



**ADMINISTRATIVE ZONING PETITION  
FOR ADMINISTRATIVE VARIANCE – OR – ADMINISTRATIVE SPECIAL HEARING**

To be filed with the Department of Permits, Approvals and Inspections  
To the Office of Administrative Hearings for Baltimore County for the property located at:

Address 13838 HUNT VALLEY COURT Currently Zoned OT  
 Deed Reference 49556 / 486 10 Digit Tax Account # 2500019034  
 Owner(s) Printed Name(s) DANNY M KASS HARRIET S. KASS

(SELECT THE HEARING(S) BY MARKING **X** AT THE APPROPRIATE SELECTION(S) AND ADDING THE PETITION REQUEST)

For Administrative Variances, the Affidavit on the reverse of this Petition form must be completed and notarized.

The undersigned, who own and occupy the property situate in Baltimore County and which is described in the plan/plat attached hereto and made a part hereof, hereby petition for an:

1.  **ADMINISTRATIVE VARIANCE** from Section(s)

*(open projection)*

BCZR: 209.4 & 301.1 → To permit a proposed rear yard deck with a setback of 11 feet in lieu of the required 37.5 feet.

of the zoning regulations of Baltimore County, to the zoning law of Baltimore County.

2.  **ADMINISTRATIVE SPECIAL HEARING** to approve a waiver pursuant to Section 32-4-107(b) of the Baltimore County Code: (indicate type of work in this space: i.e., to raze, alter or construct addition to building)

of the zoning regulations of Baltimore County, to the zoning law of Baltimore County.

Property is to be posted and advertised as prescribed by the zoning regulations.

I/we agree to pay expenses of above petition(s), advertising, posting, etc. and further agree to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

**Owner(s)/Petitioner(s):**

KASS DANNY M , KASS HARRIET S  
 Name #1 - Type or Print Name # 2 - Type or Print

[Signature] , [Signature]  
 Signature #1 Signature #2  
13838 HUNT VALLEY CT COCKEYSVILLE , MD  
 Mailing Address City State

21030 , 631-553-8780 , dmkmd41150@gmail.com  
 Zip Code Telephone #'s (Cell and Home) Email Address

**Attorney for Owner(s)/Petitioner(s):**

\_\_\_\_\_  
 Name - Type or Print  
 \_\_\_\_\_  
 Signature  
 \_\_\_\_\_  
 Mailing Address City State  
 \_\_\_\_\_  
 Zip Code Telephone # Email Address

**Representative to be Contacted:**

DAN KASS  
 Name - Type or Print  
 \_\_\_\_\_  
 Signature  
13838 HUNT VALLEY CT COCKEYSVILLE  
 Mailing Address City State  
21030 , 631553 8780 , dmkmd 41150@gmail.com  
 Zip Code Telephone # Email Address

**A PUBLIC HEARING having been formally demanded and/or found to be required, It is ordered by the Office of Administrative Hearings for Baltimore County, this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_ that the subject matter of this petition be set for a public hearing, advertised, and re-posted as required by the zoning regulations of Baltimore County.**

\_\_\_\_\_  
 Administrative Law Judge for Baltimore County

Case Number 2005-0003-A Filing Date 11/9/25 Estimated Posting Date 11/19/25 Reviewer JSS

**Affidavit in Support of Administrative Variance**  
**(THIS AFFIDAVIT IS NOT REQUIRED FOR AN HISTORIC ADMINISTRATIVE SPECIAL HEARING)**

The undersigned hereby affirms under the penalties of perjury and upon personal knowledge to the Administrative Law Judge for Baltimore County, that the information herein given is true and correct and that the undersigned is/are competent to testify in the event that a public hearing is scheduled in the future with regard thereto. In addition, the undersigned hereby affirms that the property is not the subject of an active Code Enforcement case and that the residential property described below is owned and occupied by the undersigned.

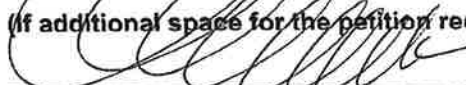
Address: 13838 HUNT VALLEY CT, Cockeysville, MD 21030  
Print or Type Address of Property City State Zip Code

Based upon personal knowledge, the following are the facts upon which I/we base the request for an **Administrative Variance** at the above address. **(Clearly state practical difficulty or hardship here)**

Due to limitation of movement due to  
orthopedic condition, access to rear  
of property is limited. A deck with  
stairs will permit use of rear area  
from living space in lieu of upcoming  
joint replacement surgery and further  
restriction of movement.

Property backs up to open space with no  
structures for a minimum of 1000' feet.

**(If additional space for the petition request or the above statement is needed, label and attach it to this Form)**

  
Signature of Owner (Affiant)

DANNY M. KASS  
Name - Print or Type

Harriet S. Kass  
Signature of Owner (Affiant)

Harriet S. Kass  
Name - Print or Type

**The following information is to be completed by a Notary Public of the State of Maryland**

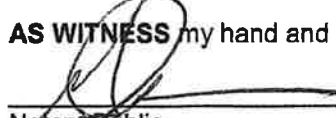
**STATE OF MARYLAND, COUNTY OF BALTIMORE, to wit:**

I HEREBY CERTIFY, this 20<sup>th</sup> day of December, 2024, before me a Notary of Maryland, in and for the County aforesaid, personally appeared:

Print name(s) here: Danny M. Kass and Harriet S. Kass

the Affiant(s) herein, personally known or satisfactorily identified to me as such Affiant(s).

**AS WITNESS** my hand and Notaries Seal

  
Notary Public

01/17/2027  
My Commission Expires

**GLEIBIS TIBURCIO**  
Notary Public  
Baltimore County  
Maryland  
My Commission Expires Jan. 17, 2027

# 13838 Hunt Valley Court

(25-00-019034)

2025-0003-A

## Property Description

Located on the northwest side of Hunt Valley Court (40' row), approximately 1050 feet +/- from the intersection with Hickory Hollow Court (40' row).

Being known and designated as Lot 115, as shown on the Plat of Long View Ridge, which Plat is recorded among the Land Records of Baltimore County in Plat Book GLB No. 80, page 110. The improvements thereon being known as No. 13838 Hunt Valley Court.



**Permits, Approvals and  
Inspections**

111 W CHESAPEAKE AVE  
TOWSON, MD 21204  
4108873353  
WWW.BALTIMORECOUNTYMD.GO  
V

Cashier: Jason S.  
03-Jan-2025 2:24:45P

Transaction <b>102667</b>	
1 Petition Before ALJ	\$75.00
<b>Total</b>	<b>\$75.00</b>
CREDIT CARD SALE	\$75.00
VISA 2702	

Retain this copy for statement  
validation

Station: Permit Processing - Mini

03-Jan-2025 2:24:52P  
\$75.00 | Method: EMV  
VISA CREDIT  
XXXXXXXXXXXX2702  
DAN M KASS  
Reference ID: 500300574440  
Auth ID: 96452D  
MID: \*\*\*\*\*2995  
AID: A0000000031010  
AthNtwkNm: VISA  
SIGNATURE

Clover ID: BDEB2RSWT74WR  
Payment BRY4XG0A5WRYP

Clover Privacy Policy  
<https://clover.com/privacy>

Real Property Data Search ( )  
 Search Result for BALTIMORE COUNTY

[View Map](#)      [View GroundRent Redemption](#)      [View GroundRent Registration](#)

Special Tax Recapture: None

Account Identifier: District - 08 Account Number - 2500019034

**Owner Information**

Owner Name: KASS DANNY M      Use: RESIDENTIAL  
 KASS HARRIET S      Principal Residence: YES  
 Mailing Address: 13838 HUNT VALLEY CT      Deed Reference: /49556/ 00486  
 COCKEYSVILLE MD 21030-

**Location & Structure Information**

Premises Address: 13838 HUNT VALLEY CT      Legal Description: 0.0539 AC  
 COCKEYSVILLE 21030-      13838 HUNT VALLEY CT NWS  
 LONGVIEW RIDGE

Map: Grid: Parcel: Neighborhood: Subdivision: Section: Block: Lot: Assessment Year: Plat No:  
 0042 0008 0514 8040070.04 8110 2 115 2023 Plat Ref: 0080/ 0110

Town: None

Primary Structure Built Above Grade Living Area Finished Basement Area Property Land Area County Use  
 2024 2,724 SF 0.0539 AC 04

Stories Basement Type Exterior Quality Full/Half Bath Garage Last Notice of Major Improvements  
 3 NO CENTER UNIT SIDING/5 2 full/ 2 half 1 Attached

**Value Information**

	Base Value	Value		
		As of 01/01/2023	Phase-in Assessments As of 07/01/2024	As of 07/01/2025
Land:	125,000	125,000		
Improvements	363,500	452,700		
Total:	488,500	577,700	547,967	577,700
Preferential Land:	0	0		

**Transfer Information**

Seller: NVR INC      Date: 10/31/2024      Price: \$676,420  
 Type: ARMS LENGTH IMPROVED      Deed1: /49556/ 00486      Deed2:  
 Seller: ATAPCO LONGVIEW LLC      Date: 05/13/2024      Price: \$1,212,030  
 Type: ARMS LENGTH MULTIPLE      Deed1: /49030/ 00071      Deed2:  
 Seller:      Date:      Price:  
 Type:      Deed1:      Deed2:

**Exemption Information**

Partial Exempt Assessments: Class 07/01/2024 07/01/2025  
 County: 000 0.00  
 State: 000 0.00  
 Municipal: 000 0.00|0.00 0.00|0.00

Special Tax Recapture: None

**Homestead Application Information**

Homestead Application Status: No Application

**Homeowners' Tax Credit Application Information**

Homeowners' Tax Credit Application Status: No Application Date:

BALTIMORE COUNTY DEPARTMENT OF PERMITS, APPROVALS AND INSPECTIONS  
ZONING REVIEW OFFICE

**ADMINISTRATIVE VARIANCE INFORMATION SHEET AND DATES**

Case Number: 2025-0003-A Address 13838 HUNT VALLEY COURT

Contact Person: JASON SEIDELMAN Phone Number: 410-887-3391  
Planner, Please Print Your Name

Filing Date: 1/9/25 Posting Date: 1/19/25 Closing Date: 2/3/25

Any contact made with this office regarding the status of the administrative variance should be through the contact person (planner) using the case number.

