



JOHN A. OLSZEWSKI, JR.
County Executive

PAUL M. MAYHEW
Managing Administrative Law Judge
MAUREEN E. MURPHY
Administrative Law Judge

October 18, 2023

David Karceski, Esquire – dhkarceski@venable.com
Adam Rosenblatt, Esquire – amrosenblatt@venable.com
Venable, LLP
210 W. Chesapeake Avenue, Suite 500
Towson, MD 21204

RE: **AMENDED** - Petitions for Special Hearing & Variance
Case No. 2023-0170-SPHA
Property: 11503 McCormick Road

Dear Mr. Karceski and Mr. Rosenblatt:

Enclosed please find a copy of the decision rendered in the above-captioned matter.

Pursuant to Baltimore County Code § 32-3-401(a), “a person aggrieved or feeling aggrieved” by this Decision and Order may file an appeal to the County Board of Appeals within thirty (30) days of the date of this Order. For further information on filing an appeal, please contact the Office of Administrative Hearings at 410-887-3868.

Sincerely,

A handwritten signature in black ink that reads "Paul M. Mayhew".

PAUL M. MAYHEW
Managing Administrative Law Judge
for Baltimore County

PMM:dml
Enclosure

c: Ryan Scully – ryan_scully@avalonbay.com
Jacob Dortch – jdortch@dmw.com
Kristy Bischoff – kbischoff@dmw.com
Scott Foster – scotf@bctdesigngroup.com
K. Bosley – myprop@verizon.net

IN RE: PETITIONS FOR SPECIAL HEARING *	BEFORE THE
AND VARIANCE	
(11503 McCormick Road) *	OFFICE OF
8th Election District	
3rd Council District *	ADMINISTRATIVE HEARINGS
Avalon HVTC, LLC	
	FOR BALTIMORE COUNTY
<i>Legal Owner</i>	
	Case No. 2023-0170-SPHA
Petitioner	
* * * * *	

AMENDED
OPINION AND ORDER

This matter comes before the Office of Administrative Hearings (“OAH”) for consideration of Petitions for Special Hearing and Variance filed by the legal owner, Avalon HVTC, LLC, (“Petitioner”) for the property located at 11503 McCormick Road, Hunt Valley. The Special Hearing was filed to allow an identification sign to be erected on a canopy structure as this structural sign type is defined in Baltimore County Zoning Regulations (“BCZR”) §§ 450.5.B.3 and 450.5.B.6 rather than be attached to a building wall (Sign B). Variances¹ were also filed as follows:

From the BCZR § 450.4 Table of Sign Regulations.6(a), to allow a total of 4 wall-mounted identification signs (Signs A, C, E, F) accessory to a building with sign areas/faces of 84 sq. ft., 71 sq. ft. 13 sq. ft., 53 sq. ft. (for a total of 221 sq. ft.) in lieu of no wall-mounted identification sign permitted for a parcel of land without frontage on a public street

From the BCZR § 450.4 Table of Sign Regulations.6(a), to allow an identification sign to be installed on a canopy structure with a sign area/face of 9 sq. ft. and to allow the sign to extend above the vertical face of the canopy a distance of 1.5 ft. and from the wall a distance of 5 ft. in lieu of the requirement that the sign be wall-mounted (Sign B).

From the BCZR § 450.4 Table of Sign Regulations 3(a), to allow a wall-mounted directional sign with a sign area/face of 11 sq. ft. in lieu of the permitted 8 sq. ft. (Sign D).

¹ An Amended Variance Petition was submitted and accepted at the Hearing. The amendments made minor modifications of the square footage of several of the signs.

A public WebEx hearing was conducted virtually in lieu of an in-person hearing. The Petition was properly advertised and posted. Two interested citizens attended the hearing.

A Substantive Zoning Advisory Committee (“ZAC”) comment was received from the Department of Planning (“DOP”). They did not oppose the relief requested. In fact, DOP found that “[t]he proposed signage is compatible and functional, and it will not negatively impact the building or surrounding area.

David Karceski, Esq. and Adam Rosenblatt, Esq. with Venable, LLP appeared in support of the Petition on behalf of Avalon HVTC, LLC. Kristy Bischoff, PE, the engineer who prepared the site plan, also attended. The site plan was admitted as Petitioner’s Exhibit 1. Also in attendance was Todd Connelly, a licensed architect, with BCT Design Group. The sign elevations he designed were admitted as Petitioner’s Exhibit 6. Ryan Scully with Avalon Communities, Inc. appeared for Petitioner.

The case proceeded by way of a proffer by Mr. Karceski, who was assisted by Ms. Bischoff. She identified and explained a series of site photos that were admitted as Petitioner’s Exhibit 4. The site is within the Hunt Valley Town Center property. It is approximately 3.38 acres and is zoned BM. Mr. Karceski explained the many unique features of the site and how these unique features necessitate the requested variance relief. The site is accessed from the Town Center’s ring road and has no frontage on any public road. It is well below the grade of McCormick Road to the north. The proposed signage is needed for identification and wayfinding for the Avalon Bay residential building that is currently under construction. The proposed signage is similar to the design used for other Avalon Bay residential communities.

A variance request involves a two-step process, summarized as follows:

- (1) It must be shown the property is unique in a manner which makes it unlike surrounding properties, and that uniqueness or peculiarity must necessitate variance relief; and
- (2) If variance relief is denied, Petitioner will experience a practical difficulty or hardship.

Cromwell v. Ward, 102 Md. App. 691 (1995).

As noted above, the site is unique in a number of ways. If the variances were denied the Petitioner would suffer practical difficulty and hardship because Avalon's residents, vendors and visitors would have trouble locating and navigating around the site. As noted by the DOP, the proposed signage is compatible with that of the other tenants in the Hunt Valley Town Center and with the Hunt Valley Timonium Master Plan and Design Guidelines.

THEREFORE, IT IS ORDERED this 18th day of **October 2023** by this Administrative Law Judge that the Petition for Special Hearing to allow an identification sign to be erected on a canopy structure as defined in BCZR §§ 450.5.B.3 and 450.5.B.6 rather than be attached to a building wall (Sign B) is hereby **GRANTED**.

IT IS FURTHER ORDERED that the Variance from BCZR § 450.4 Table of Sign Regulations.6(a), to allow a total of 4 wall-mounted identification signs (Signs A, C, E, F) accessory to a building with sign areas/faces of 84 sq. ft., 71 sq. ft. 13 sq. ft., 53 sq. ft. (for a total of 221 sq. ft.) in lieu of the no wall-mounted identification sign permitted for a parcel of land without frontage on a single public street is hereby **GRANTED**, and;

IT IS FURTHER ORDERED, from the BCZR § 450.4 Table of Sign Regulations.6(a), to allow an identification sign to be installed on a canopy structure with a sign area/face of 9 sq. ft. and to allow the sign to extend above the vertical face of the canopy a distance of 1.5 ft. and from the wall a distance of 5 ft. in lieu of the requirement that the sign be wall-mounted (Sign B) is hereby **GRANTED**, and;

IT IS FURTHER ORDERED, from the BCZR §§ 450.4 Table of Sign Regulations 3(a), to allow a wall-mounted directional sign with a sign area/face of 11 sq. ft. in lieu of the permitted 8 sq. ft. (Sign D) is hereby **GRANTED**.

The relief granted herein shall be subject to the following:

- Petitioner may apply for necessary permits and/or licenses upon receipt of this Order. However, Petitioner are hereby made aware that proceeding at this time is at their own risk until 30 days from the date hereof, during which time an appeal can be filed by any party. If for whatever reason this Order is reversed, Petitioner would be required to return the subject property to its original condition.

Any appeal of this decision must be made within thirty (30) days of the date of this Order.



PAUL M. MAYHEW
Managing Administrative Law Judge
for Baltimore County

PMM/dlm



JOHN A. OLSZEWSKI, JR.
County Executive

PAUL M. MAYHEW
Managing Administrative Law Judge
MAUREEN E. MURPHY
Administrative Law Judge

October 18, 2023

David Karceski, Esquire – dhkarceski@venable.com
Adam Rosenblatt, Esquire – amrosenblatt@venable.com
Venable, LLP
210 W. Chesapeake Avenue, Suite 500
Towson, MD 21204

RE: Petitions for Special Hearing & Variance
Case No. 2023-0170-SPHA
Property: 11503 McCormick Road

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Sincerely,

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PAUL M. MAYHEW
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Enclosure

c: Ryan Scully – ryan_scully@avalonbay.com
Jacob Dortch – jdortch@dmw.com
Kristy Bischoff – kbischoff@dmw.com
Scott Foster – scotf@bctdesigngroup.com
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IN RE: PETITIONS FOR SPECIAL HEARING	*	BEFORE THE
AND VARIANCE		
(11503 McCormick Road)	*	OFFICE OF
8th Election District		
3rd Council District	*	ADMINISTRATIVE HEARINGS
Avalon HVTC, LLC		
	*	FOR BALTIMORE COUNTY
<i>Legal Owner</i>		
	*	Case No. 2023-0170-SPHA
Petitioner		
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OPINION AND ORDER

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From the BCZR § 450.4 Table of Sign Regulations 3(a), to allow a wall-mounted directional sign with a sign area/face of 11 sq. ft. in lieu of the permitted 8 sq. ft. (Sign D).

¹ An Amended Variance Petition was submitted and accepted at the Hearing. The amendments made minor modifications of the square footage of several of the signs.

A public WebEx hearing was conducted virtually in lieu of an in-person hearing. The Petition was properly advertised and posted. Two interested citizens attended the hearing.

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David H. Karceski, Esq. and Adam M. Rosenblatt, Esq. with Venable LLP appeared in support of the Petition on behalf of Avalon HVTC, LLC. Kristy Bischoff, PE, the engineer who prepared the site plan, also attended. The site plan was admitted as Petitioner’s Exhibit 1. Also in attendance was Scot Foster the graphic designer who designed the signage. The sign elevations he designed were admitted as Petitioner’s Exhibit 6. David Karceski, Esquire and Adam Rosenblatt, Esquire of Venable, LLP represented the Petitioner.

The case proceeded by way of a proffer by Mr. Karceski, who was assisted by Ms. Bischoff. She identified and explained a series of site photos that were admitted as Petitioner’s Exhibit 4. The site is within the Hunt Valley Town Center property. It is approximately 3.38 acres and is zoned BM. Mr. Karceski explained the many unique features of the site and how these unique features necessitate the requested variance relief. The site is accessed from the Town Center’s ring road and has no frontage on any public road. It is well below the grade of McCormick Road to the north. The proposed signage is needed for identification and wayfinding for the Brightview Assisted Living complex that is currently under construction. The proposed signage is the standard design used on all Brightview complexes.

