



KATHERINE A. KLAUSMEIER
County Executive

MAUREEN E. MURPHY
Chief Administrative Law Judge
ANDREW M. BELT
Administrative Law Judge
DEREK J. BAUMGARDNER
Administrative Law Judge

February 4, 2026

Avraham Golfeiz & Dorna Reihani
3303 Lee Court
Pikesville, MD 21208

RE: Petition for Administrative Variance
Case No. 2026-0005-A
Property: 3303 Lee Court

Dear Petitioners:

Enclosed please find a copy of the Opinion and Order rendered in the above-captioned matter.

Pursuant to Baltimore County Code § 32-3-401(a), "a person aggrieved or feeling aggrieved" by this Decision and Order may file an appeal to the County Board of Appeals within thirty (30) days of the date of this Order. For further information on filing an appeal, please contact the Office of Administrative Hearings at 410-887-3868.

Sincerely,

A handwritten signature in black ink, appearing to be "Derek J. Baumgardner", written over a circular stamp or mark.

DEREK J. BAUMGARDNER
Administrative Law Judge
for Baltimore County

DJB:dlw
Enclosure

c: Daniel Reihani DRcontract77@gmail.com

Office of Administrative Hearings
105 West Chesapeake Avenue, Suite 103 / Towson, Maryland 21204 / Phone 410-887-3868
www.administrativehearings@baltimorecountymd.gov

IN RE: PETITION FOR ADMIN. VARIANCE	*	BEFORE THE
(3303 Lee Court)		
3 rd Election District	*	OFFICE OF ADMINISTRATIVE
2 nd Council District		
Avraham Golfeiz & Dorna Reihani	*	HEARINGS FOR
Petitioners	*	BALTIMORE COUNTY
	*	CASE NO. 2026-0005-A

* * * * *

OPINION AND ORDER

This matter comes before the Office of Administrative Hearings (“OAH”) as a Petition for Administrative Variance filed by the legal owners of the property, Avraham Golfeiz and Dorna Reihani (“Petitioners”) for the property located at 3303 Lee Court, Pikesville (the “Property”). The Petitioners are requesting Variance relief from the Baltimore County Zoning Regulations (“BCZR”), Section 1B01.2.C.1.b, for the construction of a deck to allow a 19 ft. rear setback in lieu of the required 22.5 ft. rear setback. The Property and requested relief are more fully depicted on the site plan that was marked and accepted into evidence (the “Site Plan”). (Pet. Ex. 1). Photographs were submitted showing the location of the Property in a residential neighborhood. (Pet. Ex. 2A-2C).

There were no adverse Zoning Advisory Committee (“ZAC”) comments received by any of the County reviewing agencies.

The Petitioners having filed a Petition for Administrative Variance and the Property having been posted on January 18, 2026, and there being no request for a public hearing, a decision shall be rendered based upon the documentation presented.

The Petitioners have filed the supporting affidavit as required by Section 32-3-303 of the Baltimore County Code (“BCC”). Based upon the information available, there is no evidence in the file to indicate that the requested variance would adversely affect the health, safety or general

ORDER RECEIVED FOR FILING

Date 2-5-26

By [Signature]

welfare of the public and should therefore be granted. In the opinion of the Administrative Law Judge, the information, photographs, and affidavits submitted provide sufficient facts that comply with the requirements of Section 307.1 of the BCZR. Furthermore, strict compliance with the BCZR would result in practical difficulty and/or unreasonable hardship upon the Petitioners.

Pursuant to the posting of the Property and the provisions of both the BCC and the BCZR, and for the reasons given above, the requested variance should be granted.

THEREFORE, IT IS ORDERED, this 4th day of **February, 2026**, by the Administrative Law Judge for Baltimore County Zoning Regulations ("BCZR"), Section 1B01.2.C.1.b, for the construction of a deck to allow a 19 ft. rear setback in lieu of the required 22.5 ft. rear setback, be and are hereby **GRANTED**.

The relief granted herein shall be subject to the following:

- Petitioners may apply for their appropriate permits and be granted same upon receipt of this Order; however, Petitioners are hereby made aware that proceeding at this time is at their own risk until such time as the 30-day appellate process from this Order has expired. If, for whatever reason, this Order is reversed, Petitioners would be required to return, and be responsible for returning, said property to its original condition.

Any appeal of this decision must be made within thirty (30) days of the date of this Order.



DEREK J. BAUMGARDNER
Administrative Law Judge
for Baltimore County

DJB:dlw

ORDER RECEIVED FOR FILING

Date 2-5-26

By DW

Debra L Wiley

From: Debra L Wiley
Sent: Thursday, February 5, 2026 12:27 PM
To: 'Daniel Reihani'
Cc: County Council; Donna L. Mignon; Jeffrey W Livingston; Jenifer G Nugent; Krystle A Moore; PAI Zoning Advisory Committee; Peoples Counsel; Taylor Bensley Komar; Vishnubhai K Desai
Subject: DECISION - Case No. 2026-0005-A - Admin. Var. - 3303 Lee Court - Golfeiz & Reihani
Attachments: 2026-0005-A - Order.pdf

Good Afternoon,

Please find attached ALJ Baumgardner's Opinion and Order in reference to the above matter. A hard copy has been placed in the US mail for the Petitioners.

Have a great and safe day.

Debra Wiley
Executive Secretary
Baltimore County Office of Administrative Hearings
Jefferson Building
105 W. Chesapeake Avenue, Suite 103
Towson, MD 21204
410-887-3868

CHECKLIST

CPE 2/2/20

<u>Comment Received</u>	<u>Department</u>	<u>Support/Oppose/Conditions/Comments/No Comment</u>
<u>1-16</u>	DEVELOPMENT PLANS REVIEW (if not received, date e-mail sent _____)	<u>NC</u>
_____	DEPS (if not received, date e-mail sent _____)	_____
_____	PLANNING (if not received, date e-mail sent _____)	_____
<u>1-16</u>	DPW AND/OR <u>DPWT</u>	<u>NC</u>
<u>1-22</u>	STATE HIGHWAY ADMINISTRATION	<u>No object.</u>
_____	OTHER	_____
_____	COMMUNITY ASSOCIATION	_____
_____	ADJACENT PROPERTY OWNERS	_____

ZONING VIOLATION (Case No. _____)

PRIOR ZONING (Case No. _____)

NEWSPAPER ADVERTISEMENT Date: _____

SIGN POSTING (1st) Date: 1-18-26 by Pilson

SIGN POSTING (2nd) Date: _____ by _____

PEOPLE'S COUNSEL APPEARANCE Yes No

PEOPLE'S COUNSEL COMMENT LETTER Yes No

Comments, if any: _____

25-1294 JK



ADMINISTRATIVE ZONING PETITION FOR ADMINISTRATIVE VARIANCE – OR – ADMINISTRATIVE SPECIAL HEARING

To be filed with the Department of Permits, Approvals and Inspections
To the Office of Administrative Hearings for Baltimore County for the property located at:

Address 3303 Lee CT Baltimore, MD 21208 Currently Zoned RR 5.5
Deed Reference 41307/00111 10 Digit Tax Account # 0314065760
Owner(s) Printed Name(s) Avraham Golfeiz/Dorna Reihani

(SELECT THE HEARING(S) BY MARKING X AT THE APPROPRIATE SELECTION(S) AND ADDING THE PETITION REQUEST)

For Administrative Variances, the Affidavit on the reverse of this Petition form must be completed and notarized.