- POSTING/COST:** The petitioner must use one of the sign posters on the approved list and the petitioner is responsible for all printing/posting costs. Any reposting must be done only by one of the sign posters on the approved list and the petitioner is again responsible for all associated costs. The zoning notice sign must be visible on the property on or before the posting date noted above. It should remain there through the closing date.
- DEADLINE:** The closing date is the deadline for a neighbor (occupant or owner) within 1,000 feet to file a formal request for a public hearing. Please understand that even if there is no formal request for a public hearing, the process is not complete on the closing date.
- ORDER:** After the closing date, the file will be reviewed by the Administrative Law Judge. The judge may: (a) grant the requested relief; (b) deny the requested relief; or (c) order that the matter be set in for a public hearing. If all County/State agencies' comments are received, you will receive written notification as to whether the petition has been granted, denied, or will proceed to a public hearing. This decision is usually made within 10 days of the closing date. The written order will be mailed to you by First Class mail.
- POSSIBLE PUBLIC HEARING AND REPOSTING:** In cases that must go to a public hearing (whether due to a neighbor's formal request or by order of the Administrative Law Judge), notification will be forwarded to you. The sign on the property must be changed giving notice of the hearing date, time and location. As when the sign was originally posted, certification of this change and a photograph of the altered sign must be forwarded to this office.

Petitioner: This Part of the Form is for the Sign Poster Only (Detach Along Dotted Line)

**USE THE ADMINISTRATIVE VARIANCE SIGN FORMAT**

Case Number: 2025-0003-A Address 13838 HUNT VALLEY COURT

Petitioner's Name: DAN + HARRIET KASS Telephone (Cell) 631-553-8780

Posting Date: 1/19/25 Closing Date: 2/3/25

Wording for Sign: To Permit \_\_\_\_\_

To permit a proposed rear yard deck with a setback of 11 feet in lieu of the required 37.5 feet.

**DEPARTMENT OF PERMITS, APPROVALS AND INSPECTIONS  
ZONING REVIEW OFFICE**

**ADVERTISING REQUIREMENTS AND PROCEDURES FOR ZONING HEARINGS**

The Baltimore County Zoning Regulations (BCZR) require that notice be given to the general public/ neighboring property owners relative to property which is the subject of an upcoming zoning hearing. For those petitions which require a public hearing, this notice is accomplished by posting a sign on the property (responsibility of the legal owner/petitioner) and placement of a notice in a newspaper of general circulation in the County, both at least twenty (20) days before the hearing.\*

Zoning Review will ensure that the legal requirements for advertising are satisfied. However, the legal owner/petitioner is responsible for the costs associated with these requirements. The newspaper will bill the person listed below for the advertising. This advertising is due upon receipt and should be remitted directly to the newspaper.

**OPINIONS MAY NOT BE ISSUED UNTIL ALL ADVERTISING COSTS ARE PAID.**

For Newspaper Advertising:

Case Number: 2025-0003-A  
Property Address: 13838 HUNT VALLEY CT, COCKEYSVILLE, MD 21030  
Legal Owners (Petitioners): KASS, DANNY M, KASS, MARIET S.  
Contract Purchaser/Lessee: \_\_\_\_\_

PLEASE FORWARD ADVERTISING BILL TO:

Name: Company/Firm (if applicable): DANNY M. KASS  
Address: 13838 HUNT VALLEY CT  
COCKEYSVILLE, MD 21030  
\_\_\_\_\_  
Telephone Number: 631 - 553 - 8780

\*Failure to advertise and/or post a sign on the property within the designated time will result in the Hearing request being delayed. The delayed Hearing Case will be cycled to the end of pending case files and rescheduled in the order that it is received. Also, a \$250.00 rescheduling fee may be required after two failed advertisings and/or postings.



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[Signature] , [Signature]  
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13838 HUNT VALLEY CT COCKEYSVILLE , MD  
 Mailing Address City State

21030 , 631-553-8780 , dmkmd41150@gmail.com  
 Zip Code Telephone #'s (Cell and Home) Email Address

**Attorney for Owner(s)/Petitioner(s):**

\_\_\_\_\_  
 Name - Type or Print  
 \_\_\_\_\_  
 Signature  
 \_\_\_\_\_  
 Mailing Address City State  
 \_\_\_\_\_  
 Zip Code Telephone # Email Address

**Representative to be Contacted:**

DAN KASS  
 Name - Type or Print  
 \_\_\_\_\_  
 Signature  
13838 HUNT VALLEY CT COCKEYSVILLE  
 Mailing Address City State  
21030 , 631553 8780 , dmkmd 41150@gmail.com  
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 Administrative Law Judge for Baltimore County

Case Number 2005-0003-A Filing Date 11/9/25 Estimated Posting Date 11/19/25 Reviewer JSS

**Affidavit in Support of Administrative Variance**  
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Address: 13838 HUNT VALLEY CT, Cockeysville, MD 21030  
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Based upon personal knowledge, the following are the facts upon which I/we base the request for an **Administrative Variance** at the above address. **(Clearly state practical difficulty or hardship here)**

Due to limitation of movement due to  
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of property is limited. A deck with  
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from living space in lieu of upcoming  
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Property backs up to open space with no  
structures for a minimum of 1000' feet.

(If additional space for the petition request or the above statement is needed, label and attach it to this Form)

Signature of Owner (Affiant)

DANNY M. KASS  
Name - Print or Type

Signature of Owner (Affiant)

Harriet S. Kass  
Name - Print or Type

**The following information is to be completed by a Notary Public of the State of Maryland**

**STATE OF MARYLAND, COUNTY OF BALTIMORE, to wit:**

I HEREBY CERTIFY, this 20<sup>th</sup> day of December, 2024, before me a Notary of Maryland, in and for the County aforesaid, personally appeared:

Print name(s) here: Danny M. Kass and Harriet S. Kass

the Affiant(s) herein, personally known or satisfactorily identified to me as such Affiant(s).

**AS WITNESS** my hand and Notaries Seal

Notary Public

01/17/2027  
My Commission Expires

**GLEIBIS TIBURCIO**  
Notary Public  
Baltimore County  
Maryland  
My Commission Expires Jan. 17, 2027

# 13838 Hunt Valley Court

(25-00-019034)

2025-0003-A

## Property Description

Located on the northwest side of Hunt Valley Court (40' row), approximately 1050 feet +/- from the intersection with Hickory Hollow Court (40' row).

Being known and designated as Lot 115, as shown on the Plat of Long View Ridge, which Plat is recorded among the Land Records of Baltimore County in Plat Book GLB No. 80, page 110. The improvements thereon being known as No. 13838 Hunt Valley Court.

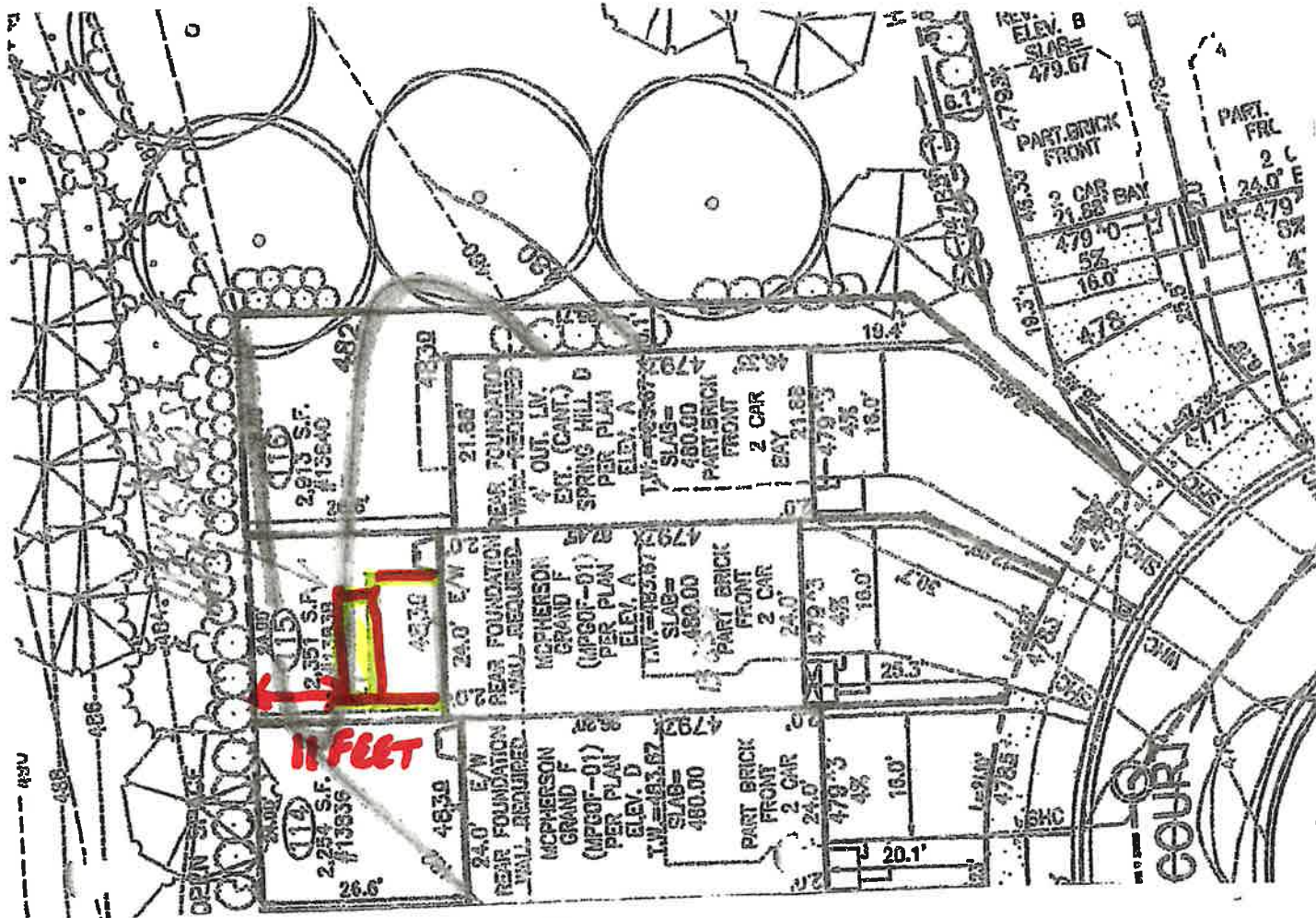
Zoning Hearing Plan for Variance  for Special Hearing \_\_\_\_\_ Mark Type Requested with (X)  
 Address 13838 Hunt Valley Ct. Owners(s) Name(s) KASS, DANNY M., KASS, HARRIET S  
 Subdivision Name Longview Ridge 8110 Lot # 115 Block # \_\_\_\_\_ Section # 2  
 Plat Book # 080 Folio # 110 10 Digit Tax # 2500019034 Deed Reference# 49556100486

