



JOHN A. OLSZEWSKI, JR.
County Executive

MAUREEN E. MURPHY
Chief Administrative Law Judge
ANDREW M. BELT
Administrative Law Judge
DEREK J. BAUMGARDNER
Administrative Law Judge

September 23, 2024

Philip Shannon & Joseph McMorris – aacsllc@ymail.com
3 Monroe Field Court
Catonsville, MD 21228

RE: Petition for Administrative Variance
Case No. 2024-0194-A
Property: 3 Monroe Field Court

Dear Petitioners:

Enclosed please find a copy of the decision rendered in the above-captioned matter.

Pursuant to Baltimore County Code § 32-3-401(a), “a person aggrieved or feeling aggrieved” by this Decision and Order may file an appeal to the County Board of Appeals within thirty (30) days of the date of this Order. For further information on filing an appeal, please contact the Office of Administrative Hearings at 410-887-3868.

Sincerely,

A handwritten signature in blue ink, appearing to read "A. M. Belt", is written over a horizontal line.

ANDREW M. BELT
Administrative Law Judge
for Baltimore County

AMB:dlw
Enclosure

c: Ms. Diane Jones, 5 Monroe Field Ct., Baltimore, MD 21228

IN RE: PETITION FOR ADMIN. VARIANCE	*	BEFORE THE
(3 Monroe Field Court)		
1 st Election District	*	OFFICE OF ADMINISTRATIVE
1 st Council District		
Philip Shannon & Joseph McMorris	*	HEARINGS FOR
	*	BALTIMORE COUNTY
Petitioners	*	CASE NO. 2024-0194-A
* * * * *		

OPINION AND ORDER

This matter comes before the Office of Administrative Hearings (“OAH”) as a Petition for Administrative Variance filed by the legal owners of the property, Philip Shannon and Joseph McMorris (“Petitioners”), for the property located at 3 Monroe Field Court, Catonsville (the “Property”). The Petitioners are requesting Variance relief from the Baltimore County Zoning Regulations (“BCZR”), Section 1B02.3.B (Section 208.3 of the 1969 Zoning Regulations), to permit a proposed dwelling addition (2-car garage) with a side yard setback of 0 ft. and a sum of side yard setbacks of 12 ft. in lieu of the minimum required 10 ft. and 25 ft. respectively. The Property is more fully depicted on the site plan which was marked and accepted into evidence as Petitioners’ Exhibit 1. Street view photographs of the Property were provided. (Pet. Exs. 2A-2F).

No adverse Zoning Advisory Committee (“ZAC”) comments were received from any of the County reviewing agencies. However, it is to be noted that a letter of support was provided to OAH on September 23, 2024 from Diane M. Jones, adjacent neighbor at 5 Monroe Field Court, indicating approval of the construction project Mr. McMorris intends to complete on his property.

The Petitioners having filed a Petition for Administrative Variance and the Property having been posted on August 24, 2024 and there being no request for a public hearing, a decision shall be rendered based upon the documentation presented.

The Petitioners have filed the supporting affidavit as required by Section 32-3-303 of the Baltimore County Code (“BCC”). Based upon the information available, there is no evidence in the file to indicate that the requested variance would adversely affect the health, safety or general welfare of the public and should therefore be granted. In the opinion of the Administrative Law Judge, the information, photographs, and affidavits submitted provide sufficient facts that comply with the requirements of Section 307.1 of the BCZR. Furthermore, strict compliance with the BCZR would result in practical difficulty and/or unreasonable hardship upon the Petitioners.

Pursuant to the posting of the property and the provisions of both the BCC and the BCZR, and for the reasons given above, the requested variance should be granted.

THEREFORE, IT IS ORDERED, this 23rd day of **September, 2024**, by the Administrative Law Judge for Baltimore County, that the Petition for Variance relief from the Baltimore County Zoning Regulations (“BCZR”), Section 1B02.3.B (Section 208.3 of the 1969 Zoning Regulations), to permit a proposed dwelling addition (2-car garage) with a side yard setback of 0 ft. and a sum of side yard setbacks of 12 ft. in lieu of the minimum required 10 ft. and 25 ft. respectively, be and is hereby **GRANTED**.

The relief granted herein shall be subject to the following:

- Petitioners may apply for their appropriate permits and be granted same upon receipt of this Order; however, Petitioners are hereby made aware that proceeding at this time is at their own risk until such time as the 30-day appellate process from this Order has expired. If, for whatever reason, this Order is reversed, Petitioners would be required to return, and be responsible for returning, said property to its original condition.

Any appeal of this decision must be made within thirty (30) days of the date of this Order.


ANDREW M. BELT
Administrative Law Judge
for Baltimore County

AMB:dlw



ADMINISTRATIVE ZONING PETITION
FOR ADMINISTRATIVE VARIANCE – OR – ADMINISTRATIVE SPECIAL HEARING
To be filed with the Department of Permits, Approvals and Inspections
To the Office of Administrative Hearings for Baltimore County for the property located at:

Address 3 MONROE FIELD COURT CATONSVILLE MD 21228 Currently Zoned DR 3.5 (Vested R-10 1969 Regs.)
Deed Reference 37144 / 00360 10 Digit Tax Account # 01 - 0107410540
Owner(s) Printed Name(s) PHILIP SHANNON JOSEPH MCMORRIS

(SELECT THE HEARING(S) BY MARKING X AT THE APPROPRIATE SELECTION(S) AND ADDING THE PETITION REQUEST)

For Administrative Variances, the Affidavit on the reverse of this Petition form must be completed and notarized.

The undersigned, who own and occupy the property situate in Baltimore County and which is described in the plan/plat attached hereto and made a part hereof, hereby petition for an:

1. ☒ **ADMINISTRATIVE VARIANCE** from Section(s) 1802.3.B BCZR (Section 208.3 of the 1969 Zoning Regulations) to permit a proposed dwelling addition with a side yard setback of 0 feet and a corner side yard setbacks of 12 feet in lieu of the minimum required 10 feet and 25 feet, respectively.

of the zoning regulations of Baltimore County, to the zoning law of Baltimore County.

2. ☐ **ADMINISTRATIVE SPECIAL HEARING** to approve a waiver pursuant to Section 32-4-107(b) of the Baltimore County Code: (indicate type of waiver in this space: i.e., to raze, alter or construct addition to building)

of the zoning regulations of Baltimore County, to the zoning law of Baltimore County.

Property is to be posted and advertised as prescribed by the zoning regulations.

If we agree to pay expenses of above petition(s), advertising, posting, etc. and further agree to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

Owner(s)/Petitioner(s):

PHILIP SHANNON JOSEPH MCMORRIS

Name #1 – Type or Print

Name #2 – Type or Print

Signature #1

Signature #2

3 MONROE FIELD COURT CATONSVILLE MD

Mailing Address

City

State

21228 , 410 340 2321

AACS LLC @YMAIL.COM

Zip Code

Telephone #'s (Cell and Home)

Email Address

Attorney for Owner(s)/Petitioner(s):

Name - Type or Print

Signature

Mailing Address

City

State

Zip Code

Telephone #

Email Address

Representative to be Contacted:

PHILIP SHANNON JOSEPH MCMORRIS

Name - Type or Print

Signature

3 MONROE FIELD COURT CATONSVILLE MD

Mailing Address

City

State

21228 , 410 340 2321 , AACS LLC @YMAIL.COM

Zip Code

Telephone #

Email Address

A PUBLIC HEARING having been formally demanded and/or found to be required, it is ordered by the Office of Administrative Hearings for

Baltimore County, this _____ day of _____, that the subject matter of this petition be set for a public hearing, advertised, and re-posted as required by the zoning regulations of Baltimore County.

Administrative Law Judge for Baltimore County

Case Number 2024-0194-A Filing Date 8/14/2024 Estimated Posting Date 8/25/2024 Reviewer JH

Closing Date 9/9/2024

Revised 8/2022

Affidavit in Support of Administrative Variance
(THIS AFFIDAVIT IS NOT REQUIRED FOR AN HISTORIC ADMINISTRATIVE SPECIAL HEARING)

The undersigned hereby affirms under the penalties of perjury and upon personal knowledge to the Administrative Law Judge for Baltimore County, that the information herein given is true and correct and that the undersigned is/are competent to testify in the event that a public hearing is scheduled in the future with regard thereto. In addition, the undersigned hereby affirms that the property is not the subject of an active Code Enforcement case and that the residential property described below is owned and occupied by the undersigned.

Address: 3 MONROE FIELD COURT CATONSVILLE MD 21228
Print or Type Address of Property City State Zip Code

Based upon personal knowledge, the following are the facts upon which I/we base the request for an **Administrative Variance** at the above address. (Clearly state practical difficulty or hardship here)

SEE ATTACHED

(If additional space for the petition request or the above statement is needed, label and attach it to this Form)

[Signature]

Signature of Owner (Affiant)

Signature of Owner (Affiant)

PHILIP SHANNON JOSEPH McMORRIS

Name - Print or Type

Name - Print or Type

The following information is to be completed by a Notary Public of the State of Maryland

STATE OF MARYLAND, COUNTY OF BALTIMORE, to wit:

I HEREBY CERTIFY, this 18 day of July, 2024, before me a Notary of Maryland, in and for the County aforesaid, personally appeared:

Print name(s) here: Philip Shannon Joseph McMorris

the Affiant(s) herein, personally known or satisfactorily identified to me as such Affiant(s).

AS WITNESS my hand and Notaries Seal

[Signature]

Notary Public

10/26/27

My Commission Expires



ATTACHMENT TO REQUEST FOR
ADMINISTRATIVE VARIANCE:
3 MONROE FIELD COURT
CATONSVILLE MD 21228

The owner, Philip Shannon Joseph McMorris, wishes to construct the proposed addition to the existing home. The proposed lower level is the approximate square footage of an average residential 2 car garage. The proposed upper level is a moderately sized master bedroom which includes much needed closet spaces.

Due to the awkward shape of the plot, the proposed addition does not fully meet the required setbacks however, the neighboring home owner, Ms. Diane M. Jones, gave her written approval to the owner, Philip Shannon Joseph McMorris, for this requested build. Only the back corner of the proposed structure would abut the owner's own property line. Lastly, the entire build will also be consistent with numerous homes in the Woodbridge Valley Community.

ZONING PROPERTY DESCRIPTION FOR:

3 MONROE FIELD COURT

CATONSVILLE MD 21228

* Beginning at a point on the south side of
(MONROE FIELD COURT) which is 15 feet wide at the distance of
(160 FEET) east of the centerline of nearest improved intersecting street
(PLEASANT VALLEY DRIVE) which is 15 feet wide, thence being all
of Lot 18 as shown of the plat entitled Section One, Plat Three
Woodbridge Valley, Recorded among the Baltimore County plat records
in Plat Book 33, Page 111.

Containing 9,023 square feet or 0.207 acre of land, more or less.

Being known as 3 Monroe Field Court, Catonsville MD 21228 located
in the 3rd Election Precinct, 1st County Councilmanic District of
Baltimore County, Maryland.

BALTIMORE COUNTY DEPARTMENT OF PERMITS, APPROVALS AND INSPECTIONS
ZONING REVIEW OFFICE

ADMINISTRATIVE VARIANCE INFORMATION SHEET AND DATES

Case Number: 2024 - 0194 -A Address 3 Monroe Fields Ct

Contact Person: Jesse Krout Phone Number: 410-887-3391
Planner, Please Print Your Name

Filing Date: 8/14/2024 Posting Date: 8/25/24 Closing Date: 9/9/2024

Any contact made with this office regarding the status of the administrative variance should be through the contact person (planner) using the case number.

