

BALTIMORE COUNTY, MARYLAND
DEPARTMENT OF PUBLIC WORKS & TRANSPORTATION
DIVISION OF CONSTRUCTION CONTRACTS ADMINISTRATION
111 WEST CHESAPEAKE AVENUE
TOWSON, MARYLAND 21204



Contract No. 22221 PF0
Fullerton Fire Station #8 Renovations & Addition
(4401 Fitch Avenue, Nottingham, Maryland 21236)
Nottingham – District 14c5
Workday No. 200540012

ADDENDUM NO. 3

DATE: 12/20/2024

Contact: Anthony Crews, 410-887-3531, tcrews@baltimorecountymd.gov

To All Bidders

This addendum is hereby made a part of the Proposal and the Special Provisions, and is hereby incorporated into the Contract. Should this addendum conflict with any portion of the Special Provisions, the Proposal, or any prior addenda, this addendum shall supersede and control.

Please note the attached changes, corrections, and/or information in connection with the contract and submit bids and be otherwise governed accordingly.

For Your Information

Attached are the pre-bid site meeting minutes along with the list of attendees held on Friday, December 6, 2024 @ 9:00 A.M..

In the Specifications

Revised and attached to be inserted: **Remove** Old Page 205, Specification 02 4119 Selective Demolition, Part 3.1 Examination and **Replace** with Revised Page 205, Specification 02 4119 Selective Demolition, Part 3.1 Examination, "F".

In the Drawings

Revised and attached:

- **Remove** old drawing A100 and **Replace** with revised drawing A100 REFERENCE PLAN dated 12/19/2024 Addendum No. 3.
- **Remove** old drawing A101 and **Replace** with revised drawing A101 DIMENSION PLAN dated 12/19/2024 Addendum No. 3.
- **Remove** old drawing A103 and **Replace** with revised drawing A103 FINISH PLAN, SCHEDULE, AND DETAILS dated 12/19/2024 Addendum No. 3.
- **Remove** old drawing A500 and **Replace** with revised drawing A500 ROOF PLAN dated 12/19/2024 Addendum No. 3.

Attachments – 16

Please sign below acknowledging receipt of this addendum and return with your bid.

Company Name

Signature



ADDENDUM 03

PROJECT:	Fullerton Fire Station #8 – Renovation & Addition	MWS PROJECT NO:	20-120
ADDRESS:	4401 Fitch Avenue Nottingham, Maryland, 21236	CONTRACT NO.	22221 PF0
		ISSUE DATE:	December 19, 2024

The following changes shall be incorporated into the work in accordance with all general requirements as if incorporated in the original documents.

GENERAL CHANGES:

- 1.) Provide blocking in Fitness Area 121 wall where TV display is to be mounted. Blocking to occur continuously from 48" – 84" AFF and 3' left and right of the power/data outlet mounted at 72" AFF. The purpose of this note is to be supplementary in nature, to already specified components that require blocking. Blocking shall still be included for all other necessary fixtures that may not be called out for within the drawings or this directive. Fixtures include but are not limited to casework, toilet accessories, railing, plumbing fixtures, electrical fixtures, mechanical components, countertops, and all other items that are required to be self supporting. Contractor and Owner shall walk jobsite prior to close in to review all blocking locations.

CHANGES TO DRAWINGS:

- 1.) Replace drawing A100 with revised drawing A100 REFERENCE PLAN dated 12/19/2024 Addendum No. 3.
- 2.) Replace drawing A101 with revised drawing A101 DIMENSION PLAN dated 12/19/2024 Addendum No. 3.
- 3.) Replace drawing A103 with revised drawing A103 FINISH PLAN, SCHEDULE, AND DETAILS dated 12/19/2024 Addendum No. 3.
- 4.) Replace drawing A500 with revised drawing A500 ROOF PLAN dated 12/19/2024 Addendum No. 3.

CHANGES TO SPECIFICATIONS:

1. Add the following specification revision:
 1. 02 4119 Selective Demolition, Part 3.1 Examination, add the following –

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F. Prior to any saw cutting or coring of the existing concrete slabs, the Contractor shall be responsible for scanning the proposed area of cutting and or coring plus two feet in either direction of said penetration(s) with ground penetrating radar scanning. In the event a conflict becomes apparent from the scan, the Contractor shall contact the Owner and or Architect of Record for further direction prior to any cutting or coring.

BIDDER QUESTIONS & RESPONSES:

- 1.) **QUESTION:** In regards to the Renovation of Fullerton Fire Station: there are 5 speakers noted to be removed from the existing ceiling and re-installed, however there are a total of 11 speakers shown on the new work lighting drawing E102. I noticed that the county will be covering the work of installing the new data outlets, will this also include supplying and installing the new speakers?

RESPONSE: Contractor is responsible for providing and installing new speakers and wiring to be compatible with the reinstallation of the existing, reinstalled speakers. See attached cut sheets for speaker model and wire.

- 2.) **QUESTION:** Per Addendum No. 1, the work classification was revised to "I2 with a I8 & I9 subcontractors". Can you please clarify if ALL subcontractors working on this project will need to be prequalified in I8 & I9 or just any subcontractors specifically working on the Asbestos and Lead Abatement scope of work?

RESPONSE: See contract documents, "I2 with a I8 & I9 subcontractors".

- 3.) **QUESTION:** Detail 1/A102 calls out for posts in the wall type 7, please provide size and spacing.

RESPONSE: Posts shall be placed at each end and center point of privacy wall. Post shall not exceed width of P7 partition.

- 4.) **QUESTION:** Detail 4/A102 shows a steel WT as a key angle between the new and existing masonry walls. Please provide structural detail with size and anchor spacing.

RESPONSE: Anchors to be spaced at 2'-0" o.c. Existing CMU cells to receive anchors shall be grouted solid.

- 5.) **QUESTION:** Details 1&2/A500 show a shelf angle supporting the light gauge cornice. Please provide structural details.

RESPONSE: Refer to revised detail 2/A500

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- 6.) **QUESTION:** Is the GL-2 to be spandrel glass or panels (is there a spec)?

RESPONSE: Insulated spandrel glazing. See specs, section 08 8000 2.4D.

- 7.) **QUESTION:** Will the existing ceiling grid and tile be reused or will it be replaced with new material?

RESPONSE: Existing ceiling grid and tile to be demolished in it's entirety and replaced with new material per the ceiling schedule.

- 8.) **QUESTION:** Will the Temporary connections be allowed to be exposed above ground or will they be required to be buried during construction.

RESPONSE: Contractor provided temporary power shall be run overhead. Contractor provided temporary water and sanitary shall be buried.

- 9.) **QUESTION:** Will the furniture that will be inside of the temporary facilities be supplied by the county or will we be required to furnish them. (Beds, desk, refrigerator, stove, etc.) ?

RESPONSE: Furniture will be furnished by the Owner.

10.)QUESTION: Will there be a location allocated to the contractor for an office trailer?

RESPONSE: Yes

11.)QUESTION: Can we request an extension for the bid due date.

RESPONSE: Per Owner, bid due date is extended to 01/09/2025.

12.)QUESTION: Will encapsulating the asbestos floor tile mastic be allowed or do we need to completely abate the asbestos mastic?

RESPONSE: Completely abate the asbestos mastic.

13.)QUESTION: Can the bid due date be extended?

RESPONSE: See previous answer provided in Addendum #3.

14.)QUESTION: Has the County applied for the Building Permit and are the permitting fees being waived?

RESPONSE: Permit has been issued.

15.)QUESTION: Do you have a vendor you have been working with or identified to supply the temporary facilities?

RESPONSE: No.

16.)QUESTION: Any further information on power requirements of all the temporary site trailers?

RESPONSE: Contractor to verify and coordinate power requirements for contractor provided temporary site trailers.

17.)QUESTION: Any further information on where temporary trailer power will come from?

RESPONSE: Contractor shall provide independent, temporary, electrical power to the temporary trailers. The Contractor shall be responsible for filing and obtaining a temporary electrical service and associated permit with the local utility provider. Temporary electrical power shall be completely independent and standalone from the existing buildings electrical service. Contractor shall install temporary power per AHJ requirements.

18.)QUESTION: Any further detail on site layout of temporary trailer power final connections and outside remotely mounted disconnecting means, required by NEC, for each trailer's electrical service or services?

RESPONSE: See previous answer provided in Addendum #3.

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19.)QUESTION: Are temporary power and low voltage conduits required to be below grade or can they be overhead?

RESPONSE: See previous answer provided in Addendum #3. Contractor to provide two, 2" conduits to run from existing basement/server rack, overhead to Trailer 3. Contractor to make final coordination of conduit routing with final placement of temporary facilities and County OIT prior to final installation.

20.)QUESTION: Will the temporary trailers require any fire alarm to be installed by electrical contractor?

RESPONSE: Contractor shall provide a life safety system that conforms to all AHJ requirements for temporary living facilities.

21.)QUESTION: Will the temporary trailers require any work, to be done by electrical contractor, inside of trailers other than hooking up incoming main feeds? For example, trailer interconnects, lighting , power, fire alarm, emergency notification, etc.

RESPONSE: See previous answer provided in Addendum #3.

22.)QUESTION: Will temporary trailer area require any outside site or security lighting to be installed by electrical contractor?

RESPONSE: See contract documents.

23.)QUESTION: On drawing E501 it shows new panel M1 to be fed by existing panel MDP. Has it been verified that there is enough space in MDP to facilitate the connection of new panel ML?

RESPONSE: At the time of field survey over four years ago, panel had sufficient space. Contractor to field verify existing conditions including proposed design to confirm if existing panel still has sufficient space.