Site Vicinity Map



MAP IS NOT TO SCALE

Zoning Map # 0042  
 Zoning OT  
 Election District 8  
 Council District 3  
 Lot Area Acreage 0.0539  
 Lot Square Footage 2348  
 Historic (Yes or No) No  
 CBCA (Yes or No) NO  
 Flood Plain (Yes or No) No  
 Utilities – Mark with (X)  
 Water is:  
 Public  Private \_\_\_\_\_  
 Sewer is:  
 Public  Private \_\_\_\_\_  
 Prior Hearing (Yes or No) No  
 If (Yes) list Case Number(s)  
 and order result(s) below:



Plan Drawn By DANNY KASS Date 12/29/24 Scale: 1 inch = 24 Feet

2025-0003-A

Violation Case Number(s)

# CERTIFICATE OF POSTING

**ATTENTION:** KRISTEN LEWIS

**DATE:** 1/18/2025

**Case Number:** 2025-0003-A

**Petitioner / Developer:** DAN & HARRIET KASS

**Date of Closing:** FEBRUARY 3, 2025

This is to certify under the penalties of perjury that the necessary sign(s) required by law were posted conspicuously on the property located at:  
13838 HUNT VALLEY COURT

The sign(s) were posted on: JANUARY 18, 2025



Linda O'Keefe  
(Signature of Sign Poster)

Linda O'Keefe  
(Printed Name of Sign Poster)

523 Penny Lane  
(Street Address of Sign Poster)

Hunt Valley, MD 21030  
(City, State, Zip of Sign Poster)

410-666-5366  
(Telephone Number of Sign Poster)

# BALTIMORE COUNTY, MARYLAND

## INTER-OFFICE MEMORANDUM

**TO:** C. Pete Gutwald  
Director, Department of Permits, Approvals and Inspections

**DATE:** 1/28/2026

**FROM:** Steve Lafferty  
Director, Department of Planning

**SUBJECT: ZONING ADVISORY COMMITTEE COMMENTS**  
Case Number: 2026-0003-A

**INFORMATION:**

**Property Address:** 3600 Milford Mill Road  
**Petitioner:** Justin Rosemore – Milford Mill Properties, LLC  
**Zoning:** BL-CCC, BR-CCC, BL, BR  
**Requested Action:** Variance

The Department of Planning has reviewed the petition for the following request:

**Variance** - From Section 450.4. Table 1.5(d) of the Baltimore County Zoning Regulations (BCZR) to allow a 120 square feet of sign area for a freestanding joint identification sign for a Planned Shopping Center in lieu of the 100 square feet permitted by right.

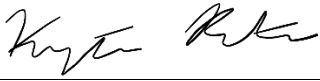
The proposed site is a 5.60 acre property zoned BL-CCC, BR-CCC, BL and BR. It is immediately surrounded by commercial uses and outside of that, residential properties. The site is currently improved with a medical office, vacant grocery store, and retail/service use. The lot is located in the Liberty Road Design Review Panel Area. The site proposes medical office, grocery store, liquor store, fuel station convenience store/carry-out uses.

The property at 3600 Milford Mill Road is located in the Liberty Road DRP area which requires review by the Design Review Panel for design compliance through the application of the Master Plan, the Comprehensive Manual of Development Policies, adopted community plans/Section 260 of the Baltimore County Zoning Regulations, as applicable pursuant to Section 32-4-203 of the Baltimore County Code. This development was subject to Baltimore County Design Review Panel (DRP) review on March 8, 2023 wherein conditional approval was granted. Revisions were submitted to the Department of Planning and a final approval letter was issued by Permits, Approvals, and Inspections on May 12, 2023.

The petitioner proposes a 120 square foot of sign area for a freestanding joint identification sign. The maximum allowed is 100 square feet. The additional 20 square feet will not adversely affect the health safety and wellness of the area and will not create a visual nuisance. The signage proposal is compatible and meets design guidelines.

The Department of Planning has no objection to the granting of the above requested relief. For further information concerning the matters stated herein, please contact Brett M. Williams at 410-887-3482.

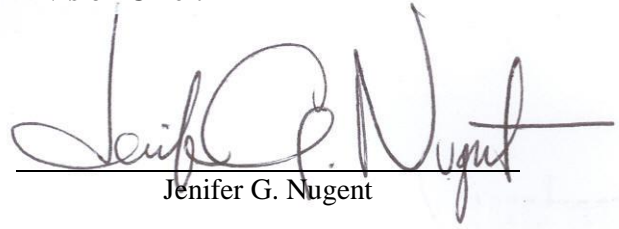
**Prepared by:**



---

Krystle Patchak

**Division Chief:**



---

Jenifer G. Nugent

SL/JGN/KP

c: Dino C. La Fiandra, Esquire  
Yolanda Gregory, Community Planner  
John Krach, Zoning Review  
Kristen Lewis, Zoning Review  
Office of Administrative Hearings  
People's Counsel for Baltimore County

**BALTIMORE COUNTY, MARYLAND**

**Inter-Office Correspondence**



TO: Hon. Maureen E. Murphy; Chief Administrative Law Judge  
Office of Administrative Hearings

FROM: Jeff Livingston, Department of Environmental Protection and  
Sustainability (EPS) - Development Coordination

DATE: January 21, 2025

SUBJECT: DEPS Comment for Zoning Item # 2025-0003-A  
Address: 13838 HUNT VALLEY COURT  
Legal Owner: Danny & Harriet Kass

Zoning Advisory Committee Meeting of January 21, 2025.

X The Department of Environmental Protection and Sustainability has no  
comment on the above-referenced zoning item.

Additional Comments:

Reviewer: Earl D. Wrenn

**BALTIMORE COUNTY, MARYLAND**

**INTEROFFICE CORRESPONDENCE**

**TO:** Peter Gutwald, Director  
Department of Permits, Approvals

**DATE:** January 14, 2025

**FROM:** Vishnu Desai, Supervisor  
Bureau of Development Plans Review

**SUBJECT:** Zoning Advisory Committee Meeting  
Case 2025-0003-A

*The Bureau of Development Plans Review has reviewed the subject zoning items and we have the following comments.*