The undersigned, who own and occupy the property situate in Baltimore County and which is described in the plan/plat attached hereto and made a part hereof, hereby petition for an:

1. ADMINISTRATIVE VARIANCE from Section(s)

See attached

of the zoning regulations of Baltimore County, to the zoning law of Baltimore County.

2. ADMINISTRATIVE SPECIAL HEARING to approve a waiver pursuant to Section 32-4-107(b) of the Baltimore County Code: (indicate type of work in this space: i.e., to raze, alter or construct addition to building)

of the zoning regulations of Baltimore County, to the zoning law of Baltimore County.

Property is to be posted and advertised as prescribed by the zoning regulations.
I/ we agree to pay expenses of above petition(s), advertising, posting, etc. and further agree to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

Owner(s)/Petitioner(s):

Avraham Golfeiz / Dorna Reihani
Name #1 – Type or Print / Name #2 – Type or Print
[Signature] / [Signature]
Signature #1 / Signature #2
3303 Lee CT Baltimore, MD
Mailing Address / City / State
21208 / 443-894-6145 /
Zip Code / Telephone #'s (Cell and Home) / Email Address

Attorney for Owner(s)/Petitioner(s):

Name - Type or Print
Signature
Mailing Address / City / State
Zip Code / Telephone # / Email Address

Representative to be Contacted:

Daniel Reihani
Name - Type or Print
[Signature]
Signature
2905 Chokeberry CT Baltimore, MD
Mailing Address / City / State
21209 / 443-457-3430 / DRcontract77@gmail.com
Zip Code / Telephone # / Email Address

ORDER RECEIVED FOR FILING
2-5-26

A PUBLIC HEARING having been formally demanded and/or found to be required, it is ordered by the Office of Administrative Hearings for

Baltimore County, this _____ day of _____ that the subject matter of this petition be set for a public hearing, advertised, and re-posted as required by the zoning regulations of Baltimore County.

Administrative Law Judge for Baltimore County
Case Number 2026-0005-A Filing Date 1/7/26 Estimated Posting Date 1/18/26 Reviewer [Signature]

Closing 2/2/26

Affidavit in Support of Administrative Variance
(THIS AFFIDAVIT IS NOT REQUIRED FOR AN HISTORIC ADMINISTRATIVE SPECIAL HEARING)

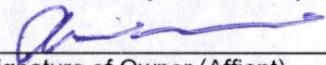
The undersigned hereby affirms under the penalties of perjury and upon personal knowledge to the Administrative Law Judge for Baltimore County, that the information herein given is true and correct and that the undersigned is/are competent to testify in the event that a public hearing is scheduled in the future with regard thereto. In addition, the undersigned hereby affirms that the property is not the subject of an active Code Enforcement case and that the residential property described below is owned and occupied by the undersigned.

Address: 3303 Lee CT Baltimore MD 21208
Print or Type Address of Property City State Zip Code

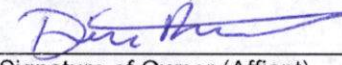
Based upon personal knowledge, the following are the facts upon which I/we base the request for an **Administrative Variance** at the above address. **(Clearly state practical difficulty or hardship here)**

The practical difficulty arises from the unique size, shape, and configuration of the lot—specifically its triangular form—which restricts where a code-compliant deck can be placed. Due to the lot's depth and the existing placement of the home, the rear buildable area is more limited than on typical neighborhood lots. While most of the proposed deck meets the required 22.5-foot rear setback, one side of the deck encroaches into the setback area solely because of the lot's unusual geometry

(If additional space for the petition request or the above statement is needed, label and attach it to this Form)


Signature of Owner (Affiant)

Avraham Golfeiz
Name - Print or Type


Signature of Owner (Affiant)

Dorna Reihani
Name - Print or Type

The following information is to be completed by a Notary Public of the State of Maryland

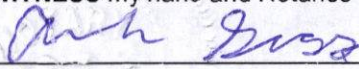
STATE OF MARYLAND, COUNTY OF BALTIMORE, to wit:

I HEREBY CERTIFY, this 9th day of December, 2025, before me a Notary of Maryland, in and for the County aforesaid, personally appeared:

Print name(s) here: Avraham Golfeiz and Dorna Reihani

the Affiant(s) herein, personally known or satisfactorily identified to me as such Affiant(s).

AS WITNESS my hand and Notaries Seal


Notary Public

9/18/2026
My Commission Expires

Property: 3303 Lee CT Baltimore, MD 21208

Legal Property Description:

BEGINNING FOR THE SAME on the southernmost side of Lee Court at the distance of 475.05 feet measured easterly and southeasterly from the intersection formed by the south side of Lee Court as laid out 50 feet wide and the east side of Lorry Lane as laid out 50 feet wide said place of beginning being at the dividing line between Lots Nos. 19 and 20 as shown on the Plat of Suburban Manor recorded among the Land Records of Baltimore County in Plat Book G.L.B. No. 19, folio 43, and running thence and binding on the southernmost side of Lee Court and referring the courses of this description to the true Meridian as established in the Baltimore County Metropolitan District northeasterly by a line curving to the left with a radius of 50 feet the distance of 33.91 feet to the dividing line between Lots Nos. 18 and 19 as shown on said Plat thence with said dividing line between Lots Nos. 18 and 19 South 46 degrees, 53 minutes, 40 seconds East 170.12 feet to the dividing line between Lots Nos. 19, 35, 36 and 37 as shown on said Plat, thence with said dividing line south 81 degrees, 43 minutes, 20 seconds West 138.09 feet to the dividing line between Lots Nos. 19 and 20 herein referred to and thence with said dividing line North 8 degrees, 2 minutes, 20 seconds West 121.99 feet to the place of beginning. The improvements thereon being known as **3303 LEE COURT**.

Attachment

To permit a variance from section 1B01.2.C.1.b of the BCZR for the construction of a deck to allow a 19' rear setback in lieu of the required 22.5' rear setback.

CERTIFICATE OF POSTING

Date: 1-18-26

RE: Case Number: 2026-0005-A

Petitioner/Developer: GOLFEIZ/REIHANI

Date of Hearing/Closing: 2-2-26

This is to certify under the penalties of perjury that the necessary sign(s) required by law were posted conspicuously on the property located at 3303 LEE CT

The sign(s) were posted on 1-18-26
(Month, Day, Year)

J. Lawrence Pilson
(Signature of Sign Poster)

J. LAWRENCE PILSON
(Printed Name of Sign Poster)

ATTACH PHOTOGRAPH

1015 Old Barn Road
(Street Address of Sign Poster)

Parkton, MD 21120
(City, State, Zip Code of Sign Poster)

443-834-8162
(Telephone Number of Sign Poster)

CERTIFICATE OF POSTING

Date: 1-18-26

RE: Case Number: 2026-0005-A

Petitioner/Developer: GOLFEIZ/REIHANI

Date of Hearing/Closing: 2-2-26

This is to certify under the penalties of perjury that the necessary sign(s) required by law were posted conspicuously on the property located at 3303 LEE CT

The signs(s) were posted on 1-18-26
(Month, Day, Year)

J. Lawrence Pilson
(Signature of Sign Poster)

J. LAWRENCE PILSON
(Printed Name of Sign Poster)

ATTACH PHOTGRAPH

1015 Old Barn Road
(Street Address of Sign Poster)

Parkton, MD 21120
(City, State, Zip Code of Sign Poster)