- POSTING/COST:** The petitioner must use one of the sign posters on the approved list and the petitioner is responsible for all printing/posting costs. Any reposting must be done only by one of the sign posters on the approved list and the petitioner is again responsible for all associated costs. The zoning notice sign must be visible on the property on or before the posting date noted above. It should remain there through the closing date.
- DEADLINE:** The closing date is the deadline for a neighbor (occupant or owner) within 1,000 feet to file a formal request for a public hearing. Please understand that even if there is no formal request for a public hearing, the process is not complete on the closing date.
- ORDER:** After the closing date, the file will be reviewed by the Administrative Law Judge. The judge may: (a) grant the requested relief; (b) deny the requested relief; or (c) order that the matter be set in for a public hearing. If all County/State agencies' comments are received, you will receive written notification as to whether the petition has been granted, denied, or will proceed to a public hearing. This decision is usually made within 10 days of the closing date. The written order will be mailed to you by First Class mail.
- POSSIBLE PUBLIC HEARING AND REPOSTING:** In cases that must go to a public hearing (whether due to a neighbor's formal request or by order of the Administrative Law Judge), notification will be forwarded to you. The sign on the property must be changed giving notice of the hearing date, time and location. As when the sign was originally posted, certification of this change and a photograph of the altered sign must be forwarded to this office.

Petitioner: This Part of the Form is for the Sign Poster Only (Detach Along Dotted Line)

USE THE ADMINISTRATIVE VARIANCE SIGN FORMAT

Case Number: 2024 - 0194 -A Address 3 Monroe Fields Ct

Petitioner's Name: Philip Shannon Joseph Mcmorris Telephone (Cell) 410-340-2321

Posting Date: 8/25/24 Closing Date: 9/9/2024

Wording for Sign: To Permit a variance from sections 1B02.3.B BCZR (section 208.3 of the 1969 Zoning Regulations) to permit a proposed dwelling addition with a side yard set back of 0 feet and a sum of side yard setbacks of 12 feet in lieu of the minimum required 10 feet and 25 feet, respectively.



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(SELECT THE HEARING(S) BY MARKING X AT THE APPROPRIATE SELECTION(S) AND ADDING THE PETITION REQUEST)

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Owner(s)/Petitioner(s):

PHILIP SHANNON JOSEPH MCMORRIS

Name #1 – Type or Print

Name #2 – Type or Print

Signature #1

Signature #2

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21228 , 410 340 2321

AACS LLC @YMAIL.COM

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Signature

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Email Address

Representative to be Contacted:

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Name - Type or Print

Signature

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Baltimore County, this _____ day of _____, that the subject matter of this petition be set for a public hearing, advertised, and re-posted as required by the zoning regulations of Baltimore County.

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Revised 8/2022

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Signature of Owner (Affiant)

Signature of Owner (Affiant)

PHILIP SHANNON JOSEPH McMORRIS

Name - Print or Type

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The following information is to be completed by a Notary Public of the State of Maryland

STATE OF MARYLAND, COUNTY OF BALTIMORE, to wit:

I HEREBY CERTIFY, this 18 day of July, 2024, before me a Notary of Maryland, in and for the County aforesaid, personally appeared:

Print name(s) here: Philip Shannon Joseph McMorris

the Affiant(s) herein, personally known or satisfactorily identified to me as such Affiant(s).

AS WITNESS my hand and Notaries Seal

[Signature]

Notary Public

10/26/27

My Commission Expires



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Being known as 3 Monroe Field Court, Catonsville MD 21228 located
in the 3rd Election Precinct, 1st County Councilmanic District of
Baltimore County, Maryland.

BALTIMORE COUNTY, MARYLAND

Inter-Office Correspondence



TO: Hon. Maureen E. Murphy; Chief Administrative Law Judge
Office of Administrative Hearings

FROM: Jeff Livingston, Department of Environmental Protection and
Sustainability (EPS) - Development Coordination

DATE: September 3, 2024

SUBJECT: DEPS Comment for Zoning Item # 2024-0194-A
Address: 3 MONROE FIELD CT.
Legal Owner: Philip Shannon, Joseph McNorris

Zoning Advisory Committee Meeting of September 3, 2024.

X The Department of Environmental Protection and Sustainability has no
comment on the above-referenced zoning item.

Reviewer: Earl D. Wrenn

BALTIMORE COUNTY, MARYLAND

INTEROFFICE CORRESPONDENCE

TO: Peter Gutwald, Director
Department of Permits, Approvals

DATE: August 27, 2024

FROM: Vishnu Desai, Supervisor
Bureau of Development Plans Review

SUBJECT: Zoning Advisory Committee Meeting
Case 2024-0194-A

The Bureau of Development Plans Review has reviewed the subject zoning items and we have the following comments.

DPR: No comment.

DPW-T: No exception taken.

Landscaping: No comment.

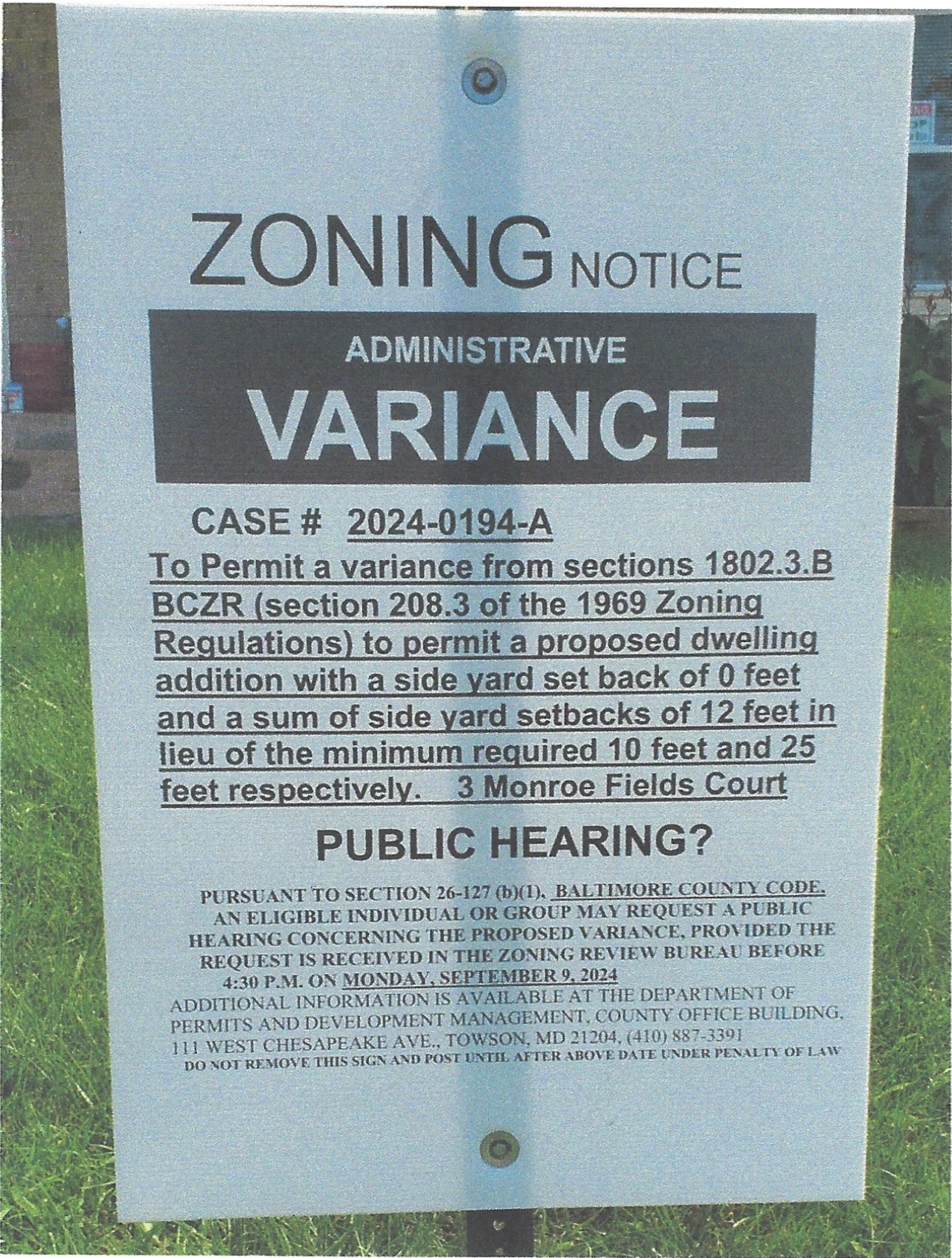
Recreations & Parks: No comment.

CERTIFICATE OF POSTING

ATTENTION: KRISTEN LEWIS
DATE: 8/24/2024
Case Number: 2024-0194-A
Petitioner / Developer: PHILIP SHANNON JOSEPH McMORRIS
Date of Closing: SEPTEMBER 9, 2024

This is to certify under the penalties of perjury that the necessary sign(s) required by law were posted conspicuously on the property located at:
3 MONROE FIELDS COURT

The sign(s) were posted on: AUGUST 24, 2024



Linda O'Keefe
(Signature of Sign Poster)

Linda O'Keefe
(Printed Name of Sign Poster)

523 Penny Lane
(Street Address of Sign Poster)

Hunt Valley, MD 21030
(City, State, Zip of Sign Poster)

410-666-5366
(Telephone Number of Sign Poster)

R. 10 ZONE (1969 Zoning Regulations)

feet is permitted, if the average of all the lot sizes in the same ownership and in the same tract equals 10,000 square feet or more, but not more than fifteen per cent of the lots may have an area less than 10,000 square feet (see Section 304). At least three per cent of the gross residential acreage of the tract must be allocated to the local open space. To meet this requirement, the developer may reduce the minimum permitted lot size by not more than five per cent of the minimum required area and may reduce the minimum lot width to 65 feet, provided that the houses to be built on such lots are sited in place on the approved subdivision plan. [Revised by Bill No. 106, 1963]

208.1.1—In a cluster subdivision a minimum lot area of 7,500 square feet is permitted provided that the average area of all lots in the subdivision equals at least 8,500 square feet. In such subdivision, not more than 50 per cent of the lots may be less than 8,500 square feet in area and the minimum permitted width at the front building line is 70 feet, or at the developer's option, 65 feet, provided that houses to be built on such lots are sited in place on the approved subdivision plan. [Bill No. 106, 1963]

208.2—Front Yard—For dwellings, the front building line shall be not less than 30 feet from the front lot line and not less than 55 feet from the center line of the street, except as specified in Section 303.1; for other principal buildings—50 feet from the front lot line and not less than 75 feet from the center line of the street, except as specified in Section 303.1.