**DPR:** No comment.

**DPW-T:** No Exception taken.

**Landscaping:** No comment.

**Recreations & Parks:** No comment LOS & No Greenways affected.



New deck project  
For

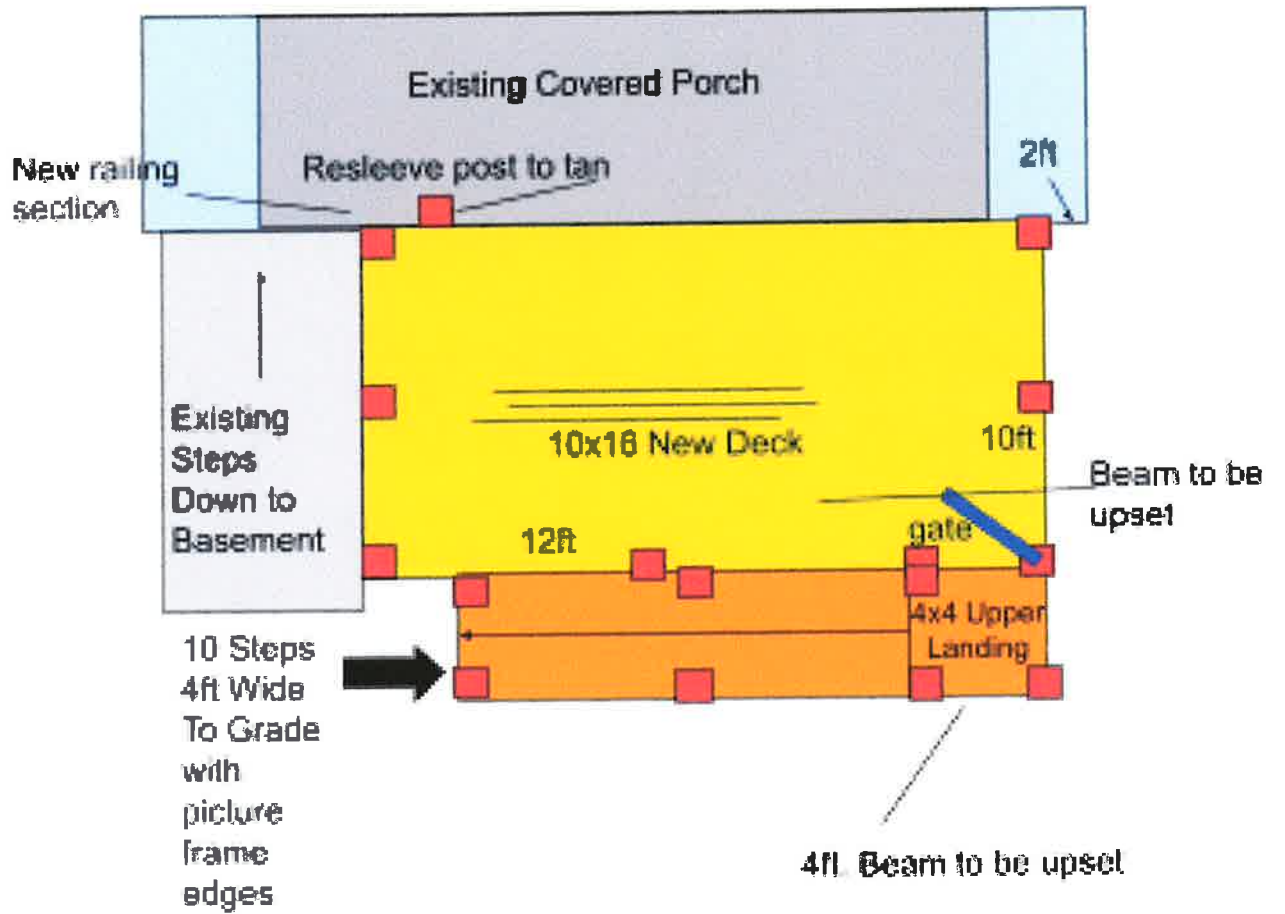
13838

Hunt Valley Court  
Cockeysville 21030

Longview Ridge



SKETCH



**JOB NOTES:**  
 1. PROPOSED DECK SQUARE FOOTAGE = 160 SQ. FT.  
 2. REMOVE (8) EXISTING RAIL SECTIONS (ONLY SECTIONS WITHIN WIDTH OF NEW DECK) AND HAUL AWAY ALL DEBRIS.

**DECK MATERIALS:**  
 1. DECKING - TREX ENHANCE ROCKY HARBOR, CCRR-0301.  
 2. RAILING - 36" HIGH TAN (ALMOND) WASHINGTON RAILING WITH BLACK ROUND ALUMINUM BALUSTERS, E5R-5074.  
 3. WRAP - TAN (ALMOND) PVC WRAP (TEXTURED SIDE OUT).  
 4. GATE - TAN (ALMOND) VINYL GATE WITH BLACK HARDWARE.

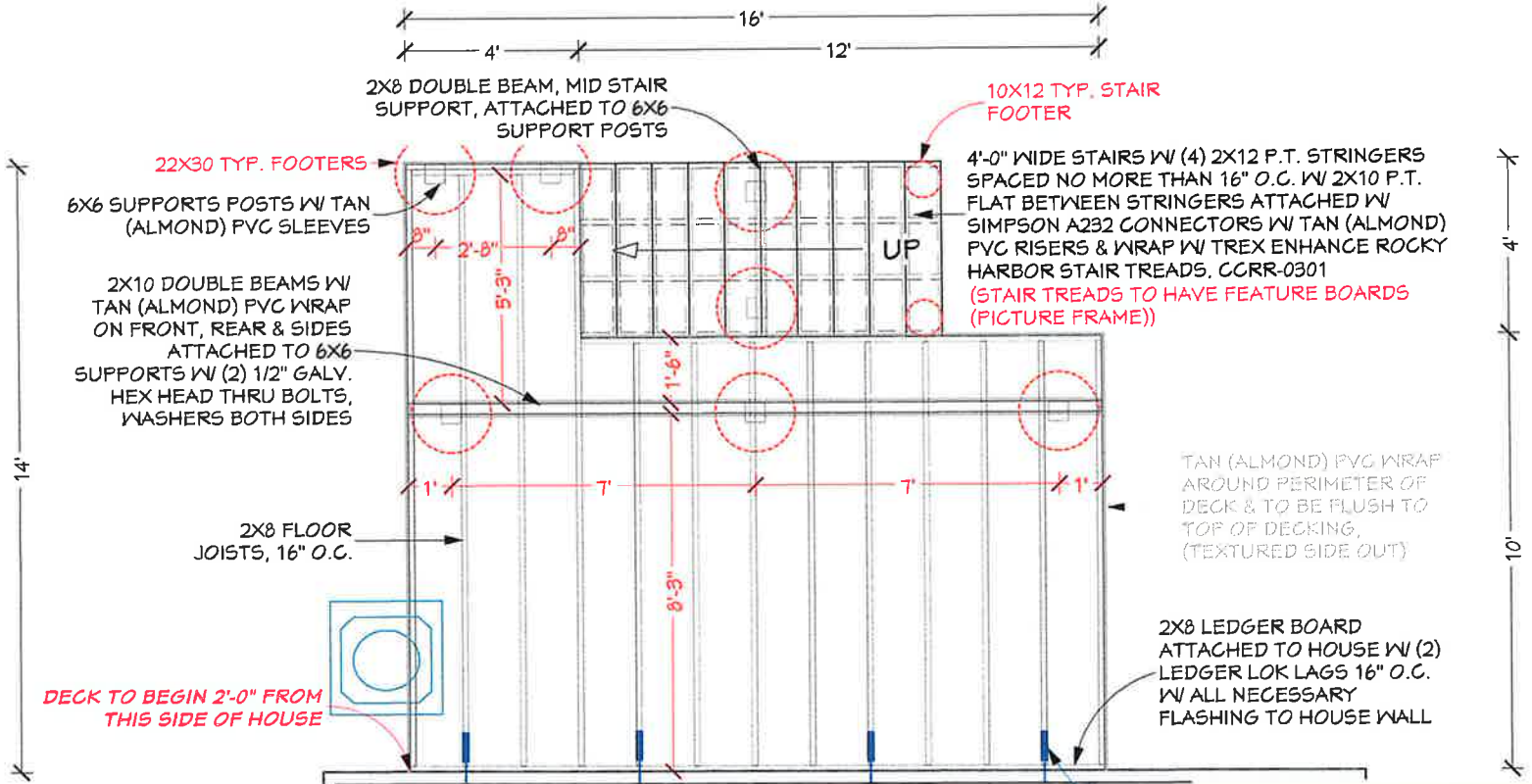
**SHEET INDEX**

1	FRAMING
2	DECK
3	LT. ELEVATION
4	FT. ELEVATION
5	RT. ELEVATION
6	BRACING DETAILS
7	CAD DETAILS
8	SIMPSON DETAIL

**PROJECT DESCRIPTION:**  
 Kass Dan Deck Layout  
 Dan Kass  
 13939 Hunt Valley Court  
 Cockeysville, MD 21030

**DESIGNED BY:**  
**Fence & Deck Connection, Inc.**  
 8051 Veterans Highway  
 Millersville, MD, 21108  
 410-464-4444  
 www.fenceanddeckconnection.com

DATE:
11/15/2024
SCALE:
PER PLAN
SHEET:
1



# FRAMING LAYOUT

3/8 in = 1 ft

Kass Dan FLOOR PLAN

CUSTOMER APPROVAL: \_\_\_\_\_  
 DATE: \_\_\_\_\_

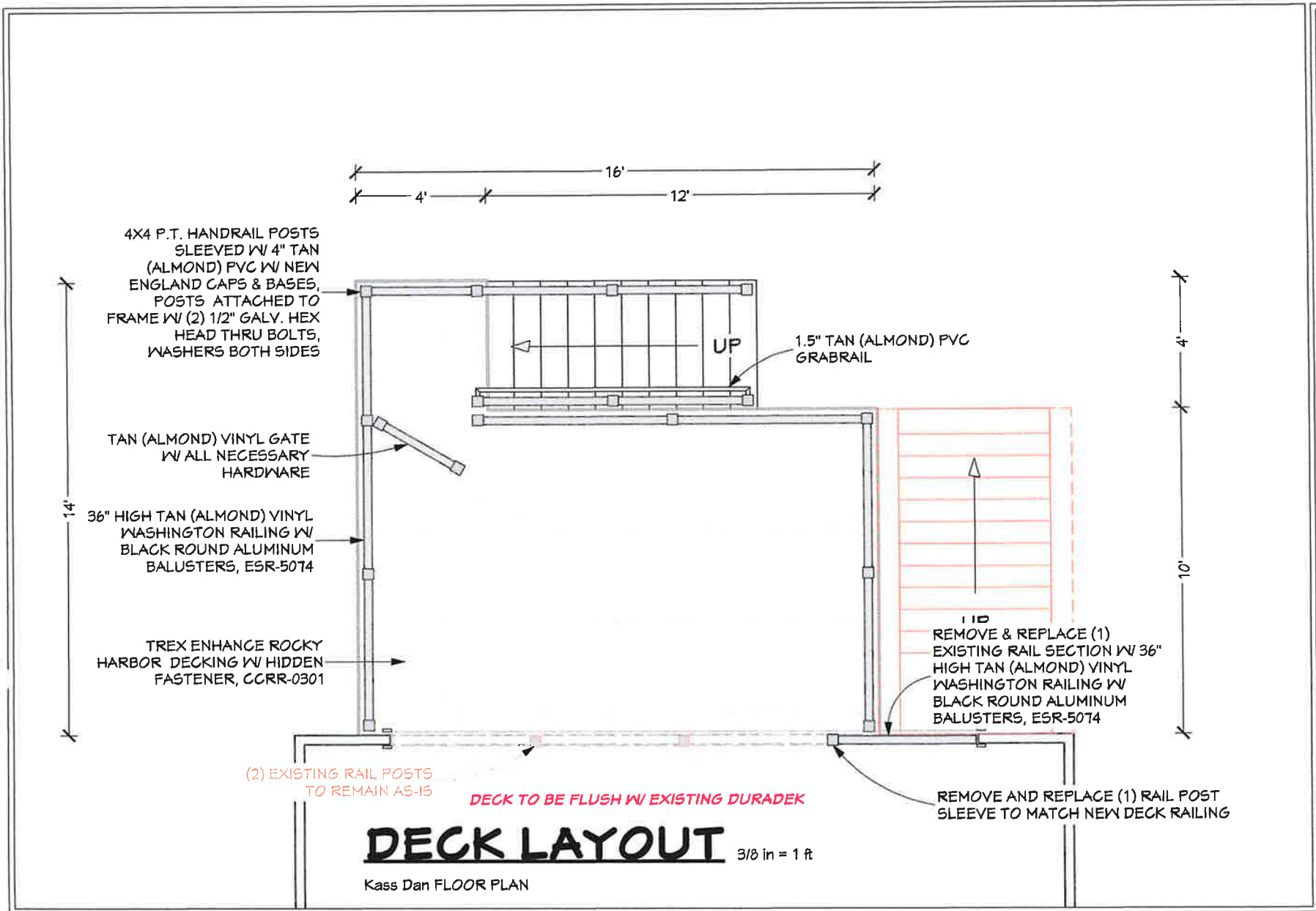
DECK TO BEGIN 2'-0" FROM THIS SIDE OF HOUSE