443-834-8162
(Telephone Number of Sign Poster)



CERTIFICATE OF POSTING

Date: 1-18-26

RE: Case Number: 2026-0005-A

Petitioner/Developer: GOLFEIZ/REIHANI

Date of Hearing/Closing: 2-2-26

This is to certify under the penalties of perjury that the necessary sign(s) required by law were posted conspicuously on the property located at 3303 LEE CT

The signs(s) were posted on 1-18-26

(Month, Day, Year)

J. Lawrence Pilson
(Signature of Sign Poster)

J. LAWRENCE PILSON

(Printed Name of Sign Poster)

ATTACH PHOTGRAPH

1015 Old Barn Road

(Street Address of Sign Poster)

Parkton, MD 21120

(City, State, Zip Code of Sign Poster)

443-834-8162

(Telephone Number of Sign Poster)

ZONING NOTICE

ADMINISTRATIVE VARIANCE

CASE # 2026-0005 - A

TO PERMIT A VARIANCE FROM SECTION 1301.201.5
OF THE BCZR FOR THE CONSTRUCTION OF A DECK
TO ALLOW A 19' REAR SETBACK IN LIEU OF THE REQUIRED
22.5' REAR SETBACK

PUBLIC HEARING ?

PURSUANT TO SECTION 26-127(b)(1), BALTIMORE COUNTY CODE
AN ELIGIBLE INDIVIDUAL OR GROUP MAY
REQUEST A PUBLIC HEARING CONCERNING
THE PROPOSED VARIANCE, PROVIDED THE REQUEST IS
RECEIVED IN THE ZONING REVIEW BUREAU BEFORE
4:30 P.M. ON 2/2/26

ADDITIONAL INFORMATION IS AVAILABLE AT THE DEPARTMENT OF
PERMITS AND DEVELOPMENT MANAGEMENT, COUNTY OFFICE BUILDING,
WEST CHESAPEAKE AVE., TOWSON, MD 21204, (410) 887-3391
AND POST UNTIL (AFTER ABOVE DATE) UNDER PENALTY OF LAW
ACCESSIBLE

ZONING NOTICE

ADMINISTRATIVE VARIANCE

CASE # 2026-0005-A

TO PERMIT A VARIANCE FROM SECTION 1801.2.C.1.5
OF THE BCZR FOR THE CONSTRUCTION OF A DECK
TO ALLOW A 19' REAR SETBACK IN LIEU OF THE REQUIRED
22.5' REAR SETBACK

PUBLIC HEARING ?

PURSUANT TO SECTION 26-127(b)(1), BALTIMORE COUNTY CODE,
AN ELIGIBLE INDIVIDUAL OR GROUP MAY
REQUEST A PUBLIC HEARING CONCERNING
THE PROPOSED VARIANCE, PROVIDED THE REQUEST IS
RECEIVED IN THE ZONING REVIEW BUREAU BEFORE

4:30 P.M. ON 2/2/26

ADDITIONAL INFORMATION IS AVAILABLE AT THE DEPARTMENT OF
PERMITS AND DEVELOPMENT MANAGEMENT, COUNTY OFFICE BUILDING,
WEST CHESAPEAKE AVE., TOWSON, MD 21204, (410) 887-3391
AND POST UNTIL AFTER ABOVE DATE, UNDER PENALTY OF LAW
ACCESSIBLE

BALTIMORE COUNTY DEPARTMENT OF PERMITS, APPROVALS AND INSPECTIONS
ZONING REVIEW OFFICE

ADMINISTRATIVE VARIANCE INFORMATION SHEET AND DATES

Case Number: 2026 - 0005 -A Address 3303 Lee Ct

Contact Person: Jesse Krout Phone Number: 410-887-3391
Planner, Please Print Your Name

Filing Date: 1/7/26 Posting Date: 1/18/26 Closing Date: 2/2/26

Any contact made with this office regarding the status of the administrative variance should be through the contact person (planner) using the case number.

- POSTING/COST:** The petitioner must use one of the sign posters on the approved list and the petitioner is responsible for all printing/posting costs. Any reposting must be done only by one of the sign posters on the approved list and the petitioner is again responsible for all associated costs. The zoning notice sign must be visible on the property on or before the posting date noted above. It should remain there through the closing date.
- DEADLINE:** The closing date is the deadline for a neighbor (occupant or owner) within 1,000 feet to file a formal request for a public hearing. Please understand that even if there is no formal request for a public hearing, the process is not complete on the closing date.
- ORDER:** After the closing date, the file will be reviewed by the Administrative Law Judge. The judge may: (a) grant the requested relief; (b) deny the requested relief; or (c) order that the matter be set in for a public hearing. If all County/State agencies' comments are received, you will receive written notification as to whether the petition has been granted, denied, or will proceed to a public hearing. This decision is usually made within 10 days of the closing date. The written order will be mailed to you by First Class mail.
- POSSIBLE PUBLIC HEARING AND REPOSTING:** In cases that must go to a public hearing (whether due to a neighbor's formal request or by order of the Administrative Law Judge), notification will be forwarded to you. The sign on the property must be changed giving notice of the hearing date, time and location. As when the sign was originally posted, certification of this change and a photograph of the altered sign must be forwarded to this office.

Petitioner: This Part of the Form is for the Sign Poster Only (Detach Along Dotted Line)

USE THE ADMINISTRATIVE VARIANCE SIGN FORMAT

Case Number: 2026 - 0005 -A Address 3303 Lee Ct

Petitioner's Name: Avraham Golfeiz/Dorma Reihani Telephone (Cell) 4438946145

Posting Date: 1/18/26 Closing Date: 2/2/26

Wording for Sign: To Permit a variance from section 1B01.2.C.1.b of the BCZR for the construction of a deck to allow a 19' rear setback in lieu of the required 22.5' rear setback.

Revised 1/2022



February 3, 2026

Daniel Reihani
2905 Chokeberry Ct
Baltimore, MD 21208

RE: Case Number: 2026-0005-A, 3303 Lee Court

To Whom It May Concern:

The above referenced petition was accepted for processing ONLY by the Zoning Review Office, Department of Permits, Approvals, and Inspection (PAI) on January 7, 2026. This letter is not an approval, but only a NOTIFICATION.

The Zoning Advisory Committee (ZAC), which consists of representatives from several approval agencies, has reviewed the plans that were submitted with your petition. Please see attached comments submitted from these agencies. If you need further information or have any questions, please do not hesitate to contact the commenting agency.

Very truly yours,

A handwritten signature in black ink, appearing to read "C. Pete Gutwald", with a long horizontal flourish extending to the right.

C. Pete Gutwald
Director
Zoning Review Office, PAI

ALR

BALTIMORE COUNTY, MARYLAND

INTEROFFICE CORRESPONDENCE

TO: Peter Gutwald, Director
Department of Permits, Approvals

DATE: January 16, 2026

FROM: Vishnu Desai, Supervisor
Bureau of Development Plans Review

SUBJECT: Zoning Advisory Committee Meeting
Case 2026-0005-A

The Bureau of Development Plans Review has reviewed the subject zoning items and we have the following comments.

DPR: No comment.

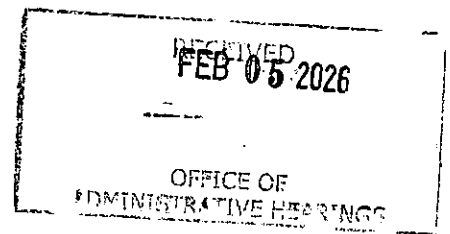
DPW-T: : No comment

Landscaping: No comment.