A variance request involves a two-step process, summarized as follows:

- (1) It must be shown the property is unique in a manner which makes it unlike surrounding properties, and that uniqueness or peculiarity must necessitate variance relief; and
- (2) If variance relief is denied, Petitioner will experience a practical difficulty or hardship.

Cromwell v. Ward, 102 Md. App. 691 (1995).

As noted above, the site is unique in a number of ways. If the variances were denied the Petitioner would suffer practical difficulty and hardship because Avalon's residents, vendors and visitors would have trouble locating and navigating around the site. As noted by the DOP, the proposed signage is compatible with that of the other tenants in the Hunt Valley Town Center and with the Hunt Valley Timonium Master Plan and Design Guidelines.

THEREFORE, IT IS ORDERED this 18th day of **October 2023** by this Administrative Law Judge that the Petition for Special Hearing to allow an identification sign to be erected on a canopy structure as defined in BCZR §§ 450.5.B.3 and 450.5.B.6 rather than be attached to a building wall (Sign B) is hereby **GRANTED**.

IT IS FURTHER ORDERED that the Variance from BCZR § 450.4 Table of Sign Regulations.6(a), to allow a total of 4 wall-mounted identification signs (Signs A, C, E, F) accessory to a building with sign areas/faces of 84 sq. ft., 71 sq. ft. 13 sq. ft., 53 sq. ft. (for a total of 221 sq. ft.) in lieu of the 1 wall-mounted identification sign permitted for a parcel of land with frontage on a single public street is hereby **GRANTED**, and;

IT IS FURTHER ORDERED, from the BCZR § 450.4 Table of Sign Regulations.6(a), to allow an identification sign to be installed on a canopy structure with a sign area/face of 9 sq. ft. and to allow the sign to extend above the vertical face of the canopy a distance of 1.5 ft. and from the wall a distance of 5 ft. in lieu of the requirement that the sign be wall-mounted (Sign B) is hereby **GRANTED**, and;

IT IS FURTHER ORDERED, from the BCZR §§ 450.4 Table of Sign Regulations 3(a), to allow a wall-mounted directional sign with a sign area/face of 11 sq. ft. in lieu of the permitted 8 sq. ft. (Sign D) is hereby **GRANTED**.

The relief granted herein shall be subject to the following:

- Petitioner may apply for necessary permits and/or licenses upon receipt of this Order. However, Petitioner are hereby made aware that proceeding at this time is at their own risk until 30 days from the date hereof, during which time an appeal can be filed by any party. If for whatever reason this Order is reversed, Petitioner would be required to return the subject property to its original condition.

Any appeal of this decision must be made within thirty (30) days of the date of this Order.



PAUL M. MAYHEW
Managing Administrative Law Judge
for Baltimore County

PMM/dlm



PETITION FOR ZONING HEARING(S)

To be filed with the Department of Permits, Approvals and Inspections

To the Office of Administrative Law of Baltimore County for the property located at:

Address 11503 McCormick Road which is presently zoned BM
Deed References: 46582 / 501 10 Digit Tax Account # 2500017339 and 2500017699
Property Owner(s) Printed Name(s) Avalon HVTC LLC

(SELECT THE HEARING(S) BY MARKING ☒ AT THE APPROPRIATE SELECTION AND PRINT OR TYPE THE PETITION REQUEST)

The undersigned legal owner(s) of the property situate in Baltimore County and which is described in the description and plan attached hereto and made a part hereof, hereby petition for:

1. ☒ a **Special Hearing** under Section 500.7 of the Zoning Regulations of Baltimore County, to determine whether or not the Zoning Commissioner should approve

SEE ATTACHED SHEET

2. ☐ a **Special Exception** under the Zoning Regulations of Baltimore County to use the herein described property for

3. ☒ a **Variance** from Section(s)

SEE ATTACHED SHEET

of the zoning regulations of Baltimore County, to the zoning law of Baltimore County, for the following reasons:
(Indicate below your hardship or practical difficulty or indicate below "TO BE PRESENTED AT HEARING". If you need additional space, you may add an attachment to this petition)

TO BE PRESENTED AT HEARING

Property is to be posted and advertised as prescribed by the zoning regulations.

I, or we, agree to pay expenses of above petition(s), advertising, posting, etc. and further agree to and are to be bounded by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

Legal Owner(s) Affirmation: I / we do so solemnly declare and affirm, under the penalties of perjury, that I / We are the legal owner(s) of the property which is the subject of this / these Petition(s).

Contract Purchaser/Lessee:

N/A

Name- Type or Print

Signature

Mailing Address

City

State

Zip Code

Telephone #

Email Address

Attorney for Petitioner:

David H. Karceski, Esquire

Name- Type or Print

Signature Venable LLP

210 W. Pennsylvania Ave., Ste. 500 Towson MD

Mailing Address

City

State

21204

410-494-6285

dhkarceski@venable.com

Zip Code

Telephone #

Email Address

Legal Owners (Petitioners):

SEE ATTACHED SHEET

Name #1 - Type or Print

Name #2 - Type or Print

Signature #1

Signature #2

Mailing Address

City

State

Zip Code

Telephone #

Email Address

Representative to be contacted:

David H. Karceski, Esquire

Name - Type or Print

Signature Venable LLP

210 W. Pennsylvania Ave., Ste. 500 Towson MD

Mailing Address

City

State

21204

410-494-6285

dhkarceski@venable.com

Zip Code

Telephone #

Email Address

CASE NUMBER 2023-0170-SPHA Filing Date 8, 16, 23

Do Not Schedule Dates:

Reviewer JS

REV. 10/4/11

11503 MCCORMICK ROAD

ATTACHMENT TO PETITION FOR VARIANCE

1. Variance from Section 450.4, Table of Sign Regulations.6(a) of the Baltimore County Sign Regulations (B.C.Z.R.) to allow a total of 4 wall-mounted identification signs (Signs A, C, E, F) accessory to a building with sign areas/faces of 84 square feet, 38 square feet, 13 square feet, 53 square feet (for a total of 188 square feet) in lieu of the 1 wall-mounted identification sign permitted for a parcel of land with frontage on a single public street.
2. Variance from Section 450.4, Table of Sign Regulations.6(a) of the B.C.Z.R. to allow an identification sign to be installed on a canopy structure with a sign area/ face of 23 square feet and to allow the sign to extend above the vertical face of the canopy a distance of 1.5 feet and from the wall a distance of 5 feet in lieu of the requirement that the sign be wall-mounted (Sign B).
3. Variance from Section 450.4, Table of Sign Regulations.3(a) of the B.C.Z.R. to allow a wall-mounted directional sign with a sign area/face of 11 square feet in lieu of the permitted 8 square feet (Sign D).

11503 MCCORMICK ROAD

ATTACHMENT TO PETITION FOR SPECIAL HEARING

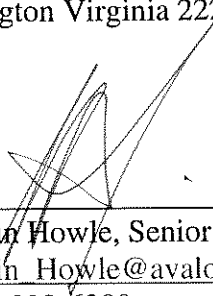
1. Special Hearing to allow an identification sign to be erected on a canopy structure as this structural sign type is defined in Sections 450.5.B.3 and 450.5.B.6 of the B.C.Z.R. rather than be attached to a building wall (Sign B).

11503 McCormick ROAD

ATTACHMENT TO PETITIONS FOR VARIANCE & SPECIAL HEARING

LEGAL OWNER/PETITIONER:

Avalon HVTC LLC
Suite 1000
4040 Wilson Boulevard
Arlington Virginia 22203

By: 
Martin Howle, Senior Vice President – Development
Martin_Howle@avalonbay.com
(703) 329-6300



Zoning Description

To Accompany a petition for Zoning Variance

Tax Map 42, Parcel 31

Hunt Valley Towne Centre West Condominium A, Units RA1 and RA2

Baltimore County, Maryland

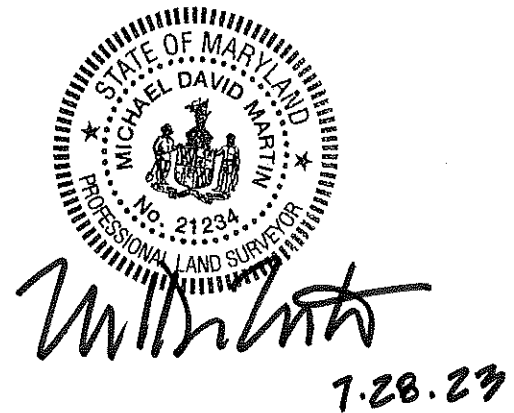
Commencing for the same at the intersection point of the centerlines of McCormick Road and York Road, thence running southwesterly with the centerline of McCormick Road approximately 2100 feet, thence Southeasterly approximately 40 feet to the point of beginning of this description; thence binding on and running with the outlines of Units RA1 and RA2 as shown on the Condominium Plat entitled "Hunt Valley Town Centre West Condominium A" as recorded among the plat records of Baltimore County, Maryland in plat book 31, at folio 968, referring all courses of this description to the Maryland Coordinate System (NAD83/1991) adjustment; (1) South 05 degrees 13 minutes 12 seconds East 294.17 feet; thence (2) with a curve to the left having a radius of 87.00 feet for a length of 3.56 feet; thence (3) South 49 degrees 46 minutes 48 seconds West 175.01 feet; thence (4) with a curve to the right having a radius of 63.00 feet for an arc length of 38.48 feet; thence (5) South 84 degrees 46 minutes 48 seconds West 359.18 feet; thence (6) with a curve to the right having a radius of 25.00 feet for a length of 25.54 feet; thence (7) North 31 degrees 40 minutes 29 minutes East 100.20 feet; thence (8) with a curve to the right having a radius of 551.00 feet for an arc length of 149.61 feet; thence (9) North 47 degrees 13 minutes 54 seconds East 37.30 feet; thence (10) with a curve to the right having a radius of 726.00 feet for a length of 273.45 feet;

thence (11) North 68 degrees 48 minutes 45 seconds East 103.79 feet; thence (12) North 66 degrees 36 minutes 34 seconds East 25.81 feet to the point of beginning; containing 147,232 square feet or 3.38 acres of land, more or less, as now described by Daft-McCune-Walker, Inc.

THIS DESCRIPTION IS BASED ON THE CURRENT DEEDS / PLATS OF RECORD
AND IS FOR ZONING PURPOSES ONLY AND IS NOT INTENDED TO BE USED FOR
ANY TYPE OF PROPERTY CONVEYANCE.