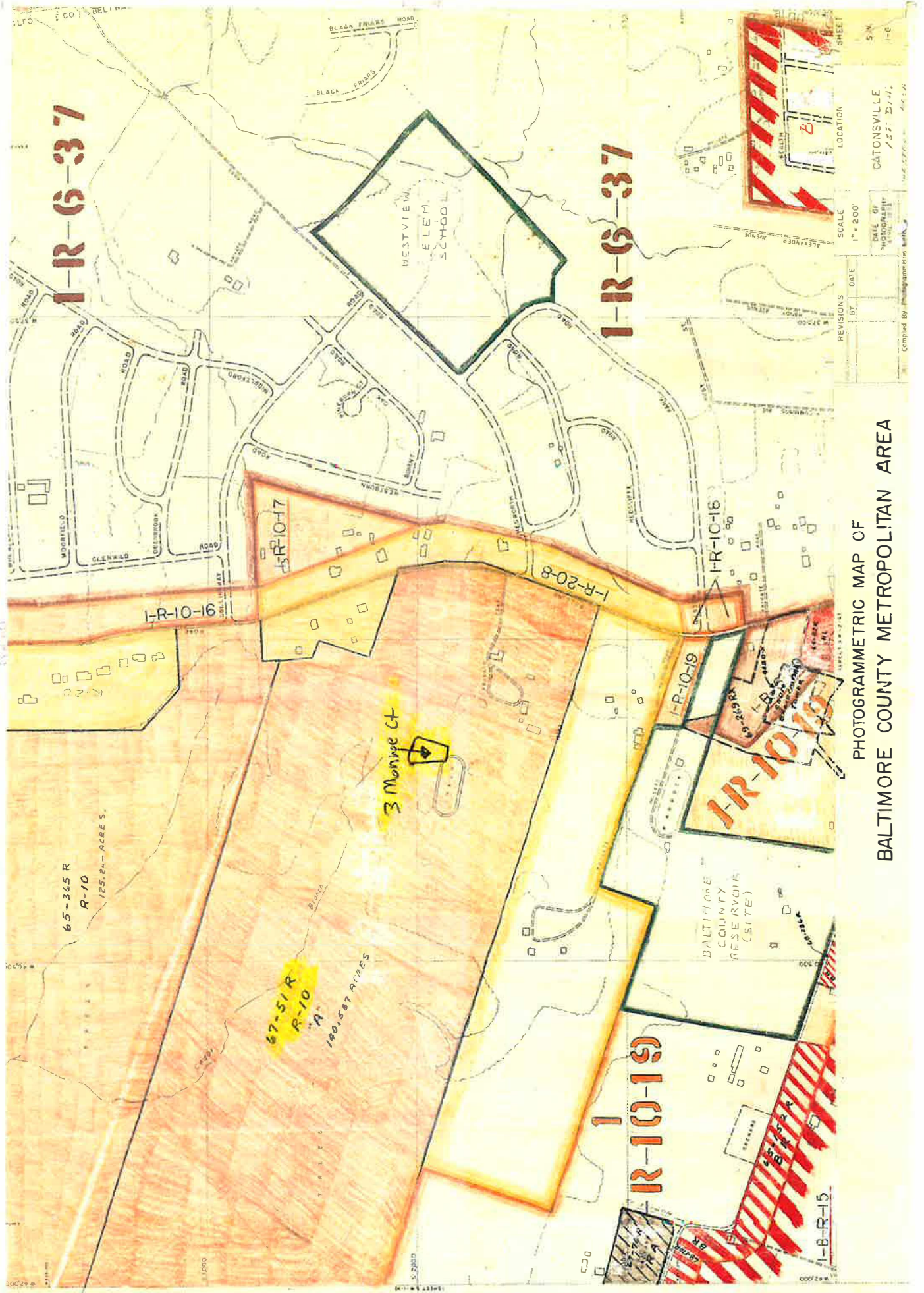
208.3—Side Yards—For dwellings, 10 feet wide for one side yard and not less than 25 feet for the sum of both, except that for a corner lot the building line along the side street shall be not less than 30 feet from the side lot line and not less than 55 feet from the center line of the street; for other principal buildings—20 feet wide, except that for a corner lot the building line along the side street shall be not less than 35 feet from the side lot line and not less than 60 feet from the center line of the street. [Revised by Resolution, November 21, 1956]

208.4—Rear Yard—30 feet deep.

208.5—Density—The maximum permitted gross residential density is 3.2. [Bill No. 106, 1963]

Real Property Data Search ()
Search Result for BALTIMORE COUNTY

View Map	View GroundRent Redemption	View GroundRent Registration
Special Tax Recapture: None		
Account Identifier:		District - 01 Account Number - 0107410540
Owner Information		
Owner Name:	MCMORRIS PHILIP SHANNON JOSEPH	Use: RESIDENTIAL
Mailing Address:	3 MONROE FIELD CT CATONSVILLE MD 21228-2640	Principal Residence: YES Deed Reference: /37144/ 00360
Location & Structure Information		
Premises Address:		Legal Description:
3 MONROE FIELD CT CATONSVILLE 21228-2640		3 MONROE FIELD CT WOODBIDGE VALLEY
Map:	Grid:	Parcel:
0094	0018	0298
Neighborhood:	Subdivision:	Section:
1010008.04	0000	1
Block:	Lot:	Assessment Year:
E	18	2022
Plat No: 3		Plat Ref: 0033/ 0111
Town: None		
Primary Structure Built	Above Grade Living Area	Finished Basement Area
1970	1,976 SF	
Property Land Area	County Use	
9,023 SF	04	
Stories	Basement	Type
2	YES	STANDARD UNIT
Exterior	Quality	Full/Half Bath
SIDING/	4	2 full/ 1 half
Garage	Last Notice of Major Improvements	
Value Information		
	Base Value	Value
		As of
		01/01/2022
Land:	82,500	82,500
Improvements	187,600	209,400
Total:	270,100	291,900
Preferential Land:	0	0
Phase-in Assessments	As of	As of
	07/01/2023	07/01/2024
284,633		
Transfer Information		
Seller: PENNSYLVANIA AVENUE	Date: 02/05/2016	Price: \$349,000
Type: ARMS LENGTH IMPROVED	Deed1: /37144/ 00360	Deed2:
Seller: OLIVIER RENE	Date: 10/29/2015	Price: \$179,000
Type: NON-ARMS LENGTH OTHER	Deed1: /36818/ 00489	Deed2:
Seller: SAXON SANDRA M, TRUSTEE	Date: 05/10/2000	Price: \$156,900
Type: ARMS LENGTH IMPROVED	Deed1: /14460/ 00157	Deed2:
Exemption Information		
Partial Exempt Assessments:	Class	07/01/2023
County:	000	0.00
State:	000	0.00
Municipal:	000	0.00 0.00
Special Tax Recapture: None		
Homestead Application Information		
Homestead Application Status: No Application		
Homeowners' Tax Credit Application Information		
Homeowners' Tax Credit Application Status: No Application		Date:



PHOTOGRAMMETRIC MAP OF
BALTIMORE COUNTY METROPOLITAN AREA

SITE VICINITY MAP

MAP IS NOT TO SCALE

ZONING MAP# 094C3

SITE ZONED DR 3.5 (Vested R-10 1969 Regs.)

ELECTION DISTRICT 01

COUNCIL DISTRICT 01

LOT AREA ACREAGE 2.07

OR SQUARE FEET 9,023

HISTORIC? NO

IN CBCA? NO

IN FLOOD PLAIN? NO

UTILITIES? MARK WITH X

WATER IS: PUBLIC X PRIVATE

SEWER IS: PUBLIC X PRIVATE

PRIOR HEARING? NONE

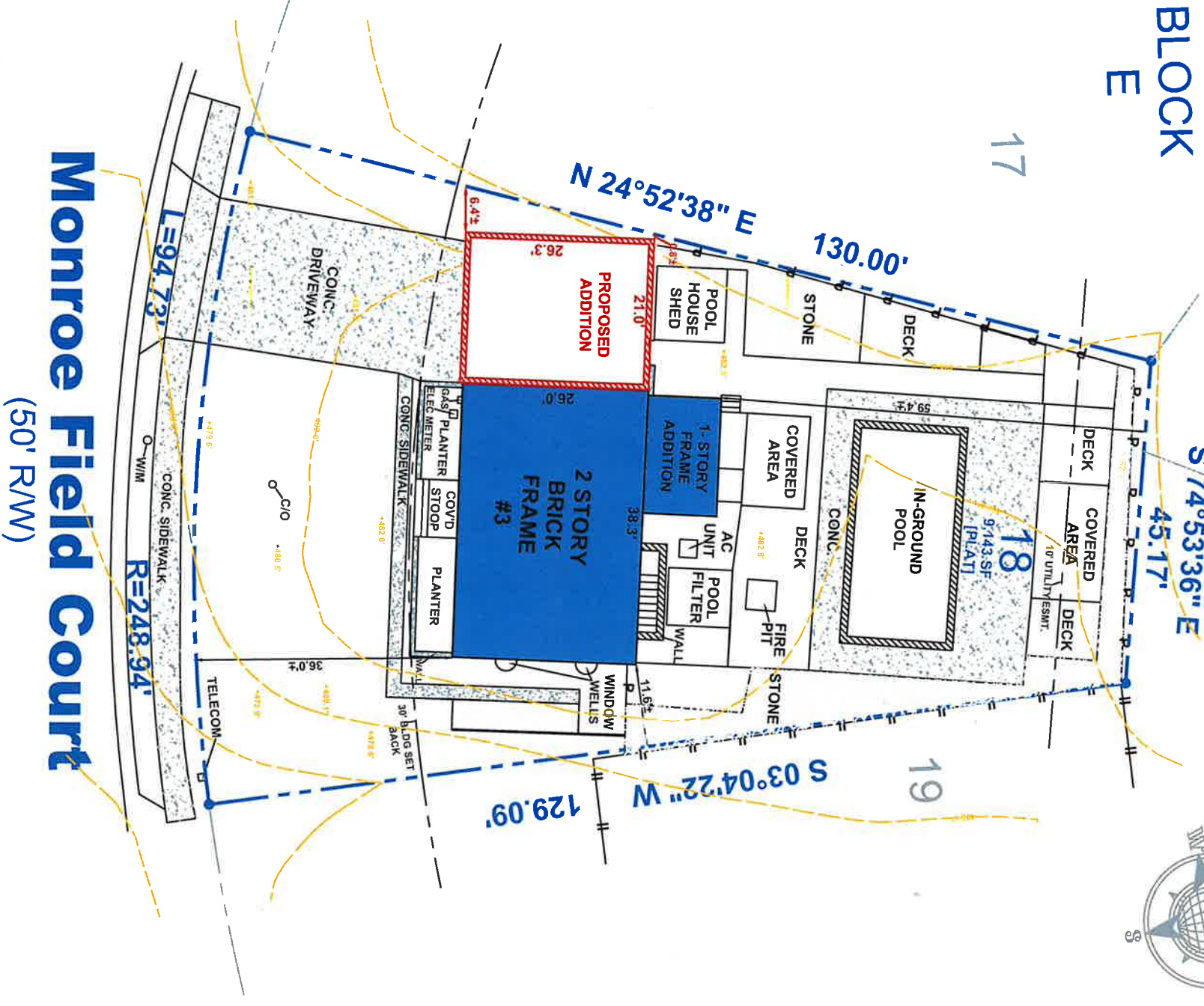
IF SO GIVE CASE NUMBER AND ORDER RESULT BELOW

VIOLATION CASE INFO:



Landtek Partners LLC

9841 Broken Land Parkway, Suite 110
Columbia, MD 21046 Phone: 410-290-8099
Email: survey@landteksurvey.com Web: landteksurvey.com



Notes:

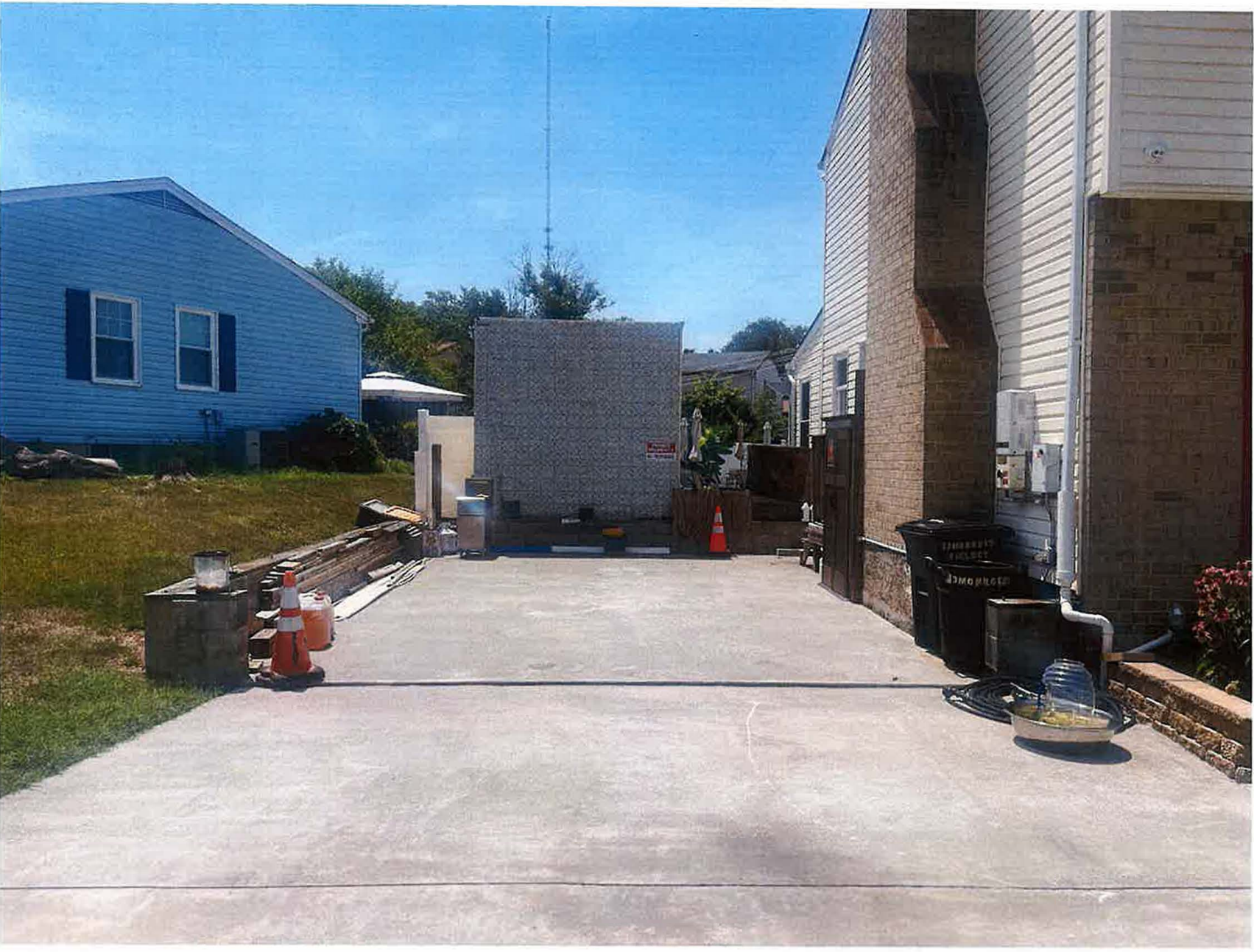
- 1) The location of improvements shown hereon are derived from field survey performed on property.
- 2) Location of utilities and fixtures unless dimensioned are approximately as noted.
- 3) Elevation contour line overlay, if provided, extrapolated from GIS and NOAA databases.
- 4) Location and dimensions of underground fixture or improvements representative, actual size may vary.
- 5) This survey was performed without the benefit of a title report.
- 6) Property line survey recommended to determine the exact location of improvements and/or encroachments, if any.
- 7) Property subject to any / all rights-of-way, easements, and / or covenants of record and / or imposed by law.

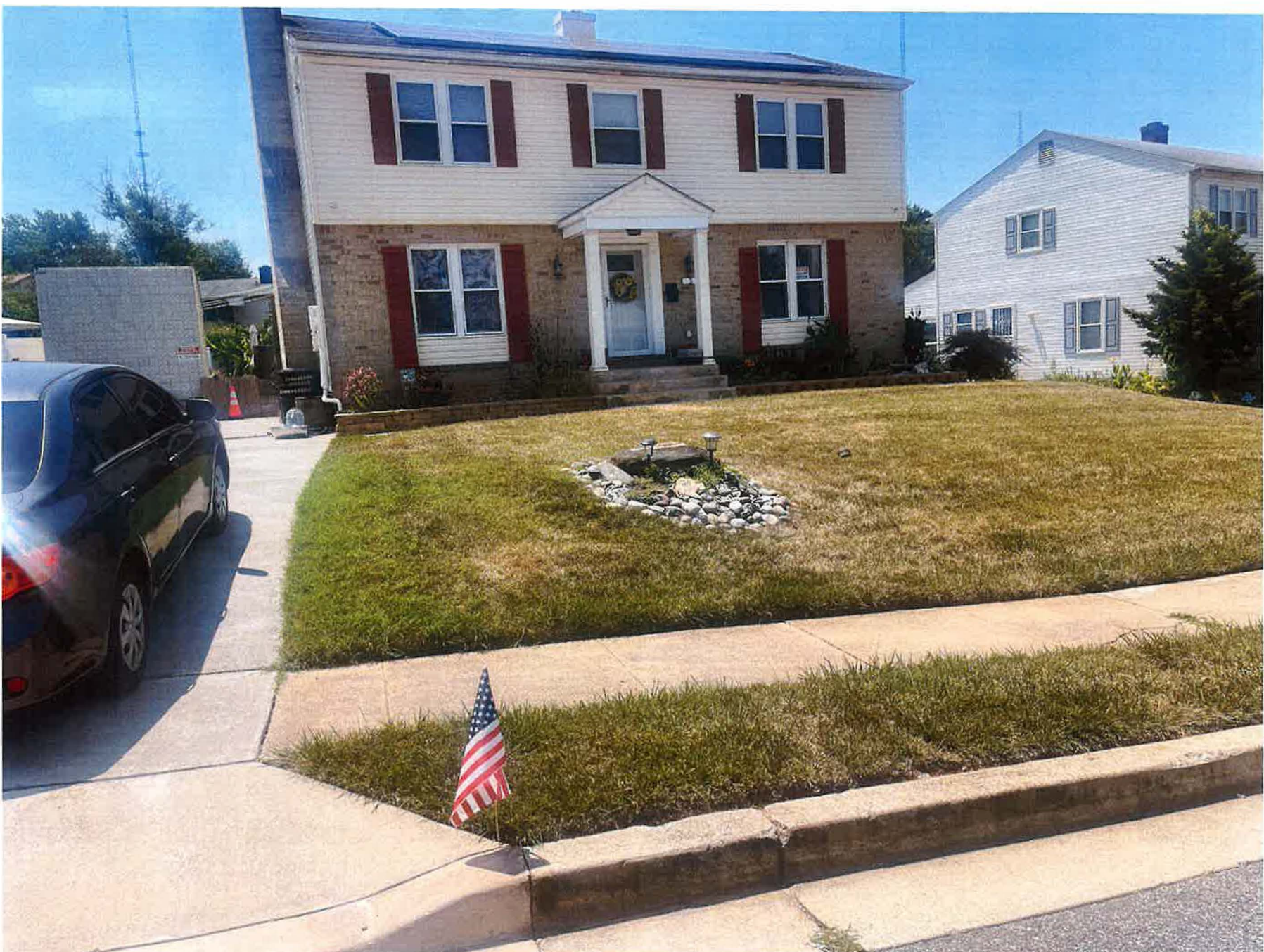
Certification:
I hereby certify to the best of my professional knowledge, information, and belief, this information is correct and is based upon measurements and observations conducted by and under my direct supervision.



PATRICK J. SWEENEY - Professional Engineer - MD License No. 18841

SITE PLAN			
3 Monroe Field Court			
Baltimore County, Maryland			
LOT: 18	BLOCK: E	TAX ID NO: 0107410540	
PLAT ENTITLED: WOODBRIDGE VALLEY			
PLAT BOOK: 33		PAGE: 111	
LIBER: 37144	FOLIO: 360	CASE NO.: McMorris	
SCALE: 1"=20'	DATE: 08/07/2024	JOB NO.: LK240370	





Philip Shannon Joseph McMorris

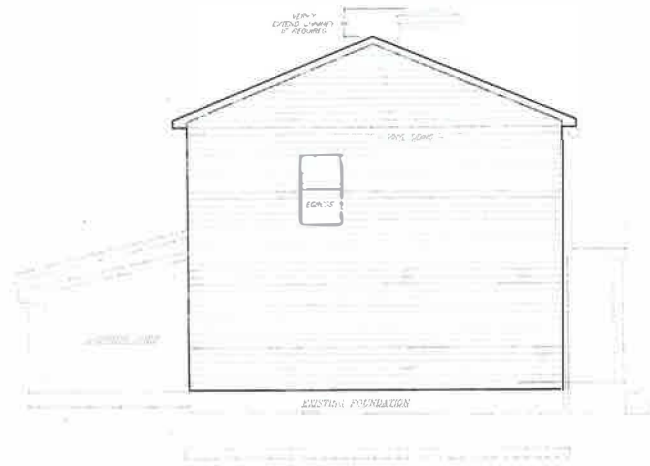
3 Monroe Field Court, Catonsville MD 21228



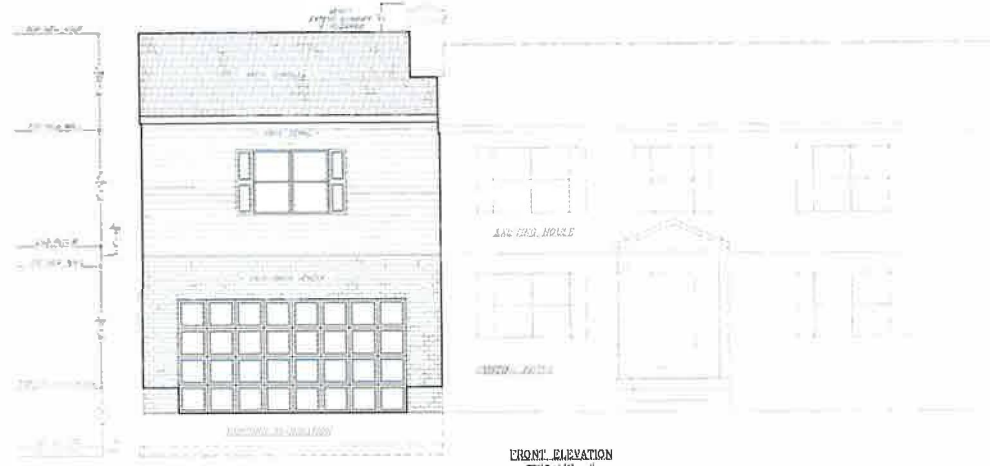








LEFT SIDE ELEVATION
SCALE 1/4" = 1"



FRONT ELEVATION
SCALE 1/4" = 1"

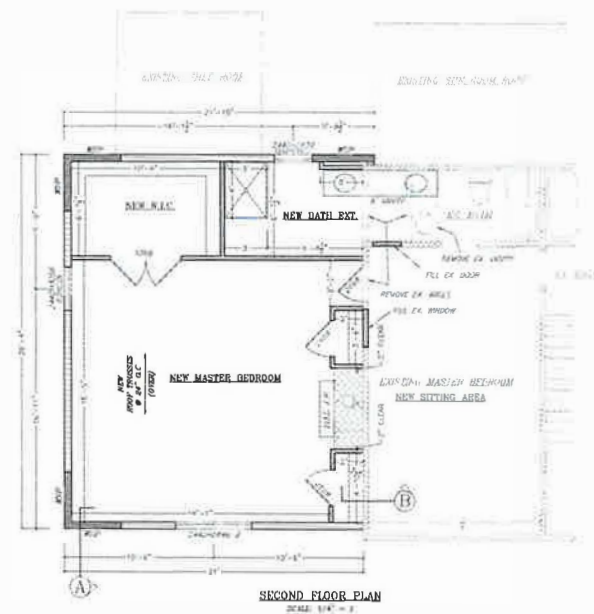
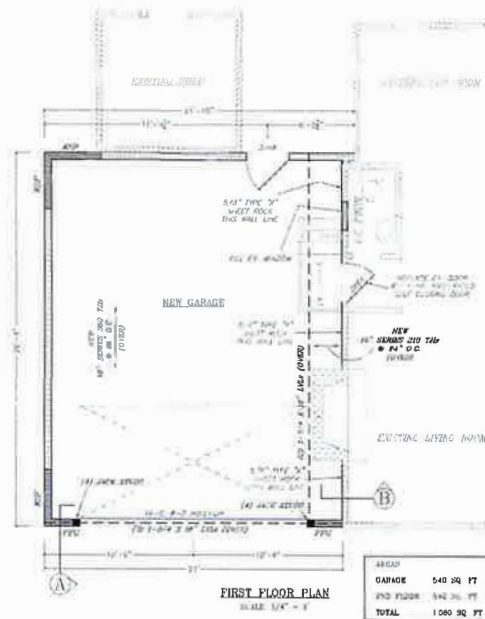


REAR ELEVATION
SCALE 1/4" = 1"

PROPOSED ADDITION
3 Monroe Field Court
Baltimore County, Maryland

04/28/24
27000 3/2 1/8

A-1



NOTES

GENERAL

- 1) ALL CONSTRUCTION TO CONFORM TO APPLICABLE BUILDING CODES.
- 2) CONTRACTOR TO VERIFY PLANNED DIMENSIONS/RELATIONS PRIOR TO CONSTRUCTION. ADJUST AS NECESSARY.

FRAMING

- 1) ALL EXTERIOR WALL FRAMING TO BE 2 X 8 @ 16" O.C. UNLESS NOTED OTHERWISE.
- 2) ALL INTERIOR WALL FRAMING TO BE 2 X 4 @ 16" O.C. UNLESS NOTED OTHERWISE.
- 3) INSTALL INSULATION AFTERWARD AT ALL JOINTS TO ENSURE WALL CONNECTIONS.
- 4) ALL WINDOWS TO BE 48 X 96 UNLESS NOTED OTHERWISE.

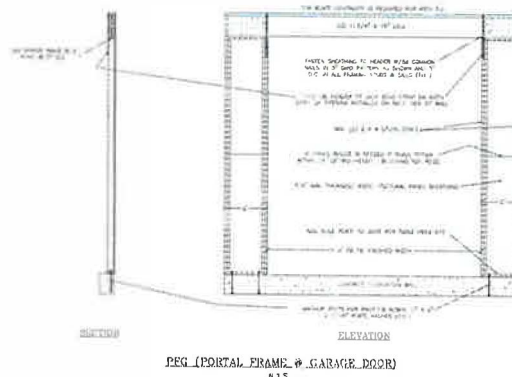
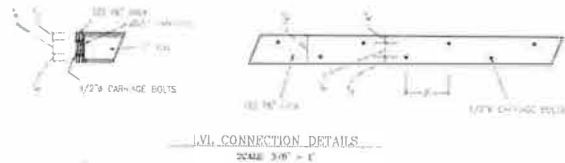
- 5) WINDOW DESIGNATIONS ARE FOR ANCHORON SERIES 200.
- 6) EXACT DESIGNATIONS ARE FOR MANUFACTURER PRODUCTS.

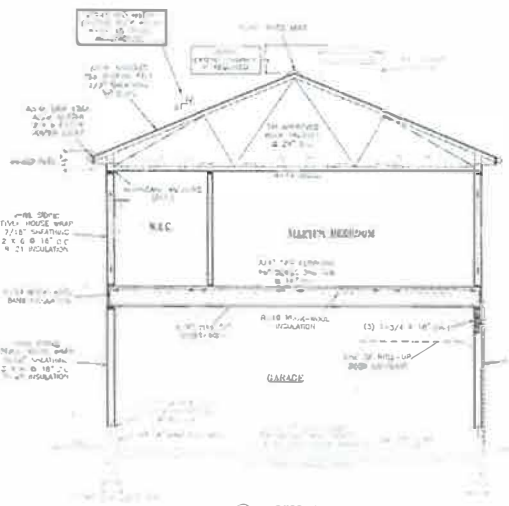
ROOF THROUGHS

- 1) VERIFY GUT TO GUT DIMENSIONS OF WALLS AND EXISTING ROOF PITCH PRIOR TO THROUG MANUFACTURE.
- 2) ROOF THROUGS TO BE DESIGNED AND MANUFACTURED BY OTHERS. WEN MEMBERS SHOWN ON THESE PLANS ARE FOR ILLUSTRATION PURPOSES ONLY. ACTUAL WEN MEMBER ARRANGEMENT MAY VARY ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

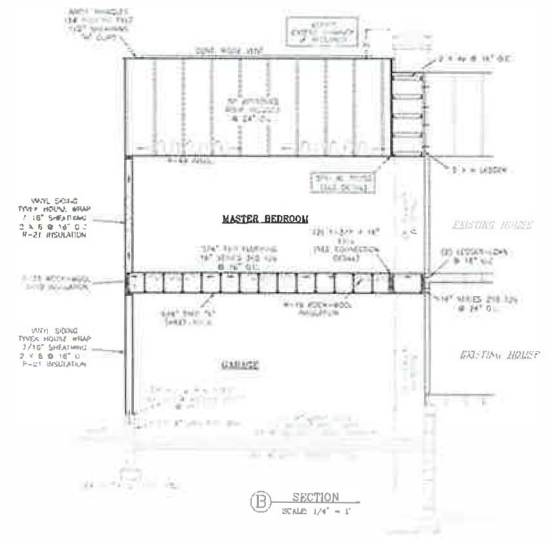
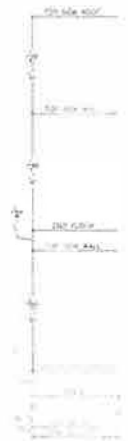
DESIGN LEADS

- 1) LIVING AREA: 10' 0" x 11' 0" (11' 0" x 10' 0")
- 2) SLEEPING AREA: 10' 0" x 11' 0" (11' 0" x 10' 0")
- 3) ROOF AREA: 10' 0" x 11' 0" (11' 0" x 10' 0")
- 4) WIND LEADING: 10' 0" x 11' 0" (11' 0" x 10' 0")

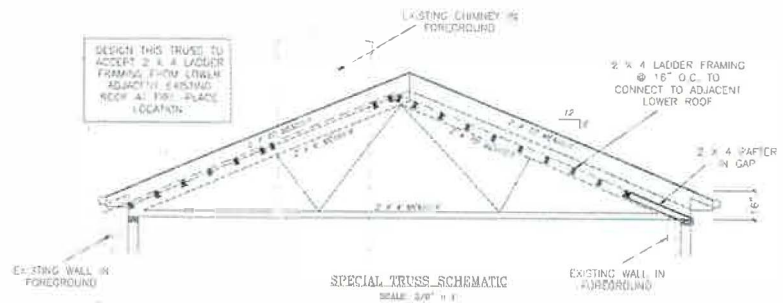




SECTION A
SCALE: 1/4" = 1'



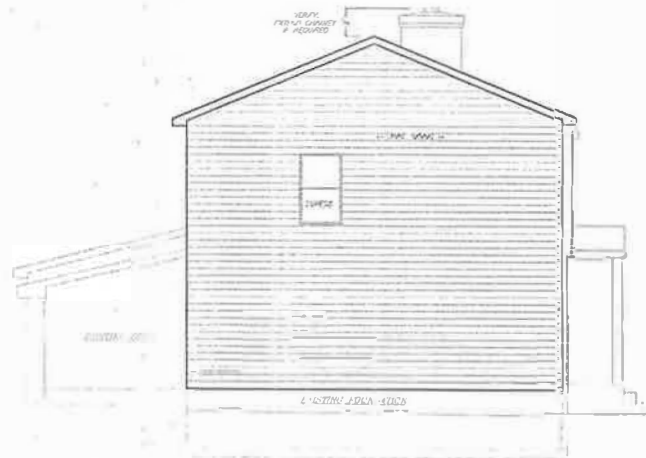
SECTION B
SCALE: 1/4" = 1'



SPECIAL TRUSS SCHEMATIC
SCALE: 3/8" = 1'

PROPOSED ADDITION
3 Monroe Field Court
Baltimore County, Maryland

02/20/24
Drawn by: MW



LEFT SIDE ELEVATION
SCALE 1/4" = 1'



FRONT ELEVATION
SCALE 1/4" = 1'

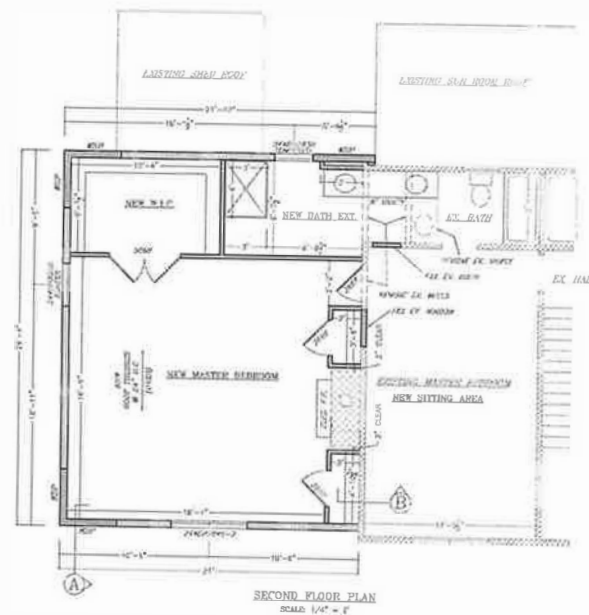
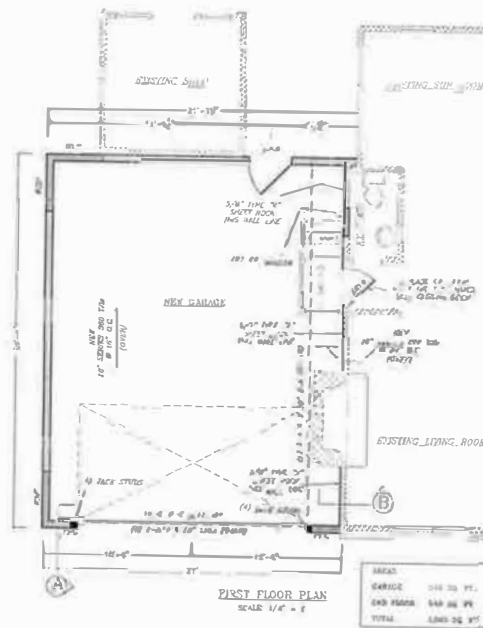


REAR ELEVATION
SCALE 1/4" = 1'

PROPOSED ADDITION
3 Monroe Field Court
Baltimore County, Maryland

02/28/24
Drawing No. 001

A-1



*0752

EXTRA!We had difficulty to convert to structure: **Figure 2**

2)---CONTRACTOR TO VERIFY PLANTED DIMENSIONS/ELEVATIONS PRIOR TO CONSTRUCTION
N.E.C.D.A.N.T.

000304

1)--ALL EXTERIOR WALL FRAMING TO BE 2 X 6 @ 16" O.C., UNLESS NOTED OTHERWISE

E) - ALL INTERIOR WALL FRAMING TO BE 2 X 4 @ 16" O.C. UNLESS NOTED OTHERWISE.

2) -- INSTALL HANGING ANCHORS AT ALL ROOF TRUSS TO EXTERIOR WALL CONNECTIONS

5) -- WINDOW DESIGNATION: AKA, EDO, MAGAZINE, ETC.

6) - III/LA. DESTROYATIONS ARE FOR STEEL/ALUMINUM PROFILES

1) -- VERIFY RI

MANUFACTURE OF VALUE AND COSTS OF EACH POUND TO TREASURY

© 1997 TRUCKS TO IT DESIGNED AND MANUFACTURED BY OTHERS. WEI MODELS SHOWN ON THESE
PLANS ARE FOR ILLUSTRATION PURPOSES ONLY. ACTUAL WEI MODEL APPOINTMENT MAY VARY.
© 1997 WEI MODEL APPOINTMENT MAY VARY

DESIGN LOADS

1) -- LIVING AREAS: 40 PSF LIVE/20 PSF DEAD

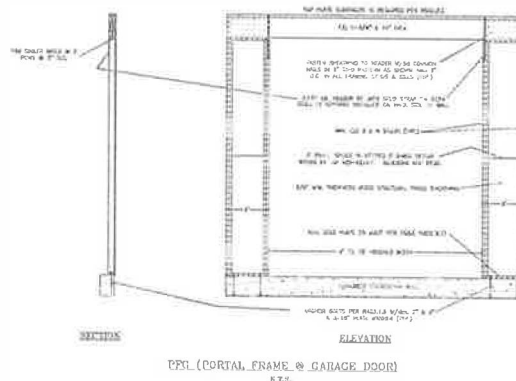
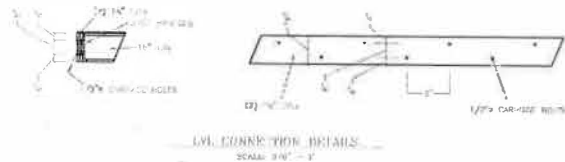
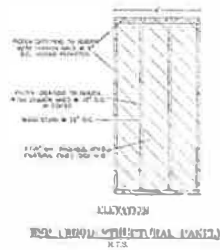
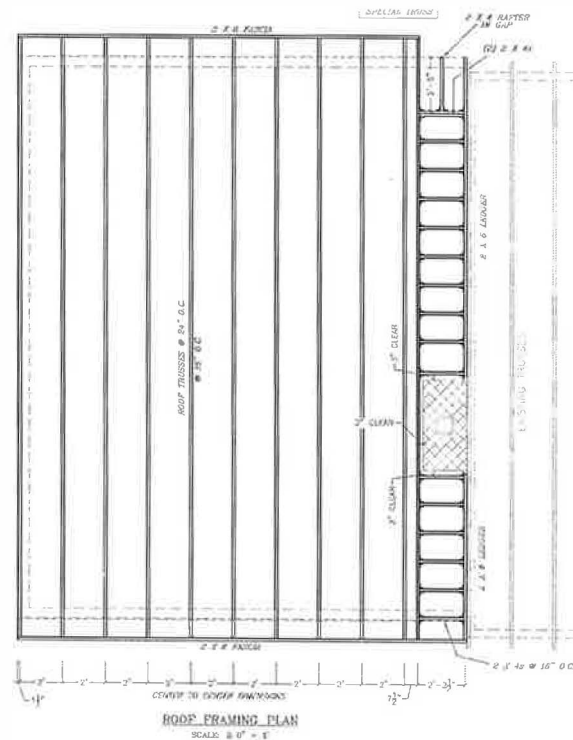
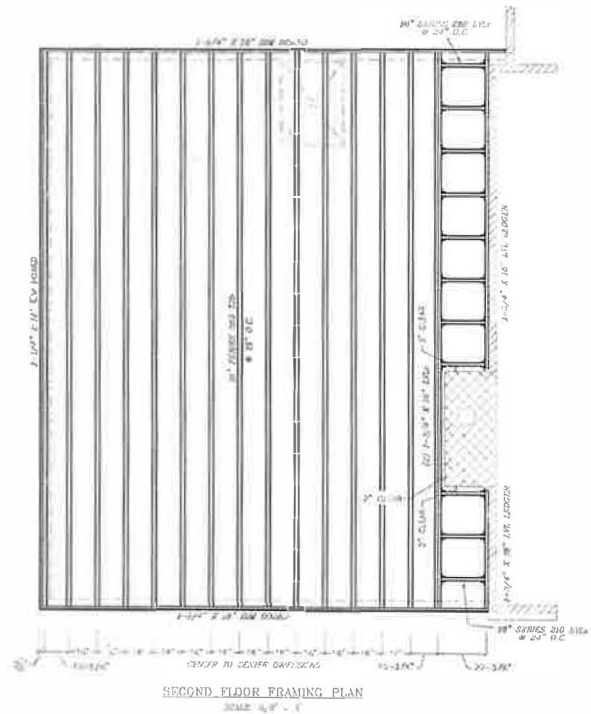
11-11-68 10:00 AM 11-11-68 10:00 AM

[illegible]

1100-1121 (2007, 1121)

PROPOSED ADDITION:
3 Monroe Field Court
Baltimore County, Maryland

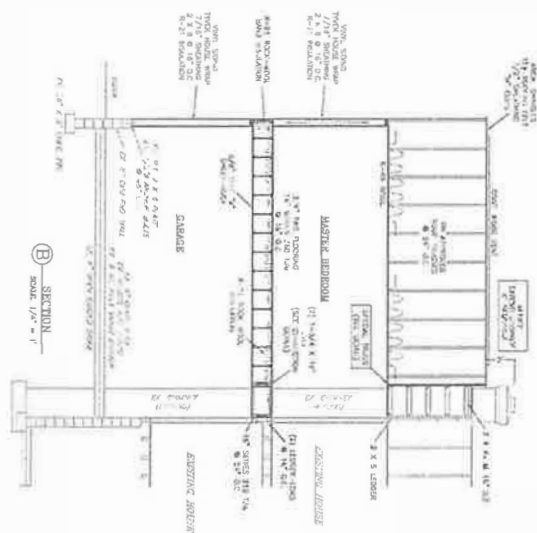
02/28/24
Issued by ME



PROPOSED ADDITION
3 Monroe Field Court
Baltimore County, Maryland

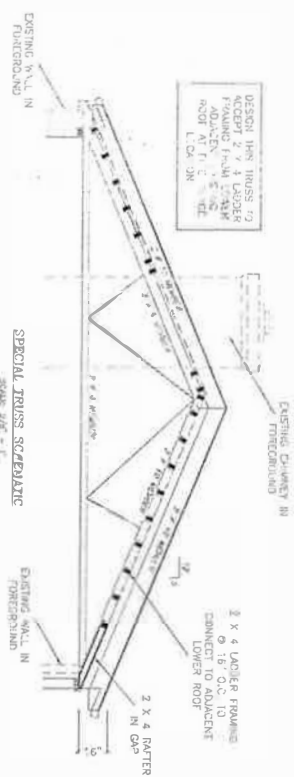
08/20/24
Drawn By: WY

A-3



SECTION
SCALE: 1/4" = 1'

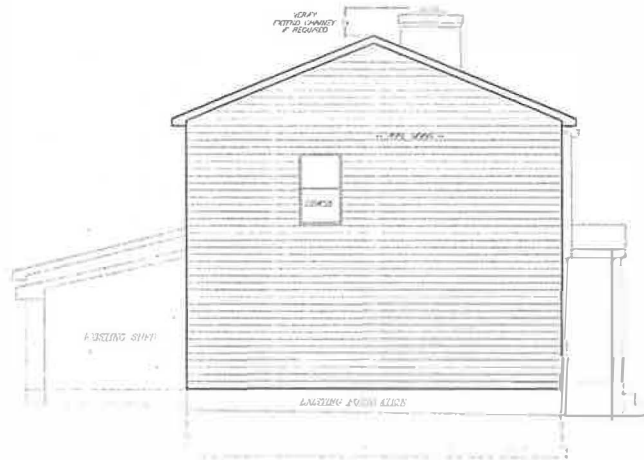
SECTION
SCALE: 1/4" = 1'



SPECIAL TRUSS SCHEMATIC

EXISTING WALL IN
FUTUREGROUND

EXISTING WALL IN
FOREGROUND



LEFT SIDE ELEVATION
SCALE 1/4" = 1"



FRONT ELEVATION
SCALE 1/4" = 1"

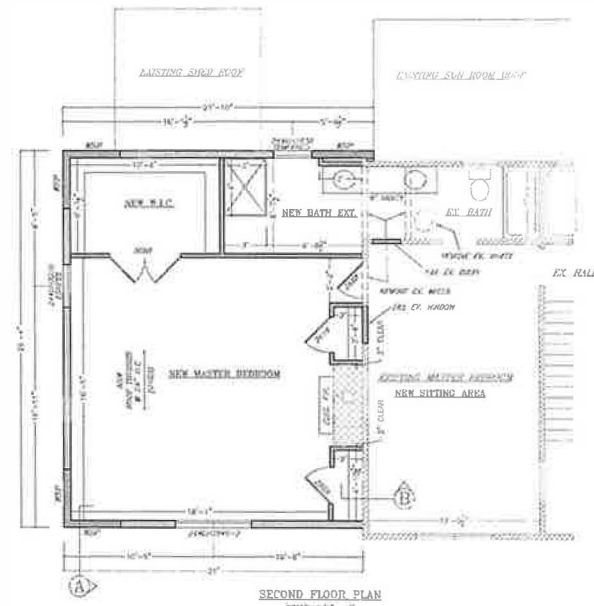
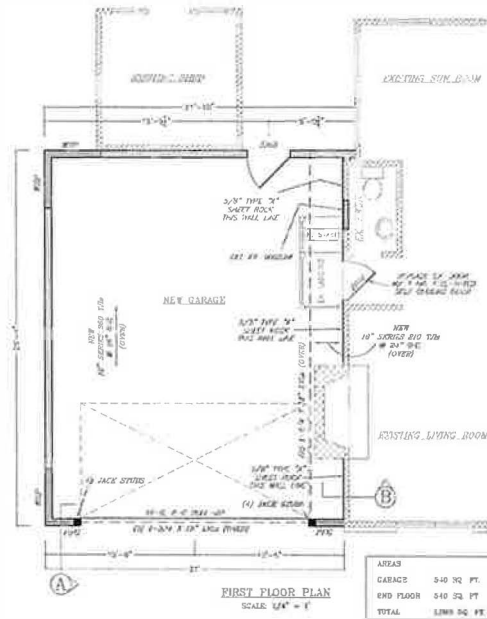


REAR ELEVATION
SCALE 1/4" = 1"

PROPOSED ADDITION
3 Monroe Field Court
Baltimore County, Maryland

03/24/24
Drawing # 107

A-1



NOTES:

GENERAL:

- 1) -- ALL CONSTRUCTION TO CONFORM TO APPLICABLE BUILDING CODES.
- 2) -- CONTRACTOR TO VERIFY PLANNED DIMENSIONS/ELEVATIONS PRIOR TO CONSTRUCTION. ADJUST AS NECESSARY.

FRAMING:

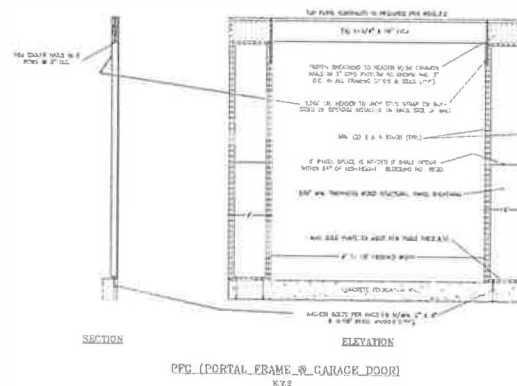
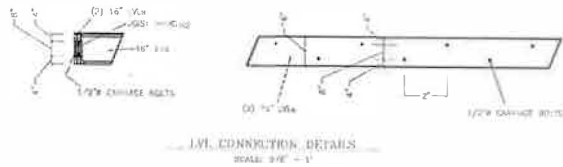
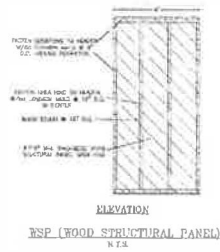
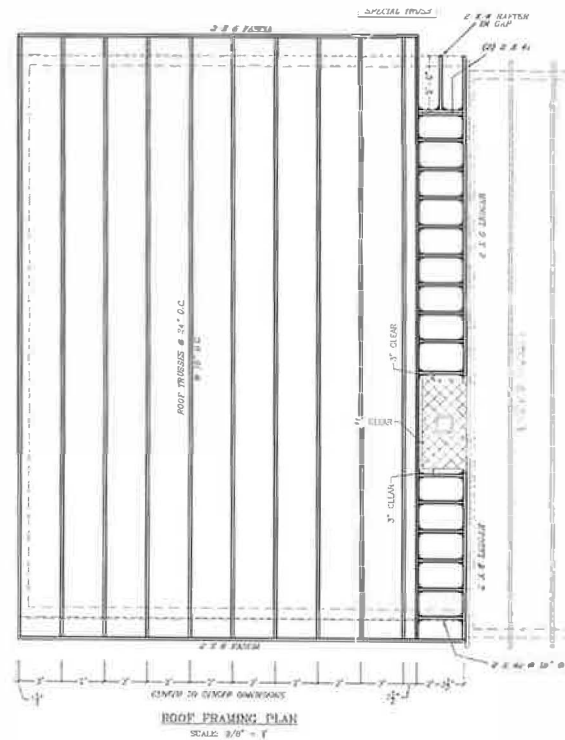
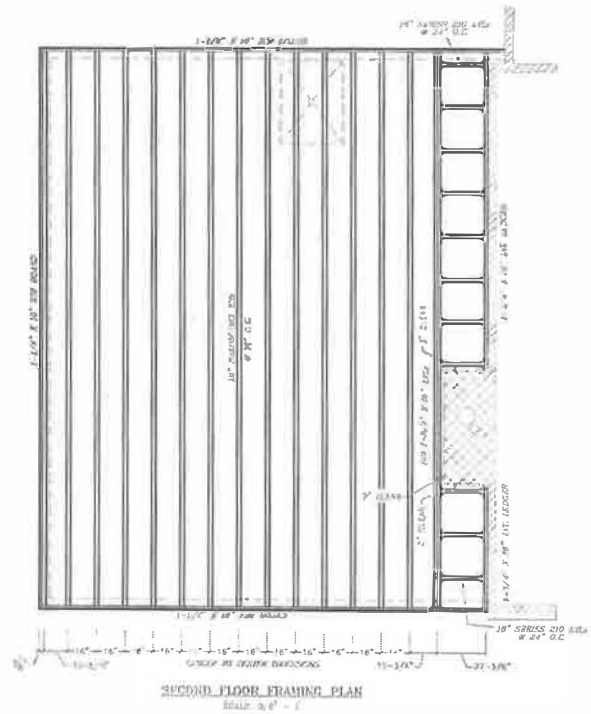
- 1) -- ALL EXTERIOR WALL FRAMING TO BE 2 X 4 @ 16" O.C., UNLESS NOTED OTHERWISE.
- 2) -- ALL INTERIOR WALL FRAMING TO BE 2 X 4 @ 16" O.C., UNLESS NOTED OTHERWISE.
- 3) -- INSTALL INTERIOR KICKERS AT ALL DOOR ENDS TO EXTERIOR WALL CONNECTIONS.
- 4) -- ALL HEADERS TO BE (6) 2 X 10 UNLESS NOTED OTHERWISE.
- 5) -- WINDOW DESIGNATIONS ARE FOR ANDERSON SERIES 200.
- 6) -- TR/LVL DESIGNATIONS ARE FOR Weyerhaeuser PRODUCTS.

ROOF FRAMES:

- 1) -- VERIFY GUT-TO-OUT DIMENSIONS OF WALLS AND EXISTING ROOF PITCH PRIOR TO TRUSS MANUFACTURE.
- 2) -- ROOF TRUSSES TO BE DESIGNED AND MANUFACTURED BY OTHERS. YES MEMBERS SHOWN ON THESE PLANS ARE FOR ILLUSTRATION PURPOSES ONLY. ACTUAL YES MEMBER ANGLEMENT MAY VARY ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

ROOF SLOPE:

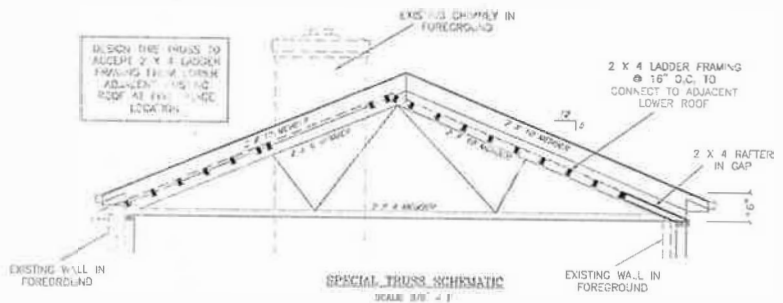
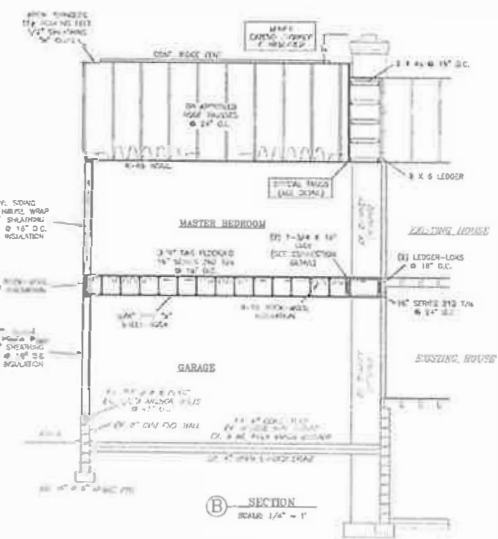
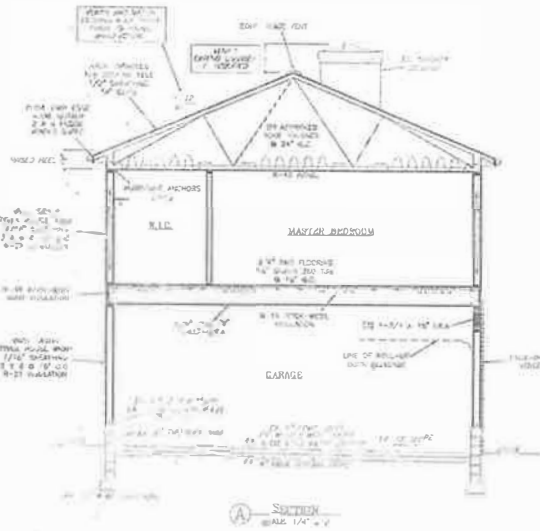
- 1) -- LIVING AREA: 4:12 PITCH (4:12 PITCH)
- 2) -- GARAGE AREA: 12:12 PITCH (12:12 PITCH)
- 3) -- PORCH AREA: 12:12 PITCH (12:12 PITCH)
- 4) -- SIDE WALKWAY: 12:12 PITCH (12:12 PITCH)



PROPOSED ADDITION
3 Monroe Field Court
Baltimore County, Maryland

02/20/24
Drawn by JH

A-3



PROPOSED ADDITION
3 Monroe Field Court
Baltimore County, Maryland

06/20/24
Drawn By: [Signature]

3 Monroe Field Court Addition

NOTES

- 1) - THIS PLAN WAS DEVELOPED UNDER THE INTERNATIONAL MECHANICAL CODE (IMC) 2006.
- 2) - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE LOCAL ORDINANCES.
- 3) - THE CONTRACTOR IS TO VERIFY ALL PLUMBING DIMENSIONS/LOCATIONS PRIOR TO CONSTRUCTION.

FOUNDATION

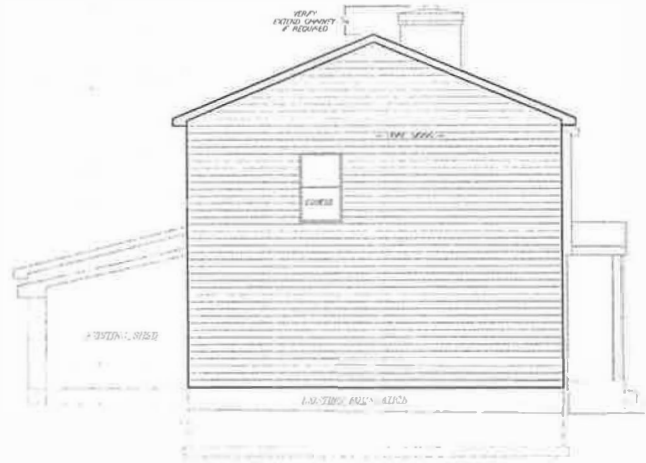
- 1) - FOOTINGS SHALL BE FOR MINIMUM ALLOWABLE SOIL BEARING CAPACITY OF 2000 PSF. QUALIFIED GEOTECHNICAL ENGINEER SHOULD VERIFY SOIL BEARING CAPACITY PRIOR TO CONSTRUCTION.
- 2) - BOTTOM OF ALL WALLS TO BE A MINIMUM OF 2" BELOW FINISHED EXTERIOR GRADE.
- 3) - ALL CONCRETE MINIMUM 28 - 3000 PSI @ 28 DAYS.

FRAMEWORK

- 1) - ALL EXTERIOR WALLS ARE 2 X 6 @ 16" O.C. UNLESS NOTED OTHERWISE.
- 2) - ALL INTERIOR WALLS ARE 2 X 4 @ 16" O.C. UNLESS NOTED OTHERWISE.
- 3) - STUDS SHALL BE 16" ON CENTER WITH 2" MIN. GUTS AT 16" O.C. UNLESS NOTED OTHERWISE.
- 4) - THE MINIMUM ROOFING IS 3/4" THICK ALUMINUM ROOFING SHALL BE 7/8" THICK CORRUGATED GALVALUMED STEEL WITH 1/2" MIN. GUTS AT 16" O.C. UNLESS NOTED OTHERWISE.
- 5) - ROOFING IS 1/2" THICK CORRUGATED GALVALUMED STEEL WITH 1/2" MIN. GUTS AT 16" O.C. UNLESS NOTED OTHERWISE.
- 6) - A MINIMUM 1/4" MIN. GUTS AT 16" O.C. UNLESS NOTED OTHERWISE.
- 7) - PROVIDE SLOPING AT 1/4" O.C. MINIMUM SPACING AND PROVIDE SOLID BRACING ANALYSIS BASED ON ALL BEARING POINTS.
- 8) - ALL STUDS AND/OR JOISTS SHALL BE CUT TO FIT WALLS/ROOFING.
- 9) - ALL STUDS TO BE ATTACHED TO ALL PARALLEL PARTITIONS ABOVE BY THE RESPECTIVE CONNECTION.
- 10) - ALL STUDS TO BE ATTACHED TO ALL PARALLEL PARTITIONS ABOVE BY THE RESPECTIVE CONNECTION.
- 11) - ALL STUDS TO BE ATTACHED TO ALL PARALLEL PARTITIONS ABOVE BY THE RESPECTIVE CONNECTION.
- 12) - ALL STUDS TO BE ATTACHED TO ALL PARALLEL PARTITIONS ABOVE BY THE RESPECTIVE CONNECTION.

STRUCTURAL STEEL

- 1) - STRUCTURAL STEEL DETAILS, CONNECTIONS AND BRACING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MANUAL OF STEEL CONSTRUCTION" AS PUBLISHED BY THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION.
- 2) - STRUCTURAL STEEL SHALL CONFORM TO ASTM A-36, COLD FORMED STEEL, AND HEAVYWEIGHT CHANNELS, C-12, C-14, C-16, C-18, C-20, C-22, C-24, C-26, C-28, C-30, C-32, C-34, C-36, C-38, C-40, C-42, C-44, C-46, C-48, C-50, C-52, C-54, C-56, C-58, C-60, C-62, C-64, C-66, C-68, C-70, C-72, C-74, C-76, C-78, C-80, C-82, C-84, C-86, C-88, C-90, C-92, C-94, C-96, C-98, C-100, C-102, C-104, C-106, C-108, C-110, C-112, C-114, C-116, C-118, C-120, C-122, C-124, C-126, C-128, C-130, C-132, C-134, C-136, C-138, C-140, C-142, C-144, C-146, C-148, C-150, C-152, C-154, C-156, C-158, C-160, C-162, C-164, C-166, C-168, C-170, C-172, C-174, C-176, C-178, C-180, C-182, C-184, C-186, C-188, C-190, C-192, C-194, C-196, C-198, C-200, C-202, C-204, C-206, C-208, C-210, C-212, C-214, C-216, C-218, C-220, C-222, C-224, C-226, C-228, C-230, C-232, C-234, C-236, C-238, C-240, C-242, C-244, C-246, C-248, C-250, C-252, C-254, C-256, C-258, C-260, C-262, C-264, C-266, C-268, C-270, C-272, C-274, C-276, C-278, C-280, 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C-3372, C-3374, C-3



LEFT SIDE ELEVATION
SCALE 1/4" = 1"



FRONT ELEVATION
SCALE 1/4" = 1"

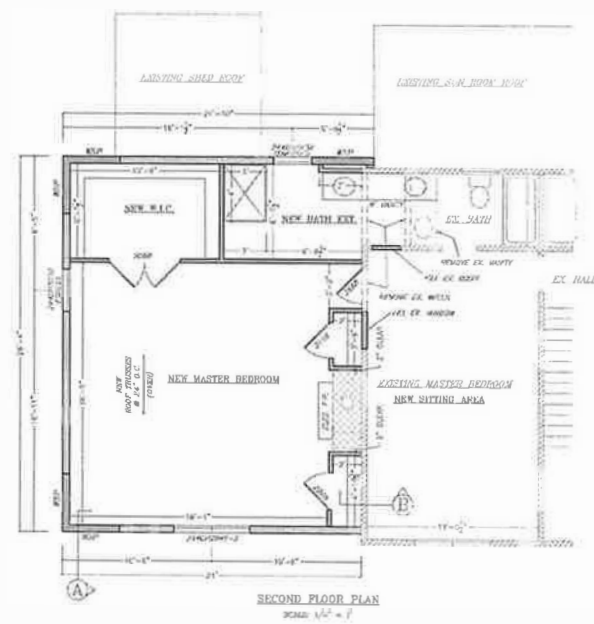
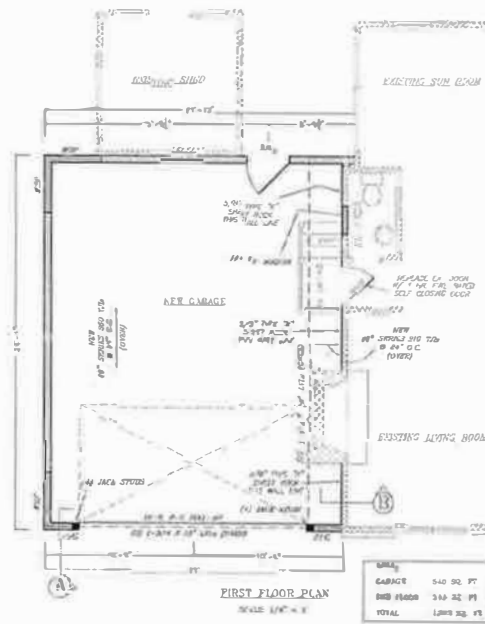


REAR ELEVATION
SCALE 1/4" = 1"

PROPOSED ADDITION
3 Monroe Field Court
Baltimore County, Maryland

08/26/24
Drawn by: [signature]

A-1



NOTES

GENERAL

- 1) - ALL CONSTRUCTION TO CONFORM TO APPLICABLE BUILDING CODES.
- 2) - CONTRACTOR TO VERIFY PLANNED DIMENSIONS/RELATIONS PRIOR TO CONSTRUCTION. (SEE DETAIL)

FINISHES

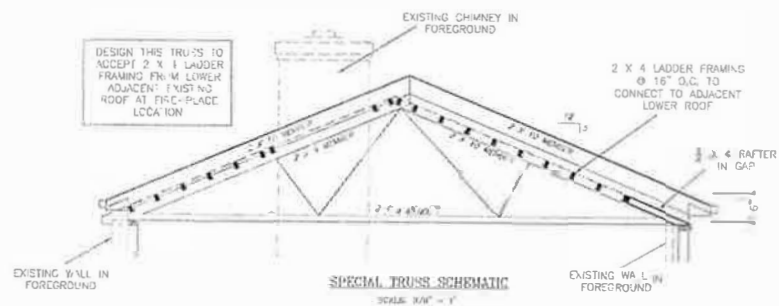
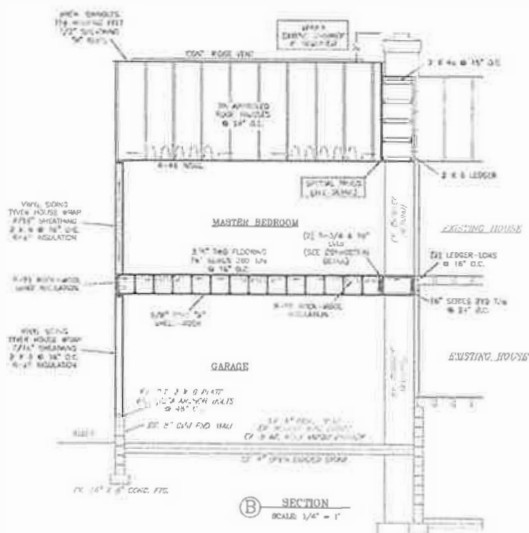
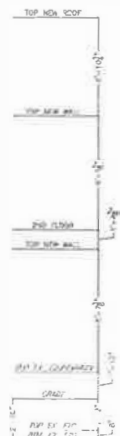
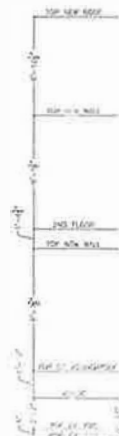
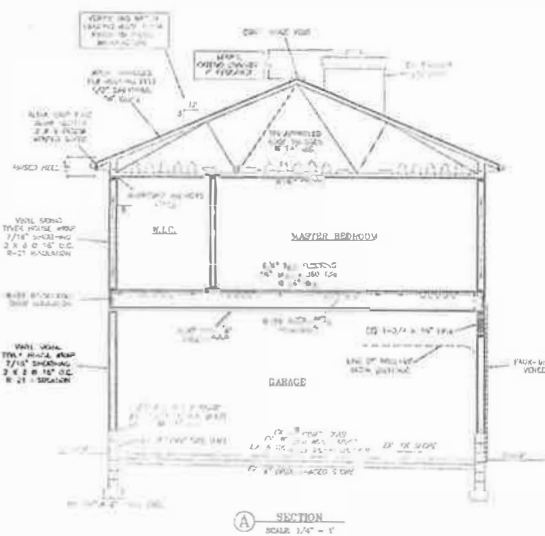
- 1) - ALL EXTERIOR WALL FINISHING TO BE 2 X 4 @ 16" O.C., UNLESS NOTED OTHERWISE.
- 2) - ALL INTERIOR WALL FINISHING TO BE 2 X 4 @ 16" O.C., UNLESS NOTED OTHERWISE.
- 3) - ALL TALL WALLS AND CEILING TO BE AT ALL ROOF LEVELS TO EXTERIOR WALL FINISHING.
- 4) - ALL HEADINGS TO BE (2) 2 X 10 UNLESS NOTED OTHERWISE.
- 5) - ALL ROOF FINISHING TO BE 1/2" MINIMUM UNLESS NOTED OTHERWISE.
- 6) - ALL ROOF FINISHING TO BE 1/2" MINIMUM UNLESS NOTED OTHERWISE.

ROOF FINISHING

- 1) - VERIFY OUT-TO-OUT DIMENSIONS OF WALLS AND EXISTING ROOF PITCH PRIOR TO FINISHING.
- 2) - ROOF FINISHING TO BE DELIVERED AND MANUFACTURED BY OTHER. SEE MEMBERS SHOWN ON THESE PLANS FOR INFORMATION PURPOSES ONLY. ACTUAL ROOF MEMBER ARRANGEMENT MAY VARY ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

WIND LOADS

- 1) - WIND AREA: 40 PSF WIND/20 PSF DEAD
- 2) - WIND AREA: 30 PSF WIND/20 PSF DEAD
- 3) - ROOF AREA: 30 PSF WIND/20 PSF DEAD
- 4) - WIND LOADING: 100 MPH (15 PSF)



PROPOSED ADDITION
3 Monroe Field Court
Baltimore County, Maryland

01/20/2014
Drawn by: MCF

A-4

PLEASANT VALLEY DR

Lot # 9 0107410531

Lot # 10 0107410532

Lot # 11 0107410533
6

0107410534
Lot # 12

MONROE FIELD CT

1 CD

094C3

R-1967-0051
R-1963-0144

0107410541

DR 3.5

Lot # 19

SW 1-G

PAI # 010133

Pt. Bk./Folio # 033111

PAI # 010133

Lot # 18 0107410540

Site

Lot # 17 0107410539

Lot # 16 0107410538

Lot # 20 0107410542
Pt. Bk. 0000033, Folio 0111

Lot # 21 0107410543

6312

Lot # 22 0107410544

Pt. Bk./Folio # 034093

Lot # 23
1600002684

Pt. Bk. 0000034, Folio 009

CHESWORTH RD