DECK TO BE FLUSH W/ EXISTING DURADEK

TAN (ALMOND) PVC WRAP AROUND PERIMETER OF DECK & TO BE FLUSH TO TOP OF DECKING, (TEXTURED SIDE OUT)

2X8 LEDGER BOARD ATTACHED TO HOUSE W/ (2) LEDGER LOK LAGS 16" O.C. W/ ALL NECESSARY FLASHING TO HOUSE WALL

(4) SIMPSON DTT1Z DECK TENSION TIES, ONE ON EACH JOIST ONE FROM END AND TWO BETWEEN ALL OTHER JOISTS, SPACED EVENLY, SEE PAGE 8 FOR DETAILS



**SHEET INDEX**

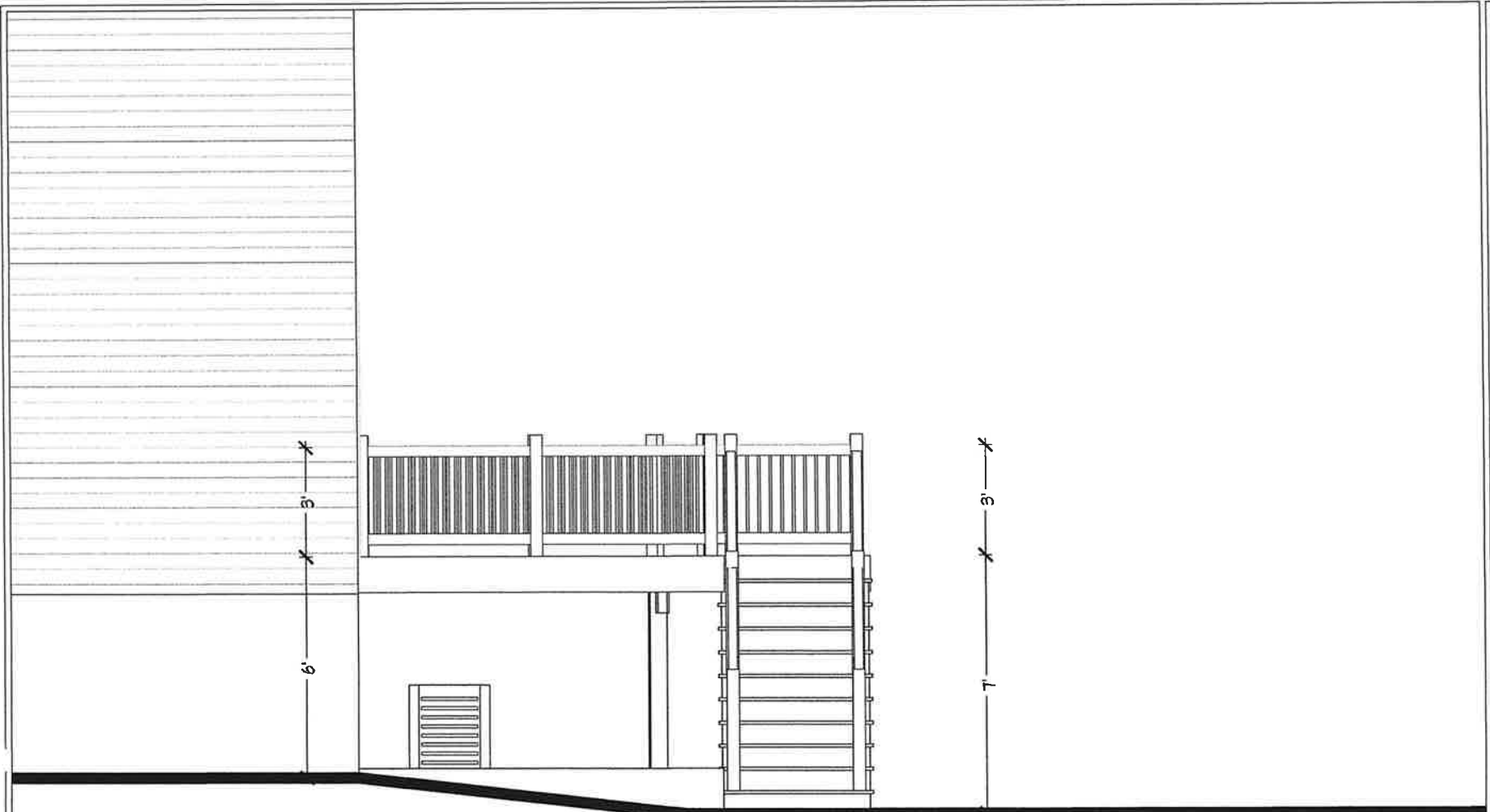
- 1 FRAMING
- 2 DECK
- 3 LT. ELEVATION
- 4 RT. ELEVATION
- 5 BRACING DETAILS
- 6 CAD DETAILS
- 7 SIMPSON DETAIL

**PROJECT DESCRIPTION:**  
Kass Dan Deck Layout

Dan Kass  
 19836 Hunt Valley Court  
 Coodeysville, MD 21030

DRAWINGS PROVIDED BY:  
**Fence & Deck Connection, Inc.**  
 8057 Veterans Highway  
 Millersville, MD, 21108  
 410-969-4444  
 www.fenceanddeckconnection.com

DATE:	11/15/2024
SCALE:	PER PLAN
SHEET:	2



**LEFT ELEVATION** 3/8 in = 1 ft

Kass Dan FLOOR PLAN

**SHEET INDEX**

- 1 FRAMING
- 2 DECK
- 3 LT. ELEVATION
- 4 FT. ELEVATION
- 5 RT. ELEVATION
- 6 BRACING DETAILS
- 7 CAD DETAILS
- 8 SIMPSON DETAIL

**PROJECT DESCRIPTION:**  
 Kass Dan Deck Layout  
 Dan Kass  
 1998b Hunt Valley Court  
 Cockeysville, MD 21090

DESIGNS PROVIDED BY:  
**Fence & Deck Connection, Inc.**  
 8051 Veterans Highway  
 Millersville, MD, 21108  
 410-969-4444  
[www.fenceanddeckconnection.com](http://www.fenceanddeckconnection.com)

DATE:	11/15/2024
SCALE:	PER PLAN
SHEET:	3



# FRONT ELEVATION

3/8 in = 1 ft

Kass Dan FLOOR PLAN

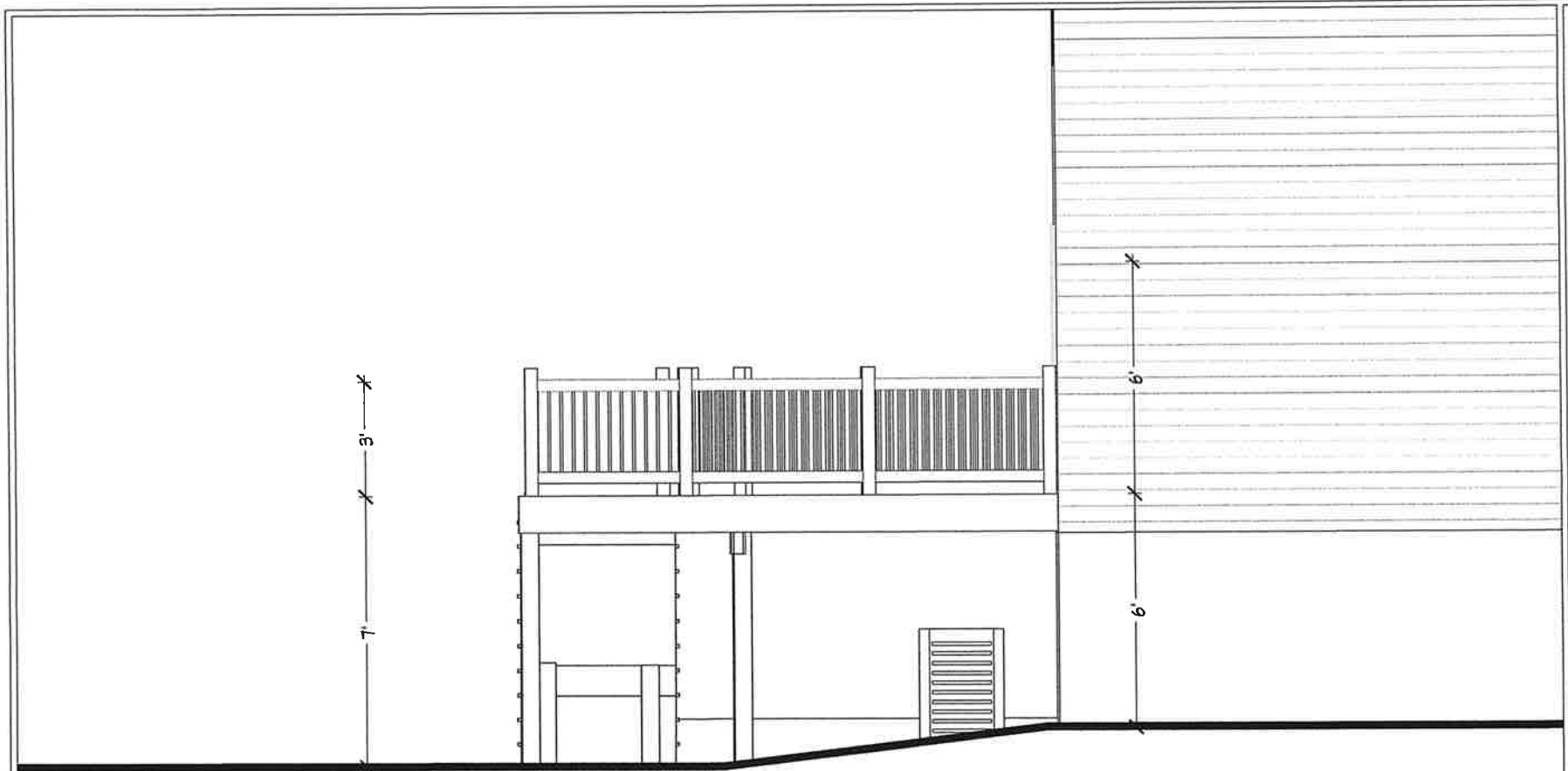
SHEET INDEX	
1	FRAMING
2	DECK
3	LT. ELEVATION
4	PT. ELEVATION
5	RT. ELEVATION
6	BRACING DETAILS
7	CAD DETAILS
8	SIMPSON DETAIL