July 27, 2023

Project No. 94150.Y0 (L94150.Y0)



DEPARTMENT OF PERMITS, APPROVALS AND INSPECTIONS

ZONING REVIEW OFFICE

ADVERTISING REQUIREMENTS AND PROCEDURES FOR ZONING HEARINGS

The Baltimore County Zoning Regulations (BCZR) require that notice be given to the general public/ neighboring property owners relative to property which is the subject of an upcoming zoning hearing. For those petitions which require a public hearing, this notice is accomplished by posting a sign on the property (responsibility of the legal owner/petitioner) and placement of a notice in a newspaper of general circulation in the County, both at least twenty (20) days before the hearing.*

Zoning Review will ensure that the legal requirements for advertising are satisfied. However, the legal owner/petitioner is responsible for the costs associated with these requirements. The newspaper will bill the person listed below for the advertising. This advertising is due upon receipt and should be remitted directly to the newspaper.

OPINIONS MAY NOT BE ISSUED UNTIL ALL ADVERTISING COSTS ARE PAID

For Newspaper Advertising:

Case Number: 2023-0170-SP14
Property Address: 11503 McCormick Road
Legal Owners (Petitioners): Avalon HVTC LLC
Contract Purchaser/Lessee: N/A

PLEASE FORWARD ADVERTISING BILL TO:

Name: Company/Firm (if applicable): Venable LLP
Address: David H. Karcuski
210 West Pennsylvania Avenue Suite 500
Towson Maryland 21204
Telephone Number: (410) 494-6285

*Failure to advertise and/or post a sign on the property within the designated time will result in the Hearing request being delayed. The delayed Hearing Case will be cycled to the end of pending case files and rescheduled in the order that it is received. Also, a \$250.00 rescheduling fee may be required after two failed advertisings and/or postings.

BALTIMORE COUNTY, MARYLAND
OFFICE OF BUDGET AND FINANCE
MISCELLANEOUS CASH RECEIPT

No. 222589

Date: 8/16/23

Fund	Dept	Unit	Sub Unit	Rev	Sub	Dept	Obj	BS Acct	Amount
				Source/	Rev/				
001	806	0000		6150					\$1000.00
Total:									\$1000.00

Rec
From: VENABLE

For: 2023-0170-SPNA

11503 MCCORMICK ROAD

DISTRIBUTION

WHITE - CASHIER PINK - AGENCY YELLOW - CUSTOMER GOLD - ACCOUNTING
PLEASE PRESS HARD!!!!

CASHIER'S
VALIDATION



PNC, N.A. Bank 040
Maryland

VENABLE_{LLP}

750 E. Pratt Street Suite 900
Baltimore, Maryland 21202

Operating Account

F 540305

15-3
540

DATE

June 28, 2023

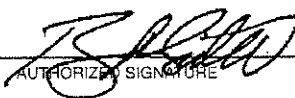
AMOUNT

\$1,000.00

*****ONE THOUSAND AND 00/100

PAY
TO THE
ORDER
OF

Baltimore County, Maryland
Office of Budget and Finance
400 Washington Avenue, Room 152
Towson, MD 21204-4665


AUTHORIZED SIGNATURE

VOID AFTER 180 DAYS

AUTHORIZED SIGNATURE
(TWO SIGNATURES REQUIRED OVER \$25,000)

CERTIFICATE OF POSTING

2023-0170-SPHA

RE: Case No.: _____

Petitioner/Developer: _____

Avalon HVTC, LLC.

October 10, 2023

Date of Hearing/Closing: _____

Baltimore County Department of
Permits, Approvals and Inspections
County Office Building, Room 111
111 West Chesapeake Avenue
Towson, Maryland 21204

Attn: Kristen Lewis:

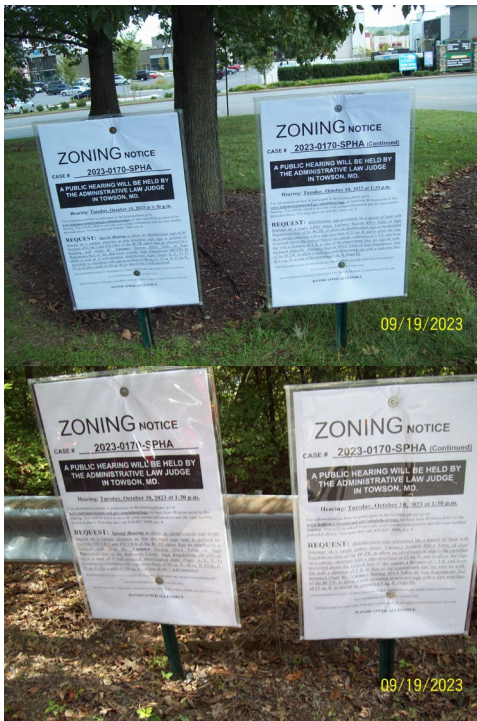
Ladies and Gentlemen:

This letter is to certify under the penalties of perjury that the necessary sign(s) required by law were posted conspicuously on the property located at: _____

11503 McCormick Road *Groups 1 & 2*

September 19, 2023

The sign(s) were posted on _____
(Month, Day, Year)



Sincerely,

 September 19, 2023
(Signature of Sign Poster) (Date)

SSG Robert Black

(Print Name)

1508 Leslie Road

(Address)

Dundalk, Maryland 21222

(City, State, Zip Code)

(410) 282-7940

(Telephone Number)

CERTIFICATE OF POSTING

2023-0170-SPHA

RE: Case No.: _____

Petitioner/Developer: _____

Avalon HVTC, LLC.

October 10, 2023

Date of Hearing/Closing: _____

Baltimore County Department of
Permits, Approvals and Inspections
County Office Building, Room 111
111 West Chesapeake Avenue
Towson, Maryland 21204

Attn: Kristen Lewis:

Ladies and Gentlemen:

This letter is to certify under the penalties of perjury that the necessary sign(s) required by law were posted conspicuously on the property located at: _____

11503 McCormick Road ***SIGN 2***

September 19, 2023

The sign(s) were posted on _____
(Month, Day, Year)



Sincerely,

September 19, 2023

(Signature of Sign Poster)

(Date)

SSG Robert Black

(Print Name)

1508 Leslie Road

(Address)

Dundalk, Maryland 21222

(City, State, Zip Code)

(410) 282-7940

(Telephone Number)

CERTIFICATE OF POSTING

2023-0170-SPHA

RE: Case No.: _____

Petitioner/Developer: _____

Avalon HVTC, LLC.

October 10, 2023

Date of Hearing/Closing: _____

Baltimore County Department of
Permits, Approvals and Inspections
County Office Building, Room 111
111 West Chesapeake Avenue
Towson, Maryland 21204

Attn: Kristen Lewis:

Ladies and Gentlemen:

This letter is to certify under the penalties of perjury that the necessary sign(s) required by law were posted conspicuously on the property located at: _____

11503 McCormick Road ***SIGN 1***

September 19, 2023

The sign(s) were posted on _____
(Month, Day, Year)



Sincerely,

 September 19, 2023

(Signature of Sign Poster) (Date)

SSG Robert Black

(Print Name)

1508 Leslie Road

(Address)

Dundalk, Maryland 21222

(City, State, Zip Code)

(410) 282-7940

(Telephone Number)

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE MEMORANDUM

TO: C. Pete Gutwald
Director, Department of Permits, Approvals and Inspections

DATE: 9/14/2023

FROM: Steve Lafferty
Director, Department of Planning

SUBJECT: ZONING ADVISORY COMMITTEE COMMENTS
Case Number: 2023-0170-SPHA

INFORMATION:

Property Address: 11503 McCormick Road
Petitioner: Avalon HVTC LLC, c/o Martin Howle, Senior Vice President
Zoning: BM
Requested Action: Special Hearing, Variance

The Department of Planning has reviewed the petition for the following:

Special Hearing -

1. To allow an identification sign to be erected on a canopy structure as this structural sign type is define in Sections 450.5.B.3 and 450.5.B.6 of the Baltimore County Zoning Regulations (BCZR), rather than be attached to a building wall (Sign B);

Variance -

2. From Section 450.4.Table of Sign Regulations.6(a) of the BCZR to allow a total of four wall-mounted identification signs (Signs A, C, E, F) accessory to a building with sign area/faces of 84 square feet, 38 square feet, 13 square feet, and 53 square feet (for a total of 188 square feet) in lieu of the one wall-mounted identification sign permitted for a parcel of land with frontage on a single public street;
3. From Section 450.4.Table of Sign Regulations.6(a) of the BCZR to allow an identification sign to be installed on a canopy structure with a sign area/face of 23 square feet and to allow the sign to extend above the vertical face of the canopy a distance of 1.5 feet and from the wall a distance of 5 feet in lieu of the requirement that the sign be wall-mounted (Sign B); and
4. From Section 450.4.Table of Sign Regulations.3(a) of the BCZR to allow a wall-mounted directional sign with a sign area/face of 11 square feet in lieu of the permitted 8 square feet (Sign D).

The subject site is an approximately 3.38 acre parcel in the Hunt Valley area. It is part of the Hunt Valley Towne Center, which is located at the northeast corner of the signalized intersection of Shawan Road and McCormick Road. The site is a mixed-use development, which includes retail and department stores, restaurants, fast food establishments, a grocery store, a movie theater, transportation stops (light rail and bus), and apartments. The 15th Plan Refinement for the Hunt Valley Towne Center (PAI # 08-0251) included the proposed Avalon Bay apartment building, a parking garage, and an elderly housing

component, now known as Brightview Hunt Valley. The Avalon Bay apartment building is the subject of the zoning petition at hand.

Brightview Hunt Valley was the subject of recent Zoning Case 2023-127-SPHA. The case was for Variance relief and a Special Hearing for signage similar to that proposed for Avalon Bay. The Department of Planning had no objections to the relief requested in that case.

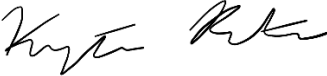
The site is within the boundary of the Hunt Valley/Timonium Design Guidelines outlined in the Comprehensive Manual of Development Policies (CMDP). The Hunt Valley/Timonium Master Plan, adopted October 19th, 1998, provides background on, recommendations for, and general design guidelines for the plan boundary area. The Hunt Valley/Timonium Design Guidelines section of the CMDP provides design guidelines to confirm good design quality to make sure the Hunt Valley/Timonium area is an attractive, desirable environment to work, life, and shop. Both of these documents recommend improving the visual quality of properties within the plan boundary area.