Recreations & Parks: No comment - Residential Open Space & No Greenways affected.

BALTIMORE COUNTY, MARYLAND

Inter-Office Correspondence



TO: Hon. Maureen E. Murphy; Chief Administrative Law Judge
Office of Administrative Hearings

FROM: Jeff Livingston, Department of Environmental Protection and
Sustainability (EPS) - Development Coordination

DATE: January 23, 2026

SUBJECT: DEPS Comment for Zoning Item # 2026-0005-A
Address: 3303 LEE COURT
Legal Owner: Avraham Golfeiz, Dorna Reihani

Zoning Advisory Committee Meeting of January 23, 2026.

X The Department of Environmental Protection and Sustainability has no
comment on the above-referenced zoning item.

Reviewer: Earl D. Wrenn

ZAC AGENDA

Case Number: 2026-0005-A **Reviewer:** Jesse Krout
Existing Use: RESIDENTIAL **Proposed Use:** RESIDENTIAL
Type: ADMINISTRATIVE VARIANCE
Legal Owner: Avraham Golfeiz, Dorna Reihani
Contract Purchaser: No Contract Purchaser was set.

Critical Area: No **Flood Plain:** No **Historic:** No **Election Dist:** 3 **Council Dist:** 2

Property Address: 3303 LEE COURT
Location: Southern side of Lee Court, e/side of Lorry Lane

Existing Zoning: DR 5.5 **Area:** 12,470 SQ. FT.

Proposed Zoning:

ADMINISTRATIVE VARIANCE:

from Section 1B01.2.C.1.b, BCZR for the construction of a deck to allow a 19 ft. rear setback in lieu of the required 22.5 ft. rear setback.

Attorney: Not Available

Prior Zoning Cases: None

Concurrent Cases: None

Violation Cases: None

Closing Date: 02/02/2026

Miscellaneous Notes:

Case Number: 2026-0006-A **Reviewer:** Tyler Cox
Existing Use: RESIDENTIAL **Proposed Use:** RESIDENTIAL
Type: VARIANCE
Legal Owner: Debobeth Firm LLC
Contract Purchaser: No Contract Purchaser was set.

Critical Area: No **Flood Plain:** No **Historic:** No **Election Dist:** 1 **Council Dist:** 1

Property Address: Lots 83, 84 GAITHER AVENUE
Location: W/side of Gaither Avenue, 203 ft. north of Old Frederick Road

Existing Zoning: DR 16, DR 5.5 **Area:** 4,120 SQ. FT.

Proposed Zoning:

VARIANCE:

from Sections 1B02.3.C.1 to permit a single-family dwelling with an individual side yard of 7 ft. in lieu of the required 25 ft. (DR 16) and with an individual side yard of 7 ft. in lieu of the required 10 ft. (DR 5.5). For a lot width of 40 ft. in lieu of the required 55 ft. in the DR 5.5 zone. For a net lot area of 4,120 sq. ft. in lieu of the required 6,000 sq. ft. for a single-family dwelling in the DR 5.5 zone.

Attorney: Adam Rosenblatt

Prior Zoning Cases: None

Concurrent Cases: None

Violation Cases: None

Closing Date:

Miscellaneous Notes:

ZAC AGENDA

Case Number: 2026-0005-A **Reviewer:** Jesse Krout
Existng Use: RESIDENTIAL **Proposed Use:** RESIDENTIAL
Type: ADMINISTRATIVE VARIANCE
Legal Owner: Avraham Golfeiz, Dorna Reihani
Contract Purchaser: No Contract Purchaser was set.

Critical Area: No **Flood Plain:** No **Historic:** No **Election Dist:** 3 **Council Dist:** 2

Property Address: 3303 LEE COURT
Location: Southern side of Lee Court, e/side of Lorry Lane

Existing Zoning: DR 5.5 **Area:** 12,470 SQ. FT.

Proposed Zoning:

ADMINISTRATIVE VARIANCE:

from Section 1B01.2.C.1.b, BCZR for the construction of a deck to allow a 19 ft. rear setback in lieu of the required 22.5 ft. rear setback.

Attorney: Not Available

Prior Zoning Cases: None

Concurrent Cases: None

Violation Cases: None

Closing Date: 02/02/2026

Miscellaneous Notes:

SHA-No Objection

REVIEWED

By Richard Diamond at 5:07 pm, Jan 22, 2026

Case Number: 2026-0006-A **Reviewer:** Tyler Cox
Existng Use: RESIDENTIAL **Proposed Use:** RESIDENTIAL
Type: VARIANCE
Legal Owner: Debobeth Firm LLC
Contract Purchaser: No Contract Purchaser was set.

Critical Area: No **Flood Plain:** No **Historic:** No **Election Dist:** 1 **Council Dist:** 1

Property Address: Lots 83, 84 GAITHER AVENUE
Location: W/side of Gaither Avenue, 203 ft. north of Old Frederick Road

Existing Zoning: DR 16, DR 5.5 **Area:** 4,120 SQ. FT.

Proposed Zoning:

VARIANCE:

from Sections 1B02.3.C.1 to permit a single-family dwelling with an individual side yard of 7 ft. in lieu of the required 25 ft. (DR 16) and with an individual side yard of 7 ft. in lieu of the required 10 ft. (DR 5.5). For a lot width of 40 ft. in lieu of the required 55 ft. in the DR 5.5 zone. For a net lot area of 4,120 sq. ft. in lieu of the required 6,000 sq. ft. for a single-family dwelling in the DR 5.5 zone.

Attorney: Adam Rosenblatt

Prior Zoning Cases: None

Concurrent Cases: None

Violation Cases: None

Closing Date:

Miscellaneous Notes:

SHA-No Objection

REVIEWED

By Richard Diamond at 5:07 pm, Jan 22, 2026

Real Property Data Search ()
Search Result for BALTIMORE COUNTY

View Map No Ground Rent Redemption on File No Ground Rent Registration on File

Special Tax Recapture: None

Account Number: District - 03 Account Identifier - 0314065760

Owner Information

Owner Name: GOLFEIZ AVRAHAM Use: RESIDENTIAL
REIHANI DORNA Principal Residence: YES
Mailing Address: 3303 LEE CT Deed Reference: /41307/ 00111
BALTIMORE MD 21208-4402

Location & Structure Information

Premises Address: 3303 LEE CT Legal Description: 3303 LEE CT
BALTIMORE 21208-4402 SUBURBAN MANOR

Map: Grid: Parcel: Neighborhood: Subdivision: Section: Block: Lot: Assessment Year: Plat No:
0078 0004 0610 3050070.04 0000 19 2026 Plat Ref: 0019/ 0043

Town: None

Primary Structure Built Above Grade Living Area Finished Basement Area Property Land Area County Use
1956 1,260 SF 600 SF 12,470 SF 04

Stories Basement Type Exterior Quality Full/Half Bath Garage Last Notice of Major Improvements
1 YES STANDARD UNIT BRICK / 4 1 full / 1 half

Value Information

	Base Value	Value		
		As of 01/01/2026	As of 07/01/2025	As of 07/01/2026
Land:	84,100	134,400		
Improvements	250,700	222,500		
Total:	334,800	356,900	334,800	342,167
Preferential Land:	0	0		

