Sheet Title:
Second Floor-
Plumbing

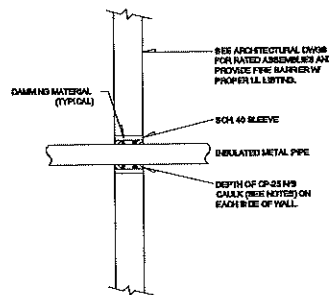
Sheet Number:
P-2

FIRE PARTITION PENETRATION SCHEDULE						
FLOOR/WALL TYPE	RATING	PENETRATION ITEM	MAX. SLEEVE SIZE	MAX. PENETRATION SIZE	UL NUMBERS	SM SEALING MATERIAL
CONCRETE OR CONCRETE BLOCK	1, 2, 3	STEEL PIPE WITH FIBERGLASS INSULATION	12" DIA.	4" PIPE 2" INSULATION	CA35001 CB35002 CA35003	CP-25 FB-105
	1, 2, 3	STEEL PIPE WITH FIBERGLASS INSULATION	SEE UL BUILDING MAT. DIRECTORY	8" PIPE 2" INSULATION	CA35003	SEE UL BUILDING MAT. DIRECTORY
	1, 2	METAL PIPE/TUBING - STEEL & COPPER FIBERGLASS INSULATION	8" DIA.	3" PIPE 1" INSULATION	CA35005	MPP-1 MOLDABLE PUTTY
	1, 2, 3	STEEL PIPE & CONDUIT	12" DIA.	8" DIA. 20" DIA.	CA35001	CP-25 CAULK
	1, 2	COPPER TUBING & FIBERGLASS INSULATED COPPER TUBING	100 SQ. IN.	4" DIA.	FA35002 FA35001	CP-25 CAULK
	1, 2	PCV PIPING	NONE	4" PIPE 10" PIPE	CA35001 CA35002 CA35003	FS-105 W/ CP-25 OR PPD
GYPSUM WALL BOARD	1, 2	PCV PIPING	NONE	10" PIPE	WL35002 WL35003	FS-105 W/ CP-25 OR PPD
	1, 2	COPPER PIPING	NONE	4" PIPE	WL1001 WL1002 WL1003	CP-25VNS
	1, 2	CAST IRON PIPING	NONE	4" PIPE 12" PIPE	WL1001 WL1002 WL1003	CP-25VNS

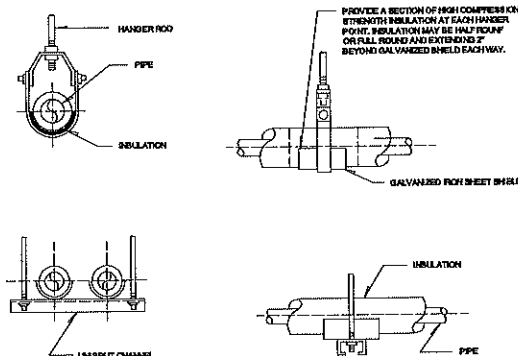
NOTE - CONTRACTOR SHALL INSTALL FIRE PER UL NUMBER LISTED FOR THE ACTUAL RATING, PIPE SIZE AND MATERIAL

PIPE PENETRATION NOTES

- FOR SOLID CONCRETE WALLS, ORDER CP-25S CAULK WITH WALL DAMAGING MATERIAL ON ONE SIDE.
- DEPTH OF CP-25S CAULK DEPENDS ON INSULATION THICKNESS:
1" (25mm) OF INSULATION - 1" (25mm) DEPTH OF CP-25S OR CA.
2" (51mm) OF INSULATION - 2" (51mm) DEPTH OF CP-25S OR CA.
- MINIMUM ALLOWABLE SPACE TO BE FILLED IS 1" (25mm) MAXIMUM ALLOWABLE SPACE TO BE FILLED IS 3" (76mm).
- RECOMMENDATIONS BASED ON PRODUCT PERFORMANCE PERASTM E-84, ASTM E-119, THERMAL TIME TEMPERATURE CURVE FIRE EXPOSURE, UL CLASSIFIED PER SYSTEM 01.
- SEE CHART, THIS IS SET FOR OTHER UL SYSTEMS.
- MODEL NUMBERS FOR 3M COMPANY PRODUCTS, PRODUCTS & METHODS BY NIELSON OR APPROVED EQUAL WILL BE ACCEPTED.
- IT IS NOT NECESSARY TO REMOVE INSULATION AS IT PENETRATES WALL, ON FLOOR WHEN USING 3M FIRE BARRIER.
- CP-25S CAULK NOTE:
USE CP-25S S/L SELF-LEVELING CAULK ON HORIZONTAL SURFACES WHEN FILLING GAPS FROM ABOVE THE PENETRATIONS, WALLS, CEILING AND JOINTS.
USE CP-25S W/D-300 CAULK ON VERTICAL SURFACES AND ON HORIZONTAL SURFACES WHEN FILLING GAPS FROM BELOW.