On August 21st, 2023, the representative for the petition submitted a colored copy of the site plan and the signage details to the Department of Planning via email. The proposed signage is consistent with the styles and colors of the proposed Avalon apartment building, as well as with the signage proposed for the adjacent Brightview Hunt Valley.

The Department of Planning has no objections to the requested Variance relief or Special Hearing. The proposed signage is compatible and functional, and it will not negatively impact the building or surrounding area.

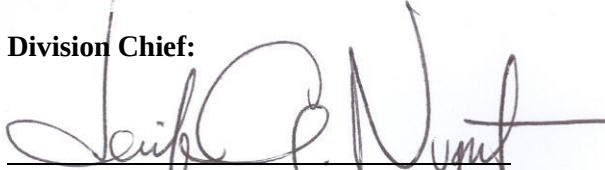
For further information concerning the matters stated herein, please contact Taylor Bensley at 410-887-3482.

Prepared by:



Krystle Patchak

Division Chief:



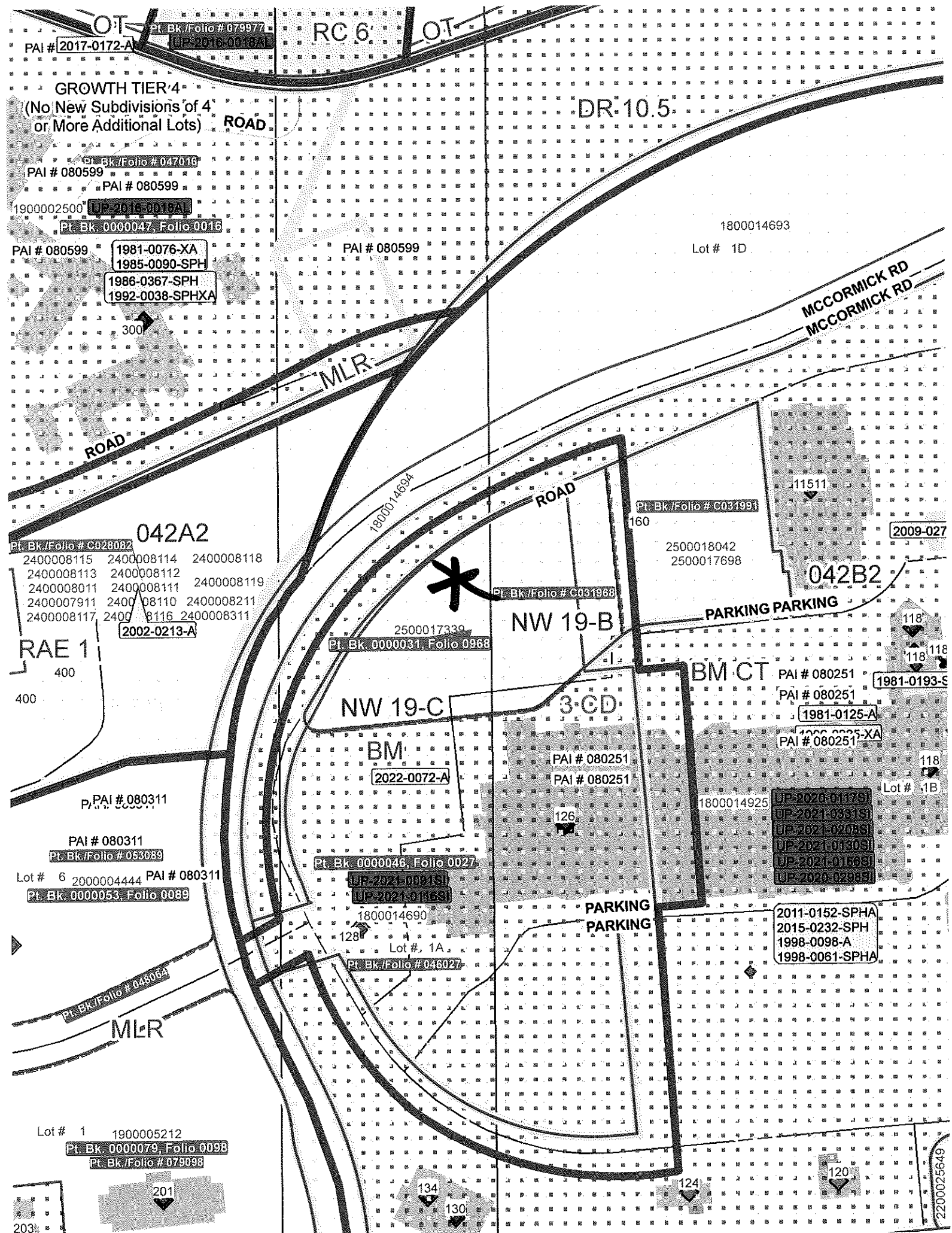
Jenifer G. Nugent

SL/JGN/KP

c: David Karceski
David Birkenthal, Community Planner
Ngone Seye Diop, Community Planning Division Chief
Jeff Perlow, Zoning Review
Kristen Lewis, Zoning Review
Office of Administrative Hearings
People's Counsel for Baltimore County

Real Property Data Search ()
Search Result for BALTIMORE COUNTY

View Map	View GroundRent Redemption	View GroundRent Registration
Special Tax Recapture: None		
Account Identifier: District - 08 Account Number - 2500017339		
Owner Information		
Owner Name:	AVALON HVTC LLC C/O AVALONBAY COMMUNITIES INC	Use: COMMERCIAL Principal Residence: NO
Mailing Address:	STE 1000 4040 WILSON BLVD ARLINGTON VA 22203-	Deed Reference: /46582/ 00501
Location & Structure Information		
Premises Address:	MCCORMICK RD	Legal Description: UNIT RA1 2.760 ACS SS MCCORMICK RD HUNT VALLEY TOWNE CENTER WEST CONDO A
Map: 0042	Grid: 0009	Parcel: 0031
Neighborhood: 20000.04	Subdivision: 0941	Section: 0000
Block: 0000	Lot: 0000	Assessment Year: 2023
Town: None		Plat No: 31/ 968
Primary Structure Built	Above Grade Living Area	Finished Basement Area
		Property Land Area 2.7600 AC
County Use		
Stories	Basement	Type
Exterior	Quality	Full/Half Bath
Garage	Last Notice of Major Improvements	
Value Information		
	Base Value	Value
		As of 01/01/2023
		Phase-in Assessments
		As of 07/01/2023
		As of 07/01/2024
Land:	1,725,000	1,725,000
Improvements	0	0
Total:	1,725,000	1,725,000
Preferential Land:	0	0
		1,725,000
		1,725,000
Transfer Information		
Seller: GGCAL SRG HV LLC	Date: 03/18/2022	Price: \$8,662,500
Type: ARMS LENGTH MULTIPLE	Deed1: /46582/ 00501	Deed2:
Seller:	Date:	Price:
Type:	Deed1:	Deed2:
Seller:	Date:	Price:
Type:	Deed1:	Deed2:
Exemption Information		
Partial Exempt Assessments: Class	07/01/2023	07/01/2024
County:	000	0.00
State:	000	0.00
Municipal:	000	0.00
Special Tax Recapture: None		
Homestead Application Information		
Homestead Application Status: No Application		
Homeowners' Tax Credit Application Information		
Homeowners' Tax Credit Application Status: No Application		
Date:		



OT Pt. Bk./Folio # 079977
PAI # 2017-0172-A UP-2016-0018A

GROWTH TIER 4
(No New Subdivisions of 4
or More Additional Lots) ROAD

Pt. Bk./Folio # 047016
PAI # 080599
1900002500 UP-2016-0018A
Pt. Bk. 0000047, Folio 0016

PAI # 080599
1981-0076-XA
1985-0090-SPH
1986-0367-SPH
1992-0038-SPHXA

300
ROAD

042A2
Pt. Bk./Folio # C028082
2400008115 2400008114 2400008118
2400008113 2400008112 2400008119
2400008011 2400008111 2400008119
2400007911 2400008110 2400008211
2400008117 2400008116 2400008311
2002-0213-A

RAE 1
400

PAI # 080311
Pt. Bk./Folio # 053089
Lot # 6 2000004444 PAI # 080311
Pt. Bk. 0000053, Folio 0089

Pt. Bk./Folio # 048064
MLR

Lot # 1 1900005212
Pt. Bk. 0000079, Folio 0098
Pt. Bk./Folio # 079098

RC 6

OT

DR 10.5

1800014693
Lot # 1D

MCCORMICK RD
MCCORMICK RD

MLR

1800014694

ROAD

Pt. Bk./Folio # C031997
160

2500018042
2500017698

11511

2009-027

042B2

2500017339
Pt. Bk. 0000031, Folio 0968
NW 19-B

PARKING PARKING

NW 19-C

3-CD

BM

2022-0072-A

PAI # 080251
PAI # 080251

Pt. Bk. 0000046, Folio 0027
UP-2021-009181
UP-2021-011631

1800014690

Lot # 1A
Pt. Bk./Folio # 046027

PARKING
PARKING

BM CT

PAI # 080251
PAI # 080251
1981-0193-S

1981-0125-A
PAI # 080251-XA
PAI # 080251

1800014925
UP-2020-011791
UP-2021-033131
UP-2021-020831
UP-2021-013031
UP-2021-016681
UP-2020-029831

2011-0152-SPHA
2015-0232-SPH
1998-0098-A
1998-0061-SPHA

Lot # 1B

201

134

130

124

120

2200025649

OT

Pt. Bk./Folio # 079977
UP-2016-0018A

RC6

OT

PAI # 2017-0172-A

GROWTH TIER 4
(No New Subdivisions of 4
or More Additional Lots)

ROAD

DR 10.5

Pt. Bk./Folio # 047016
PAI # 080599

PAI # 080599

1900002500 UP-2016-0018A

Pt. Bk. 0000047, Folio 0016

PAI # 080599

1981-0076-XA
1985-0090-SPH

1986-0367-SPH
1992-0038-SPHXA

300

PAI # 080599

1800014693

Lot # 1D

MCCORMICK RD
MCCORMICK RD

ROAD

MLR

042A2

Pt. Bk./Folio # C028082

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2400008113 2400008112 2400008119
2400008011 2400008111 2400008211
2400007911 2400008110 2400008211
2400008117 2400008116 2400008311