Transfer Information

Seller: BENN ROBERT Date: 04/10/2019 Price: \$350,000
Type: ARMS LENGTH IMPROVED Deed1: /41307/ 00111 Deed2:
Seller: NEWMAN SINDY BROOKE PENNY Date: 07/23/2008 Price: \$257,500
Type: ARMS LENGTH IMPROVED Deed1: /30185/ 00469 Deed2:
Seller: NOEL BAILAA Date: 12/15/1994 Price: \$109,770
Type: ARMS LENGTH IMPROVED Deed1: /10869/ 00341 Deed2:

Exemption Information

Partial Exempt Assessments: Class 07/01/2025 07/01/2026
County: 000 0.00
State: 000 0.00
Municipal: 000 0.00|0.00 0.00|0.00

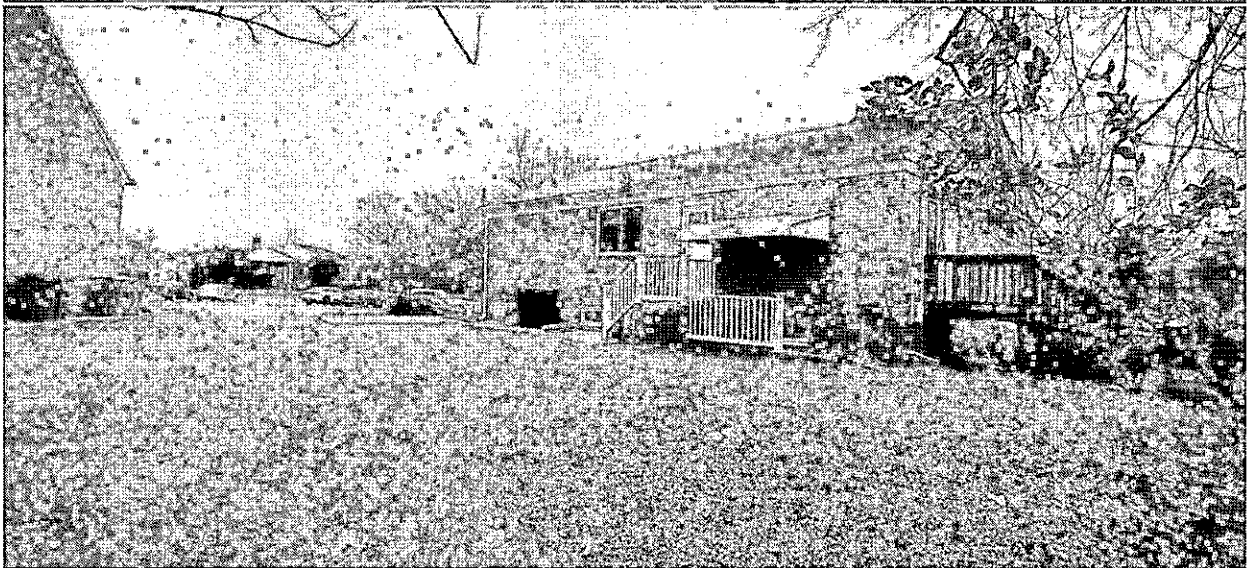
Special Tax Recapture: None

Homestead Application Information

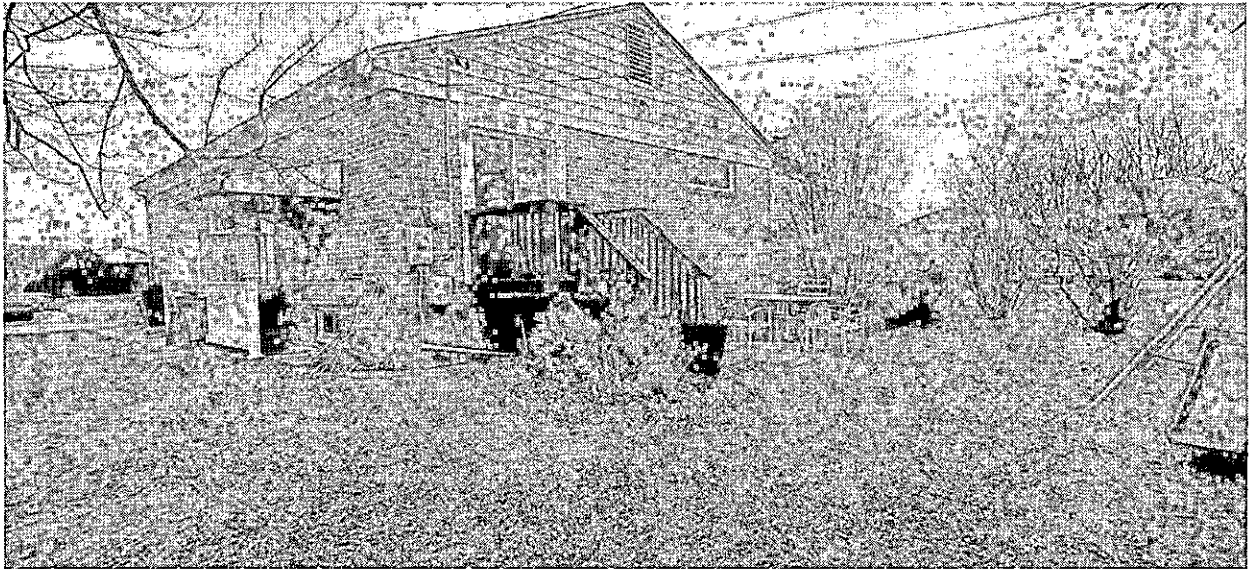
Homestead Application Status: Approved 05/20/2019

Homeowners' Tax Credit Application Information

Homeowners' Tax Credit Application Status: No Application Date:



Per. Encl. 2A



Pet. Encl. JB



Per. G.R. 20







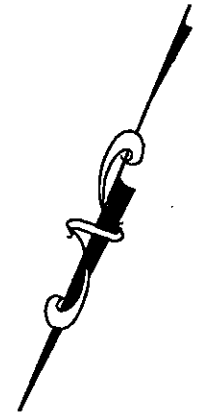
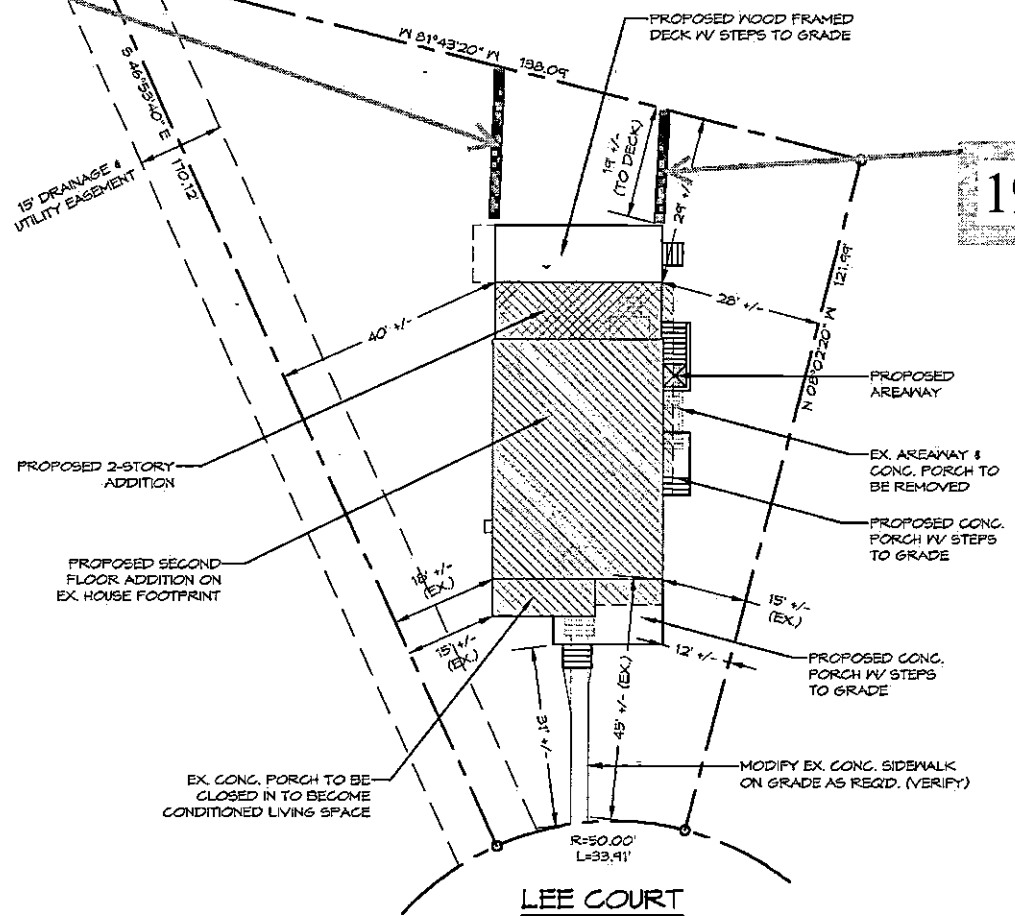
26'

PROJECT ADDRESS:
3903 LEE COURT
PIKESVILLE, MD. 21208

LOT 19, SUBURBAN MANOR
BALTIMORE COUNTY, MD.

EXISTING SITE CONDITIONS
PROVIDED BY:
OFFICE OF MANK & KUNST
P.O. BOX 91
BENSON, MD. 21018

19'



REMODELING & ADDITIONS TO
THE GOLFEIZ RESIDENCE

SITE PLAN

SCALE 1"=20'

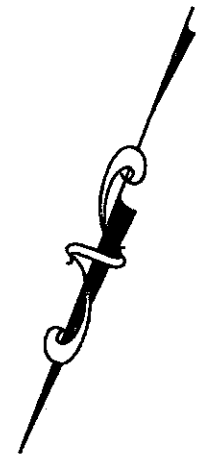
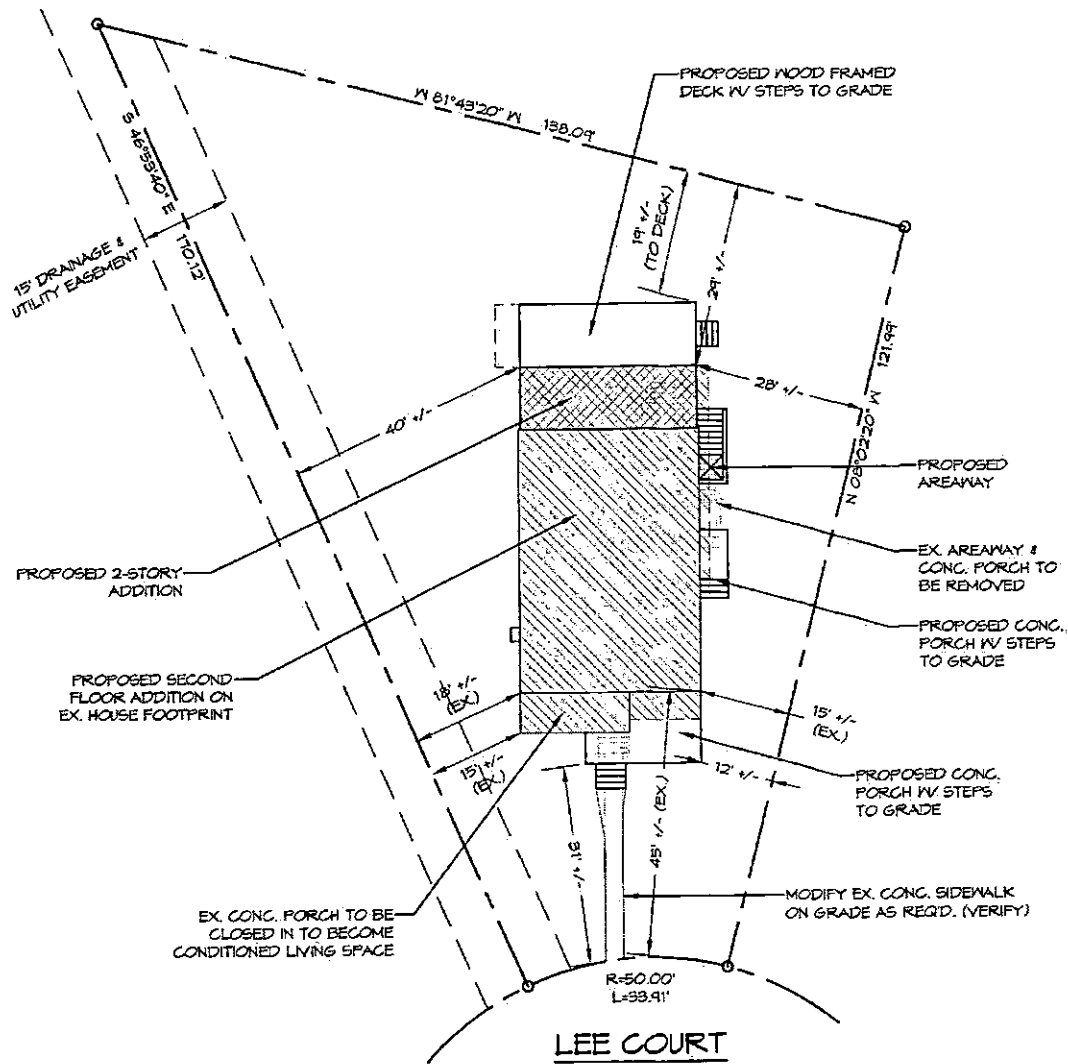
FILE: GOLFEIZ REMODEL-ADDITION (3903 LEE COURT)

DATE NOTED	
DATE 7/20/25	
SHEET NO.	
GRI, CURTAIN RETRACTION	
FOR ALL TRADES AND WORK	
PHONE: 410-452-4333	

PROJECT ADDRESS:
3303 LEE COURT
PIKESVILLE, MD. 21208

LOT 19, SUBURBAN MANOR
BALTIMORE COUNTY, MD.

EXISTING SITE CONDITIONS
PROVIDED BY:
OFFICE OF MANK & KUNST
P.O. BOX 91
BENSON, MD. 21018



REMODELING & ADDITIONS TO
THE GOLFEIZ RESIDENCE

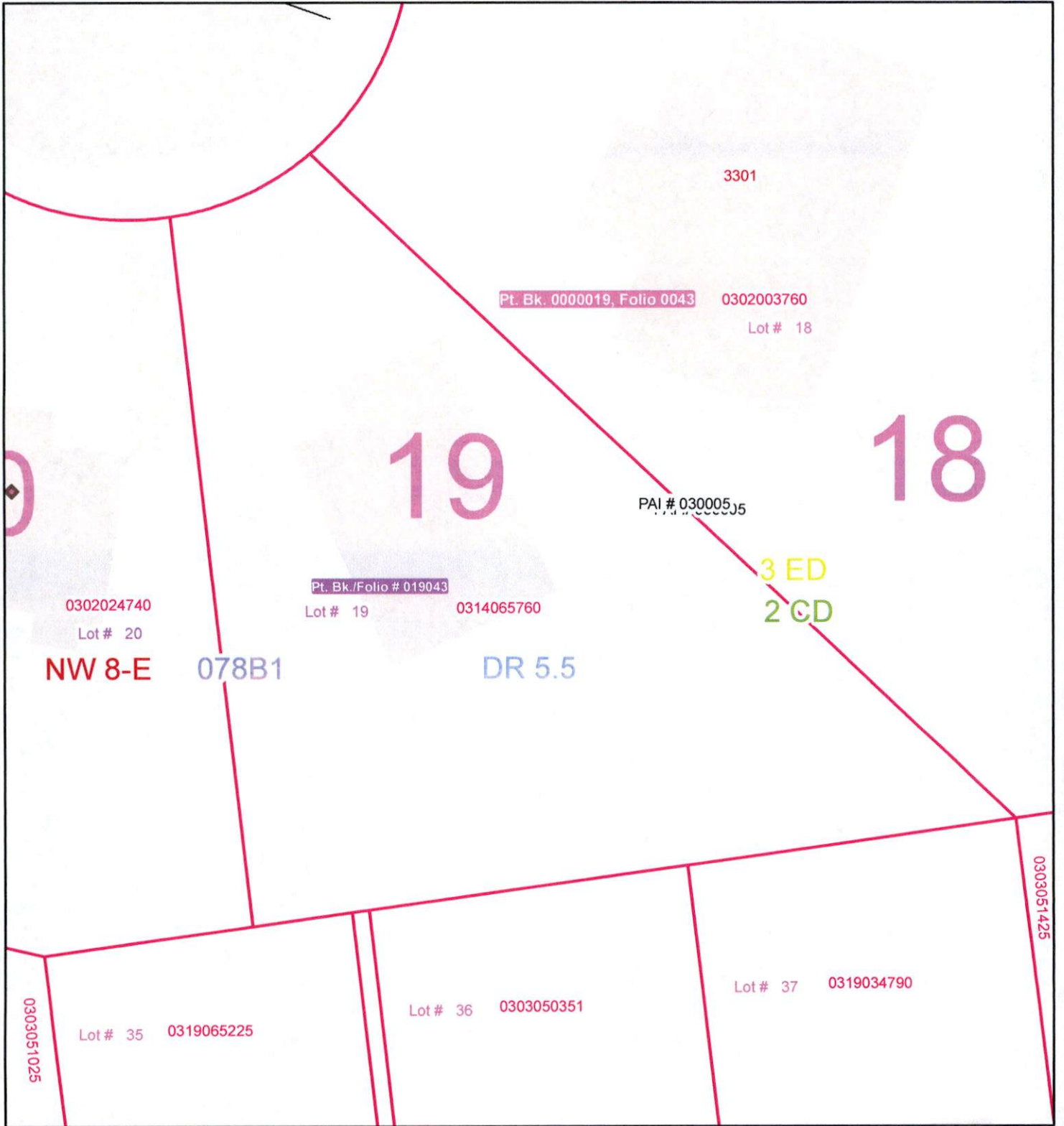
SITE PLAN

SCALE: 1"=20'

FILE: GOLFEIZ RENOVEL-ADDITION (3303 LEE COURT)

DATE NOTED	
DATE: 7/20/25	
PREP. NO.	
G&L CUSTOM HOME DESIGN INC. 40 BERRY AVE. SUITE 200 P.O. BOX 453-2525	

3303 Lee Ct



Publication Date: 1/7/2026



Publication Agency: Permits, Approvals & Inspections
Projection/Datum: Maryland State Plane,
FIPS 1900, NAD 1983/91 HARN, US Foot



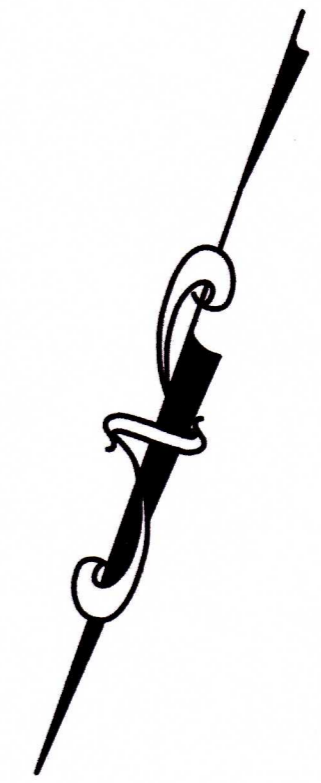
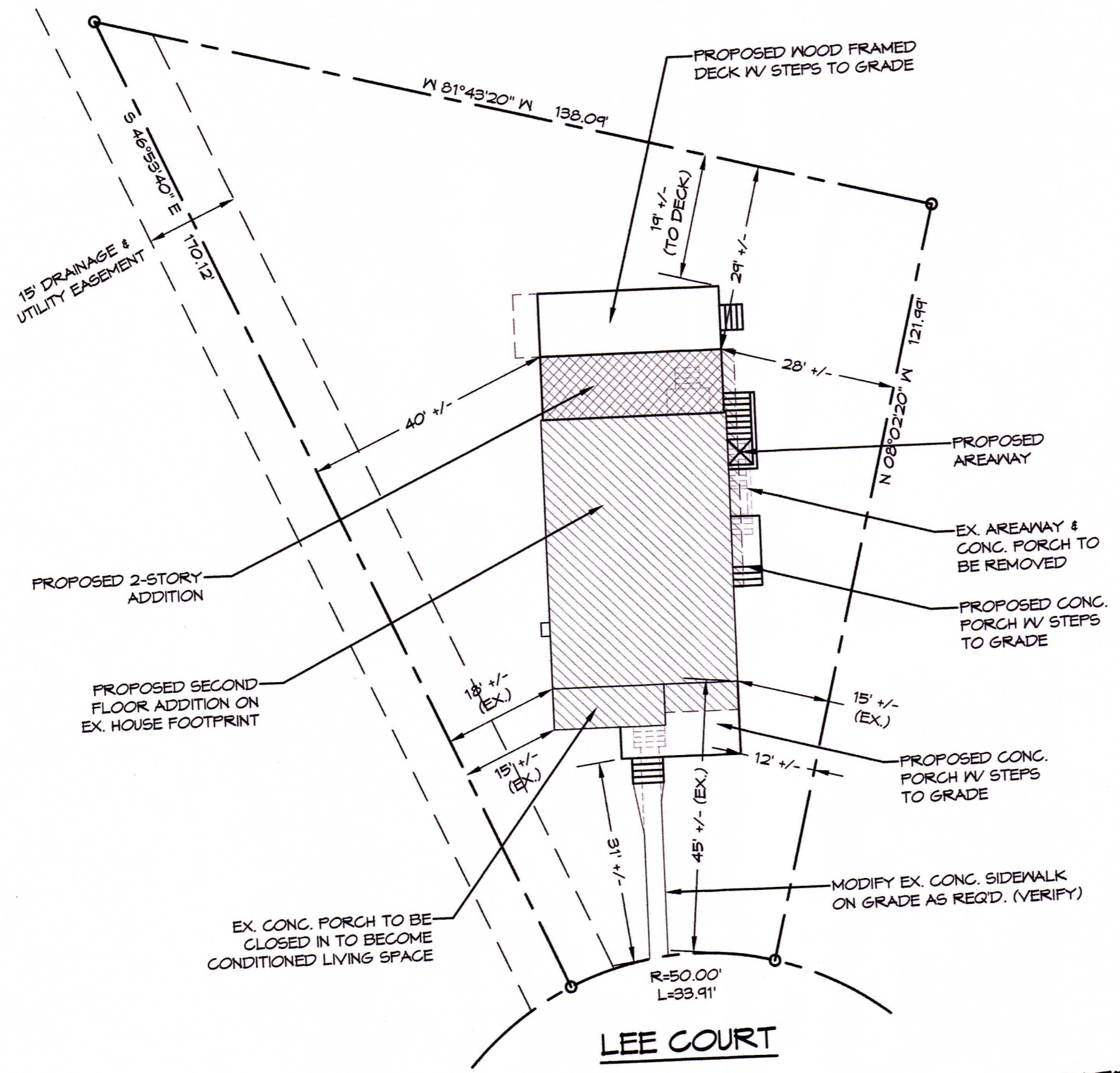
0 5 10 20 30 40 Feet

1 inch = 24.497694 feet

PROJECT ADDRESS:
3303 LEE COURT
PIKESVILLE, MD. 21208

LOT 19, SUBURBAN MANOR
BALTIMORE COUNTY, MD.

EXISTING SITE CONDITIONS
PROVIDED BY:
OFFICE OF MANK & KUNST
P.O. BOX 91
BENSON, MD. 21018



SITE PLAN

SCALE: 1"=20'

FILE: GOLFEIZ REMODEL-ADDITION (3303 LEE COURT)

SCALE NOTED
DATE: 7/2025
SHEET NO.:
GEL CUSTOM HOME DESIGN INC. PO BOX 237 Pikesville, MD 21046 PHONE: 410-833-8320

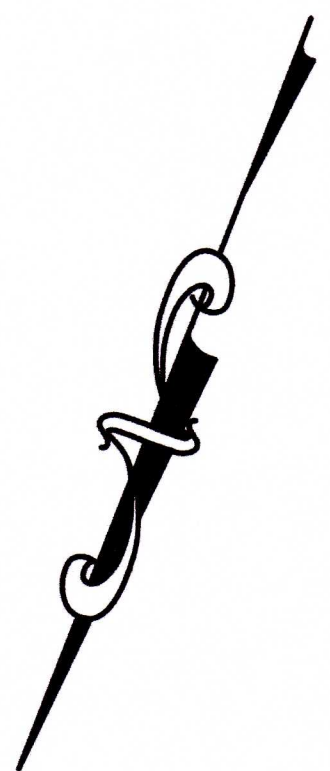
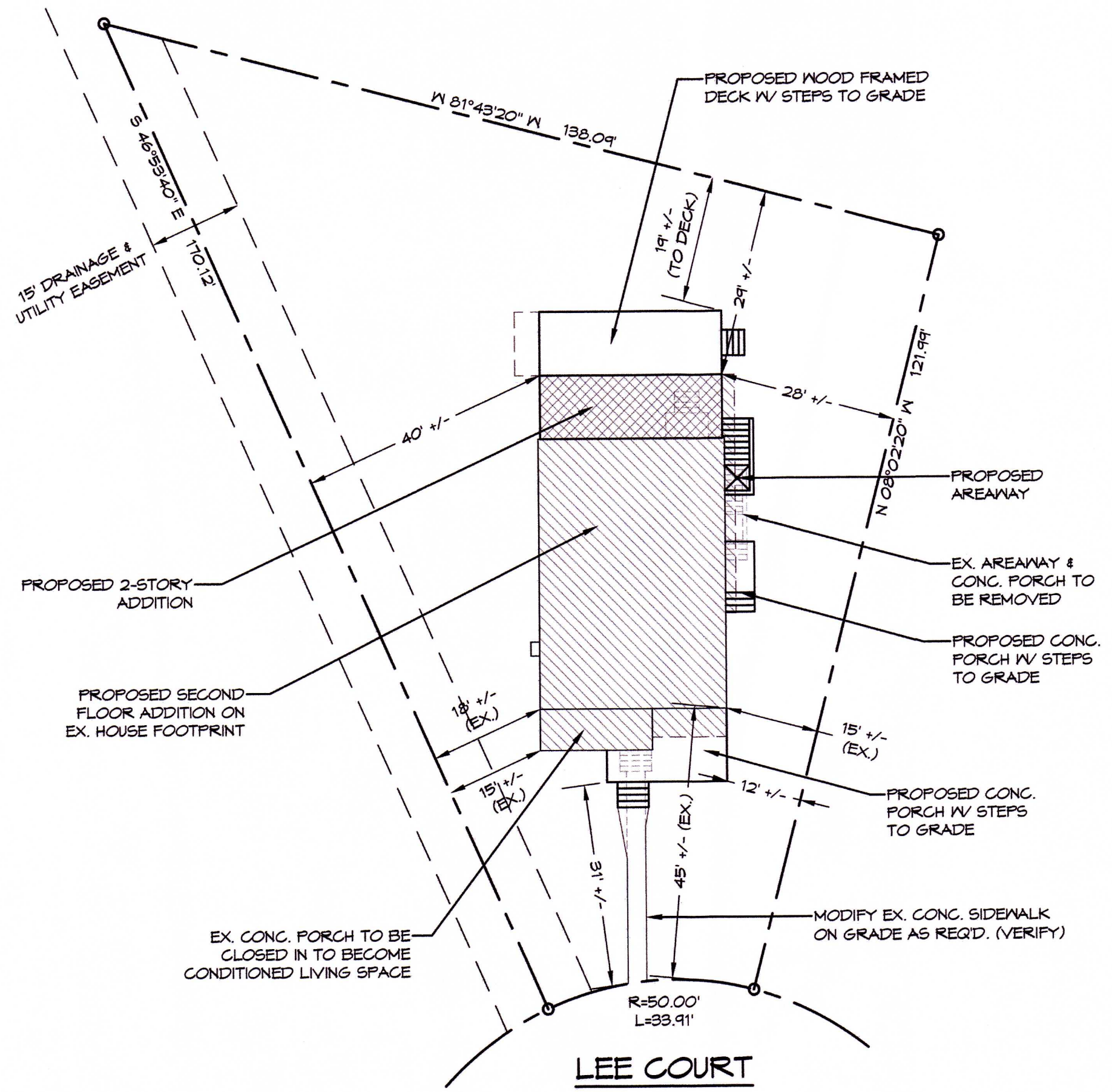
REMODELING & ADDITIONS TO THE GOLFEIZ RESIDENCE

PROJECT ADDRESS:
3303 LEE COURT
PIKESVILLE, MD. 21208

LOT 19, SUBURBAN MANOR

BALTIMORE COUNTY, MD.

EXISTING SITE CONDITIONS
PROVIDED BY:
OFFICE OF MANK & KUNST
P.O. BOX 91
BENSON, MD. 21018



SITE PLAN

SCALE: 1"=20'

REMODELING & ADDITIONS TO THE GOLFEIZ RESIDENCE

FILE: GOLFEIZ REMODEL-ADDITION (3303 LEE COURT)

SCALE: NOTED	GBL CUSTOM HOME DESIGN INC. PO BOX 237 Pikesville, MD 21046 PHONE 410-833-8330
DATE: 7/20/25	
SHEET NO.:	

Per. Exp. 1