24.)QUESTION: Due to the need for more information electrically for the temporary trailers, more time to bid is requested, while all the information is gathered properly so that an accurate estimation can be made.

RESPONSE: See addendum 2.

25.)QUESTION: Please confirm how many days from NTP until construction begins. Addendum No. 1 has both 5 days and 15 days.

RESPONSE: 15 days. See contract documents.

26.)QUESTION: Please confirm how many days are allotted for construction from NTP. Addendum No. 1 has both 280 days and 300 days.

RESPONSE: 280 days. See contract documents.

27.)QUESTION: Please confirm that all utilities for temporary trailers will be tied into existing.

RESPONSE: Temporary power shall be provided as an independent service from the existing building. The existing water and sanitary shall be tied into the existing facility.

28.)QUESTION: Please provide tie in points for trailer utilities. Such as what circuits in what panel, and this location of this sanitary line.

RESPONSE: The existing sanitary is shown on the drawings. The contractor will need to make their own connections for all utilities other than the electrical service. As for the electrical service, the Contractor shall be responsible for establishing an independent temporary electrical service, routed directly to the temporary trailers.

29.)QUESTION: Please provide the size of conduit required for county required alarm and IT from building to trailer.

RESPONSE: See previous answer provided in Addendum #3.

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QUESTION: Please identify who will be responsible for the arborist to trim and prune trees.

RESPONSE: The Contractor.

30.)QUESTION: Roller Shades are called out for on the Equipment Schedule on Drawing Sheet A702 and accounted for on sheet A100. However, other than the details on the equipment schedule, the shades are not listed anywhere in the spec manual. Can you please confirm if GC is to provide these shades, and if so, are there any further specs you can provide?

RESPONSE: The roller shades per the equipment schedule are contractor provided, contractor installed. Provide BOD Hunter Douglas RB-500.

31.)QUESTION: About the finish schedule... It shows 124 getting the resinous flooring treatment, but that room is shaded dark grey meaning it is not in scope. Can you confirm whether this room is to be included?

RESPONSE: Room 124 shall receive resinous flooring per the finish schedule. See amended drawing A100, A102, and A103.

32.)QUESTION: In all cases MBE form C is not turned in with the bid. It is a form that is submitted by the apparent low bidder after the bid. It is very difficult to impossible to have this form completed and submitted with the bid. It requires the signature of the subcontractor, but we don't know who we are using up until the last minute which does not give adequate time to obtain this signed doc from each MBE we anticipate using. We are requesting to just submit forms A&B with the bid and submit form C after the bid upon request.

RESPONSE: The signed Subcontractor Disclosure and Participation Statement Form is non-negotiable. Please see below:

BALTIMORE COUNTY, MARYLAND

SUBCONTRACTOR DISCLOSURE AND PARTICIPATION STATEMENT
(FORM C)

Contract No. 22221 PF0
Addendum No. 3
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*This document must be completed and submitted with Bid/Proposal to Baltimore County.

NOTE: If you do not complete and submit this form with your bid or offer to the County, the County may, in its sole discretion, deem your bid or offer NON-RESPONSIVE and accordingly the COUNTY WILL NOT CONSIDER YOU FOR CONTRACT AWARD.

NOTE: ANY INCONSISTENCY BETWEEN THIS FORM AND FORM B MBE/WBE PARTICIPATION MAY RENDER A BID/PROPOSAL NON-RESPONSIVE AND THE COUNTY WILL NOT CONSIDER YOU FOR CONTRACT AWARD.

NOTE: If the Prime is notified that it will be awarded the above referenced contract, the undersigned MBE/WBE subcontractor and Prime must enter into a subcontract for the work/service indicated above upon the Prime's execution of a contract for the above referenced project with the Baltimore County, and provide a copy of the fully executed MBE/WBE SUBCONTRACTOR PARTICIPATION NOTICE OF INTENT TO AWARD (FORM C- Subcontractor) accompanied with the anticipated Work Breakdown Schedule (providing the subcontractor's mobilization timeframe) to mwbe@baltimorecountymd.gov within 10 calendar days of receipt by the Prime of FORM C Subcontractor from the County. The undersigned subcontractor is a MDOT or Baltimore City certified MBE/WBE firm. The terms and conditions stated above are consistent with our agreements.

33.)QUESTION: Drawings indicate extending footers below old retaining wall to allow new retaining wall when over excavating for new extension it appears angle of repose will be greater to 1 or 1 slope allowed by MOSH. Please clarify.

RESPONSE: Excavation, shoring and bracing are means and methods of the contractor. See specification section 31 23 00 – Excavating, Filling and Grading.

34.)QUESTION: How does the basement match up with the 1st floor? This is needed to determine the distance from the panels in the basement to the 1st floor.

RESPONSE: Contractor to verify in field at pre-bid site visit.

35.)QUESTION: What is the breaker type and AIC rating for the new breaker that needs to be installed in PDP panel?

RESPONSE: As indicated on the Contract Documents, including Note OL01 on Drawing E501, new breaker shall be compatible with existing Panel MDP (Square D QMB Saflex). kAIC rating of the Breaker for panel MDP to match existing panel breaker AIC rating.

36.)QUESTION: Does the symbol SP stand for a speaker? The note says to re-use but there are also new speakers. What type speaker is needed?

RESPONSE: Yes, SP stands for speaker. Speaker - Attached is the spec sheet for the an 8" Atlas Sound Ceiling Speaker. Model SD72W comes equipped with the speaker grill. Wire - 2 Conduct 16AWG Wire From Digikey to connect the speakers: Part number E1042S-41

37.)QUESTION: Confirm that the AV system can handle the new speakers and that no additional equipment is need.

RESPONSE: See contract documents.

38.)QUESTION: What is the anticipated NTP?

RESPONSE: June 30, 2025

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December 20, 2024

39.)QUESTION: AD100 calls for cabling to temporary trailers to be performed by the contractor. Which systems require cabling? Provide cabling specifications.

RESPONSE: Contractor to provide two, 2" conduits to run from existing basement/server rack, overhead to Trailer 3. Contractor to make final coordination of conduit routing with final placement of temporary facilities and County OIT prior to final installation. County to provide data and Computer Aided Dispatch System to temporary trailers.

QUESTION: AD100 calls for sprinkler work in the temporary trailers. What sprinkler work is required in each?

RESPONSE: Sprinkler system shall be delegated design by the Contractor and or temporary trailer vendor. Sprinkler system shall conform to requirements of AHJ.

40.)QUESTION: Please provide details for reinstalling the salvaged intercom system per Note E13/E100 and E03/E102 and define what components make up this system.

RESPONSE: Salvaged PA system shall be reinstalled per layout on E102. In the event that new speakers and wire are required to completed the design per E102, contractor to utilize speaker and wire cut sheets included within this Addendum.

41.)QUESTION: What type of foundation is required for the temp trailers?

RESPONSE: Temporary foundation system shall be delegated design by the Contractor and or temporary trailer vendor. Temporary foundation system shall conform to requirements of AHJ.

42.)QUESTION: Please provide a specification for the wood shed shown on AD100.

RESPONSE: Basis of Design: Home Depot, Scarsdale 12 ft. x 16 ft. Designer Outdoor Wood Shed with 2 Windows-Black Shingle (192 sq. ft.)

43.)QUESTION: AD100 states "Alerting and Dispatch" at Trailer 1 and 2. Please clarify what work is required here and provide specifications and details.

RESPONSE: Contractor to provide two, 2" conduits to run overhead from the existing server rack (within basement of fire station) to Trailer 3. Contractor to make final coordination of conduit routing with final placement of temporary facilities and County OIT prior to final installation. County to provide data and Computer Aided Dispatch System to temporary trailers.

44.)QUESTION: Provide specifications for the audible alarm at Trailer 3.

RESPONSE: Contractor to provide applicable life safety devices for Trailer 3. Computer Aided Dispatch System and data for Trailer 3 to be provided by County OIT.

45.)QUESTION: Clarify if the Hazmat items in Addendum 1 are being disturbed by the proposed work. There appears to be missing pages and only one item is highlighted.

RESPONSE: Yes.

ATTACHMENTS:

- 1.) Addendum No. 3 – Drawings
- 2.) ATS001450B-SD72-Series-Datasheet.pdf

END OF ADDENDUM #3

**Contract No. 22221 PF0
Addendum No. 3
December 20, 2024**

SCHEDULE - EQUIPMENT							
MARK	DESCRIPTION	BOD MANUFACTURER	BOD MODEL	O.P.O.I.	O.P.C.I.	C.P.C.I.	COMMENTS
EQ-1	15"W x 18"D x 72"H TWO-TIER SOLID PLASTIC LOCKER	BRADLEY CORPORATION	LENEX "Z" LOCKER			●	PROVIDED WITH SLOPED TOP
EQ-2	MANUAL ROLLER SHADE	HUNTER DOUGLAS	RB-500 ROLLER SHADES			●	PROVIDE BLACK-OUT BLINDS

SCHEDULE ABBREVIATIONS:
O.P.O.I. - OWNER PROVIDED; OWNER INSTALLED
O.P.C.I. - OWNER PROVIDED; CONTRACTOR INSTALLED
C.P.C.I. - CONTRACTOR PROVIDED; CONTRACTOR INSTALLED

PLAN LEGEND

EXISTING WALL TO REMAIN

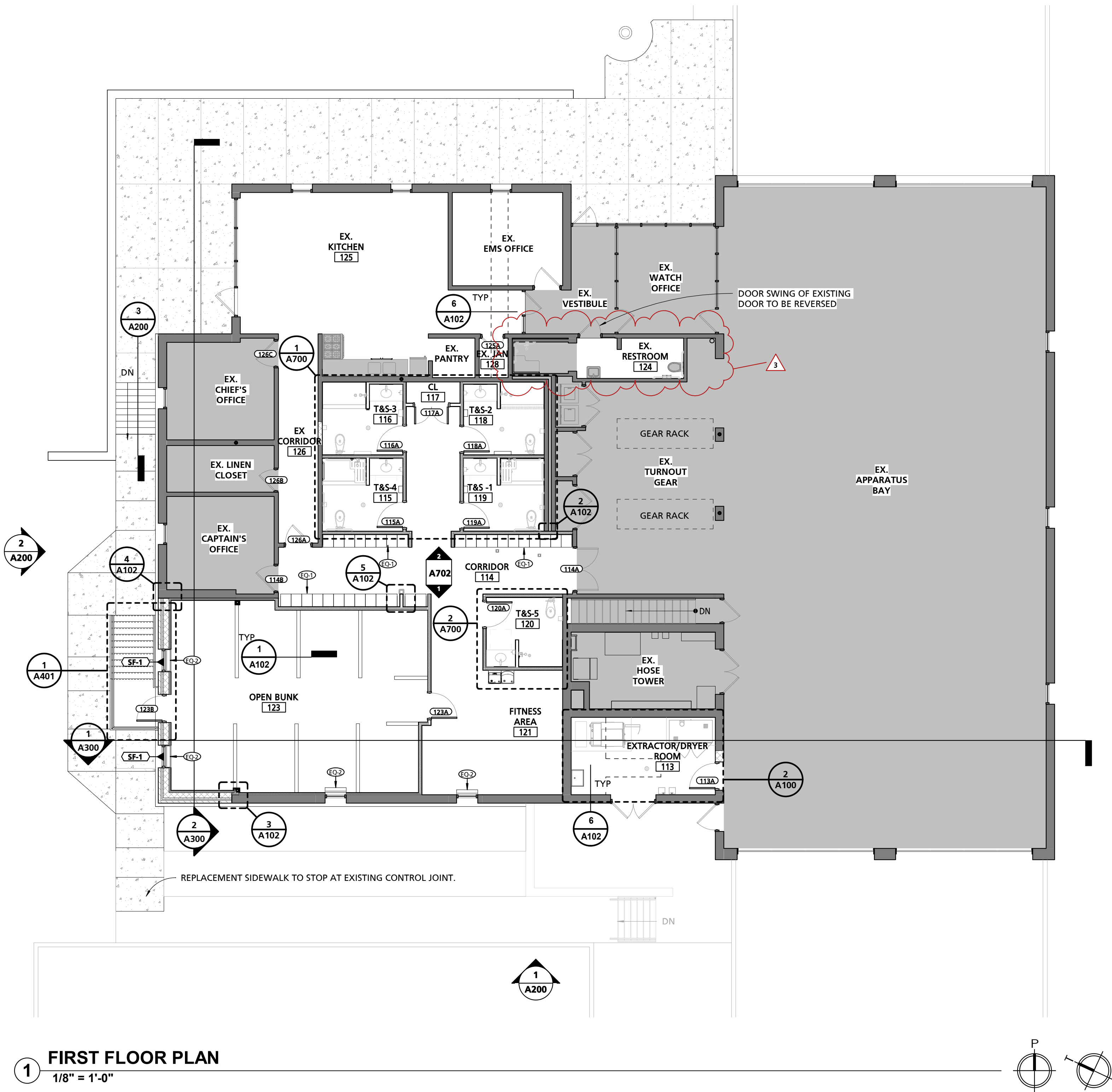
EXISTING CONSTRUCTION TO BE DEMOLISHED (SEE DEMO PLANS)

NEW WALL/PARTITION

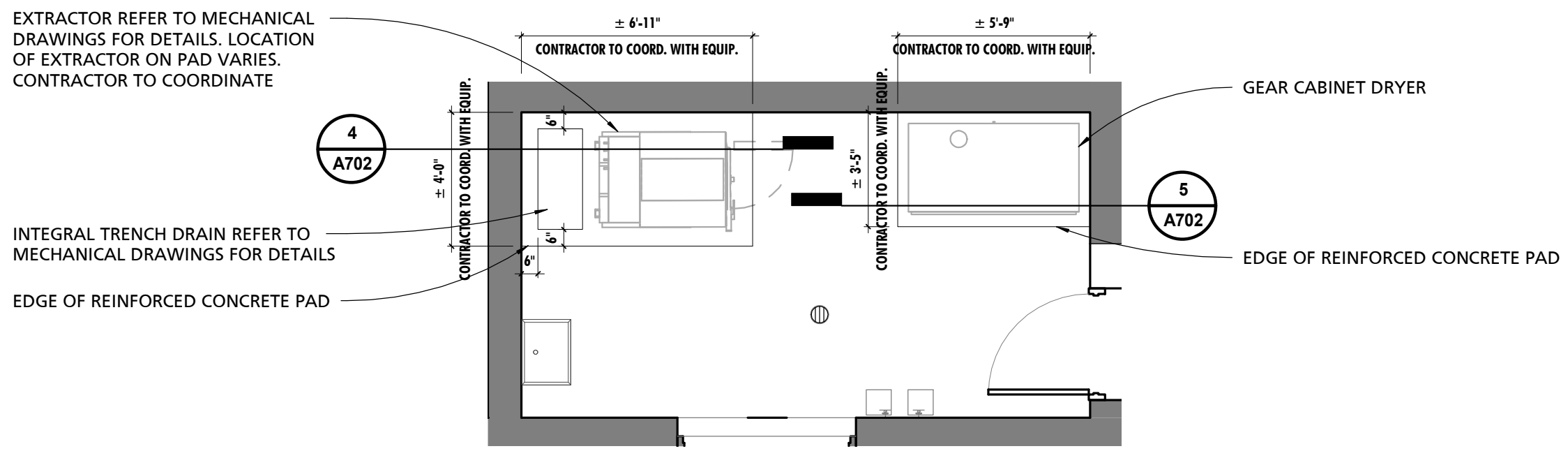
NEW DOOR

EXISTING DOOR

NOTE:
ROOMS SHADED GRAY ARE NOT
WITHIN THE SCOPE OF WORK, UNLESS
OTHERWISE NOTED



1 FIRST FLOOR PLAN
1/8" = 1'-0"



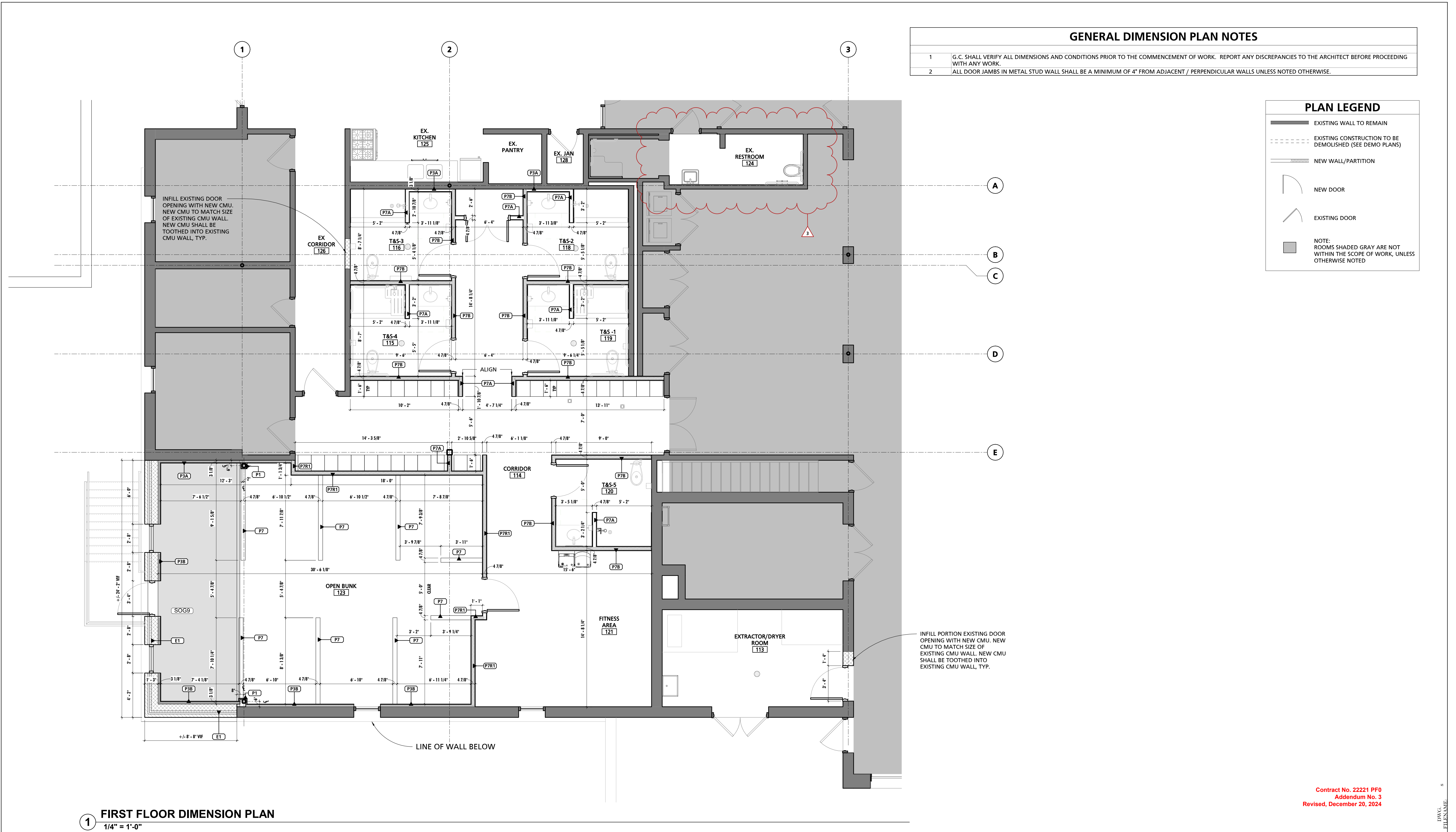
2 ENLARGED EXTRACTOR/DRYER ROOM PLAN
1/4" = 1'-0"

SEAL	PROFESSIONAL CERTIFICATION				AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION	SHT	DRAWING SCALE		APPROVED BY: _____ DIRECTOR	
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 15505 EXPIRATION DATE: 08-18-2026				ADDENDUM 3			12/19/24	-	MSW	CHIEF		PLAN SCALE: As indicated	DATE: _____		
										R.O.W. NO.	-	-	-			PROFILE SCALE: -
										-	-	-	-			-
	DATE: 12/19/24	ARCHITECT: _____ DAVID WOODWARD, AIA PRINCIPAL ARCHITECT MANSON WOODWARD STUDIOS 10000-31 MILLERSVILLE PIKE ROAD WHITE MARSH, MARYLAND 21152 (P) 410-588-1300				BUREAU OF ENGINEERING AND CONSTRUCTION			HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER		PROPERTY MANAGEMENT
DGN BY: _____				REVIEWED BY: _____										APPROVED BY: _____ CHIEF		
CHRD BY: _____				DATE REVIEWED: _____										DATE: _____		

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT
FULLERTON FIRE STATION #8 - RENOVATION & ADDITION
REFERENCE PLAN
4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236
SUBDIVISION: FULLERTON

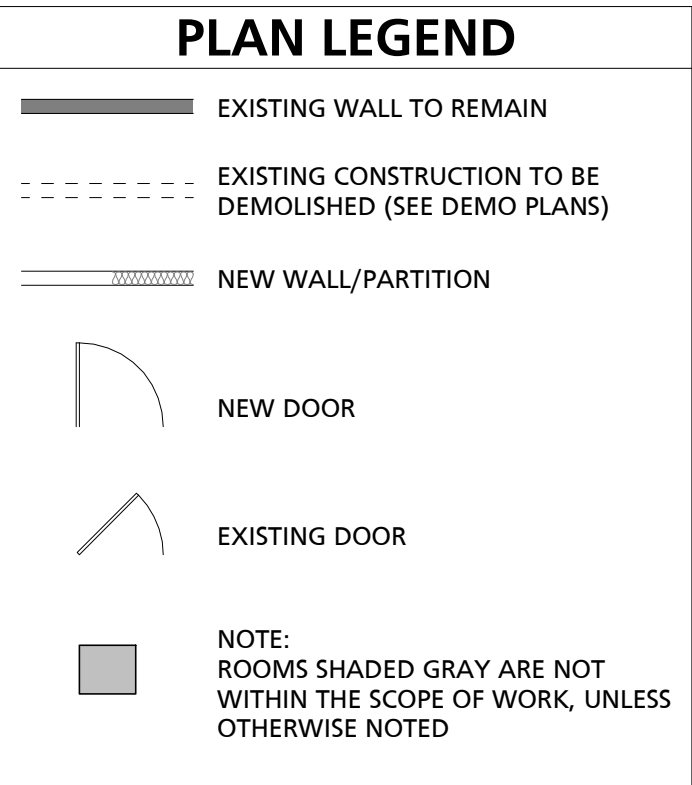
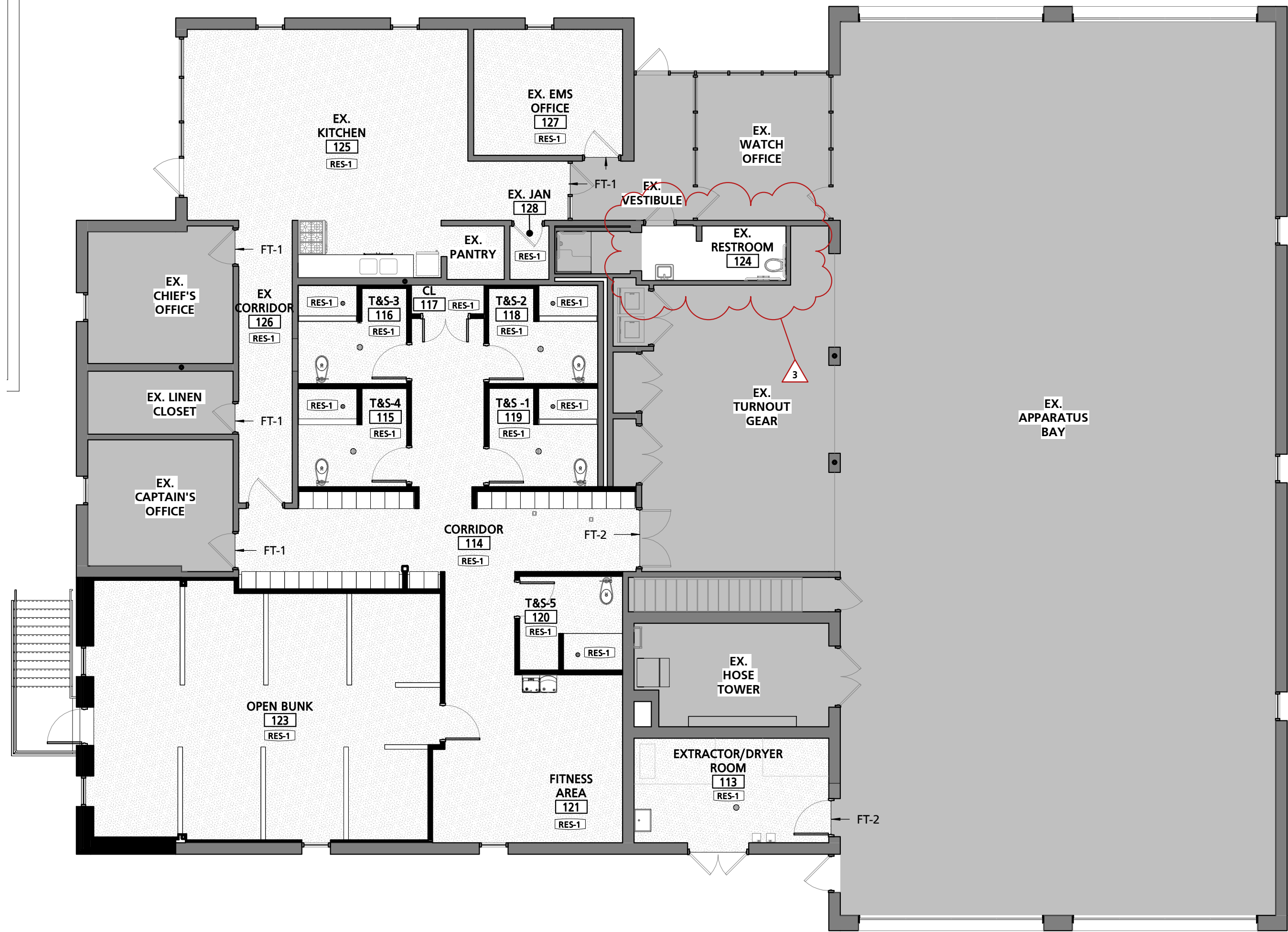
Contract No. 22221 PFO
Addendum No. 3
Revised, December 20, 2024

SHEET DESIGNATION	CONTRACT NUMBER
A100	22221 PFO
	JOB ORDER NUMBER 241-220-0054-0012
	SHEET 15 of 58
	DRAWING NUMBER 2022-2334
	FILE NO.: 8



SEAL	PROFESSIONAL CERTIFICATION			AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHT	DRAWING SCALE		APPROVED BY: _____ DIRECTOR							
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 15505 EXPIRATION DATE: 08-18-2026			ADDENDUM 3							12/19/24	-		MSW	27N21	PLAN SCALE: _____	As indicated			
																R.O.W. NO.		-	-	-
ARCHITECT: _____ DAVID WOODWARD, AIA PRINCIPAL ARCHITECT			BUREAU OF ENGINEERING AND CONSTRUCTION		HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	PROPERTY MANAGEMENT									
DGN BY: _____			REVIEWED BY: _____																	
DWN BY: _____			DATE REVIEWED: _____																	
CHKD BY: _____																				
DATE: 12/19/24	MANASSA WOODWARD STUDIOS 10005-31 MILLER/REDFIELD ROAD WHITE MARSH, MARYLAND 21102 (P) 301-986-1360											APPROVED BY: _____ CHIEF								

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT			SHEET DESIGNATION		CONTRACT NUMBER	
FULLERTON FIRE STATION #8 - RENOVATION & ADDITION			A101		22221 PFO	
DIMENSION PLAN			JOB ORDER NUMBER		241-220-0054-0012	
SUBDIVISION: FULLERTON			SHEET		16 of 58	
4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236			DRAWING NUMBER		2022-2335	
ELECTION DIST. NO.: 14C5			FILE NO.: 8		12/19/2024 4:11:13 PM	



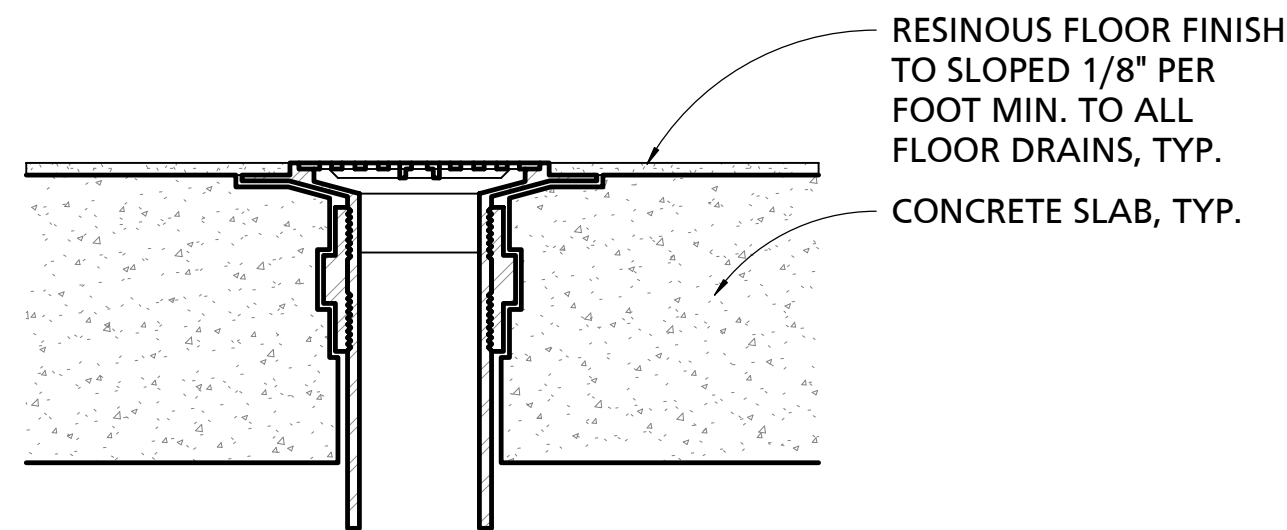
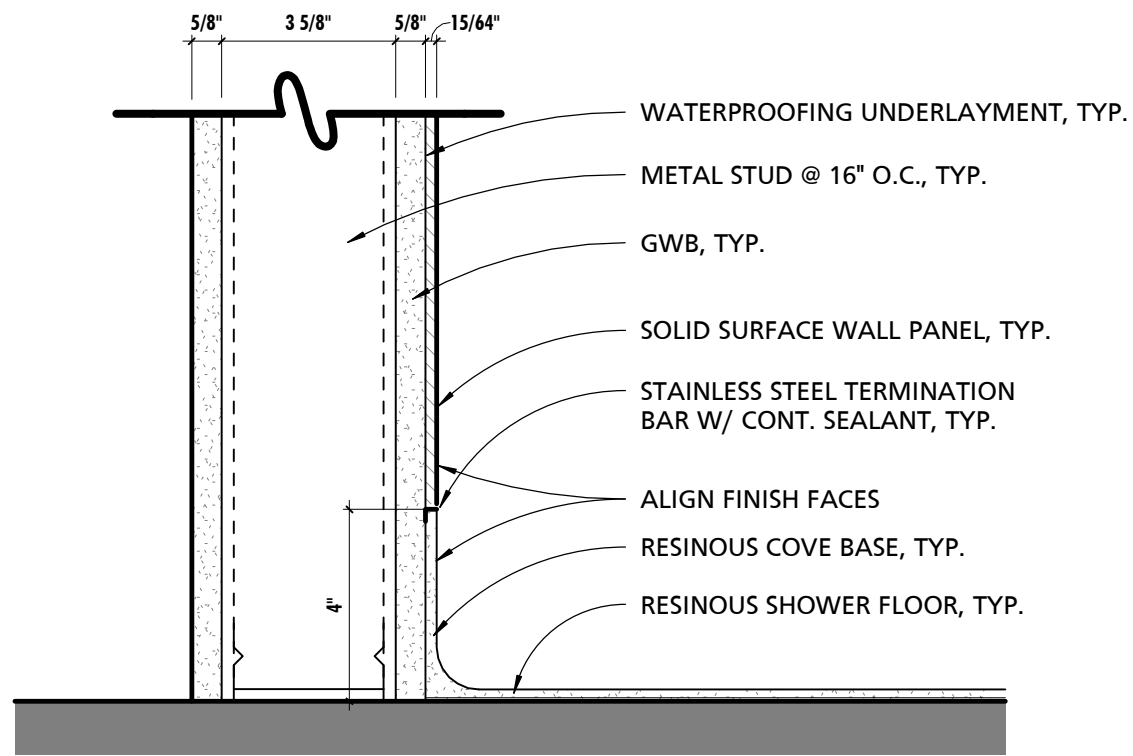
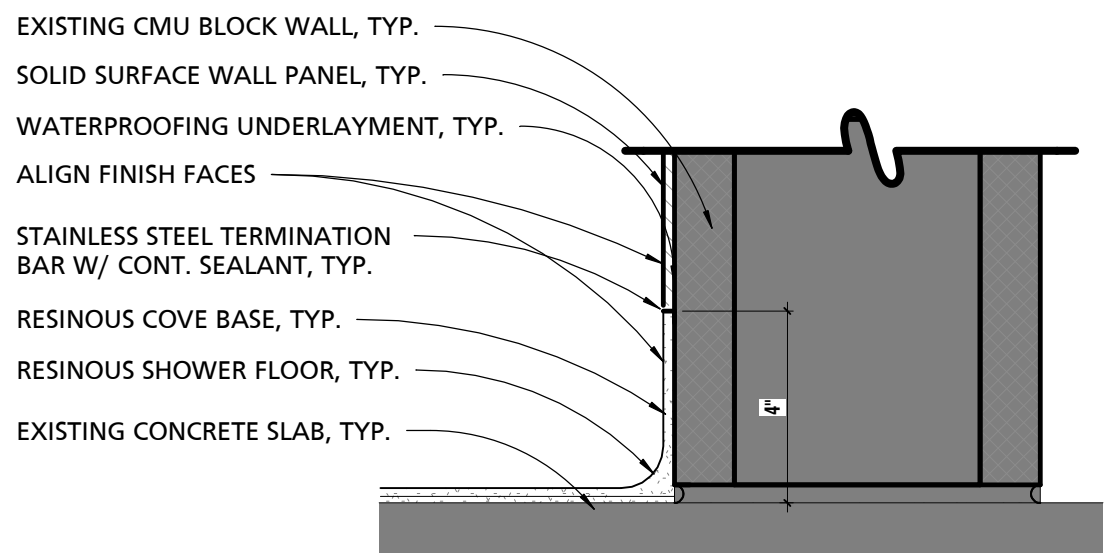
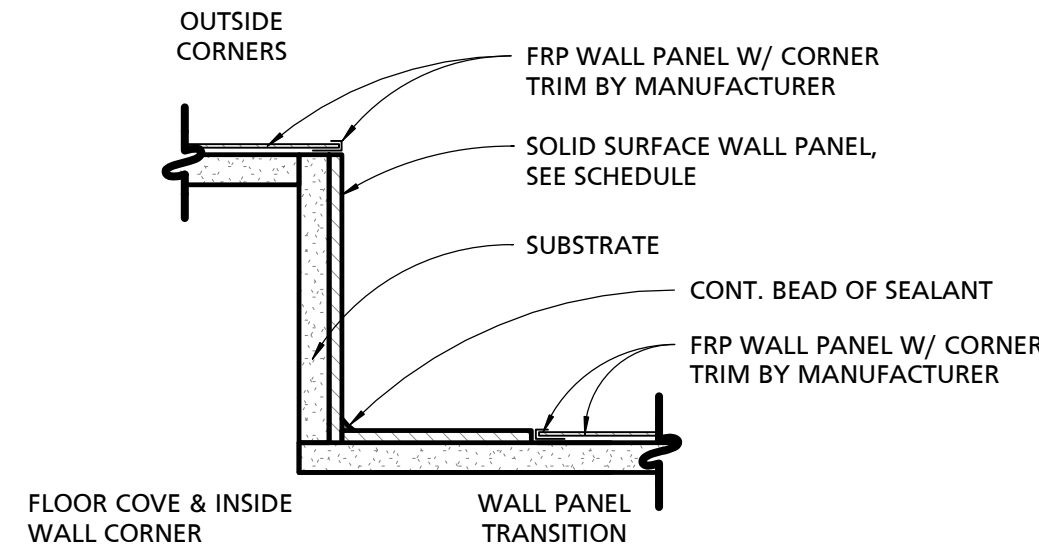
SCHEDULE - FINISHES									
ROOM INFORMATION		FLOOR FINISH	BASE	WALL FINISH				CEILING FINISH	REMARKS
RM #	ROOM NAME			NORTH	SOUTH	EAST	WEST		
114	CORRIDOR	RES-1	B-1	PT-1	PT-1	PT-1	PT-1	CLG-3	
115	T&S-4	RES-1	B-1	FRP	FRP	FRP	FRP	CLG-2/CLG-1	SHOWER STALL WALLS SHALL BE SSWP W/ B-1 COVE BASE. CLG-1 TO RECEIVE PT-2
116	T&S-3	RES-1	B-1	FRP	FRP	FRP	FRP	CLG-2/CLG-1	SHOWER STALL WALLS SHALL BE SSWP W/ B-1 COVE BASE. CLG-1 TO RECEIVE PT-2
117	CL	RES-1	B-1	PT-1	PT-1	PT-1	PT-1	CLG-1	
118	T&S-2	RES-1	B-1	FRP	FRP	FRP	FRP	CLG-2/CLG-1	SHOWER STALL WALLS SHALL BE SSWP W/ B-1 COVE BASE. CLG-1 TO RECEIVE PT-2
119	T&S-1	RES-1	B-1	FRP	FRP	FRP	FRP	CLG-2/CLG-1	SHOWER STALL WALLS SHALL BE SSWP W/ B-1 COVE BASE. CLG-1 TO RECEIVE PT-2
120	T&S-5	RES-1	B-1	FRP	FRP	FRP	FRP	CLG-2/CLG-1	SHOWER STALL WALLS SHALL BE SSWP W/ B-1 COVE BASE. CLG-1 TO RECEIVE PT-2
121	FITNESS AREA	RES-1	B-1	PT-1	PT-1	PT-1	PT-1	CLG-3	
123	OPEN BUNK	RES-1	B-1	PT-1	PT-1	PT-1	PT-1	CLG-3	
124	EX. RESTROOM	RES-1	B-1	PT-1	PT-1	PT-1	PT-1	EXISTING	
125	EX. KITCHEN	RES-1	B-1	PT-1	PT-1	PT-1	PT-1	CLG-3	TEMPORARILY REMOVE APPLIANCES AS NEEDED TO INSTALL FLOOR. PROVIDE NEW TOE KICK AT KITCHEN BASE CABINETS AFTER RESINOUS FLOOR HAS BEEN INSTALLED
126	EX CORRIDOR	RES-1	B-1	PT-1	PT-1	PT-1	PT-1	CLG-3	
127	EX. EMS OFFICE	RES-1	B-1	PT-1	PT-1	PT-1	PT-1	EXISTING	
128	EX. JAN	RES-1	B-1	PT-1	PT-1	PT-1	PT-1	EXISTING	

NOTE: CONTRACTOR TO PROVIDE ADEQUATE FLOOR COVERINGS TO PROTECT EXISTING FLOOR FINISHES IN ROOMS WHERE EXISTING FLOOR FINISHES ARE TO REMAIN.

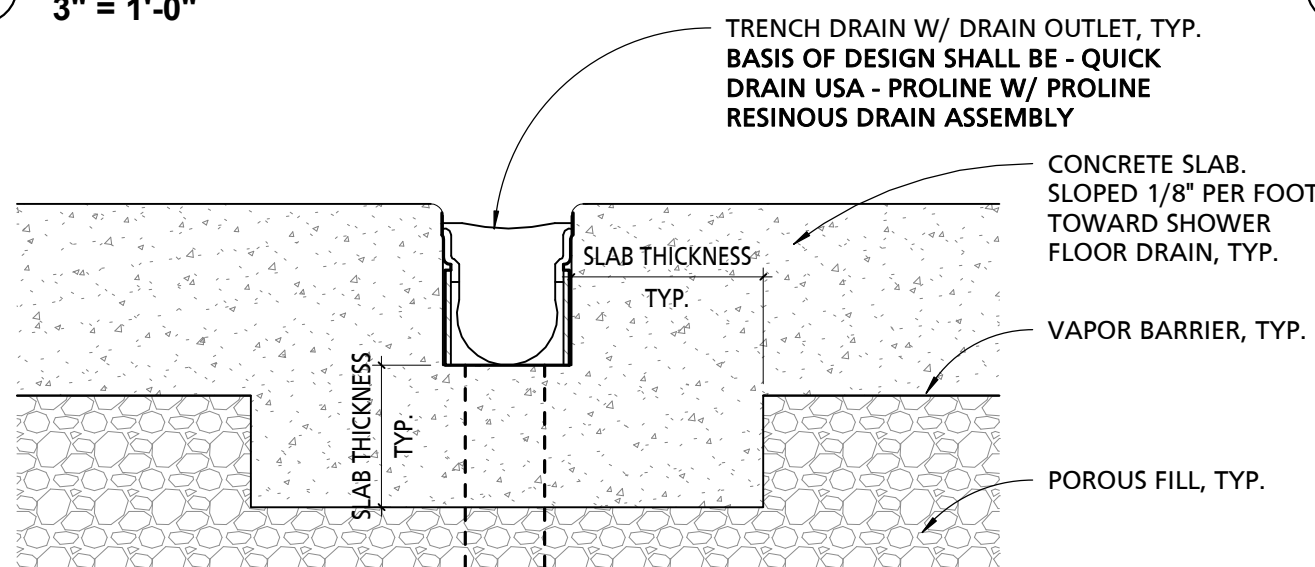
SCHEDULE - MATERIAL FINISH KEY				
FINISH MARK	DESCRIPTION	BOD MANUFACTURER	BOD PRODUCT LINE/COLOR	COMMENTS
		KEY RESIN CO.		
B-1	4" RESINOUS COVE BASE		KEY MMA CHIP 900	
FRP	FIBERGLASS REINFORCED PLASTIC WALL PANELING	CRANE COMPOSITES		
PT-1		SHERWIN WILLIAMS		
PT-2	WALL PAINT	SHERWIN WILLIAMS	#6224 SEMI-GLOSS	
RES-1	RESINOUS COVERING	KEY RESIN CO.	KEY MMA CHIP 900	
SS-1	SOLID SURFACE COUNTERTOP	FORMICA	EVERFORM SOLID SURFACE: COLOR TBD	
SSWP	36X62X84 SOLID SURFACE WALL KIT	SWANSTONE	WALL KIT: MODERN SUBWAY TILE, COLOR TBD	BOTTOM OF KIT @ 4" A.F.F., PROVIDE WITH SOAP SHELVES

SCHEDULE - CEILING TYPES				
MARK	DESCRIPTION	BOD MANUFACTURER	BOD MODEL	COMMENTS
CLG 1	5/8" GWB ON 1 1/2" DRYWALL GRID	ARMSTRONG	DRYWALL GRID SYSTEM	
CLG 2	2x2 WASHABLE CEILING TILE	ARMSTRONG	ULTIMA HEALTH ZONE	
CLG 3	2x4 ACOUSTICAL CEILING TILE	ARMSTRONG	FISSURED 895	

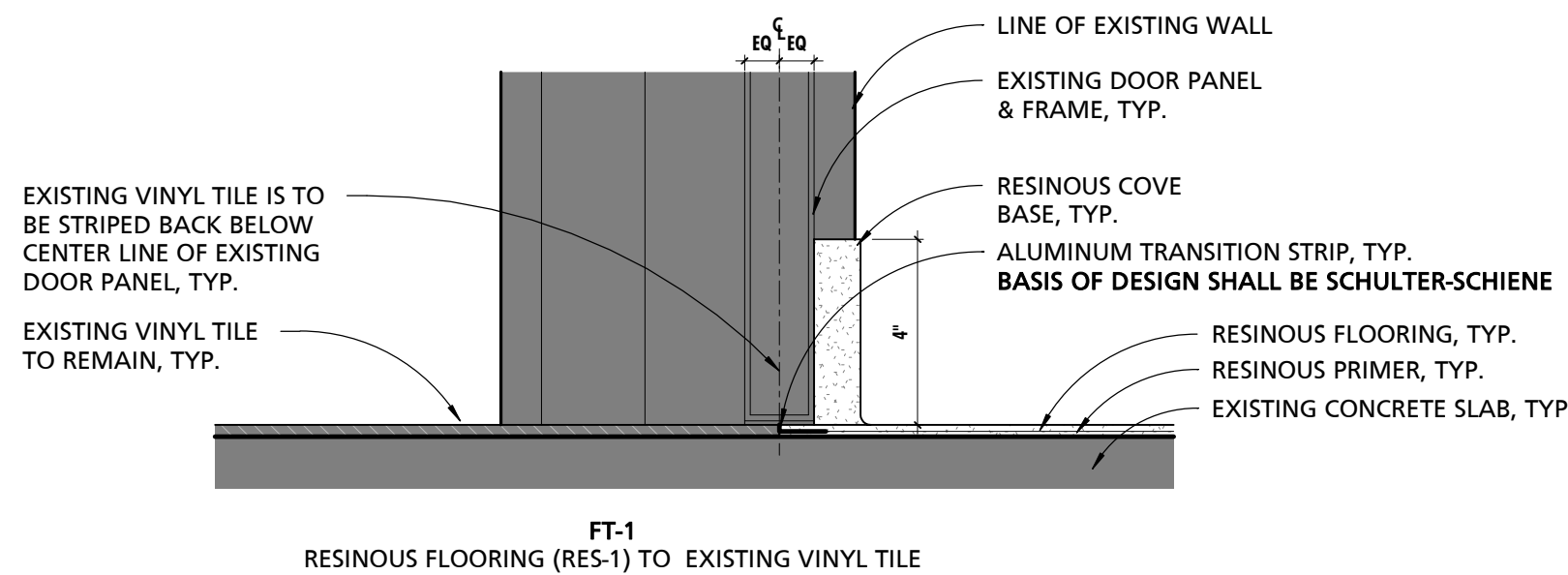
1 FIRST FLOOR FINISH PLAN
1/8" = 1'-0"



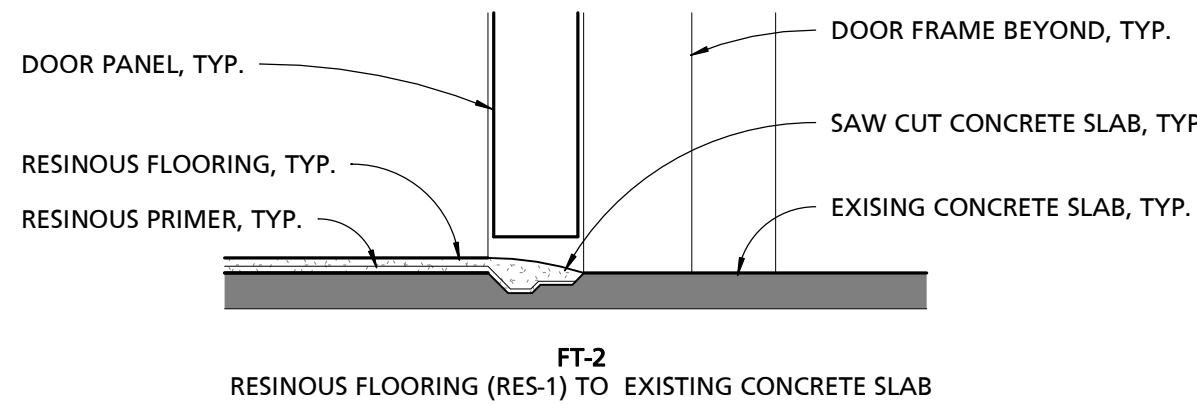
2 TYPICAL WALL PANEL EDGE DETAILS
3" = 1'-0"



3 RESINOUS COVE BASE @ MASONRY
3" = 1'-0"



4 EPOXY COVE BASE @ SHOWER
3" = 1'-0"



5 FLOOR DRAIN
3" = 1'-0"

6 TYPICAL SHOWER TRENCH DRAIN DETAIL
3" = 1'-0"

7 TRANSITION DETAIL
3" = 1'-0"

SEAL.	PROFESSIONAL CERTIFICATION	AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHT	DRAWING SCALE	APPROVED BY:
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 15505 EXPIRATION DATE: 08-18-2026	ADDENDUM 3		12/19/24	-	MSW	-	PLAN SCALE: As indicated	DIRECTOR
					R.O.W NO.	-	-	PROFILE SCALE: -	DATE: -
	ARCHITECT: DAVID WOODWARD, AIA PRINCIPAL ARCHITECT MANSN WOODWARD STUDIOS 1000-33 PHILLIPS RD, WHITE MARSH, MARYLAND 21102 (P) 301-586-1300	BUREAU OF ENGINEERING AND CONSTRUCTION			HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	PROPERTY MANAGEMENT
	DGN BY: - DWN BY: - CHKD BY: -	REVIEWED BY: - DATE REVIEWED: -							CHIEF

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT

FULLERTON FIRE STATION #8 - RENOVATION & ADDITION

FINISH PLAN, SCHEDULE & DETAILS

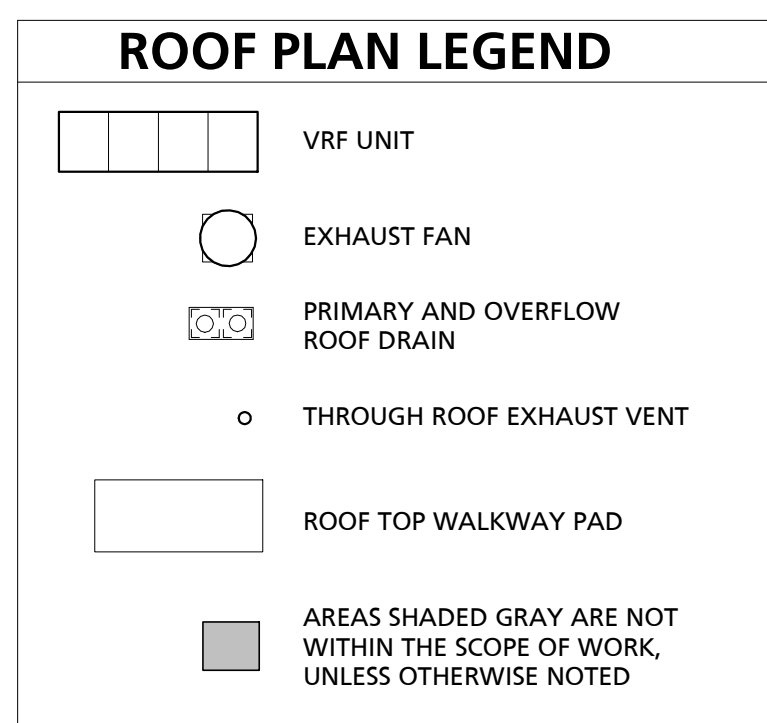
4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236

SUBDIVISION: FULLERTON

Contract No. 22221 PFO
Addendum No. 3
Revised, December 20, 2024

SHEET DESIGNATION	CONTRACT NUMBER
A103	22221 PFO
	JOB ORDER NUMBER
	241-220-0054-0012
	SHEET 18 of 58
	DRAWING NUMBER
	2022-2337
	FILE NO.: 8






GENERAL ROOFING NOTES		
NOTE #	NOTE	
1	BLOCKING/MISCELLANEOUS FRAMING INDICATED WITHIN THE DOCUMENTS IS SHOWN FOR THE PURPOSES OF DESIGN INTENT. IT SHALL BE THE CONTRACTORS RESPONSIBILITY, WHETHER SHOWN OR NOT SHOWN, TO PROVIDE BLOCKING/MISCELLANEOUS FRAMING AS REQUIRED TO PROPERLY SUPPORT ALL SUBSTRATES, FLASHINGS, COPINGS, BRAKE METAL, SOFFITS, INSULATIONS, CLIPS, STOPS, MISCELLANEOUS ITEMS, ROOFING MEMBRANES OR SYSTEMS AND SIMILAR ITEMS REQUIRED TO COMPLETE THE WORK. WHERE ADDITIONAL BLOCKING/MISCELLANEOUS FRAMING, INCLUDING BUT NOT LIMITED TO THE REPLACEMENT OF INDICATED SHEATHING/DECKING, IS RECOMMENDED BY ONE OF THE ASSEMBLY COMPONENTS MANUFACTURER, THE CONTRACTOR SHALL PROVIDE AND INSTALL SUCH BLOCKING/MISCELLANEOUS FRAMING TO COMPLY WITH THE MANUFACTURER'S RECOMMENDATIONS.	
2	CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING FINAL ROOFING SUBSTRATE REQUIREMENTS TO ENSURE SUCCESSFUL INSTALLATION OF ROOFING MATERIALS IN A MANNER THAT MAINTAINS THE FULL PRODUCT WARRANTY AND COMPLIES WITH ALL APPLICABLE BUILDING CODES OF THE AHJ.	
3	PENETRATION DETAILS ARE FOR REFERENCE ONLY. CONTRACTOR TO REVIEW FULL EXTENT OF PENETRATIONS AND ASSOCIATED LOCATIONS WITH ALL OTHER DRAWINGS WITHIN THE DOCUMENT SET.	
4	AT ALL AREAS TO RECEIVE ROOF PATCHING, INFILLING AND NEW EQUIPMENT CURB WORK, CONTRACTOR TO ENSURE ADEQUATE SLOPE TO EXISTING ROOF DRAINAGE IS MAINTAINED.	

<div style="display: flex; align-items: center;"> <div style="border: 1px solid black; border-radius: 50%; width: 30px; height: 30px; display: flex; align-items: center; justify-content: center; margin-right: 10px;"> Q </div> <div> <h2 style="margin: 0;">REFERENCED NOTES - ROOF PLANS</h2> </div> </div>	
NO.	NOTE
1	CURB MOUNTED VRF UNIT.
2	CURB MOUNTED EXHAUST FAN.
3	PRIMARY & OVERFLOW ROOF DRAIN W/ CAST IRON BODY & POLYETHYLENE STRAINER.
4	THRU ROOF EXHAUST VENT.
5	EXISTING SPLIT SYSTEM UNIT TO REMAIN.
6	CONTRACTOR TO DISCONNECT AND REMOVE ROOF TOP UNIT AND ALL ASSOCIATED APPEARANCES IN THEIR ENTIRETY. PREPARE OPENING TO RECEIVE NEW DECKING, RIGID INSULATION, AND ROOF MEMBRANE TO MATCH EXISTING ROOF ASSEMBLY.
7	CURB MOUNTED INTAKE LOUVER.
8	PREFINISHED ALUMINUM FASCIA COPING TO MATCH EXISTING COPING IN PROFILE, THICKNESS, AND COLOR.
9	ROOF ASSEMBLY (RA2) TO MATCH EXISTING SLOPE AND THICKNESS.
10	DASHED LINE INDICATES EXTERIOR FACE OF LOWER STUCCO FASCIA.
11	EXTERIOR FACE OF LOWER STUCCO FASCIA TO ALIGN WITH EXTERIOR FACE OF EXISTING LOWER STUCCO FASCIA.
12	EXTERIOR FACE OF UPPER STUCCO FASCIA TO ALIGN WITH EXTERIOR FACE OF EXISTING UPPER STUCCO FASCIA.
13	ROOF TOP WALKWAY PAD.



SHEET DESIGNATION	CONTRACT NUMBER
A500	22221 PFO
	JOB ORDER NUMBER
	241-220-0054-0012
	SHEET 23 of 58
	DRAWING NUMBER
	2022-2341
FILE NO.: s	REV



SD72 Series

8" Preassembled Speaker Package



SD72

Features

- 10 oz Dual Cone Speaker Provides Familiar Response & Performance
- Quality 5 Watt Dual Voltage Transformer
- Individually Packaged for Stocking & Ordering Convenience
- Safety Listed to UL1480 and UL2043

Applications

The SD72 is an aggressively priced, high quality speaker/transformer package suitable for almost any paging or background application including retail stores, restaurants, schools, and other institutional facilities.

General Description

The speaker used in the SD72 is the next generation of high performance cone loudspeakers, very similar to the preceding C-Series speakers. The similarity in the sonic qualities ensures that contractors and designers who have worked with the Atlas Sound C-Series in the past will know exactly what to expect when they use the SD72. Model SD72 is a dual cone, 25 Watts 8" (205mm) loudspeaker with a 10 oz. (260g) ceramic magnet. It includes a curvilinear, treated paper cone for lower harmonic distortion. The loudspeaker is also equipped with a full 1" diameter copper voice coil with a black anodized aluminum former for better power dissipation. Model SD72 operates within a frequency response range of 55Hz – 8kHz (± 5 dB) with a sensitivity of 97dB and a dispersion angle of 105°. Package includes factory installed 25V/70.7V line matching transformer with tap selections ranging from .25 to 5 Watts. It mounts a wide variety of Atlas Sound round and square baffles and enclosures to meet functional and aesthetic application requirements.

Specifications

Model	SD72	SD72W	SD72WV
Size	8" (205mm)	8" (205mm)	8" (205mm)
Power Taps	.25, .5, 1, 2, & 5 Watts		
Sensitivity	97dB Average		
Frequency Response	55Hz-19kHz (± 5 dB)		
Dispersion	105° (2kHz Octave Band, -6dB Points)		
Diameter	8 ¹ / ₈ " (205mm)	12 ³ / ₄ " (206mm)	12 ³ / ₄ " (206mm)
Depth	2 ⁷ / ₈ " (73mm)		

Architect and Engineer Specifications

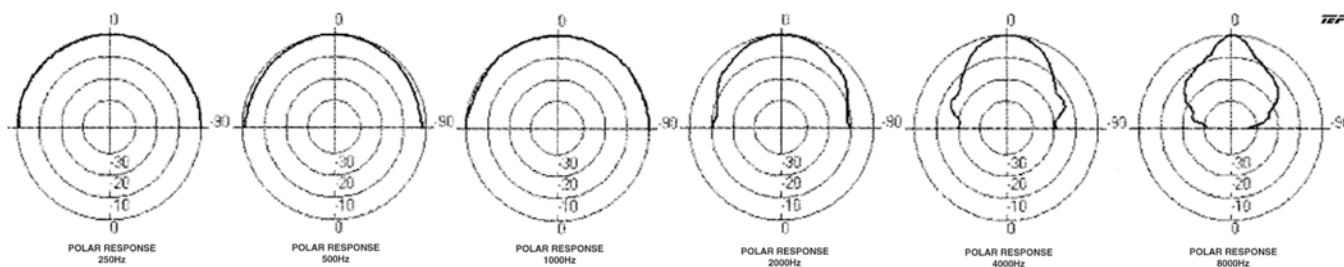
Unit shall be Atlas Sound 8" loudspeaker Model SD72 utilizing line matching transformer. It shall have a (10oz.) ceramic magnet and a seamless cone. Frequency response range shall be 55Hz–8kHz (± 5 dB). Sensitivity shall be 97dB 1W/1M. Voice coil shall be black anodized aluminum to help dissipate heat, have an impedance of 8 Ω and a diameter of 1" (25mm). Transformer primary voltage shall be 25V/70.7V with a frequency response range of 100Hz–10kHz (± 1.5 dB). Insertion loss shall not exceed 1.5dB.

All models feature standard mounting holes to accommodate the majority of Atlas Sound 8" baffles. All mounting screws are included in the package.

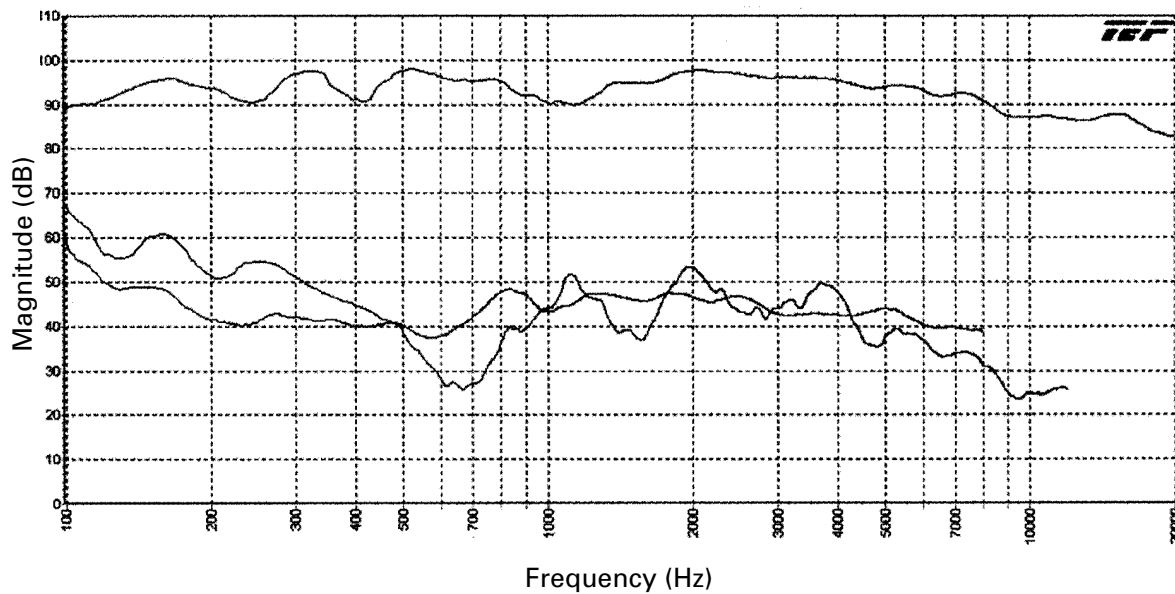
Loudspeaker shall be safety listed to both UL1480 and UL2043 standards.

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SD72 Polars (Normalized to Zero on Axis) (-6dB)



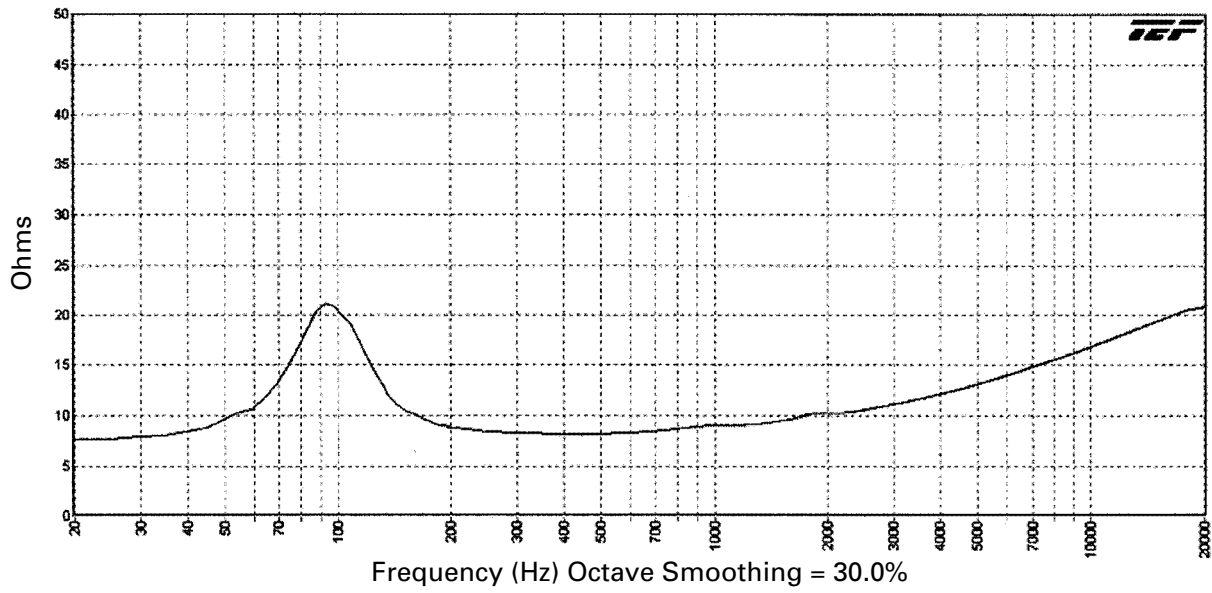
SD72 Harmonic Distortion



Contract No. 22221 PF0
Addendum No. 3
December 20, 2024

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SD72 Impedance



Contract No. 22221 PF0
Addendum No. 3
December 20, 2024

PART 2 - PRODUCTS

2.1 PERFORMANCE REQUIREMENTS

- A. Regulatory Requirements: Comply with governing EPA notification regulations before beginning selective demolition. Comply with hauling and disposal regulations of authorities having jurisdiction.
- B. Standards: Comply with ANSI/ASSP A10.6 and NFPA 241.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Verify that utilities have been disconnected and capped before starting selective demolition operations.
- B. Review Project Record Documents of existing construction or other existing condition and hazardous material information provided by Owner. Owner does not guarantee that existing conditions are same as those indicated in Project Record Documents.
- C. Perform an engineering survey of condition of building to determine whether removing any element might result in structural deficiency or unplanned collapse of any portion of structure or adjacent structures during selective building demolition operations.
 - 1. Perform surveys as the Work progresses to detect hazards resulting from selective demolition activities.
- D. Verify that hazardous materials have been remediated before proceeding with building demolition operations.
- E. Survey of Existing Conditions: Record existing conditions by use of preconstruction photographs or video.
 - 1. Inventory and record the condition of items to be removed and salvaged.
 - 2. Before selective demolition or removal of existing building elements that will be reproduced or duplicated in final Work, make permanent record of measurements, materials, and construction details required to make exact reproduction.
- F. Prior to any saw cutting or coring of the existing concrete slabs, the Contractor shall be responsible for scanning the proposed area of cutting and or coring plus two feet in either direction of said penetration(s) with ground penetrating radar scanning. In the event a conflict becomes apparent from the scan, the Contractor shall contact the Owner and or Architect of Record for further direction prior to any cutting or coring.

Contract No. 22221 PFO
Addendum No. 3
Revised, December 20, 2024