2002-0213-A

RAE 1

400

NW 19-B

Pt. Bk./Folio # C031968

NW 19-C

BM

2022-0072-A

PAI # 080251

PAI # 080251

Pt. Bk. 0000046, Folio 0027

UP-2021-0091SI

UP-2021-0116SI

1800014690

128

Lot # 4A

Pt. Bk./Folio # 046027

Pt. Bk./Folio # C031991

160

2500018042
2500017698

042B2

PARKING PARKING

BM CT

PAI # 080251

PAI # 080251

1981-0125-A

1981-0125-XA

PAI # 080251

UP-2020-0117SI

UP-2021-0331SI

UP-2021-0208SI

UP-2021-0130SI

UP-2021-0166SI

UP-2020-0298SI

2011-0152-SPHA

2015-0232-SPH

1998-0098-A

1998-0061-SPHA

2009-027

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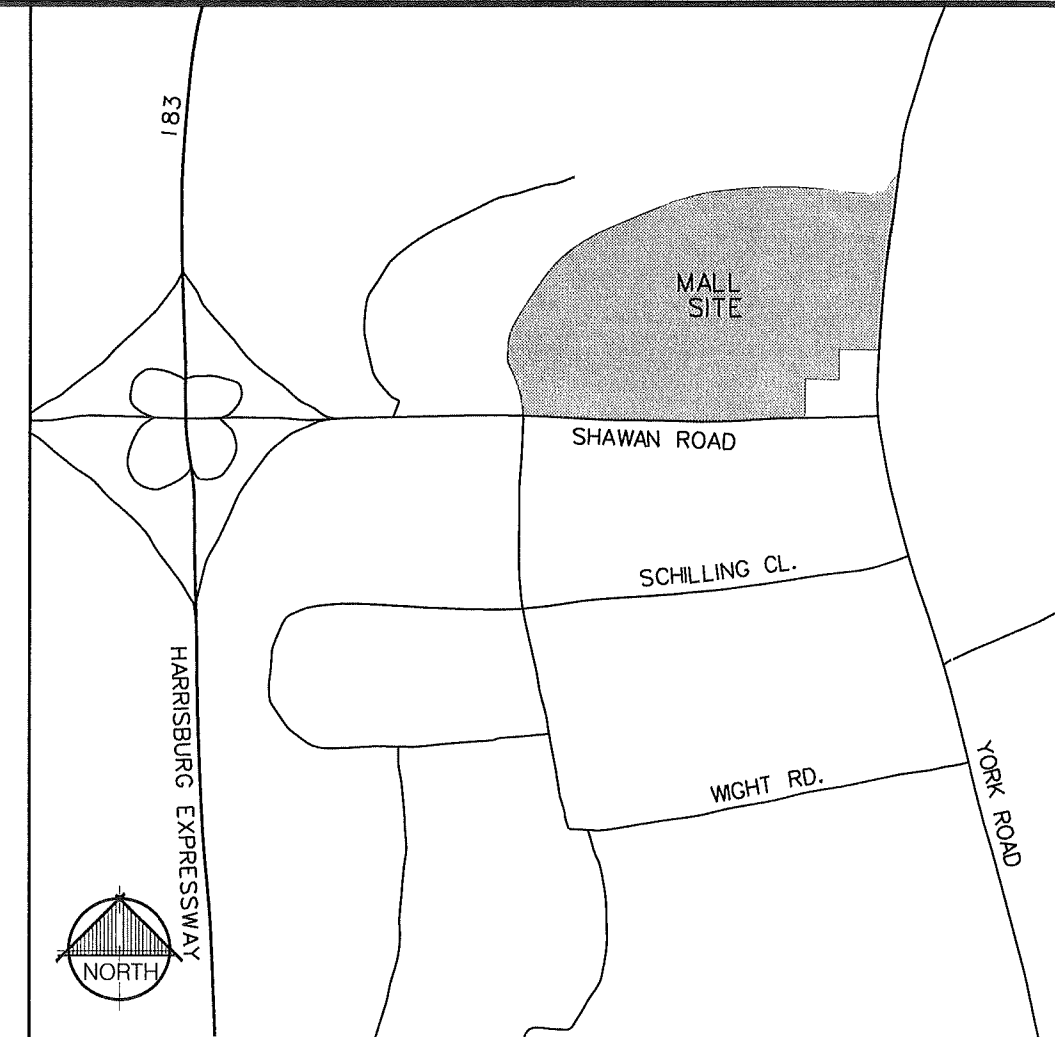
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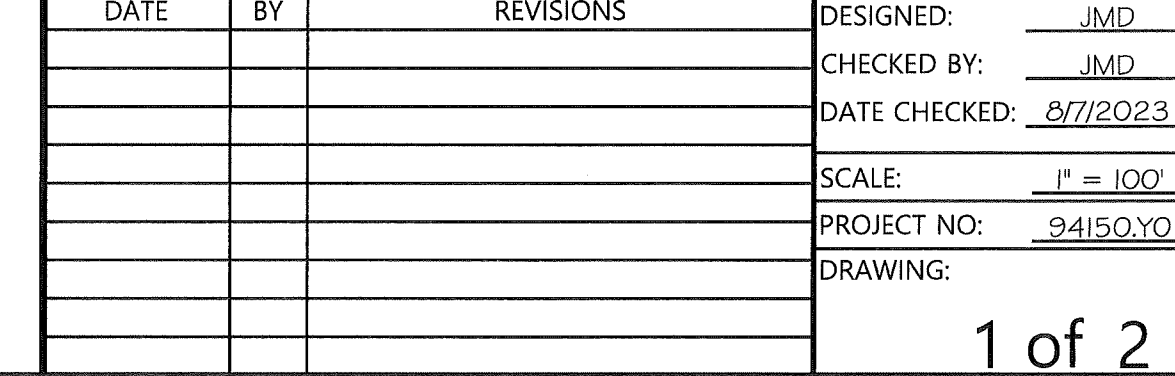


2073-0170-SPWA



DMW
DAFT MCCUNE WALKER INC

8TH ELECTION DISTRICT
3RD COUNCILMANIC DISTRICT



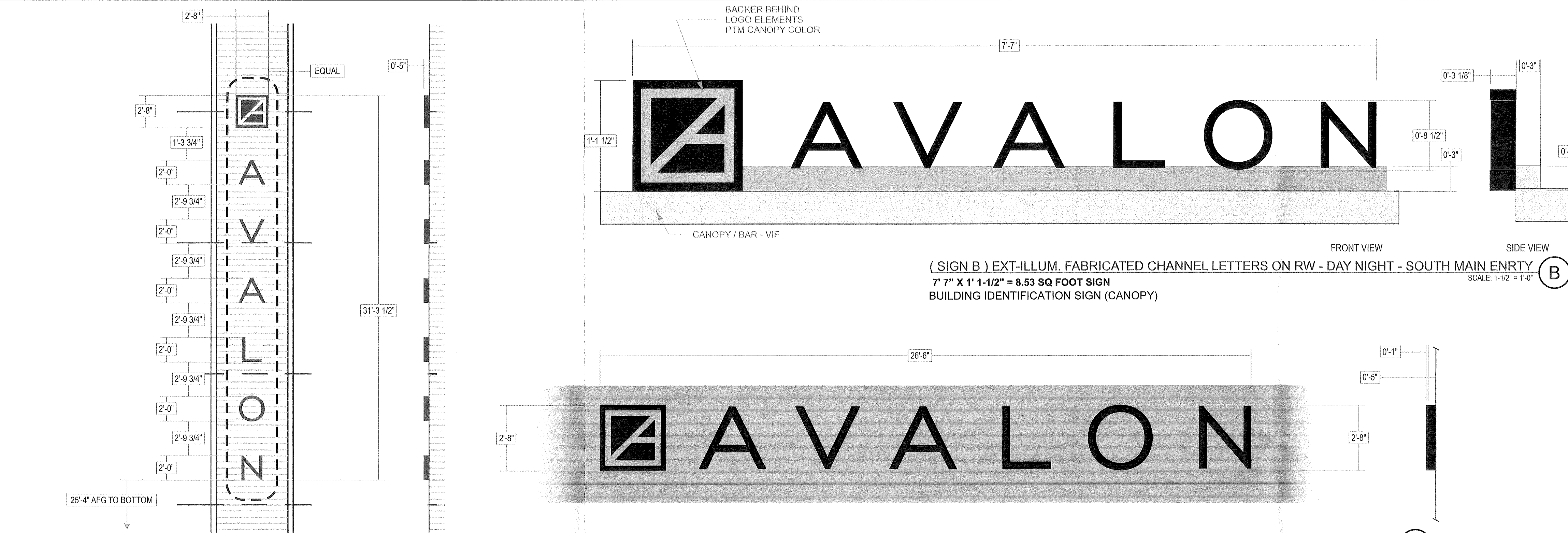
1 of 2

- ZONING HISTORY**
- A. 06-67-31PFI - GRANTED OCTOBER 1, 2006 - SPECIAL HEARING FOR APPROVAL UNDER SECTION 235C OF THE BCZC OF A PLAN WHICH EXCEEDS THE BUILDING HEIGHT STANDARDS IN SECTION 235C OF THE BCZC TO CONSIDER THE PROPOSED BUILDING HEIGHT WAS AFFIRMED BY THE BOARD OF APPEALS OF BALTIMORE COUNTY ON APRIL 25, 2006.
- B. 15-0233-5PFI - GRANTED JUNE 19, 2015 - SPECIAL HEARING TO CONFIRM THAT HUNT VALLEY PLANNING AND DEVELOPMENT, LLC (HVD) IS THE OWNER OF THE SUBJECT PARCELS AND CO.-OWNERS OF PARCEL 31, LOT 1A ARE EACH ENTITLED TO THEIR PROPORTIONATE SHARE OF THE SPECIAL HEARING. THE SPECIAL HEARING CASE NO. 2011-1522 SPFI AS SHOWN AND INDICATED ON THE SITE PLAN FILED IN CASE 16.
- C. 11-0152-5PFI - GRANTED JUNE 11, 2011 - VARIANCE AND SPECIAL HEARING TO PERMIT 4,120 SQUARE FEET SPACES IN USE OF THE REQUIRED 5,000 SQUARE FEET PARKING SPACES.
- D. 96-51-5PFI - GRANTED OCT. 1, 1997 - VARIANCE AND SPECIAL HEARING TO PERMIT 4,489 PARKING SPACES IN USE OF 5,133 AND AMEND SPECIALS 96-225-5A AND 96-125-5A.
- E. 01-125-4 - GRANTED BY DEFUNCT ZONING COMMISSIONER ON JUNE 1, 1992 TO PERMIT 6,065 PARKING SPACES IN USE OF 5,133 AND AMEND SPECIALS 96-225-5A AND 96-125-5A. BOARD OF APPEALS ON FEB. 26, 1993 TO PERMIT 5,300 SPACES IN USE OF 6,337.