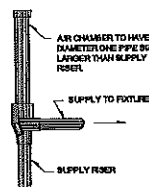


PIPE PENETRATION AT WALL
SCALE HERE

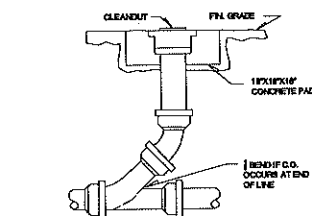


WATER PIPING HANGER DETAIL
SCALE HERE

NOTE: PROVIDE BLOCK ABSORBER ON ALL PLUMBING VALVES AND OTHER CLOSING DEVICES. PROVIDE AIR CHAMBERS ON ALL OTHER PLUMBING FIXTURES.



AIR CHAMBER DETAIL
SCALE HERE



CLEANOUT TO GRADE DETAIL
SCALE HERE

PLUMBING SPECIFICATIONS AND NOTES

ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH ALL LOCAL & STATE CODES AND ALL REQUIREMENTS OF THE GOVERNING AUTHORITIES HAVING JURISDICTION. ALL PLUMBING SHALL MEET OR EXCEED THE REQUIREMENTS OF FBC RESIDENTIAL PLUMBING CODE 2010 LATEST EDITION.

DO NOT SCALE DRAWINGS. DIMENSIONS FROM EQUIPMENT SUPPLIERS DRAWINGS. COORDINATE ALL WORK WITH OTHER TRADES TO AVOID CONFLICTS.

ALL PIPING SHALL BE CONCEALED IN PLUMBING CHASES, FINISHED AREAS, WITHIN WALLS, ABOVE CEILING OR BELOW SLAB. EXPOSED PIPING IS ONLY PERMITTED IN UNFINISHED AREAS.

ALL WASTE & VENT PIPING SHALL BE PVC-DWV PIPE & FITTINGS CONFORMING TO ASTM D 2665-88 W/ NSF SEAL. ALL PIPING INSTALL IN RETURN AIR PLENUM SHALL BE CAST IRON PIPE & FITTINGS CONFORMING TO ASTM A 74.

ALL WATER PIPING WITHIN THE BUILDING SHALL BE COPPER TYPE L ABOVE GRADE AND TYPE K BELOW GRADE. ALL COPPER PIPING SHALL CONFORM TO ASTM B 88. PVC WATER PIPING CONFORMING TO ASTM D 1785 MAY BE RUN UNDERGROUND EXTERIOR TO BUILDING.

ALL WATER PIPING SHALL BE INSULATED WITH 1" ARMAFLEX INSULATION OR 1" CORKBOARDING FIBERGLASS AS/USG-11. ALL INSULATION SHALL HAVE AN ALL SERVICE JACKET AND SHALL MEET UL 723 FOR FLAME & SMOKE STANDARDS. COLD WATER PIPING BELOW BUILDING SLAB OR BURIED BELOW FREEZING DOES NOT NEED TO BE INSULATED.

ALL SOLDER SHALL BE LEAD FREE.

PROVIDE ESCUTCHEONS FOR ALL EXPOSED PIPE PENETRATIONS.

PROVIDE ALL EXTERIOR CLEANOUTS WITH 16X16X16 CONCRETE ANCHOR BLOCK.

PROVIDE PRESSURE REDUCING VALVE AND PRESSURE GAUGE WHEN CITY WATER STATIC PRESSURE EXCEEDS 75 PSI.

PROVIDE 1.5" BACKFLOW PREVENTER ANNUALLY, 1.5" METER & VALVE IN STREET ACCORDANCE WITH ALL REQUIREMENTS OF THE LOCAL AUTHORITY & THE WATER CO.

ALL PLUMBING PIPING SHALL BE TESTED AND MADE LEAK TIGHT. ALL WATER PIPING SHALL BE DISINFECTED AND CERTIFIED BY AN INDEPENDENT LABORATORY TO BE SAFE FOR DRINKING.

ALL WORK 5 FEET OUTSIDE THE BUILDING SHALL BE IN ACCORDANCE WITH CIVIL DRAWINGS AND SHALL MEET ALL REQUIREMENTS OF THE GOVERNING AUTHORITY AND THE UTILITY COMPANY.

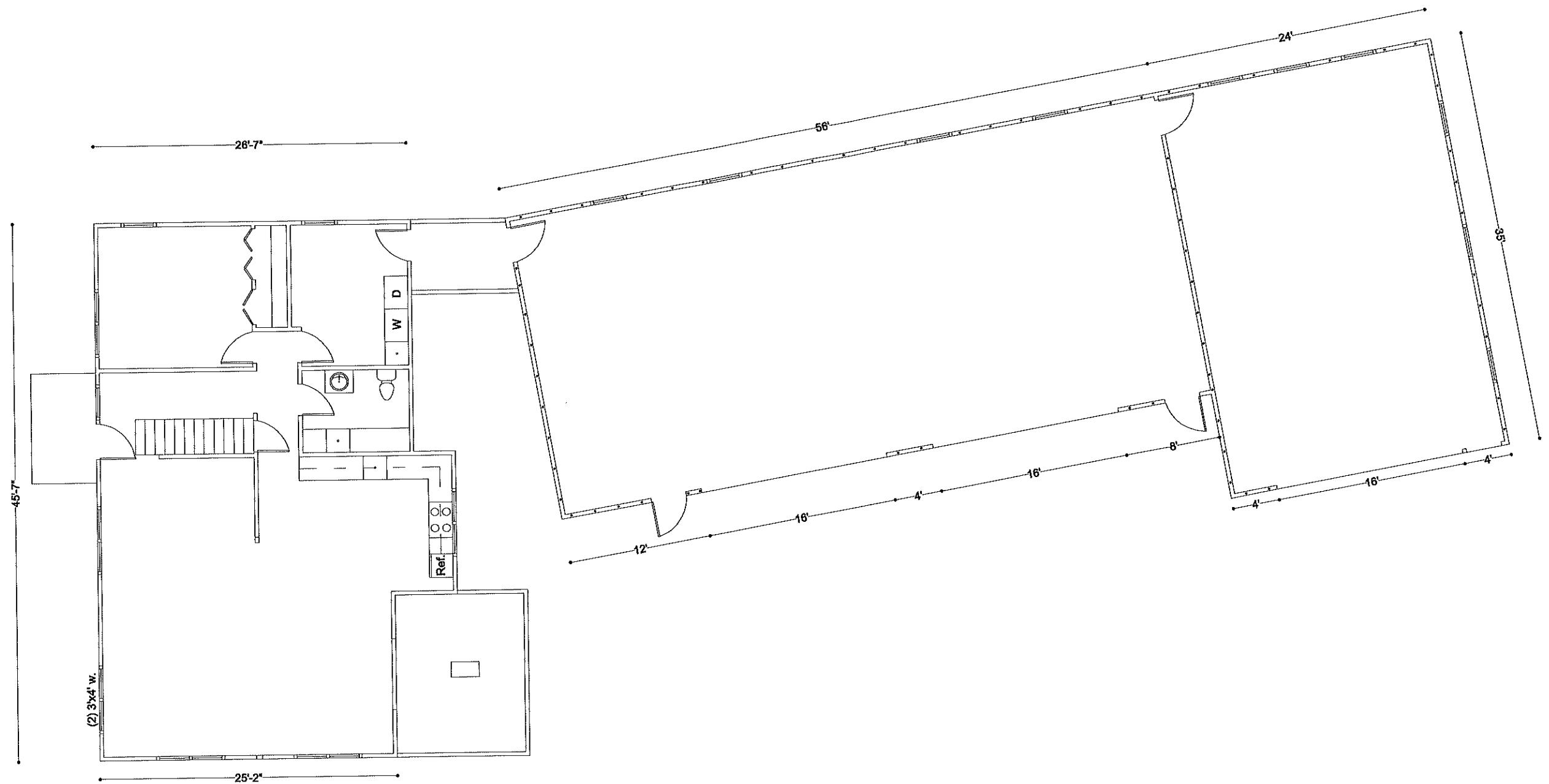
LEGEND

—	SANITARY SEWER	V	VENT PIPING
—	VENT PIPING	OW	COLD WATER
—	COLD WATER PIPING	HW	HOT WATER
—	HOT WATER PIPING	CO	CLEANOUT
—	HOT WATER RETURN	FU	FUTURE UNIT
—	CLEANOUT	WYE	WALL FAUCET EXTERIOR
—	SHUT-OFF VALVE	TRP	TRAP REAL PREVER
—	WALL FAUCET EXTERIOR	DRY	VENT THRU ROOF
—	WALL FAUCET	PVC	POLYVINYL CHLORIDE PIPE
—		PP	POLYPROPYLENE PIPE

PLUMBING FIXTURE SCHEDULE

SYMBOL	FIXTURE	G.W.	H.W.	VENTS	WATER DRAIN
WC	WATER CLOSET (FLUSH VALVE)	1"	1"	1"	1.50 GPM FLOW
BC	KITCHEN SINK (COUNTER TOP)	1"	1"	1"	1.50 GPM FLOW
LD	LAVATORY (COUNTER TOP)	1"	1"	1"	1.50 GPM FLOW

NOTE: TENANT (UPST) SHALL PROVIDE TOILETS PER ICC20 LATEST STANDARD PLUMBING CODE, CONFORMING WITH ALL REQUIREMENTS OF ARI, ARI 7.1 AND ARI 7.2 AND ARI 7.3 AND ARI 7.4 AND ARI 7.5 AND ARI 7.6 AND ARI 7.7 AND ARI 7.8 AND ARI 7.9 AND ARI 8.0 AND ARI 8.1 AND ARI 8.2 AND ARI 8.3 AND ARI 8.4 AND ARI 8.5 AND ARI 8.6 AND ARI 8.7 AND ARI 8.8 AND ARI 8.9 AND ARI 9.0 AND ARI 9.1 AND ARI 9.2 AND ARI 9.3 AND ARI 9.4 AND ARI 9.5 AND ARI 9.6 AND ARI 9.7 AND ARI 9.8 AND ARI 9.9 AND ARI 10.0 AND ARI 10.1 AND ARI 10.2 AND ARI 10.3 AND ARI 10.4 AND ARI 10.5 AND ARI 10.6 AND ARI 10.7 AND ARI 10.8 AND ARI 10.9 AND ARI 11.0 AND ARI 11.1 AND ARI 11.2 AND ARI 11.3 AND ARI 11.4 AND ARI 11.5 AND ARI 11.6 AND ARI 11.7 AND ARI 11.8 AND ARI 11.9 AND ARI 12.0 AND ARI 12.1 AND ARI 12.2 AND ARI 12.3 AND ARI 12.4 AND ARI 12.5 AND ARI 12.6 AND ARI 12.7 AND ARI 12.8 AND ARI 12.9 AND ARI 13.0 AND ARI 13.1 AND ARI 13.2 AND ARI 13.3 AND ARI 13.4 AND ARI 13.5 AND ARI 13.6 AND ARI 13.7 AND ARI 13.8 AND ARI 13.9 AND ARI 14.0 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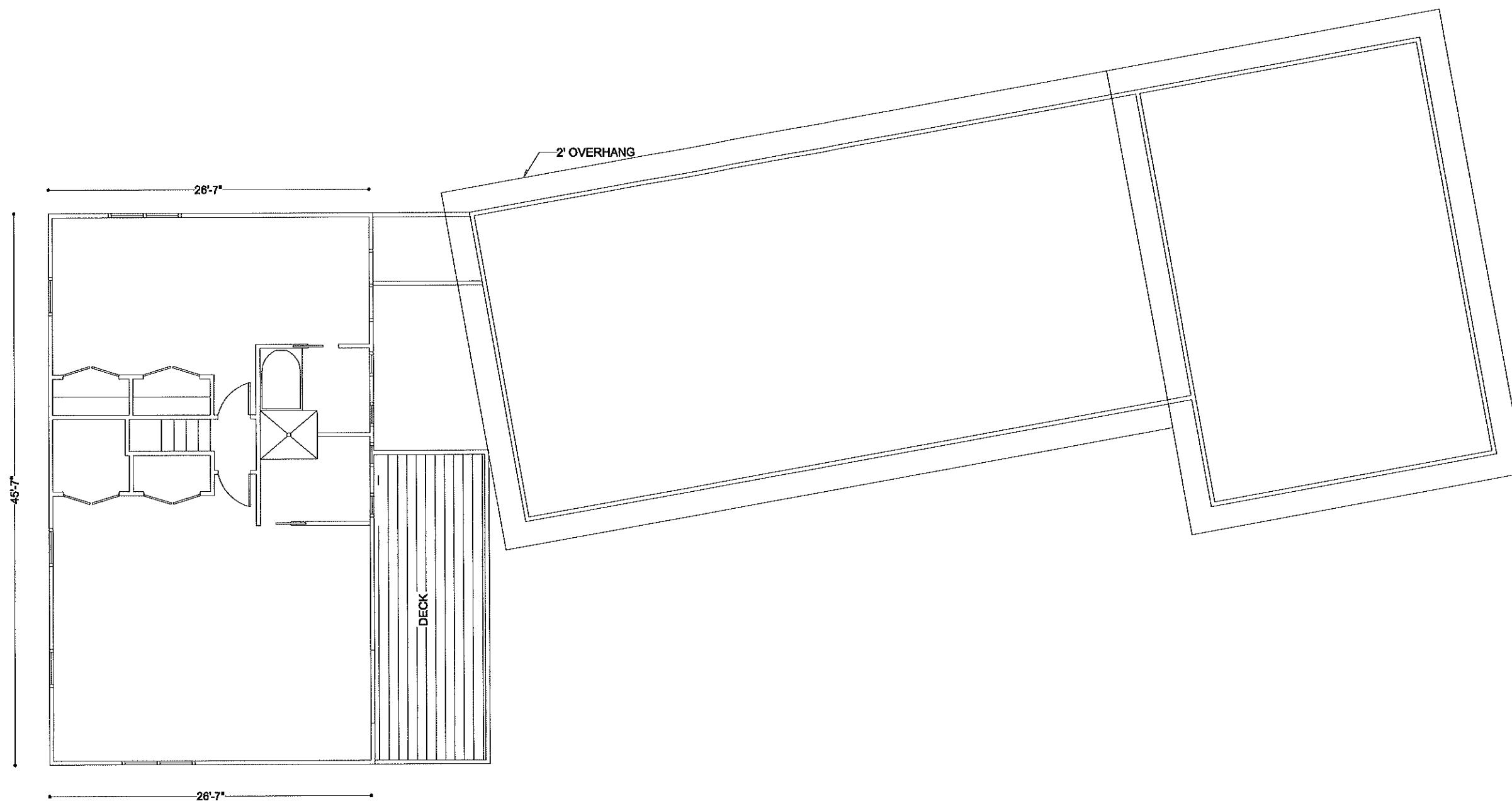
First Floor- HVAC
Scale: 1/8

LEVI'S RESIDENCE
11811 Cedar Lane
Kingsville, Md. 21087

Drawn By:
Checked By:
Scale: 1/4
Date:

Sheet Title:
First Floor-HVAC

Sheet Number:
M-1



 **Second Floor- HVAC**
Scale: 1/8

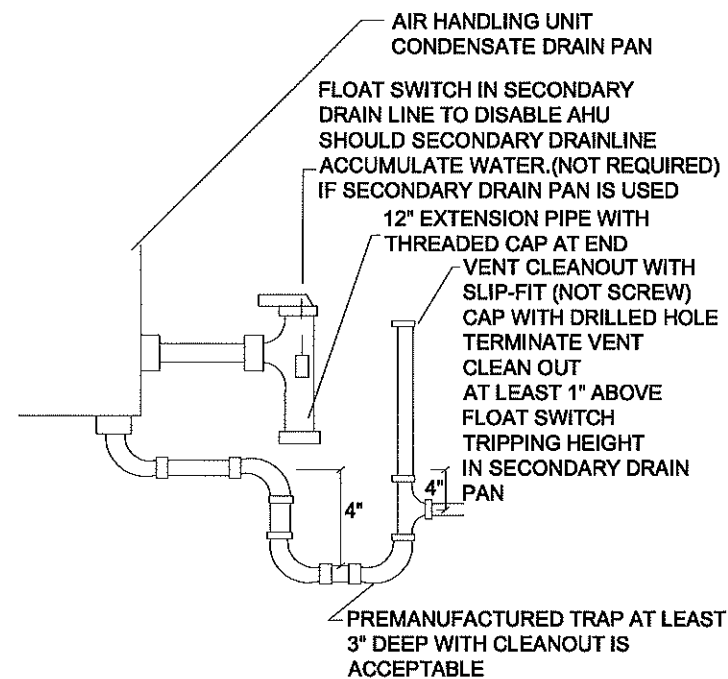
LEVI'S RESIDENCE
11811 Cedar Lane
Kingsville, Md. 21087

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Second Floor-HVAC

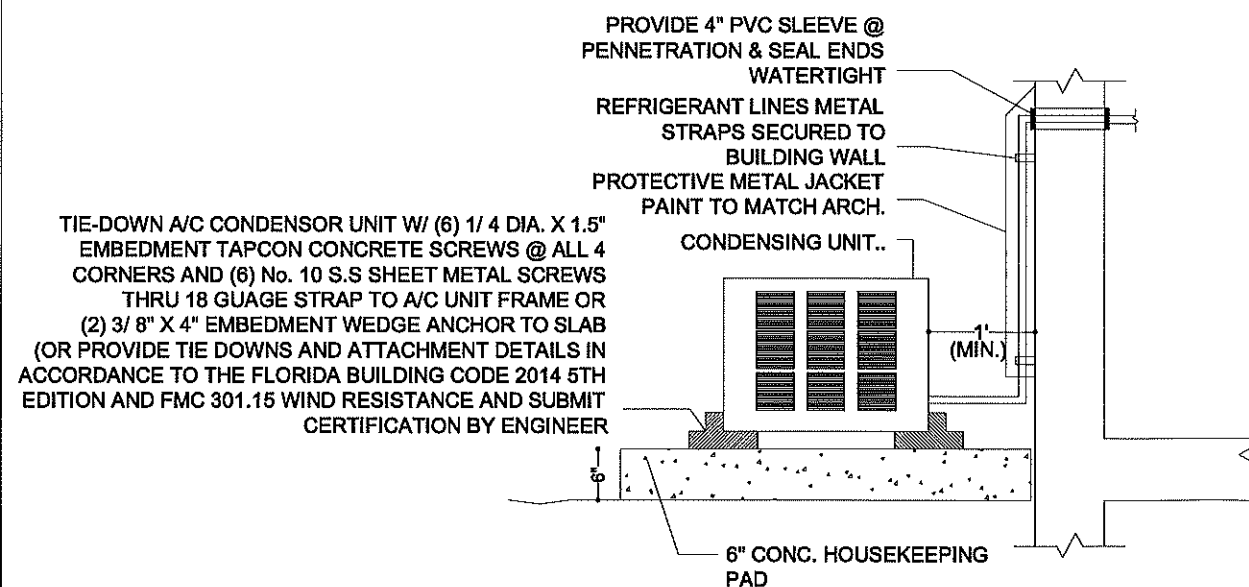
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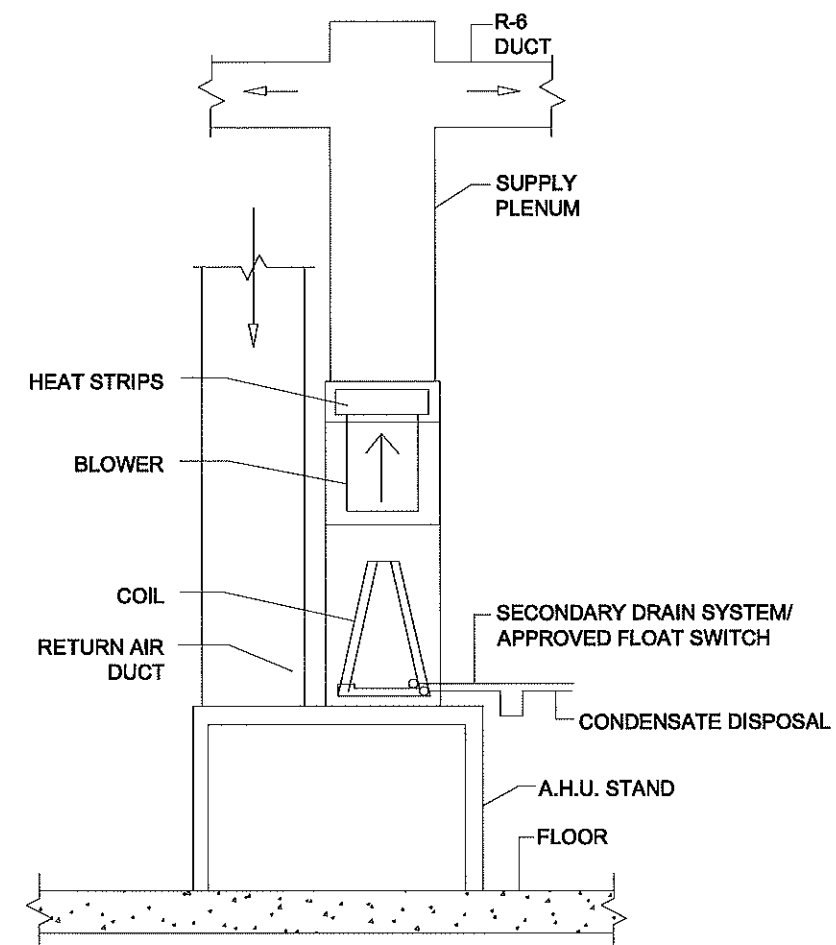
CONDENSATE TRAP DETAIL

N.T.S.



CONDENSING UNIT MOUNTING DETAIL

N.T.S.



AIR HANDLING UNIT DETAIL

N.T.S.

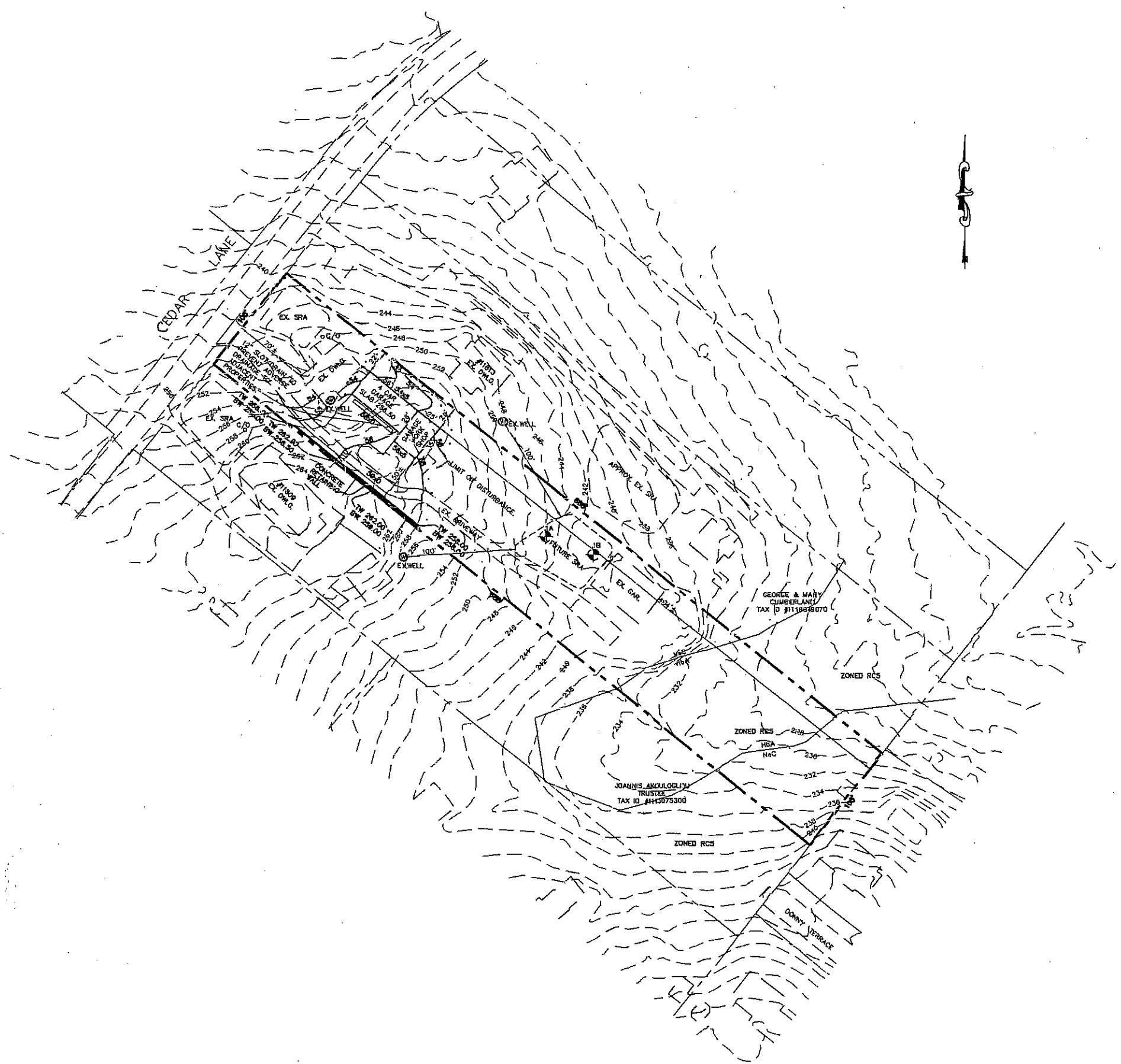
NOTES:
1. A/C PLENUMS SHALL NOT CONTAIN PLASTIC PIPES, CABLES OR COMBUSTIBLES
2. SPACE PROVIDED AS PER FLORIDA ENERGY CODE A MINIMUM OF 4" AROUND AIR HANDLER UNITS

LEVI'S RESIDENCE
11811 Cedar Lane
Kingsville, Md. 21087

Drawn By:
Checked By:
Scale: $\frac{3}{4}" = 1'$
Date:

Sheet Title:
HVAC Detail

Sheet Number:
M-3



GENERAL NOTES

1. PROPERTY INFORMATION:

- Address: 11811 Cedar Lane
- Acreage: 1.3 acres
- Election District: 11th
- Council District: 5
- Map: 055
- Grid: 0020
- Parcel: 0381
- Tax Account No. 1118049071
- Deed Reference: 45152/00060
- Watershed: Little Gunpowder Falls

2. ZONING: RC 5

3. LAND USE

- Existing Use: Residential
- Proposed Use: Residential w/ addition

4. SETBACKS:

- Front:
 - Required: 50' / 75' to CL of Road
 - Provided: 70' / 85' to CL of Road
- Rear:
 - Required: 50'
 - Provided: 495'
- Sides:
 - Required: 50'
 - Provided:
 - South: 50'
 - North:
 - Existing: 21'
 - As approved in Case No. 1981-0139-A

5. The site is not located in a 100 year floodplain, failed basic service area, nor in the Chesapeake Bay Critical Area.

6. There are no historic buildings on site.

* See S-1 for Vicinity Map & Addition Dimensions

1" = 100'

LIMIT OF DISTURBANCE
12,700 S.F. OR 0.29 AC.±

NOTE: THIS SITE IS SUBJECT TO
ZONING VARIANCE 1981-0139A.

Site Plan
For
Zoning Variance
(Administrative)

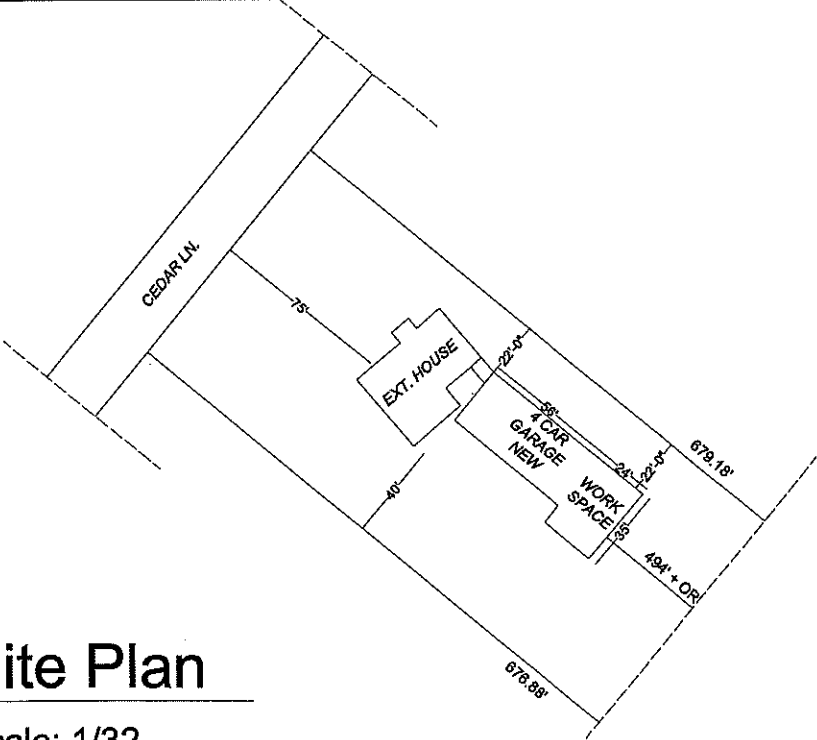
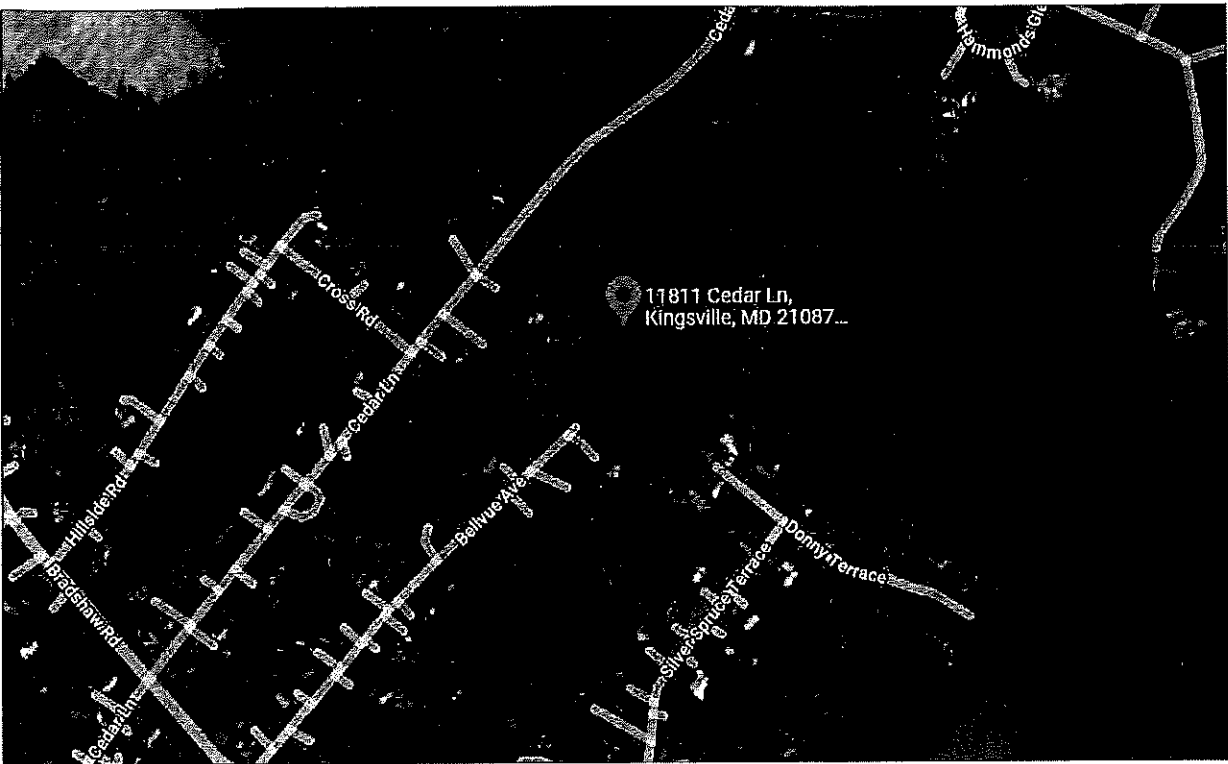
Drawing Index:

S-1	SITE PLAN	E-1	FIRST FLOOR - ELECTRICAL
A-1	EXISTING HOUSE- WITH BASEMENT	E-2	SECOND FLOOR - ELECTRICAL
A-2	FIRST FLOOR NEW- WITH GARAGE	E-3	ELECTRICAL DETAIL
A-3	SECOND FLOOR NEW	P-1	FIRST FLOOR - PLUMBING
A-4	ROOF PLAN	P-2	SECOND FLOOR - PLUMBING
A-5	ELEVATION	P-3	PLUMBING DETAIL
A-6	DETAIL - A	M-1	FIRST FLOOR HVAC
A-7	DETAIL - B	M-2	SECOND FLOOR HVAC
A-8	STAIR DETAIL	M-3	HVAC DETAIL
A-9	STAIR DETAIL - 2		

General Notes:

- 1.) WALLS: All exterior walls to be 2x6 kiln dried studs, with pressure treated plates and termite shield on the bottom. For walls more than 8' tall, add horizontal bracing every 4' on center. ½" OSB with Commercial Tyvek on the exterior with EFIS finishes and on the inside with 5/8" Drywall in all of the new construction
- 2.) HEADERS: All headers that are new to follow this pattern:
3' to 6' shall be (2) 2x12's, with single jacks. 6' to 10' will be (2) 12" LVL's, with double jacks. 10' to 16' will be (3) 12" LVL bolted together every 24" staggered with 2 bolts on each end, with double jacks.
- 3.) INSULATION: On exterior walls R-21 insulation. R-30 in the ceilings of the additions.
- 4.) FOOTERS: Footers to be 20" x 10" Poured in place Concrete with (2) #4 rebar plus a cross member every 32". Minimum of 2500 psi with 4" slump., and 8" cinderblock will be used to set the 2x6 walls on. Use "J" bolts galvanized every 32" grouted in down 24" with a bolt within 12" of each end.
- 5.) ROOF FRAMING: Roof system of TJI's designed and stamped, by manufacturer. Roof sheathing will be ¾" cdx , 16" on center.
- 6.) ROOFING SYSTEM: TPO roof system (or Equivalent) will be designed by the Roofing contractor to make sure that the roof has a minimum of ¼" pitch per foot to the drain system. Minimum of 15-year warranty on the system. A minimum of 4 roof drain scuppers with downspouts to collect and divert water from roof.
- 7.) FOOTING & PERIMETER DRAINING: The Garage slabs to be a minimum of 4.5" thick with 6" of gravel beneath with 6 mil plastic to stop moisture wicking up into the slab. In addition, a drainage system around the addition, to ensure that rain does not flow into the courtyard area to collect and divert away from the Structures.
- 8.) FOOTING WATERPROOFING: All new block work to be parged ½" with foundation coating up to grade

Vicinity Map:



Site Plan
Scale: 1/32

LEVI'S RESIDENCE 11811 Cedar Lane Kingsville, Md. 21087	Drawn By: Checked By: Scale: 1/32 Date:	Sheet Title: Site Plan	Sheet Number: S-1
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2023-0015-A