PROJECT DESCRIPTION:  
Kass Dan Deck Layout

Ken Kass  
13030 Hunt Valley Court  
Cockeysville, MD 21030

DESIGNED PROVIDED BY:  
**Fence & Deck Connection, Inc.**  
8051 Veterans Highway  
Millersville, MD, 21108  
410-964-4444  
[www.fenceanddeckconnection.com](http://www.fenceanddeckconnection.com)

DATE:	11/15/2024
SCALE:	PER PLAN
SHEET:	4



**RIGHT ELEVATION** 3/8 in = 1 ft  
 Kass Dan FLOOR PLAN

**SHEET INDEX**

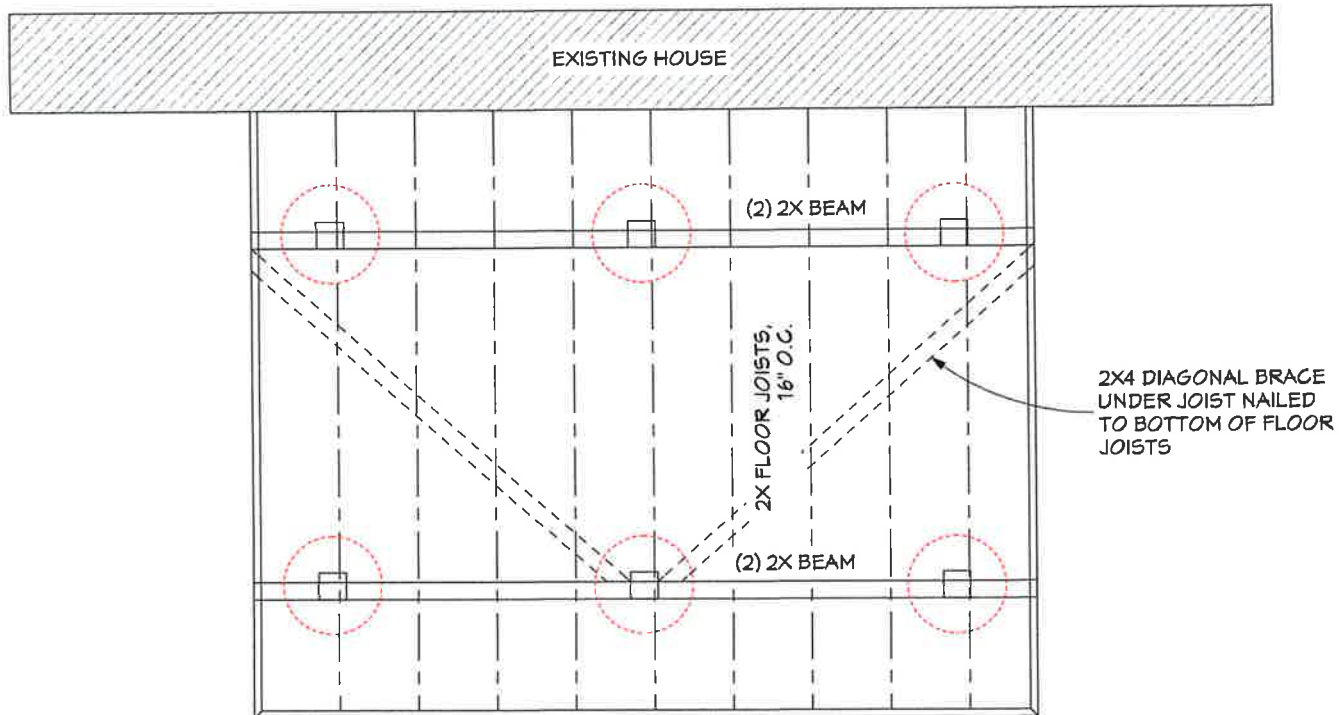
- 1 FRAMING
- 2 DECK
- 3 LT. ELEVATION
- 4 FT. ELEVATION
- 5 RT. ELEVATION
- 6 BRACING DETAILS
- 7 CAD DETAILS
- 8 SIMPSON DETAIL

**PROJECT DESCRIPTION:**  
 Kass Dan Deck Layout  
 Dan Kass  
 1909b Hunt Valley Court  
 Cockeysville, MD 21090

**DRAWINGS PROVIDED BY:**  
**Fence & Deck Connection, Inc.**  
 8051 Veterans Highway  
 Millersville, MD, 21109  
 410-969-4444  
[www.fenceanddeckconnection.com](http://www.fenceanddeckconnection.com)

DATE:	11/19/2024
SCALE:	PER PLAN
SHEET:	5

# BRACING DETAIL



SHEET INDEX

1	FRAMING
2	DECK
3	L.T. ELEVATION
4	FT. ELEVATION
5	RT. ELEVATION
6	BRACING DETAILS
7	CAD DETAILS
8	SIMPSON DETAIL

PROJECT DESCRIPTION:  
Kass Dan Deck Layout

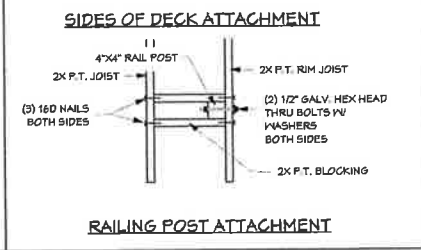
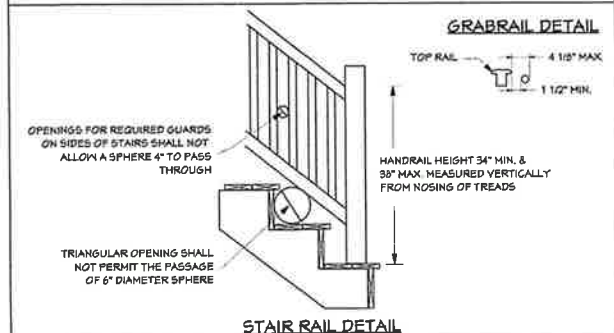
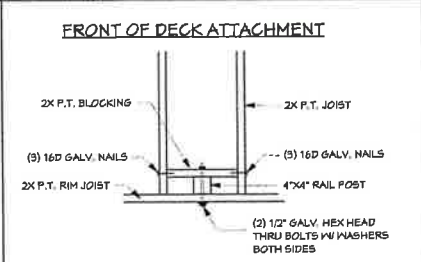
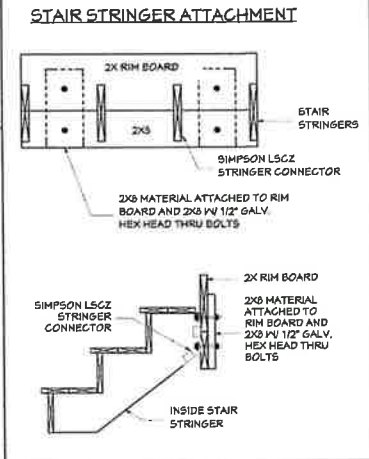
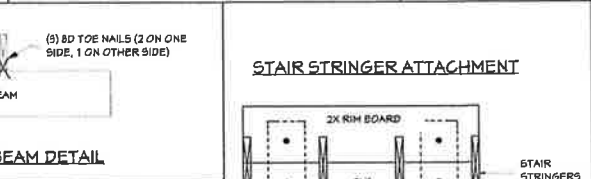
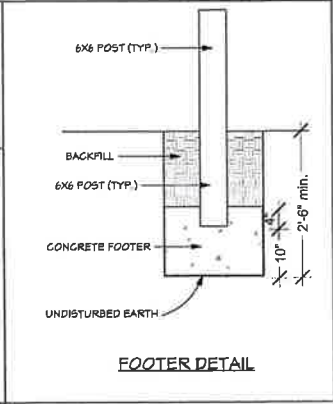
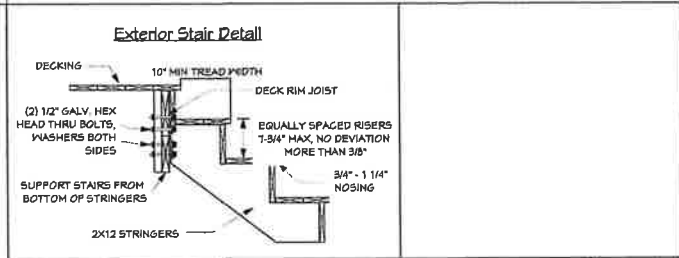
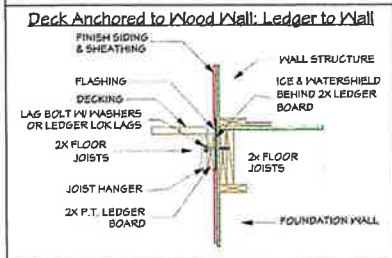
Dan Kass  
19838 Hunt Valley Court  
Cockeysville, MD 21030

DRAWINGS PROVIDED BY:  
**Fence & Deck Connection, Inc.**  
8051 Veterans Highway  
Millersville, MD 21108  
410-969-4444  
www.fenceanddeckconnection.com

DATE:
11/15/2024
SCALE:
PER PLAN
SHEET:
6

**DETAIL SHEET**  
**SCALE: 1/2" = 1'-0"**  
**GENERAL NOTES:**  
 1. ALL FASTENERS SHALL BE ACQ APPROVED.  
 2. ALL LUMBER TO BE #2 S. PINE OR BETTER.  
 3. ALL WOOD RAILING AND DECKING TO BE #1 S. PINE.  
 4. ALL LUMBER SHALL BE P.F.T.

**JOB NOTES:**  
 1. 2X8 FLOOR JOISTS, PRESSURE TREATED.  
 2. 2X10 DOUBLE BEAMS W/ TAN (ALMOND) PVC WRAP ON FRONT, REAR & SIDES, PRESSURE TREATED  
 3. 6X6 SUPPORT POSTS W/ TAN (ALMOND) PVC SLEEVES, PRESSURE TREATED.  
 4. TREX ENHANCE ROCKY HARBOR DECKING W/ HIDDEN FASTENER, CGRR-0501.  
 5. 36" HIGH TAN (ALMOND) WASHINGTON RAILING W/TH BLACK ROUND ALUMINUM BALUSTERS, ESR-5074.  
 6. TAN (ALMOND) PVC WRAP (TEXTURED SIDE OUT).  
 7. TAN (ALMOND) VINYL GATE W/ ALL NECESSARY HARDWARE



**SHEET INDEX**

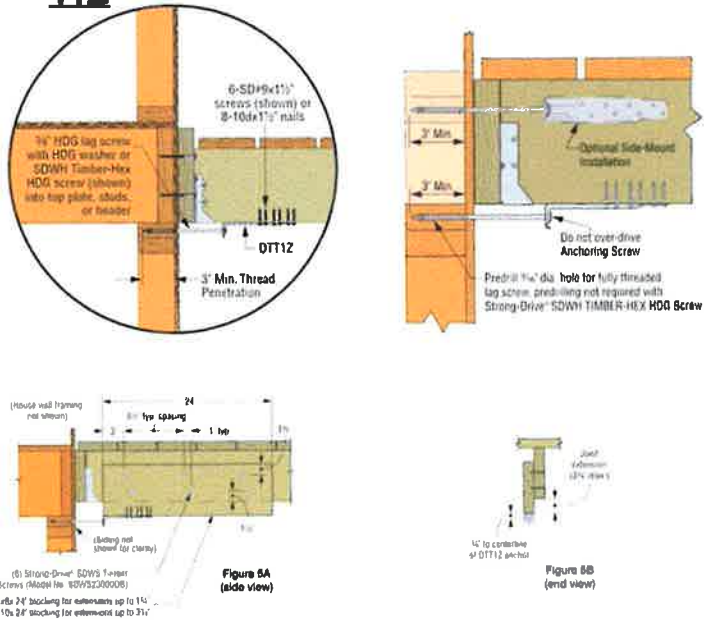
1	FRAMING
2	DECK
3	LT. ELEVATION
4	RT. ELEVATION
5	RT. ELEVATION
6	BRACING DETAILS
7	CAD DETAILS
8	SIMPSON DETAIL

**PROJECT DESCRIPTION:**  
 Kees Den Deck Layout  
 Dan Kees  
 13938 Hunt Valley Court  
 Cockeysville, MD

**ENGINEER/PROVIDER FOR:**  
**Fence & Deck Connection, Inc.**  
 8957 Veterans Highway  
 Millersville, MD 21108  
 410-969-4444  
 www.fenceanddeckconnection.com

DATE:	11/15/2024
SCALE:	
PER PLAN:	
SHEET:	7

# SIMPSON DTT1Z DECK TENSION TIE



## Code Requirements

The DTT1 Hold-Down may be used to satisfy the deck lateral load connection requirement for a 750 pound hold-down tension device in 2018 IRC Section R507.4.2.

### SHEET INDEX

- 1 FRAMING
- 2 DECK
- 3 LT. ELEVATION
- 4 RT. ELEVATION
- 5 BRACING DETAILS
- 6 CAD DETAILS
- 7 SIMPSON DETAIL

### PROJECT DESCRIPTION:

Kass Dan Deck Layout  
 Dan Kass  
 13939 Hunt Valley Court  
 Cockeysville, MD 21110

### DESIGNED BY:

Fence & Deck Connection, Inc.  
 8051 Veterans Highway  
 Millersville, MD, 21108  
 410-969-4444  
 www.fenceanddeckconnection.com

### DATE:

11/15/2024

### SCALE:

PER PLAN

### SHEET:

8

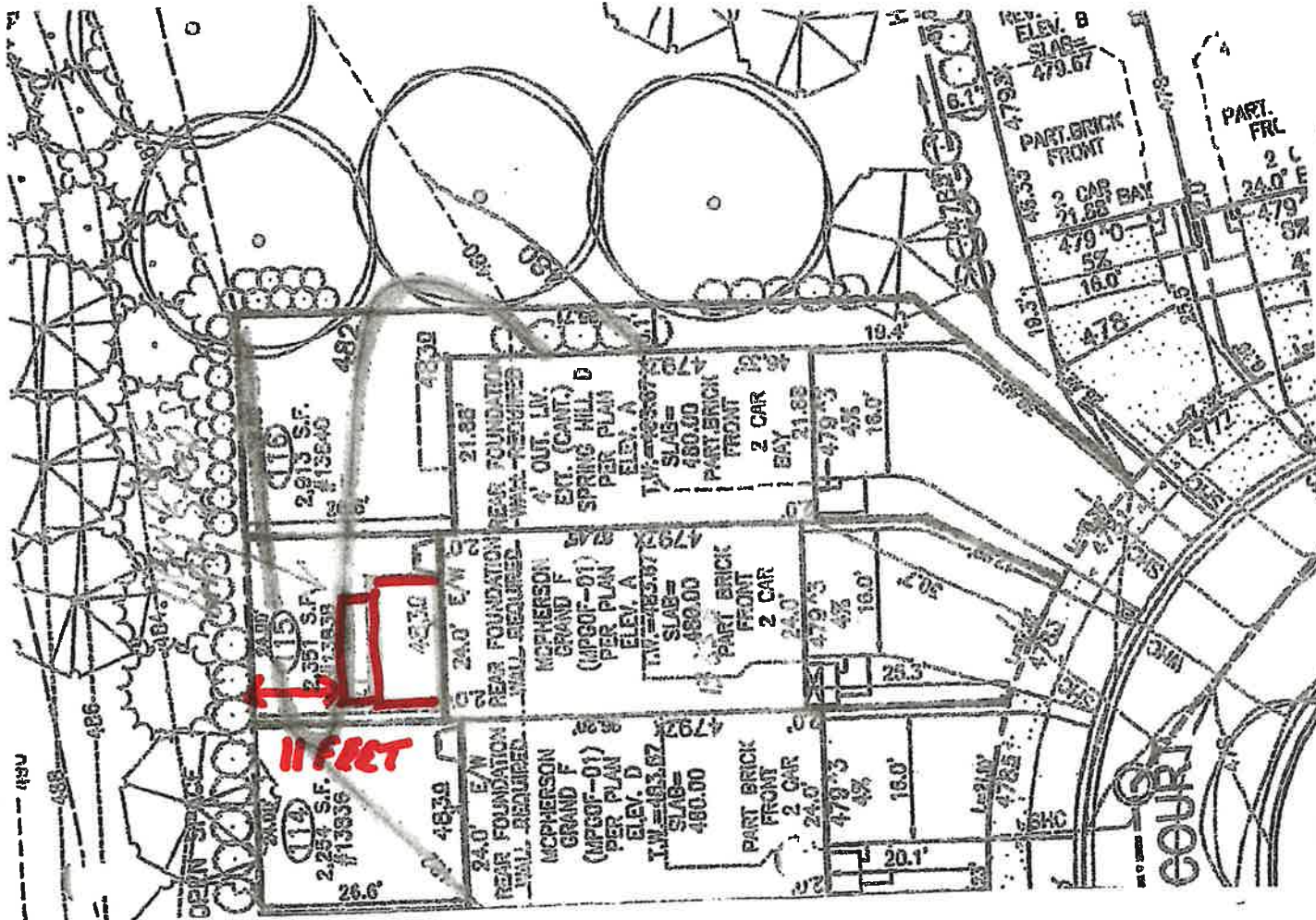
Zoning Hearing Plan for Variance  for Special Hearing \_\_\_\_\_ Mark Type Requested with (X)  
 Address 13838 Hunt Valley Ct. Owners(s) Name(s) KASS, DANNY M., KASS HARRIET S  
 Subdivision Name Longview Ridge 8110 Lot # 115 Block # \_\_\_\_\_ Section # 2  
 Plat Book # 080 Folio # 110 10 Digit Tax # 2500019034 Deed Reference# 49556100486

Site Vicinity Map



MAP IS NOT TO SCALE

Zoning Map # 0042  
 Zoning OT  
 Election District 8  
 Council District 3  
 Lot Area Acreage 0.0539  
 Lot Square Footage 2348  
 Historic (Yes or No) No  
 CBCA (Yes or No) NO  
 Flood Plain (Yes or No) No  
 Utilities - Mark with (X)  
 Water is:  
 Public  Private \_\_\_\_\_  
 Sewer is:  
 Public  Private \_\_\_\_\_  
 Prior Hearing (Yes or No) No  
 If (Yes) list Case Number(s)  
 and order result(s) below:



2025-0003 - A

Plan Drawn By DANNY KASS

Date 12/29/24 Scale: 1 inch = 24 Feet

Violation Case Number(s)

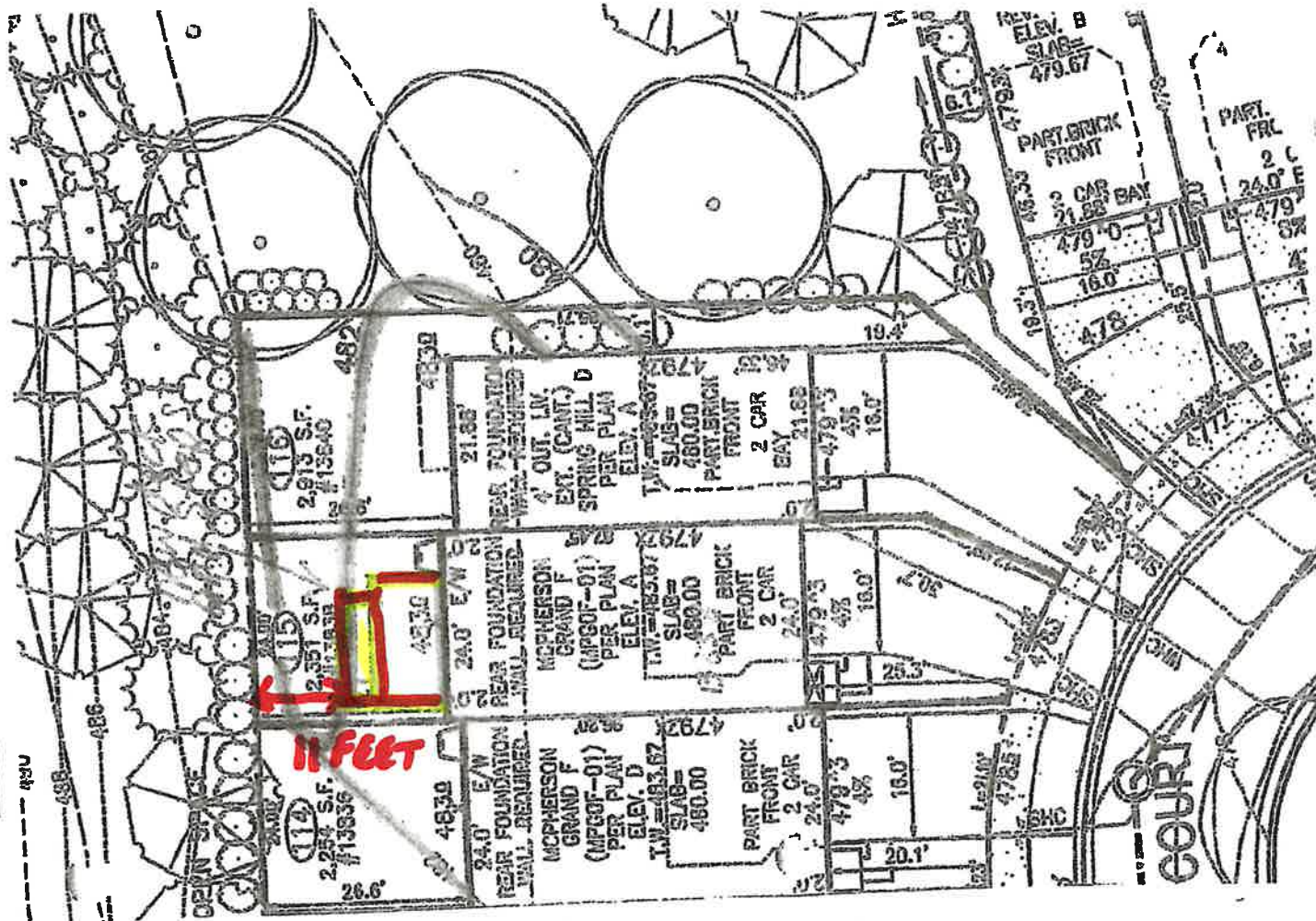
Zoning Hearing Plan for Variance  for Special Hearing \_\_\_\_\_ Mark Type Requested with (X)  
 Address 13838 Hunt Valley Ct. Owners(s) Name(s) KASS, DANNY M., KASS HARRIET S  
 Subdivision Name Longview Ridge 8110 Lot # 115 Block # \_\_\_\_\_ Section # 2  
 Plat Book # 080 Folio # 110 10 Digit Tax # 2500019034 Deed Reference# 49556100486

Site Vicinity Map



MAP IS NOT TO SCALE

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 Public  Private \_\_\_\_\_  
 Sewer is:  
 Public  Private \_\_\_\_\_  
 Prior Hearing (Yes or No) No  
 If (Yes) list Case Number(s)  
 and order result(s) below:



2025-0003-A

Plan Drawn By DANNY KASS

Date 12/29/24 Scale: 1 inch = 24 Feet

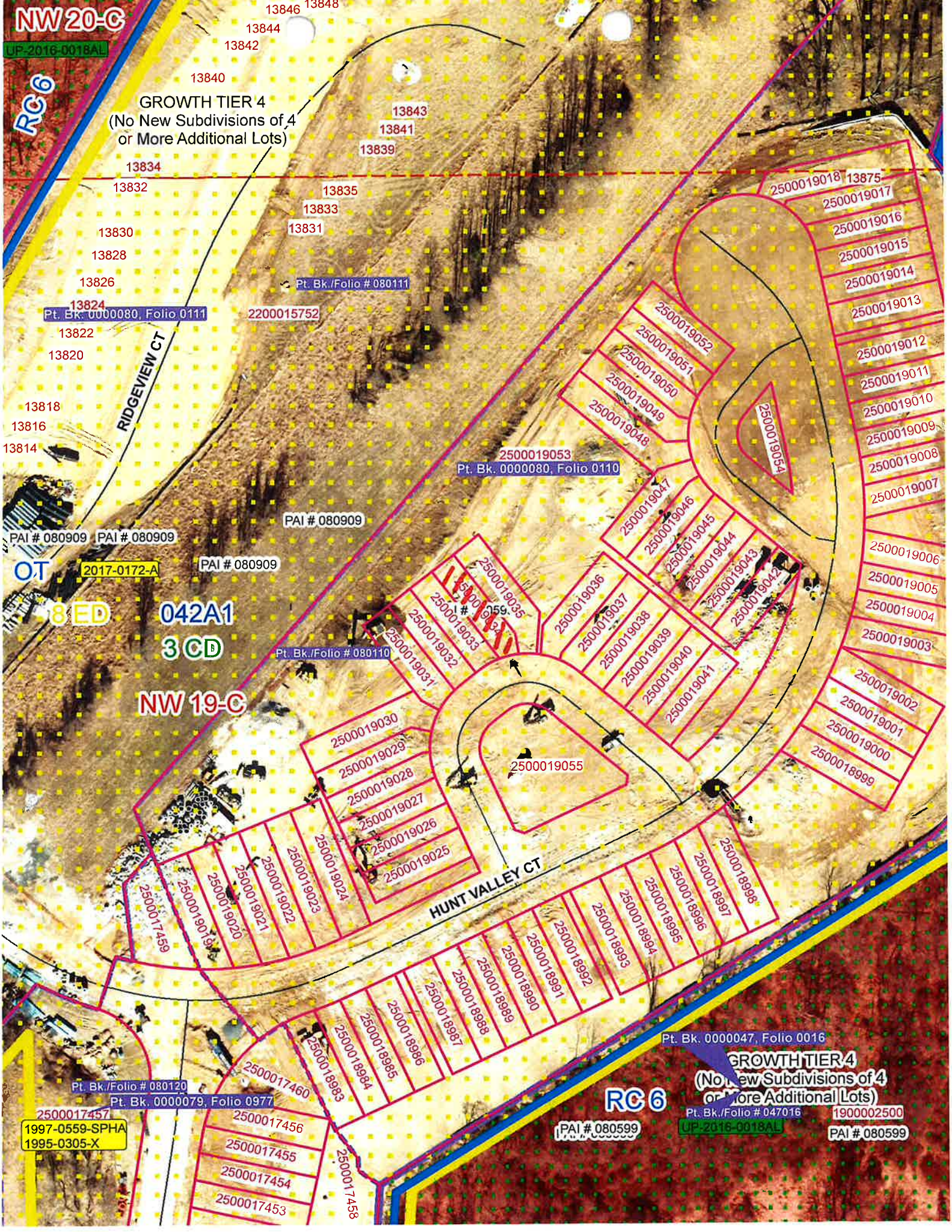
Violation Case Number(s)

NW 20-C

UP-2016-0018A

RC6

GROWTH TIER 4  
(No New Subdivisions of 4  
or More Additional Lots)



OT  
8 ED

042A1  
3 CD

NW 19-C

RC6

GROWTH TIER 4  
(No New Subdivisions of 4  
or More Additional Lots)

1997-0559-SPHA  
1995-0305-X

PAI # 080599

UP-2016-0018A

1900002500  
PAI # 080599

NW 20-C

UP-2016-0018A

RC 6

GROWTH TIER 4  
(No New Subdivisions of 4  
or More Additional Lots)

13846 13848  
13844  
13842  
13840  
13834  
13832  
13830  
13828  
13826  
13824  
13822  
13820  
13818  
13816  
13814

RIDGEVIEW CT

Pt. Bk. 0000080, Folio 0111

2200015752

Pt. Bk./Folio # 080111

13843  
13841  
13839

PAI # 080909 PAI # 080909

OT

2017-0172-A

PAI # 080909

8 ED 042A1  
3 CD

NW 19-C

Pt. Bk./Folio # 080110

2500019053  
Pt. Bk. 0000080, Folio 0110

PAI # 080909

2500019035  
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2500019041  
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2500018999

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2500019019  
2500017459

HUNT VALLEY CT

2500019055

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2500018994  
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2500018986  
2500018985  
2500018984  
2500018983  
2500017460

Pt. Bk. 0000047, Folio 0016

GROWTH TIER 4  
(No New Subdivisions of 4  
or More Additional Lots)

RC 6

Pt. Bk./Folio # 047016

1900002500

PAI # 080599

PAI # 080599

Pt. Bk./Folio # 080120

Pt. Bk. 0000079, Folio 0977

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1997-0559-SPHA  
1995-0305-X

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2500017455  
2500017454  
2500017453  
2500017458