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE
PREPARED OR APPROVED BY ME, AND THAT I AM
A DULY LICENSED PROFESSIONAL ENGINEER UNDER
THE LAWS OF THE STATE OF MARYLAND,
LICENSE NO. 28823 EXPIRATION DATE: 1/7/2024

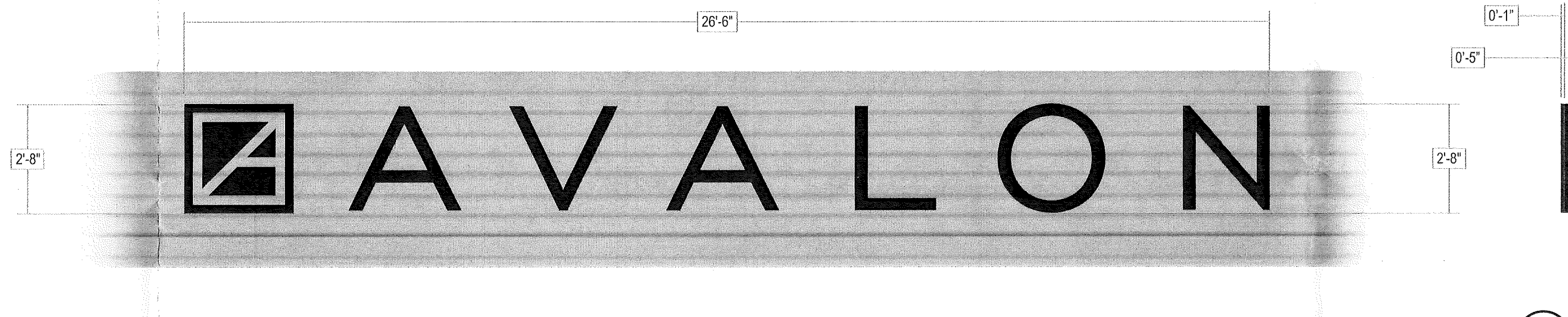
DATA SOURCES: | LICENSE NO. 28823 EXPIRATION DATE: 1/7/2024

ZONING INFORMATION SHOWN HEREON FROM BALTIMORE COUNTY OFFICE OF PLANNING, DATED 2004.
PROPERTY LINE(S) SHOWN HEREON ARE BASED UPON THE ENTITLED PLAT "1st AMENDED PLAT, HUNT
VALLEY TOWNE CENTRE WEST CONDOMINIUM A" WHICH IS RECORDED AMONG THE LAND RECORDS OF
BALTIMORE COUNTY MARYLAND PLAT BOOK 31 FOLIO 968.

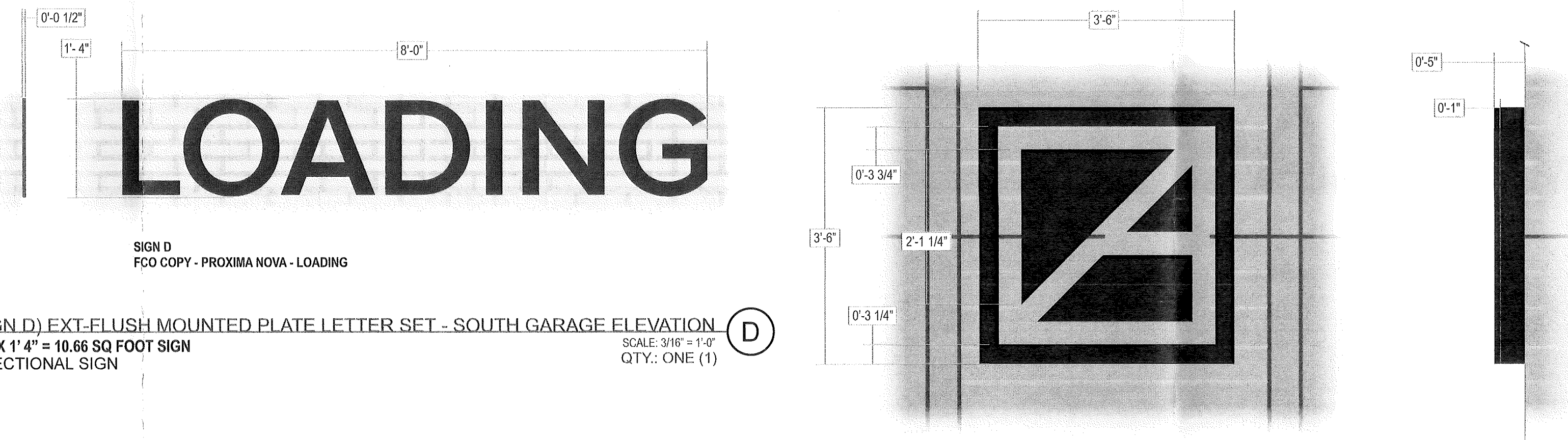


SIGN A
FACE LIT ILLUMINATED CHANNEL LETTERS MOUNTED TO BRICK WALL
LOGO & ENGRAVERS GOTHIC AVALON WORDMARK
LOGO MOUNTS ON CENTER OF WINDOW AT LEFT.

SIGN A @ SOUTH MAIN ENTRY / ENLARGEMENT
31'-3 1/2" X 2'-8" = 83.44 SQ FOOT SIGN
BUILDING IDENTIFICATION SIGN
SCALE: 3/16" = 1'-0"

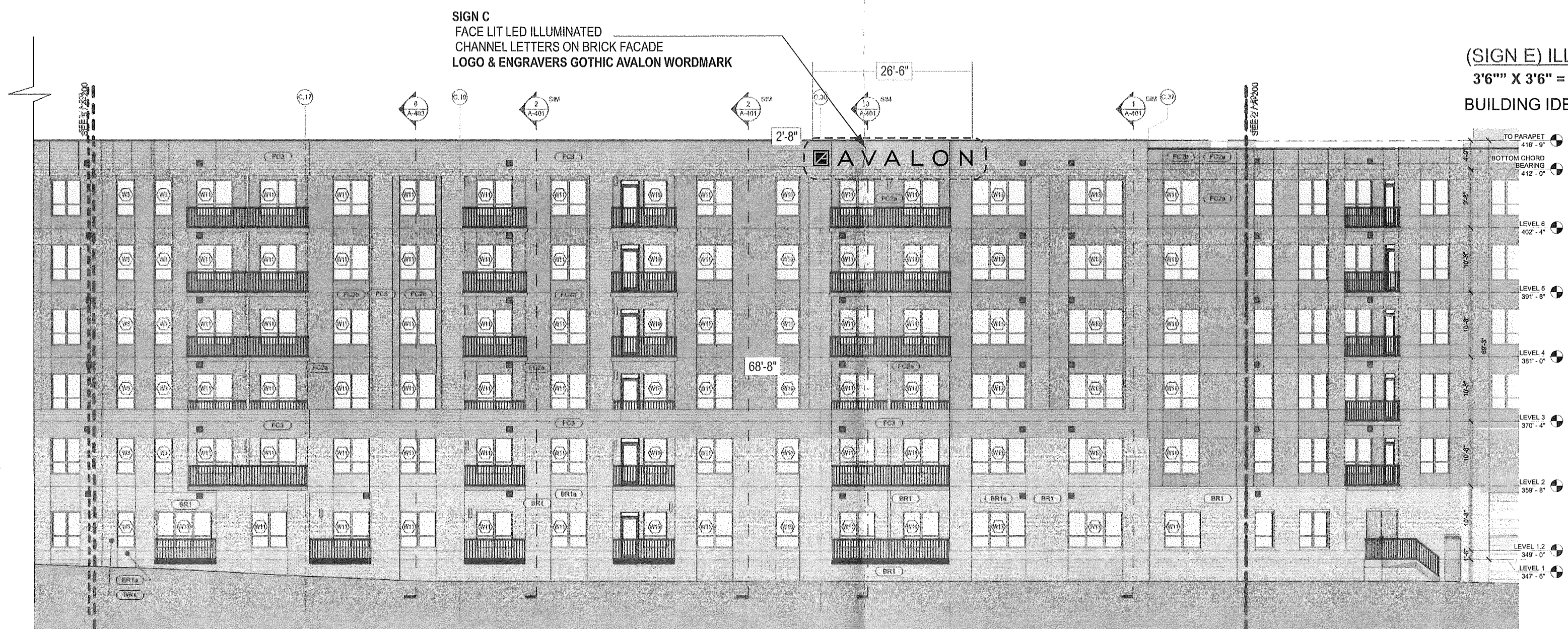


(SIGN C) ILLUM. FACE-LIT DAY/NIGHT CHANNEL LETTERS SIGN - SOUTH ELEVATION
26'-6" X 2'-8" = 70.67 SQ FOOT SIGN
BUILDING IDENTIFICATION SIGN
SCALE: 3/16" = 1'-0"
QTY.: ONE (1)

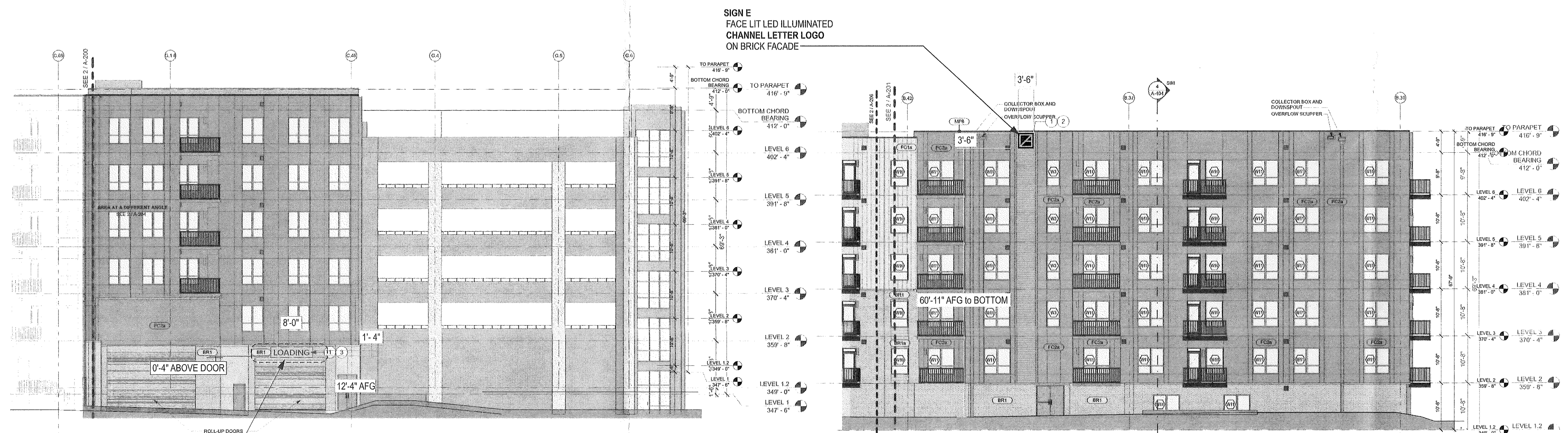


(SIGN D) EXT-FLUSH MOUNTED PLATE LETTER SET - SOUTH GARAGE ELEVATION
8'-0" X 1'-4" = 10.66 SQ FOOT SIGN
DIRECTIONAL SIGN
SCALE: 3/16" = 1'-0"

(SIGN E) ILLUM. FACE-LIT DAY/NIGHT CHANNEL LETTER LOGO SIGN - SOUTH-WEST WING
3'-6" X 3'-6" = 12.25 SQ FOOT SIGN
BUILDING IDENTIFICATION SIGN
SCALE: 3/4" = 1'-0"

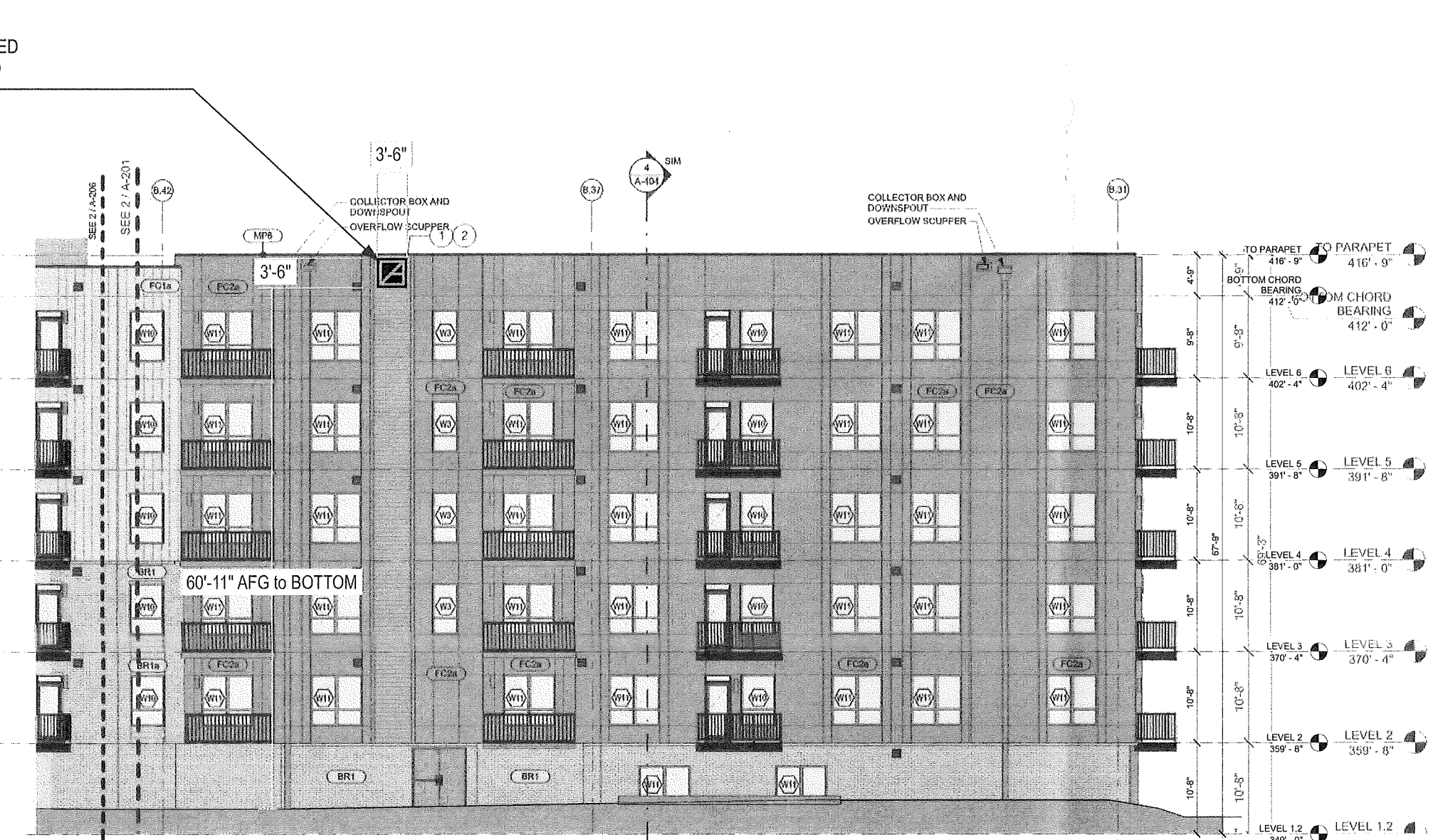


BUILDING ELEVATION - SOUTH
SCALE: 1/16" = 1'-0"

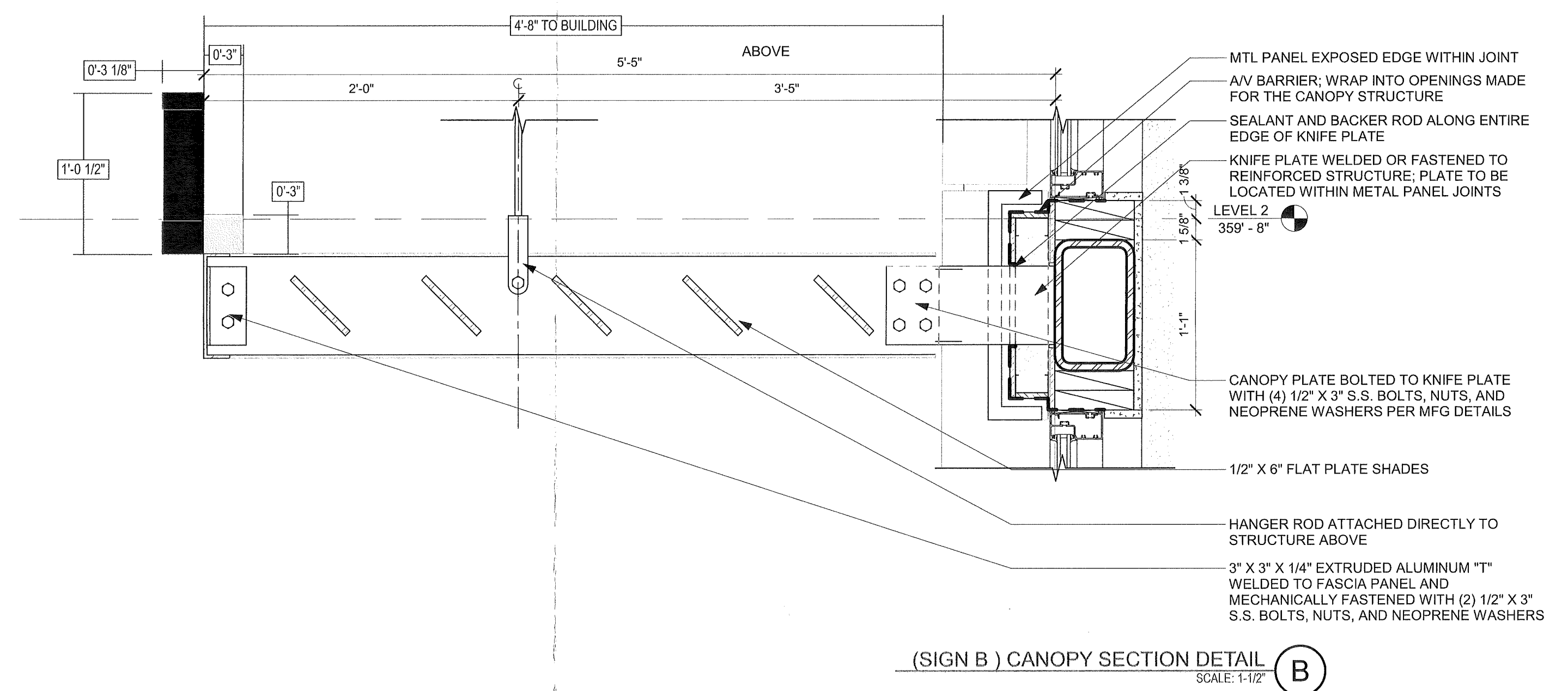


SIGN D
F.C.O. LETTER SET MOUNTED TO BRICK - COPY = 'LOADING'
PROX-NOV-SEMI-BOLD LOADING COPY

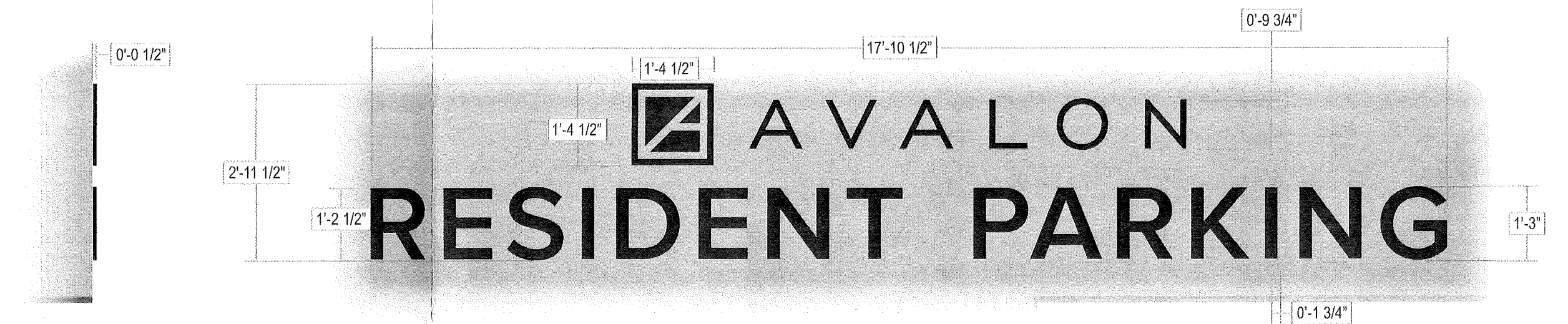
BUILDING ELEVATION - SOUTH GARAGE
SCALE: 1/16" = 1'-0"



BUILDING ELEVATION - SOUTH-WEST WING
SCALE: 1/16" = 1'-0"

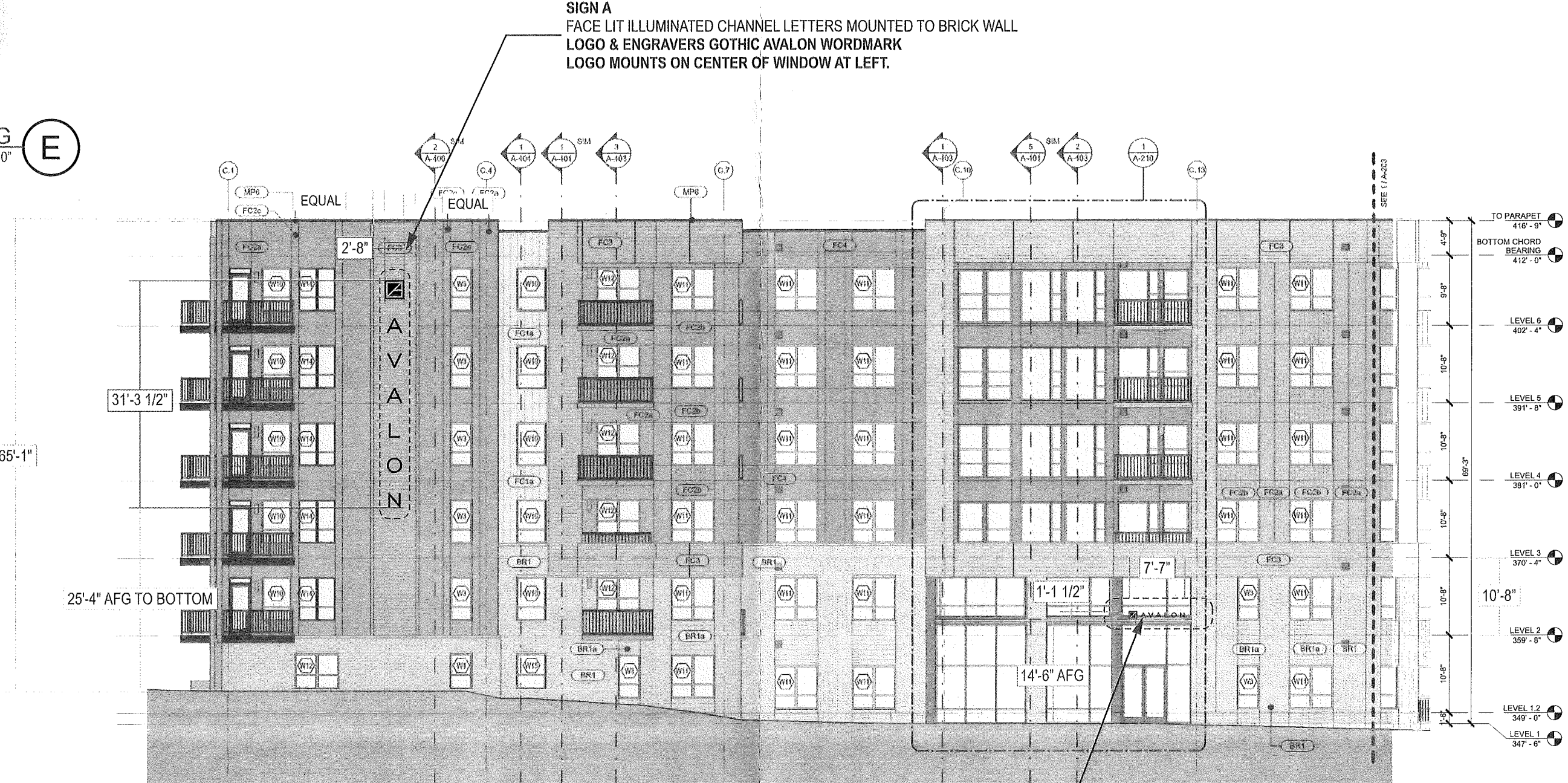


(SIGN B) CANOPY SECTION DETAIL
SCALE: 1-1/2" = 1'-0"

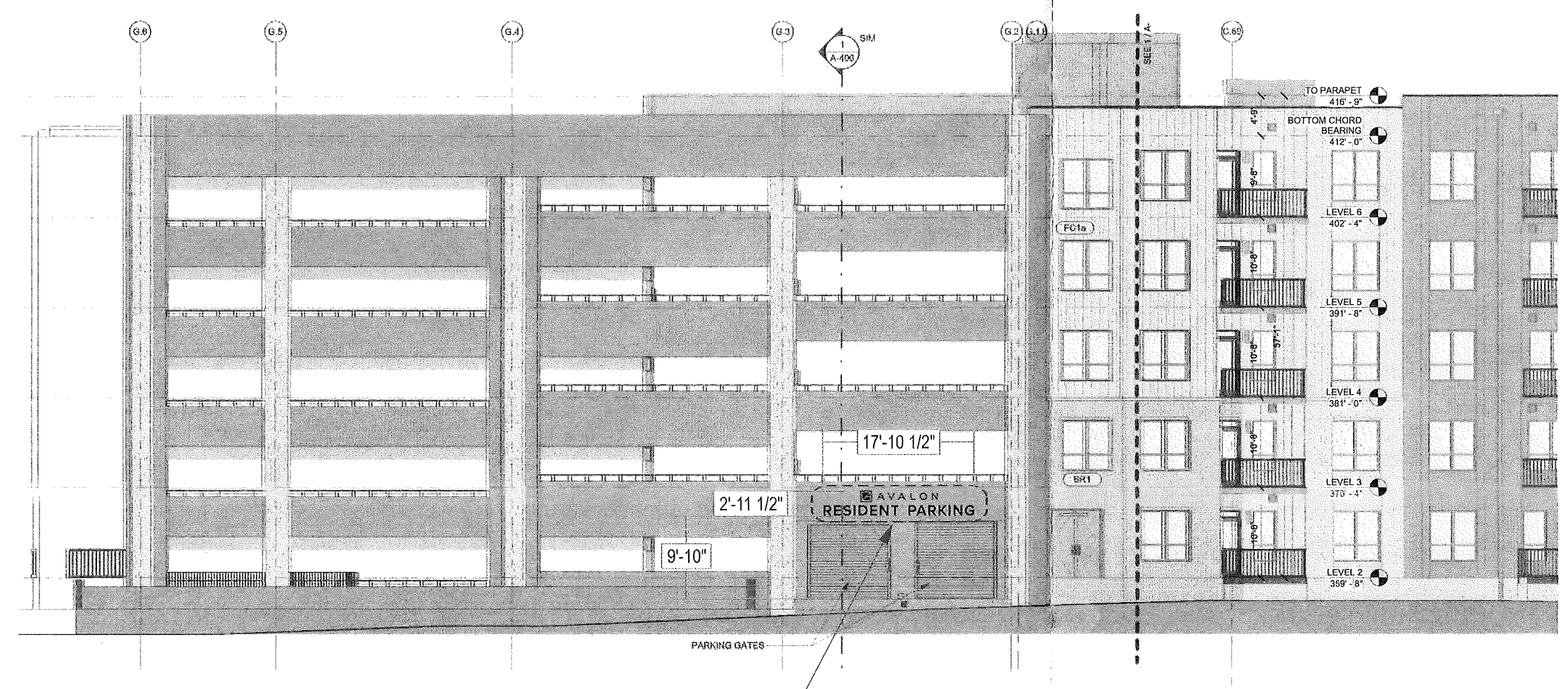


SIGN F
F.C.O. LETTERS MOUNTED TO WALL
LOGO & ENGRAVERS GOTHIC AVALON WORDMARK
PROXIMA LOGO "RESIDENT PARKING" COPY

(SIGN F) EXT-FLUSH MOUNTED PLATE LETTER SET - NORTH GARAGE ELEVATION
17'-10 1/2" X 2'-11 1/2" = 52.88 SQ FOOT SIGN
BUILDING IDENTIFICATION SIGN
SCALE: 3/16" = 1'-0"
QTY.: ONE (1)

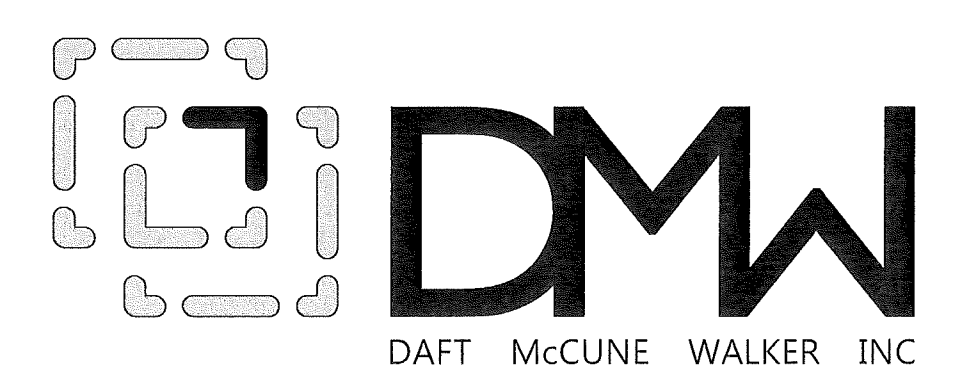


BUILDING ELEVATION - SOUTH MAIN ENTRY
SCALE: 1/16" = 1'-0"



SIGN F
F.C.O. LETTER SET & LOGO MOUNTED TO BRICK - COPY = 'AVALON RESIDENT PARKING'

BUILDING ELEVATION - NORTH GARAGE
SCALE: 1/16" = 1'-0"



501 FAIRMOUNT AVENUE SUITE 300 TOWSON, MD 21286
P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM

SIGN VARIANCE DETAILS AVALON HUNT VALLEY TOWNE CENTRE WEST

8TH ELECTION DISTRICT
3RD COUNCILMANIC DISTRICT

BALTIMORE COUNTY, MARYLAND

REVISIONS		ISSUE DATES
DATE	BY	REVIEW:
		BID:
		PERMIT:
		CONSTRUCTION:
		BASE:
		DRAWN:
		DESIGNED:
		CHECKED BY:
		DATE CHECKED:
		SCALE:
		PROJECT NO:
		DRAWING: