

DWG. FILENAME: © SITE. RESOURCES, INC. Z:\21\21039-baco parkville sr ctr\p\04-DWG\0001 - General Notes.dwg-C001 Oct 17, 2024 03:44pm amk

GENERAL NOTES (THESE NOTES PERTAIN TO ALL CIVIL DRAWINGS)

1. EXISTING INFORMATION AND CONDITIONS NOT GUARANTEED; VERIFY AND TEST PIT EXISTING UTILITIES; THE CORRECTNESS AND COMPLETENESS OF THE INFORMATION SHOWING EXISTING CONDITIONS IS NOT GUARANTEED. BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL PERFORM THE FOLLOWING TASKS:
- (a) NOTIFY MISS UTILITY AT 1-800-257-7777, AND MAKE SURE THEY COMPLETE THE MARKING OF UTILITIES WITHIN THE LIMITS OF CONSTRUCTION AT LEAST 48 HOURS PRIOR TO INSTALLING SEDIMENT CONTROL MEASURES. MAINTAIN ALL MARKINGS THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL ALSO INCLUDE IN HIS BID PRICE MARKING OF ON-SITE UTILITIES THAT MIGHT NOT BE MARKED BY MISS UTILITY; THE CONTRACTOR SHALL EITHER MARK THESE ON-SITE UTILITIES HIMSELF OR BY SUBCONTRACTING WITH A PRIVATE ON-SITE UTILITY LOCATION COMPANY.
- (b) VERIFY THE GENERAL ACCURACY OF THE EXISTING CONDITIONS SHOWN ON THE SITE DRAWINGS BY VISUAL INSPECTION OF THE SURFACE OF THE SITE AND ALL EXISTING STRUCTURES, PAVING AND UTILITY APPURTENANCES VISIBLE THEREON;
- (c) WITH REGARD TO THE STRUCTURES & APPURTENANCES OBSERVED AS REQUIRED PER ITEM (B) ABOVE, DETERMINE THE TYPE, SIZE, LOCATION AND ELEVATION OF ALL THOSE EXISTING UTILITIES (INCLUDING BUT NOT LIMITED TO ALL STORM DRAINS, SANITARY LINES, WATER LINES, GAS LINES, STEAM LINES, ELECTRIC LINES, TELEPHONE LINES, AND COMMUNICATION DUCTS, AND ALL MANHOLES, INLETS, CLEAN-OUTS, VALVES, HOLES, ETC.) RELATED THERETO) WITHIN THE LIMITS OF CONSTRUCTION IN ORDER TO: (i) AVOID DAMAGING OR DISRUPTING SERVICE; AND (ii) TO COORDINATE AND FACILITATE CONSTRUCTION OF PROPOSED UTILITIES AND OTHER IMPROVEMENTS. IN ADDITION TO THE CONTRACTOR'S VISUAL OBSERVATION AND THE UTILITY MARKING (AS REQUIRED ABOVE), THE CONTRACTOR SHALL SCHEDULE AND COMPLETE TEST PITTING OF ALL EXISTING UTILITIES (FOR THE PURPOSES SET FORTH ABOVE) AND SHALL DO SO IN A TIMELY MANNER IN ORDER TO ALLOW TIME FOR ANALYSIS AND REDESIGN BY SITE RESOURCES AND/OR OTHER CONSULTANTS, WITHOUT DELAYING THE PROJECT SCHEDULE.
- (d) IMMEDIATELY REPORT TO SITE RESOURCES, INC. THE RESULTS OF STEPS (A), (B) AND (C) WHICH MIGHT INDICATE ANY DISCREPANCY BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN ON THE PLAN, AND ANY POTENTIAL CONFLICTS BETWEEN PROPOSED IMPROVEMENTS AND EXISTING CONDITION.

TEST PITTING DEFINED: FOR THE PURPOSES OF THIS CONTRACT, EXCAVATION OF UTILITY TRENCHES DOES NOT CONSTITUTE TEST PITTING. TEST PITTING IS A SEPARATE OPERATION COMPLETED AT LEAST SEVEN DAYS BEFORE UTILITY INSTALLATION IS SCHEDULED TO BEGIN. TEST PITTING MEANS EXCAVATION TO EXPOSE EXISTING UTILITIES IN TWO SITUATIONS: (i) WHERE PROPOSED IMPROVEMENTS CROSS EXISTING UTILITIES (PIPES, LINES, STRUCTURES, APPURTENANCES); AND, (ii) WHERE PROPOSED UTILITIES ARE DESIGNED TO CONNECT TO EXISTING UTILITIES. TEST PITTING INCLUDES RECORDING THE TYPE, SIZE, LOCATION AND ELEVATION OF THE EXPOSED UTILITIES, AND FAXING AND MAILING THE RECORD TO SITE RESOURCES, INC. AND THE OWNER. THE RECORD MAY BE A LEGIBLE HAND-WRITTEN FIELD SKETCH.

2. EXISTING AND PROPOSED GAS LINES, ELECTRIC LINES, TELEPHONE LINES, COMMUNICATION LINES AND OTHER UTILITIES: THESE DRAWINGS INCLUDE INFORMATION AND DEPICTIONS OF BALTIMORE GAS & ELECTRIC COMPANY'S (BGE) ELECTRIC AND/OR GAS UTILITIES LOCATED WITHIN THE GENERAL PROJECT AREA. LOCATIONS, DIMENSIONS, DEPTHS, AND OTHER DETAILS OF ANY SUCH UTILITIES MAY NOT BE AS ACTUALLY CONSTRUCTED, AND THE INFORMATION SHALL NOT BE RELIED UPON WITHOUT FIELD VERIFICATION BY TEST PITTING AS DEFINED ABOVE. EXCAVATORS MUST EMPLOY SAFE DIGGING PRACTICES WHEN APPROACHING BGE ELECTRIC AND/OR GAS UTILITIES AND COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS INCLUDING, BUT NOT LIMITED TO, THE LAW GOVERNING NOTIFICATION OF MISS UTILITY. NO REPRESENTATION, GUARANTEES, OR WARRANTIES EXPRESSED OR IMPLIED ARE MADE BY BGE OR SITE RESOURCES, INC. AS TO THE QUALITY, COMPLETENESS, OR ACCURACY OF THE BGE UTILITY INFORMATION, AND IN ACCEPTING THESE DRAWINGS, THE RECIPIENT EXPRESSLY AGREES THAT IT IS NOT RELYING ON THE ACCURACY OF THE SAME.
3. COORDINATION BETWEEN PROPOSED UTILITIES: THE CONTRACTOR SHALL ADJUST THE LOCATION AND ELEVATION OF PROPOSED GAS LINES, ELECTRIC LINES, TELEPHONE LINES, COMMUNICATION LINES, AND WATER LINES AS NEEDED TO CONSTRUCT THE PROPOSED STORM DRAINS AND SANITARY SEWER WITH MINIMUM CLEARANCES. COORDINATE WITH THE MECHANICAL/ELECTRICAL DRAWINGS AND SPECIFICATIONS AND APPROPRIATE UTILITY COMPANY.
4. RELOCATION OF EXISTING UTILITIES: IN THE EVENT THAT THE LOCATION OR ELEVATION OF EXISTING MINOR UNDERGROUND ELECTRIC LINES AND PHONE LINES CONFLICT WITH PROPOSED STORM DRAINS, SANITARY SEWER LINES OR WATER LINES, THE CONTRACTOR SHALL, WITH THE PERMISSION OF THE OWNER AND WITHOUT AN EXTRA COST TO THE PROJECT, ADJUST THESE LINES TO PERMIT INSTALLATION OF THE NEW UTILITIES. IN THE EVENT THAT ANY OTHER UTILITY IS RELOCATED TO ACCOMMODATE A NEW UTILITY, SAID RELOCATION SHALL BE AN EXTRA COST TO THE PROJECT, SUBJECT TO THE TERMS AND CONDITIONS OF THE CONSTRUCTION CONTRACT.
5. UTILITIES TO REMAIN OPERATIONAL: ADJUSTMENT FOR FINAL GRADE: ALL EXISTING UTILITIES SHALL BE RETAINED UNLESS MARKED OTHERWISE. EXISTING UTILITIES THAT TO BE REMOVED ARE TO REMAIN OPERATIONAL AT ALL TIMES. EXISTING UTILITIES TO BE REPLACED OR RELOCATED SHALL REMAIN IN SERVICE UNTIL REPLACED OR RELOCATED UTILITIES ARE OPERATIONAL. ALL EXISTING UTILITY APPURTENANCES SHALL BE ADJUSTED FOR FINAL GRADE.
6. UTILITY TRENCHING, BACKFILL AND COMPACTION: ALL TRENCHING FOR SANITARY SEWER, STORM DRAINS AND WATER MAINS SHALL BE DONE IN ACCORDANCE WITH THE LATEST BALTIMORE COUNTY STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION AS AMENDED TO DATE.
7. UTILITY CERTIFICATION: THE CONTRACTOR SHALL HAVE A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MARYLAND CERTIFY, ON A FORM PROVIDED BY THE OWNER, THAT ALL PROPOSED STORM DRAINS, SANITARY SEWERS AND WATER LINES SHOWN HEREON WERE INSTALLED IN ACCORDANCE WITH THESE PLANS AND BALTIMORE COUNTY SPECIFICATIONS. IF SAID CERTIFICATION IS NOT POSSIBLE BECAUSE THE UTILITIES WERE NOT INSTALLED IN ACCORDANCE WITH THESE PLANS AND BALTIMORE COUNTY SPECIFICATIONS, THEN THE OWNER HAS THE OPTION OF WAIVING, IN WRITING, THIS CERTIFICATION, IN WHOLE OR PART. IF THE OWNER DOES NOT ELECT TO WAIVE THE CERTIFICATION, THE CONTRACTOR SHALL ADJUST AND, IF NECESSARY, RECONSTRUCT THE UTILITIES TO BRING THEM IN CONFORMANCE WITH THESE PLANS AND BALTIMORE COUNTY SPECIFICATIONS.

8. UTILITY CAPPING AND PROTECTION: ALL BUILDING CONNECTIONS SHALL BE CAPPED AT UPSTREAM END, 5 FEET FROM PROPOSED BUILDINGS, CAISSONS OR COLUMN FOOTINGS OR AS NOTED, AND SHALL BE PROTECTED BY PROVIDING THREE STAKES (THE HEIGHT BEING A MINIMUM OF 18 INCHES ABOVE PROPOSED GRADE) WITH HIGH VISIBILITY FLAGGING AROUND THE CAPPED END OF THE UTILITY.
9. PROPOSED WATER LINES: PROPOSED WATER LINES SHALL HAVE A MINIMUM OF 4'-0" COVER FROM FINISHED GRADE, 1'-0" CLEARANCE FROM STORM DRAINS AND 1'-0" CLEARANCE FROM SANITARY SEWERS, UNLESS INDICATED OTHERWISE ON THESE CONSTRUCTION DRAWINGS. ALL WATER MAINS 3" OR LARGER SHALL BE CLASS 54 DIP MEETING AWWA C110/C153. ALL WATER LINES 2" AND SMALLER SHALL BE TYPE K COPPER TUBING MEETING THE MATERIAL, CHEMICAL, AND MECHANICAL REQUIREMENTS OF ASTM B-88.
10. PROPOSED STORM DRAINS: ALL STORM DRAINS 12 INCHES AND LARGER SHALL BE CLASS IV REINFORCED CONCRETE CULVERT PIPE (RCCP) UNLESS INDICATED OTHERWISE ON THESE CONSTRUCTION DRAWINGS.
11. PROPOSED SANITARY SEWERS: ALL PIPE AND FITTINGS FOR SANITARY HOUSE CONNECTION SHALL BE POLYVINYL CHLORIDE (PVC) MEETING MATERIAL REQUIREMENTS OF ASTM D3034, (SDR-35 OR SDR-26 AS APPROPRIATE FOR DEPTH OF BURY) UNLESS INDICATED OTHERWISE ON THESE CONSTRUCTION DRAWINGS. JOINTS SHALL BE ELASTOMERIC GASKETED.
12. STANDARD CONSTRUCTION SPECIFICATIONS AND DETAILS: UNLESS OTHERWISE NOTED OR DETAILED ON THE DRAWINGS, ALL CONSTRUCTION SHALL FOLLOW THE LATEST BALTIMORE COUNTY STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION AS AMENDED TO DATE.
13. SEDIMENT CONTROL: THE CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL UTILITIES TO AVOID CONSTRUCTION PROBLEMS/CONFLICTS WITH SEDIMENT AND EROSION CONTROL MEASURES. ANY DISTURBANCE TO SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REPAIRED AT THE END OF EACH WORKING DAY. CONTRACTOR SHALL, WITHOUT EXTRA COST TO THE PROJECT, REPAIR AND MAINTAIN EXISTING SEDIMENT CONTROL DEVICES UNTIL ALL AREAS WITHIN LIMITS OF CONSTRUCTION ARE STABILIZED. WITH THE APPROVAL OF SEDIMENT CONTROL INSPECTOR, ALL SEDIMENT CONTROL DEVICES SHALL BE REMOVED AND AREAS RESTORED AND STABILIZED. ALL SEDIMENT CONTROL MEASURES REFERRED TO ON THESE PLANS SHALL BE IN ACCORDANCE WITH THE PUBLICATION ENTITLED 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
14. DISTURBED AREAS: ALL AREAS DISTURBED BY THE CONTRACTOR DURING OR PRIOR TO CONSTRUCTION, NOT DESIGNATED TO RECEIVE PAVING, MULCH OR SOLID SOD SHALL BE FINE GRADED, SEEDED AND MULCHED IN ACCORDANCE WITH THE PERMANENT SEEDING NOTES AND SPECIFICATIONS SHOWN ON THE SEDIMENT CONTROL DRAWINGS.
15. REPAIR AND REPLACEMENT OF DAMAGE CAUSED BY CONTRACTOR AND SUBCONTRACTORS: IN THE EVENT THAT THE CONTRACTOR OR ANY OF HIS SUBCONTRACTORS DAMAGE ANY EXISTING CURB, GUTTER, PAVING, UTILITIES, SIDEWALKS, TREES, SHRUBS, LAWNS, OR ANY OTHER EXISTING CONDITIONS (NOT INDICATED TO BE DEMOLISHED), OR ANY NEWLY INSTALLED PROPOSED IMPROVEMENT, THE GENERAL CONTRACTOR SHALL REPAIR AND REPLACE SAID DAMAGE TO OWNER'S SATISFACTION, AT GENERAL CONTRACTOR'S SOLE COST AND EXPENSE.
16. BENCHMARKS: SEE GRADING AND SEDIMENT CONTROL PLAN.
17. ELEVATION AND LABELING: ALL SPOT GRADE ELEVATIONS IN ROADWAYS AND PARKING LOTS ARE FOR BOTTOM OF CURB UNLESS OTHERWISE NOTED. ELEVATIONS ON HARD SURFACES (ROADS, WALKS, WALLS, STEPS, MANHOLES, INLETS, ETC.) ARE LABELED TO THE HUNDRETH OF A FOOT (E.G. 245.45). ELEVATIONS ON PROPOSED LAWN AND PLANTING AREAS ARE LABELED TO THE TENTH OF A FOOT (E.G. 245.5).
18. DIMENSIONS: UNLESS OTHERWISE NOTED ON THE DRAWING, ALL DIMENSIONS SHOWN ON THE SITE DRAWINGS FOLLOW THESE CONVENTIONS:

- (a) DIMENSIONS TO A BUILDING OR RETAINING WALL ARE TO THE FACE OF THE WALL;
- (b) DIMENSIONS TO A CURB ARE TO THE FACE (NOT THE BACK) OF THE CURB;
- (c) DIMENSIONS TO A FENCE ARE TO THE CENTERLINE OF THE FENCE;
- (d) DIMENSIONS FOR SIDEWALKS ABUTTING A CURB ARE FROM THE FACE OF CURB TO THE BACK EDGE OF THE WALK;
- (e) DIMENSIONS FOR OTHER SIDEWALKS OR OPEN PAVING SECTIONS ARE MEASURED TO THE EDGE OF PAVING;
- (f) DIMENSIONS TO A MANHOLE, INLET, CLEANOUT, PIPE BEND, VALVE, FIRE HYDRANT OR OTHER UTILITY APPURTENANCE ARE TO THE CENTER OF THE STRUCTURE;
- (g) DIMENSIONS FOR STEPS ARE TO THE OUTER EDGE OF THE STAIRCASE AND THE NOSE OF THE TOP OR BOTTOM STEP;
- (h) LAYOUT OF SEDIMENT CONTROL MEASURES AND PLANT MATERIAL SHALL BE SCALED.

19. GRADING: IT IS THE INTENT OF THE GRADING DESIGN TO ACHIEVE POSITIVE DRAINAGE AND AESTHETICALLY PLEASING VERTICAL CURVES AND LINES. TRANSITIONS BETWEEN EXISTING AND PROPOSED PAVEMENT SHALL BE SMOOTH AND JOINTS FLUSH. UNLESS OTHERWISE EXPRESSLY NOTED ON THE PLAN (BY ARROW WITH THE PERCENT SLOPE LABELED), ALL PROPOSED BITUMINOUS PAVING SHALL HAVE A SLOPE OF AT LEAST 2 PERCENT AND ALL CONCRETE SHALL HAVE A MINIMUM SLOPE OF 1.5 PERCENT IN THE DIRECTION INDICATED BY PROPOSED CONTOURS. UNPAVED AREAS SHALL HAVE A MINIMUM SLOPE OF 2 PERCENT AND A MAXIMUM SLOPE OF 2:1. FINAL GRADING SHALL ACHIEVE POSITIVE SURFACE DRAINAGE AWAY FROM BUILDINGS AND TOWARD DRAINAGE FACILITIES (SWALES, GUTTERS, INLETS, ETC.).

ROUND TOP AND BOTTOM OF SLOPES.

CORRECT METHOD INCORRECT METHOD

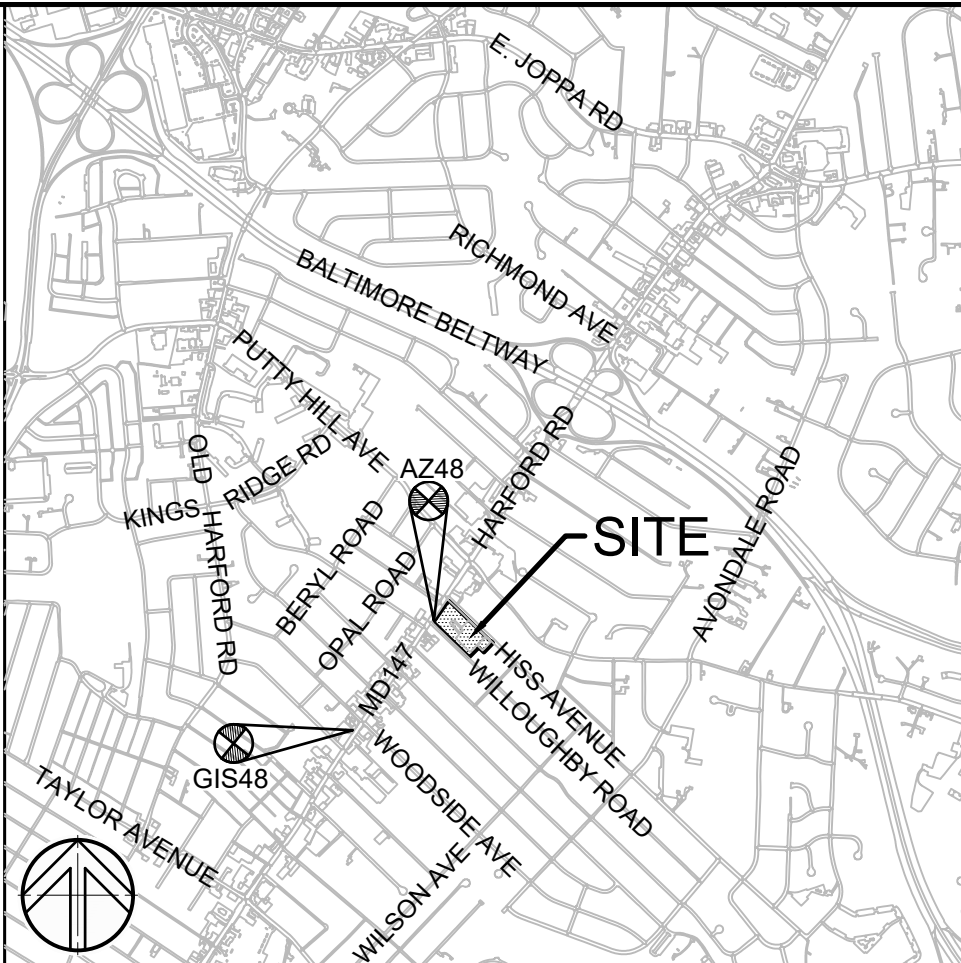
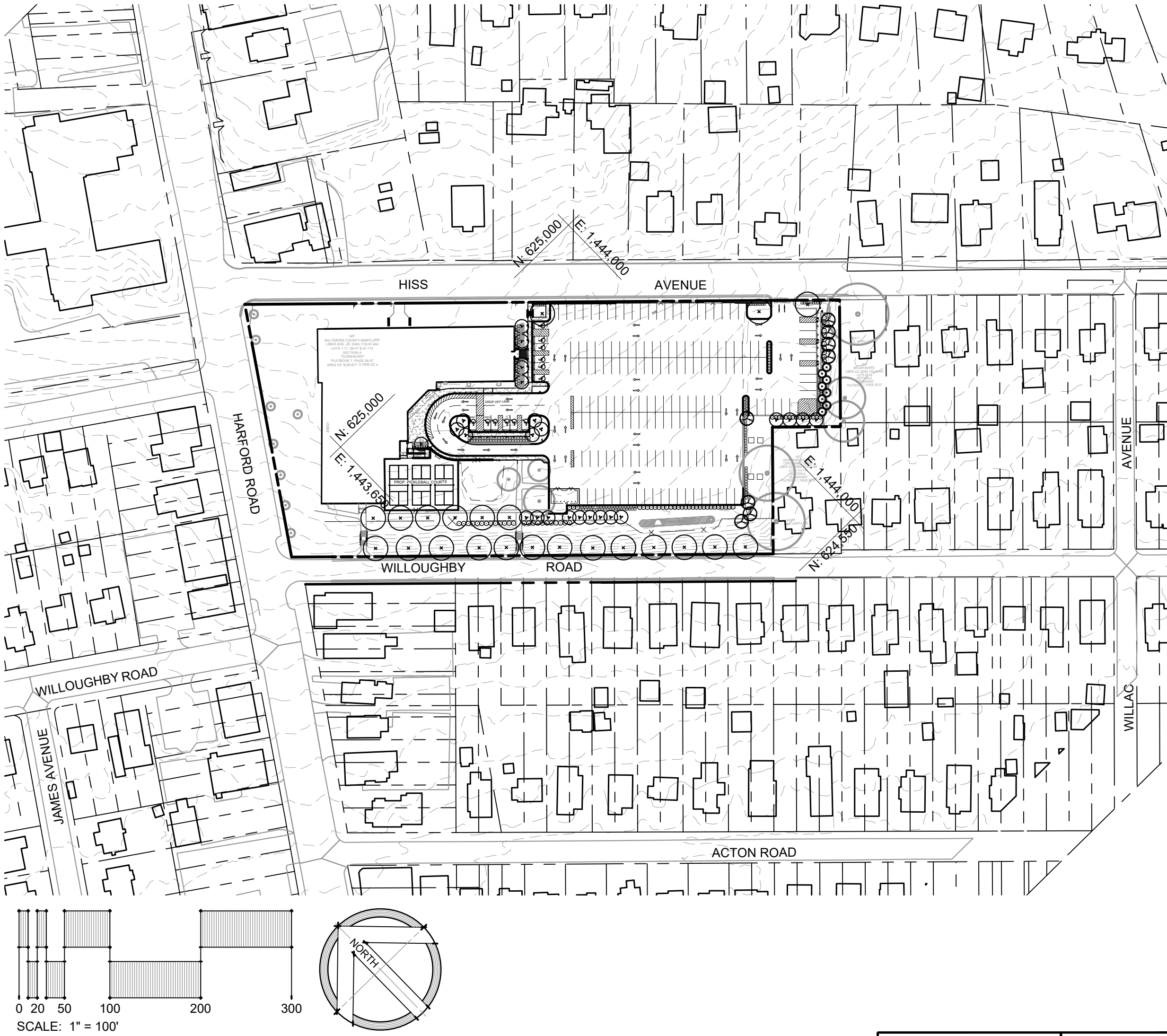
20. COMPACTION: ALL EARTH FILL MATERIAL UNDER SLABS, FOOTINGS AND PAVED AREAS SHALL BE PLACED IN 8" LOOSE LAYERS AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D 698. ALL OTHER FILL SHALL BE COMPACTED TO 90%.
21. HEADINGS: THE HEADINGS CONTAINED IN THESE GENERAL NOTES ARE FOR THE CONVENIENCE OF THE READER ONLY AND SHALL NOT LIMIT THE RESPONSIBILITY OF THE CONTRACTOR. IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR FROM COMPLETING SUCH WORK.

22. ABBREVIATIONS:			
PROP	PROPOSED*	DIP	DUCTILE IRON PIPE
EX	EXISTING	PVC	POLYVINYL CHLORIDE PIPE
ASPH	ASPHALT	HDPE	HIGH DENSITY POLYETHYLENE PIPE
CONC	CONCRETE	CMP	CORRUGATED METAL PIPE
M OR MH	MANHOLE	RCCP	REINFORCED CONCRETE PIPE
SD	STORM DRAIN	C&G	CONCRETE CURB & GUTTER
	INLET	INV	INVERT ELEVATION
SAN	SANITARY SEWER	FDC	FIRE DEPARTMENT CONNECTION
FF	FINISHED FLOOR ELEVATION	FH	FIRE HYDRANT
BF	BASEMENT FLOOR ELEVATION		
TC	TOP OF CURB	BC	BOTTOM OF CURB
TS	TOP OF STEP	BS	BOTTOM OF STEP
TW	TOP OF WALL	BW	BOTTOM OF WALL
PC	POINT OF CURVATURE	PS	PARKING SPACE
PT	POINT OF TANGENCY	HC	HANDICAPPED PARKING SPACE
PI	POINT OF INTERSECTION	TYP	TYPICAL
AGIP	AT-GRADE INLET PROTECTION	CIP	CURB INLET PROTECTION
COIP	COMBINATION INLET PROTECTION	ED	EARTH DIKE
FB	FILTER BAG	IB	INLET BLOCKING
RPS	REMOVABLE PUMPING STATION	SCE	STABILIZED CONSTRUCTION ENTRANCE
SFD	SUPER FENCE DIVERSION	SIP	STANDARD INLET PROTECTION
SP	SUMP PIT	SSF	SUPER SILT FENCE
TS	TEMPORARY SWALE	TSOS	TEMPORARY STONE OUTLET STRUCTURE

*PROPOSED MEANS WORK INCLUDED IN THE BASE CONTRACT UNLESS ACCOMPANIED BY THE PHRASES "N.I.C." OR "BY OTHERS."

23. NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES): IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMPLEMENT ALL THE PROVISIONS AND REQUIREMENTS OF THE NPDES PERMIT. THE PERMIT HAS BEEN APPLIED FOR BY THE OWNER, BUT NO LAND DISTURBANCE IS PERMITTED UNTIL THE NPDES PERMIT HAS BEEN ISSUED.
24. ALL SIDEWALKS, PATHS AND OTHER PAVED AREAS SHALL BE FINISH GRADED WITH A MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20) AND A MAXIMUM CROSS SLOPE OF 2% (1:50) UNLESS OTHERWISE NOTED.
25. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL SITE ELEMENTS ARE CONSTRUCTED IN ACCORDANCE WITH THE ADA 2010 STANDARDS FOR ACCESSIBLE DESIGN OR MOST CURRENT.
26. TO THE EXTENT THAT QUANTITIES MAY BE LISTED ON THESE PLANS, THEY ARE FOR PERMITTING PURPOSES ONLY AND NOT FOR BIDDING PURPOSES. CONTRACTOR SHALL FORM HIS OWN CONCLUSIONS ABOUT THE QUANTITIES OF ALL MATERIALS AND OPERATIONS NECESSARY TO COMPLETE THE PROJECT.
27. SWM AS-BUILT NOTE: IT IS THE CONTRACTOR'S RESPONSIBILITY, ON BEHALF OF THE OWNER, TO ENGAGE A LICENSED PROFESSIONAL ENGINEER TO CERTIFY THE STORMWATER MANAGEMENT FACILITIES AND TO PREPARE, SUBMIT AND PROCESS AS-BUILT DRAWINGS WITH THE AUTHORITIES HAVING JURISDICTION.

Sheet List Table		
SHEET NUMBER	Sheet Description	SHEET TITLE
1	C001	COVER SHEET & GENERAL NOTES
2	C101	EXISTING CONDITIONS PLAN
3	C111	DEMOLITION PLAN
4	C121	SITE GEOMETRY PLAN
5	C122	DETAIL REFERENCE PLAN
6	C131	UTILITY PLAN
7	C141	GRADING PLAN
8	C201	SITE DETAILS I
9	C202	SITE DETAILS II
10	C203	SITE DETAILS III
11	C204	SITE DETAILS IV
12	C205	SITE DETAILS V
13	C301	STORM DRAIN PROFILES
14	C401	EXISTING EROSION & SEDIMENT CONTROL PLAN
15	C411	PROPOSED EROSION & SEDIMENT CONTROL PLAN
16	C421	EROSION & SEDIMENT CONTROL DETAILS I
17	C422	EROSION & SEDIMENT CONTROL DETAILS II
18	C423	EROSION & SEDIMENT CONTROL DETAILS III
19	C424	EROSION & SEDIMENT CONTROL DETAILS IV
20	C501	STORMWATER MANAGEMENT EXISTING CONDITIONS PLAN
21	C502	ESD DRAINAGE AREA MAP
22	C511	STORMWATER MANAGEMENT DETAILS & NOTES I
23	C512	STORMWATER MANAGEMENT DETAILS & NOTES II
24	C521	STORMWATER MANAGEMENT ENLARGEMENT & SECTION
25	C531	STORMWATER MANAGEMENT PLANTING PLAN
26	L101	FINAL LANDSCAPE PLAN
27	L201	FINAL LANDSCAPE DETAILS I
28	L202	FINAL LANDSCAPE DETAILS II
29	ADA100	TEMPORARY PEDESTRIAN ACCESS PLAN
30	E001	GENERAL NOTES, SYMBOL LISTS, AND ABBREVIATIONS
31	ED100	SITE LIGHTING PLAN - DEMOLITION
32	E100	SITE LIGHTING PLAN - NEW WORK
33	E101	SITE LIGHTING CALCULATIONS
34	E601	LIGHTING FIXTURE SCHEDULE AND DETAILS



VICINITY MAP

1"=1000'

Parkville Senior Center

Parking Lot Reconfiguration

Baltimore County Department of Parks and Recreation

SEAL	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHI	DRAWING SCALE	PROPERTY MANAGEMENT		
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.					N/A	YSE SNE	61NWS 60NWS	PLAN SCALE: AS SHOWN	APPROVED BY: <i>Michael Goodyear</i>	PROPERTY MANAGER	
	LICENSE NO. 41978 EXPIRATION DATE 12/20/2025		CONTRACT COMPLETION BOX			N/A			PROFILE SCALE:	DATE: 7.7.25		
	ENGINEER: MARK HADLEY	DGN BY: EFA/AMK	BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	PROPERTY MANAGEMENT	
	SITERESOURCES Creative Design. Successful Engineers. 4 North Gay Street, Suite 400, Baltimore, MD 21202 410.683.3388 www.siteresourcesinc.com	DWN BY: EFA/AMK	REVIEWED BY:								CHIEF	
DATE: 6/8/25	CHKD BY: MJH	DATE REVIEWED:								DATE: 7/17/2025		

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE – PROPERTY MANAGEMENT

PARKVILLE SENIOR CENTER PARKING
COVER SHEET & GENERAL NOTES

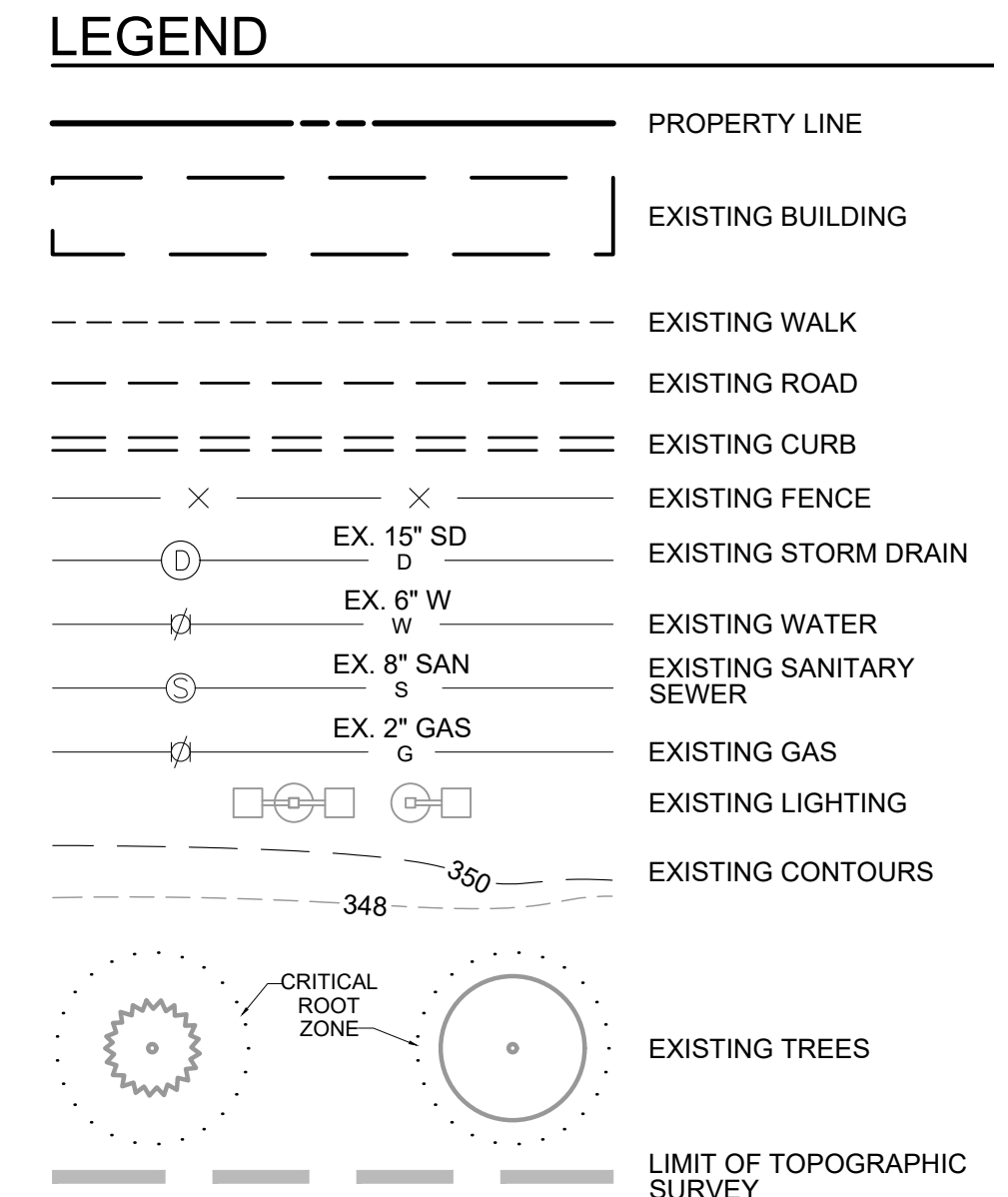
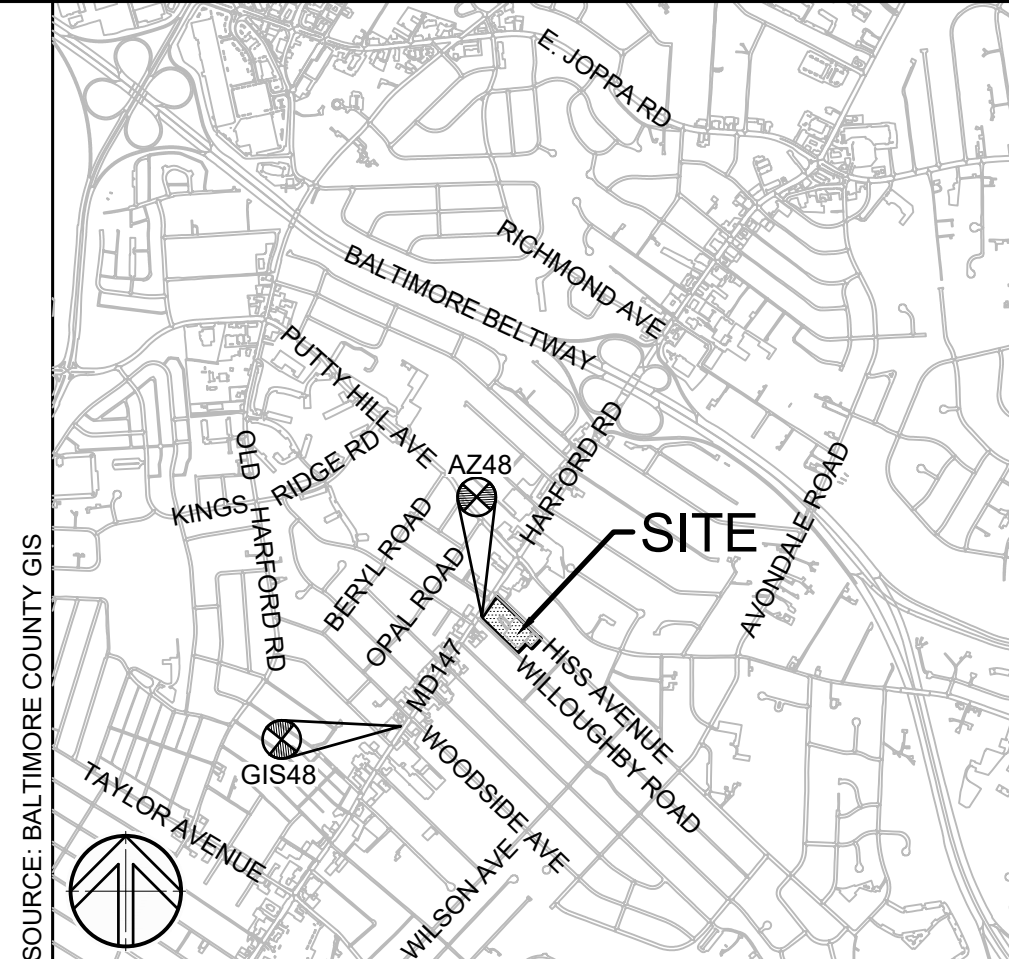
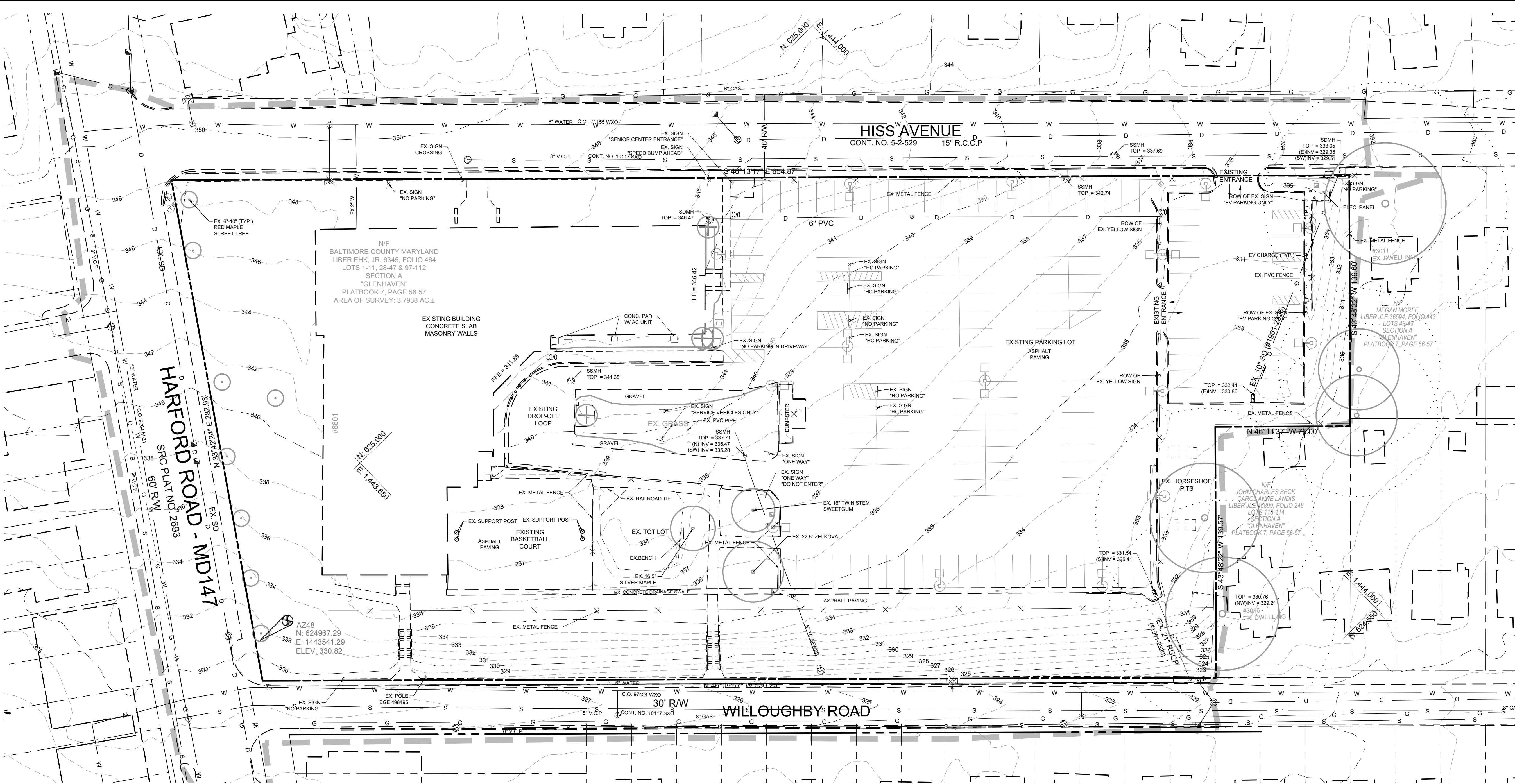
PARKING RECONFIGURATION – 100% CONSTRUCTION DOCUMENTS

BALTIMORE COUNTY DEPARTMENT AGING

8601 HARFORD RD, PARKVILLE, MD 21234

ELECTION DIST. NO.: 14C6

SHEET DESIGNATION	CONTRACT NUMBER
C001	25021 P00
JOB ORDER NUMBER	861889
SHEET 1 OF 34	DRAWING NUMBER
	2024-0401
FILE NO.:	2024

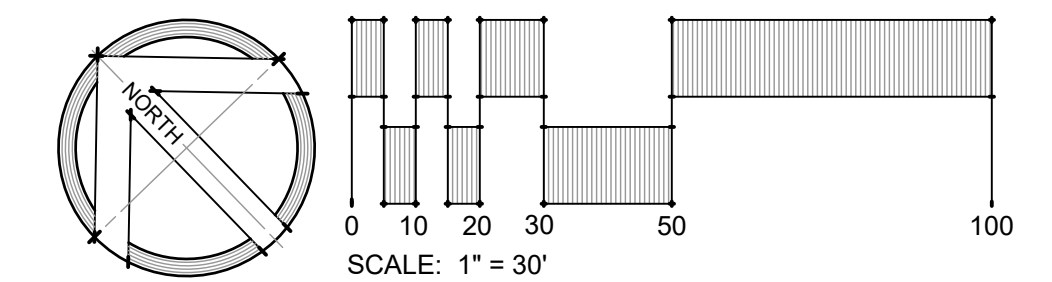


BASE INFORMATION NOTES

BASE INFORMATION REFLECTED ON THESE PLANS WAS TAKEN FROM THE FOLLOWING SOURCES:

- BALTIMORE COUNTY GIS INFORMATION
- BOUNDARY WORKSHEET ENTITLED "BOUNDARY WORKSHEET, 8501 HARFORD ROAD," PREPARED BY HANOVER LAND SERVICES, INC., AND DATED 09/11/2023.
- TOPOGRAPHIC INFORMATION WITHIN THE SURVEY LIMITS WAS TAKEN FROM A SURVEY PROVIDED BY HANOVER SURVEY IN AUGUST, 2023. ALL HORIZONTAL SURVEY DATA PROVIDED BY UTILITY MAPPING ARE REFERENCED TO THE FOLLOWING SURVEY CONTROL POINTS:

SITE CONTROL COORDINATE TABLE				
PT#	NORTHING	EASTING	ELEVATION	DESCRIPTION
HLS1	625180.56	1443687.67	348.40	MAG NAIL
HLS2	624974.82	1443907.31	345.68	MAG NAIL
HLS3	624750.64	1444118.84	334.76	MAG NAIL
HLS4	624656.88	1443894.77	332.66	MAG NAIL
HLS5	624783.19	1443698.12	326.49	MAG NAIL
AZ48	624967.29	1443541.29	330.82	MAG NAIL
GIS48	623826.03	1442695.68	327.36	MAG NAIL



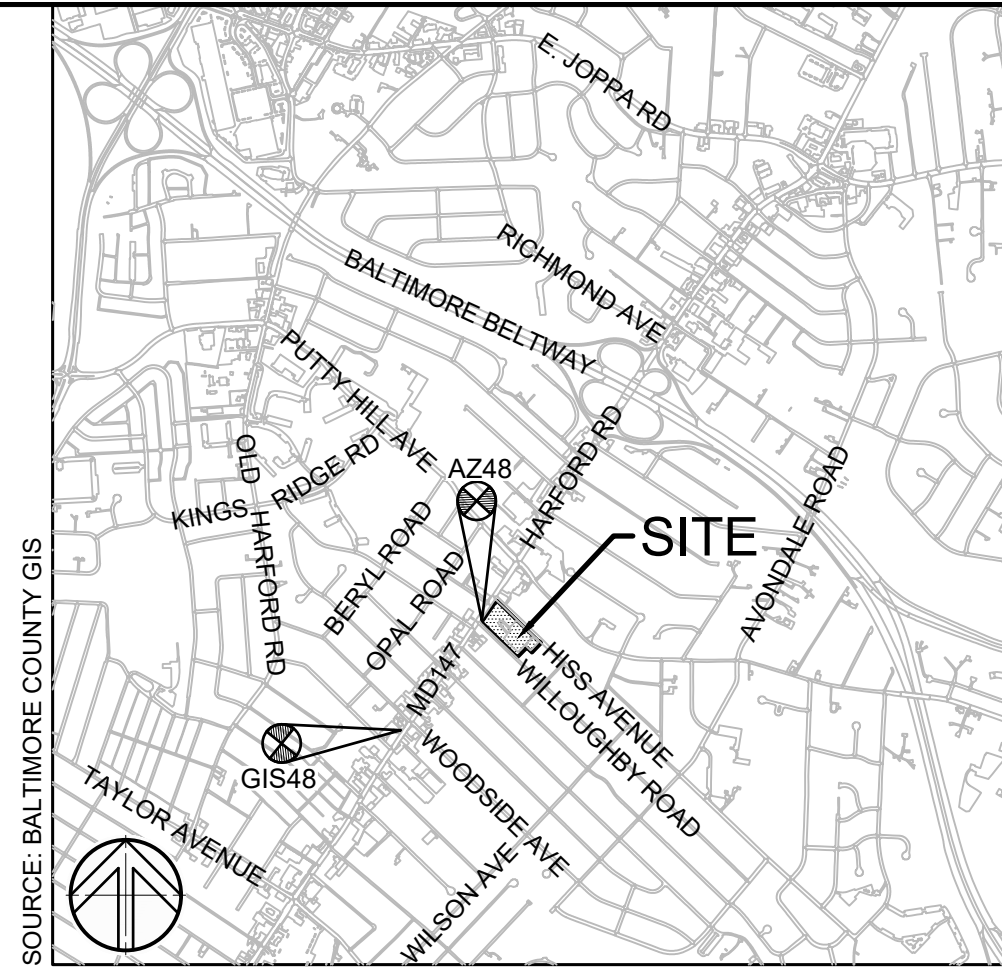
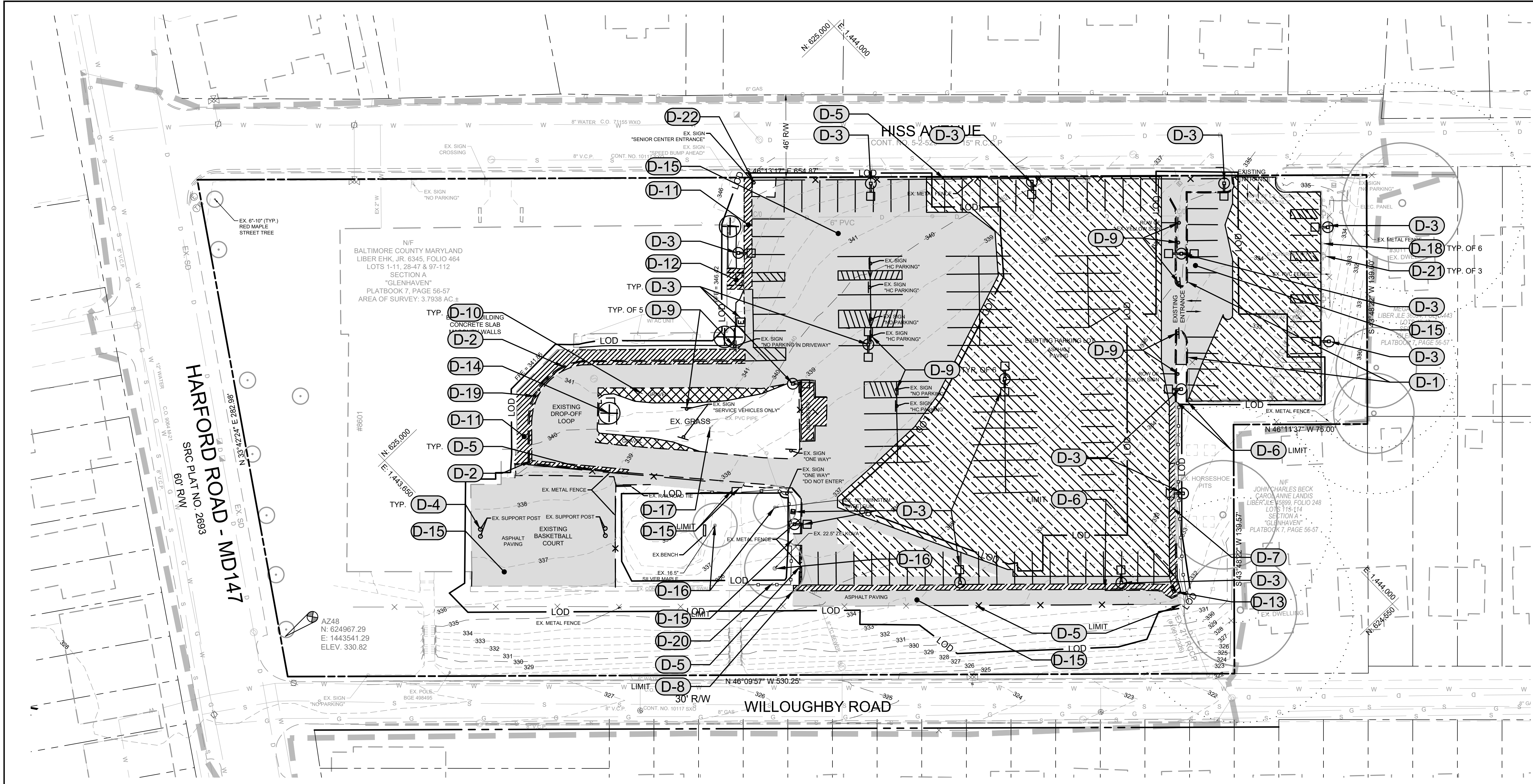
PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHI	PROPERTY MANAGEMENT	
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DUTY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. <u>41978</u> EXPIRATION DATE <u>12/20/2025</u>		CONTRACT COMPLETION BOX				N/A	VSE SNE	61NWS 60NWS	PLAN SCALE: <u>AS SHOWN</u>	APPROVED BY: _____ PROPERTY MANAGER
		BUREAU OF ENGINEERING AND CONSTRUCTION		TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	PROFILE SCALE: _____	DATE: _____
		REVIEWED BY: _____								APPROVED BY: _____ CHIEF
ENGINEER: <u>MARK HADLEY</u>		DGN BY: <u>EPA/AMK</u>								DATE: _____
SITERESOURCES Creative Design. Successful Engineering.		DWN BY: <u>EPA/AMK</u>								
CHKD BY: <u>MJH</u>		DATE REVIEWED: _____								
DATE: <u>6/6/25</u>										

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE – PROPERTY MANAGEMENT
PARKVILLE SENIOR CENTER PARKING
EXISTING CONDITIONS PLAN
PARKING RECONFIGURATION – 100% CONSTRUCTION DOCUMENTS
BALTIMORE COUNTY DEPARTMENT AGING
8601 HARFORD RD, PARKVILLE, MD 21234

ELECTION DIST. NO.: 14C6

SHEET DESIGNATION	CONTRACT NUMBER
C101	25021 P00
JOB ORDER NUMBER	
861889	
SHEET 2 OF 34	
DRAWING NUMBER	
2024-0402	
FILE NO.:	

DWG. FILENAME: © SITE RESOURCES, INC. Z:\21\21039-baco parkville sr ctr p\04-DWG\C111 - Demolition Plan.dwg-C111 Oct 17, 2024 02:07pm tdc



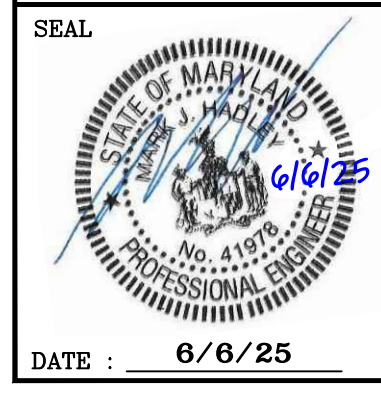
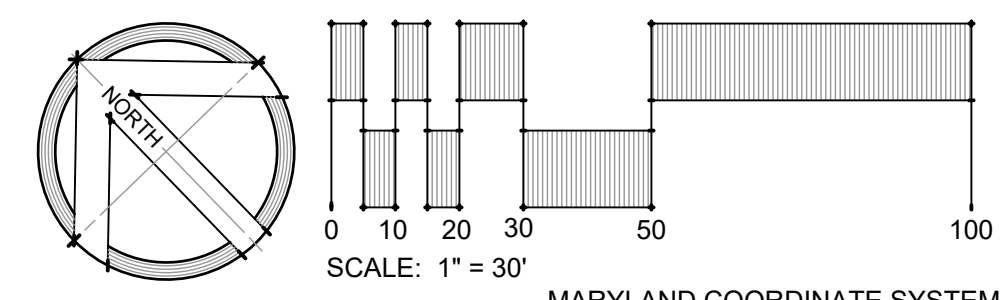
VICINITY MAP		1"=1000'
LEGEND		
	PROPERTY LINE	
	EXISTING BUILDING TO REMAIN	
	EXISTING WALK TO REMAIN	
	EXISTING WALK TO BE REMOVED	
	EXISTING ROAD TO REMAIN	
	EXISTING CURB TO REMAIN	
	EXISTING CURB TO BE REMOVED	
	EXISTING ASPHALT PAVING TO BE REMOVED	
	EXISTING ASPHALT PAVING TO BE MILLED	
	EXISTING GRAVEL TO BE REMOVED	
	EXISTING CONCRETE TO BE REMOVED	
	EXISTING TREES TO REMAIN	
	EXISTING TREES TO BE REMOVED	
	TREE PROTECTION FENCE	
	EXISTING FENCE TO REMAIN	
	EXISTING FENCE TO BE REMOVED	
	EXISTING SIGN TO REMAIN	
	EXISTING SIGN TO BE REMOVED	
	EXISTING STORM DRAIN TO REMAIN	
	EXISTING STORM DRAIN TO BE REMOVED	
	EXISTING WATER TO REMAIN	
	EXISTING WATER TO BE REMOVED	
	EXISTING SANITARY SEWER TO REMAIN	
	EXISTING SANITARY SEWER TO BE REMOVED	
	EXISTING GAS TO REMAIN	
	EXISTING LIGHTING TO BE REMOVED	
	EXISTING CONTOURS	
	LIMIT OF TOPOGRAPHIC SURVEY	
	LIMIT OF DISTURBANCE	

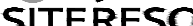
GENERAL NOTES

- CONTRACTOR TO SALVAGE ALL BENCHES AND DRUM-STYLE TRASH RECEPTACLES WITHIN LOD

DEMOLITION NOTES

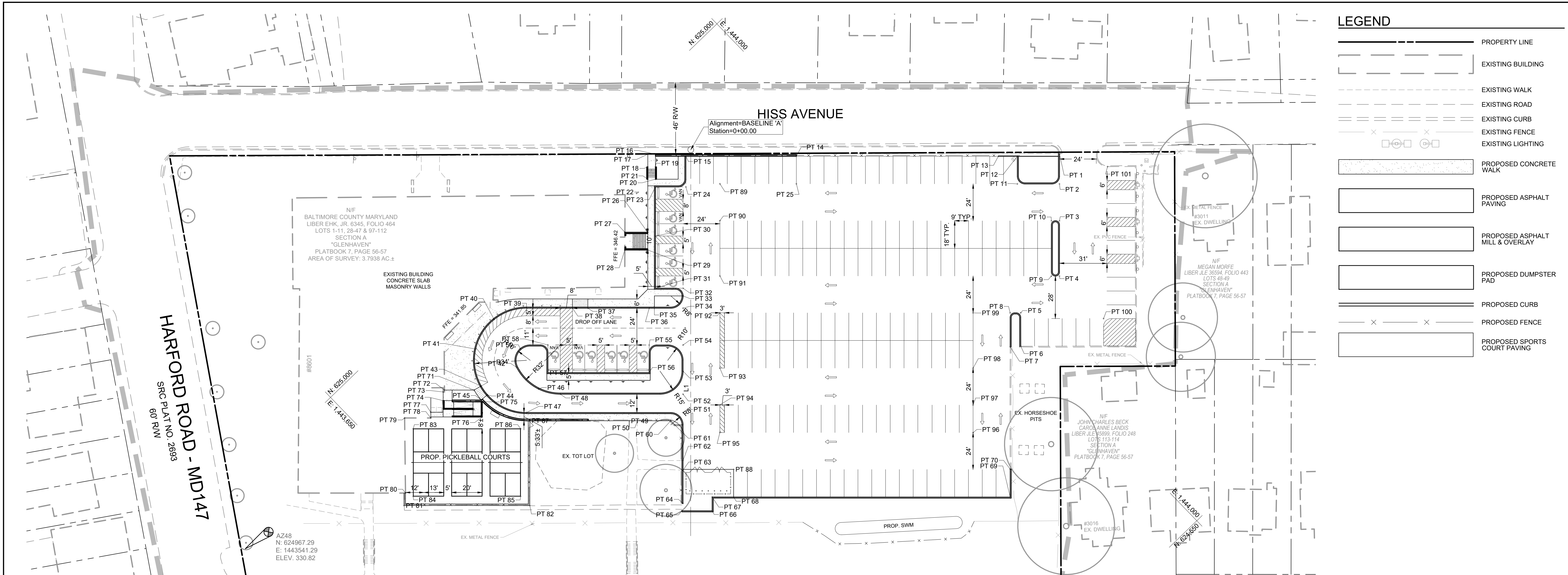
- | | | | | | |
|------------|--|-------------|---|-------------|--|
| D-1 | REMOVE EXISTING CONCRETE CURB | D-10 | REMOVE EXISTING GRAVEL | D-18 | CONTRACTOR SHALL PROTECT EXISTING SIGNS TO REMAIN. |
| D-2 | REMOVE EXISTING CURB AND GUTTER | D-11 | REMOVE EXISTING CONCRETE WALK | D-19 | REMOVE EXISTING BOLLARD, FOUNDATION, AND ALL OTHER ASSOCIATED APPURTENANCES. |
| D-3 | REMOVE EXISTING LIGHT, POLE BASE, AND ANY ASSOCIATED HANDHOLES. SEE ELECTRICAL DRAWINGS. | D-12 | REMOVE EXISTING CONCRETE STAIR STRUCTURE, STONE CHEEKWALLS AND BASE MATERIAL. PROTECT EXISTING BUILDING FACADE DURING DEMOLITION OF EXISTING STAIRS AND CHEEKWALLS. REPAIR IN-KIND ANY DAMAGE TO BUILDING FACADE. | D-20 | TREE PROTECTION FENCE |
| D-4 | REMOVE EXISTING BASKETBALL BACKBOARD SUPPORT POST AND FOOTING | D-13 | REMOVE EXISTING INLET | D-21 | PROTECT EXISTING EV CHARGING STATIONS TO REMAIN |
| D-5 | REMOVE EXISTING FENCE AND ASSOCIATED FOOTINGS | D-14 | REMOVE, CLEAR, AND GRUB TREE, STUMP, MAJOR ROOTS, AND LANDSCAPE MATERIAL | D-22 | REMOVE EXISTING "SENIOR CENTER ENTRANCE" SIGN, POST, AND ASSOCIATED BASE. SALVAGE SIGN TO BE RELOCATED AND REINSTALLED ON PROPOSED POST. |
| D-6 | SAW CUT EXISTING CURB TO BE REMOVED | D-15 | REMOVE EXISTING ASPHALT PAVING AND BASE MATERIAL. SAW CUT AT LIMITS SHOWN. | | |
| D-7 | REMOVE EXISTING CONCRETE GUTTER. PROTECT EXISTING CURB TO REMAIN. | D-16 | CONTRACTOR SHALL PROTECT EXISTING TREES TO REMAIN. | | |
| D-8 | SAW CUT EXISTING CONCRETE SWALE TO BE REMOVED | D-17 | CONTRACTOR SHALL PROTECT EXISTING PIPE TO REMAIN. SEE UTILITY PLAN, C131. | | |
| D-9 | REMOVE EXISTING SIGN, FOUNDATION, AND ALL OTHER ASSOCIATED APPURTENANCES. | | | | |



PROFESSIONAL CERTIFICATION				AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SH	DRAWING SCALE		PROPERTY MANAGEMENT	
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DUTY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 41978 EXPIRATION DATE 12/20/2025 ENGINEER: MARK HADLEY  SITERESOURCES Creative Design. Successfully Engineered. <small>4 North Park Drive, Suite 100, Cockeysville, MD 21030 410.883.3388 www.siteresourcesinc.com</small>								N/A	VSE SNE	61NWS 60NWS	PLAN SCALE: <u>AS SHOWN</u>	APPROVED BY: _____	PROPERTY MANAGER	
				CONTRACT COMPLETION BOX				N/A			PROFILE SCALE: _____	DATE: _____		
				BUREAU OF ENGINEERING AND CONSTRUCTION		TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	PROPERTY MANAGER	
DGN BY: <u>EPA/AMK</u>				REVIEWED BY: _____									APPROVED BY: _____	CHIEF
DWN BY: <u>EPA/AMK</u>													DATE: _____	
CHKD BY: <u>MJH</u>				DATE REVIEWED: _____										

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT		SHEET DESIGNATION	CONTRACT NUMBER
PARKVILLE SENIOR CENTER PARKING		C111	25021 P00
DEMOLITION PLAN			JOB ORDER NUMBER
PARKING RECONFIGURATION - 100% CONSTRUCTION DOCUMENTS			861889
BALTIMORE COUNTY DEPARTMENT AGING			SHEET 3 OF 34
8601 HARFORD RD, PARKVILLE, MD 21234			DRAWING NUMBER
ELECTION DIST. NO.: 14C6			2024-0403
			FILE NO.: _____

DWG. FILENAME: © SITE_RESOURCES, INC. Z:\21\21039-baco parkville sr ctr\p\04-DWG\C121 - Site Geometry Plan.dwg-C121 Oct 17, 2024 02:07pm tdc



SITE GEOMETRY POINT TABLE

POINT NAME	REFERENCE BASELINE	STATION	OFFSET
PT 1	BASELINE 'A'	0+02.66	LT 240.26'
PT 2	BASELINE 'A'	0+22.19	LT 240.26'
PT 3	BASELINE 'A'	0+46.19	LT 240.26'
PT 4	BASELINE 'A'	0+82.19	LT 240.26'
PT 5	BASELINE 'A'	1+06.19	LT 215.01'
PT 6	BASELINE 'A'	1+27.90	LT 215.07'
PT 7	BASELINE 'A'	1+28.29	LT 208.16'
PT 8	BASELINE 'A'	1+06.19	LT 208.16'
PT 9	BASELINE 'A'	0+82.19	LT 235.00'

SITE GEOMETRY POINT TABLE

POINT NAME	REFERENCE BASELINE	STATION	OFFSET
PT 10	BASELINE 'A'	0+46.19	LT 235.00'
PT 11	BASELINE 'A'	0+22.19	LT 212.81'
PT 12	BASELINE 'A'	0+04.19	LT 212.81'
PT 13	BASELINE 'A'	0+04.19	LT 200.38'
PT 14	BASELINE 'A'	0+04.19	LT 68.81'
PT 15	BASELINE 'A'	0+04.19	RT 3.19'
PT 16	BASELINE 'A'	0+02.91	RT 23.00'
PT 17	BASELINE 'A'	0+02.91	RT 28.00'
PT 18	BASELINE 'A'	0+11.19	RT 28.00'

SITE GEOMETRY POINT TABLE

POINT NAME	REFERENCE BASELINE	STATION	OFFSET
PT 19	BASELINE 'A'	0+11.19	RT 23.00'
PT 20	BASELINE 'A'	0+19.19	RT 23.00'
PT 21	BASELINE 'A'	0+19.19	RT 28.00'
PT 22	BASELINE 'A'	0+28.39	RT 35.33'
PT 23	BASELINE 'A'	0+24.19	RT 23.00'
PT 24	BASELINE 'A'	0+24.19	RT 3.19'
PT 25	BASELINE 'A'	0+22.19	LT 68.81'
PT 26	BASELINE 'A'	0+53.80	RT 28.00'
PT 27	BASELINE 'A'	0+53.80	RT 42.92'

SITE GEOMETRY POINT TABLE

POINT NAME	REFERENCE BASELINE	STATION	OFFSET
PT 28	BASELINE 'A'	0+65.30	RT 42.94'
PT 29	BASELINE 'A'	0+65.30	RT 28.00'
PT 30	BASELINE 'A'	0+56.19	RT 23.00'
PT 31	BASELINE 'A'	0+90.18	RT 23.00'
PT 32	BASELINE 'A'	0+90.19	RT 5.00'
PT 33	BASELINE 'A'	0+95.19	RT 5.00'
PT 34	BASELINE 'A'	1+03.19	RT 5.00'
PT 35	BASELINE 'A'	1+03.19	RT 23.67'
PT 36	BASELINE 'A'	1+03.19	RT 27.06'

SITE GEOMETRY POINT TABLE

POINT NAME	REFERENCE BASELINE	STATION	OFFSET
PT 37	BASELINE 'A'	1+03.19	RT 67.06'
PT 38	BASELINE 'A'	1+03.19	RT 77.04'
PT 39	BASELINE 'A'	1+03.19	RT 106.94'
PT 40	BASELINE 'A'	1+10.57	RT 128.09'
PT 41	BASELINE 'A'	1+29.85	RT 140.14'
PT 42	BASELINE 'A'	1+41.73	RT 113.44'
PT 43	BASELINE 'A'	1+53.93	RT 136.53'
PT 44	BASELINE 'A'	1+59.57	RT 132.53'
PT 45	BASELINE 'A'	1+63.08	RT 136.54'

SITE GEOMETRY POINT TABLE

POINT NAME	REFERENCE BASELINE	STATION	OFFSET
PT 46	BASELINE 'A'	1+55.81	RT 99.25'
PT 47	BASELINE 'A'	1+71.19	RT 106.94'
PT 48	BASELINE 'A'	1+59.19	RT 84.94'
PT 49	BASELINE 'A'	1+76.52	RT 40.05'
PT 50	BASELINE 'A'	1+76.52	RT 34.67'
PT 51	BASELINE 'A'	1+71.19	RT 5.00'
PT 52	BASELINE 'A'	1+59.19	RT 5.00'
PT 53	BASELINE 'A'	1+44.19	RT 5.00'
PT 54	BASELINE 'A'	1+27.19	RT 5.00'

SITE GEOMETRY POINT TABLE

POINT NAME	REFERENCE BASELINE	STATION	OFFSET
PT 55	BASELINE 'A'	1+27.19	RT 27.06'
PT 56	BASELINE 'A'	1+45.19	RT 27.06'
PT 57	BASELINE 'A'	1+45.19	RT 93.06'
PT 58	BASELINE 'A'	1+27.19	RT 93.06'
PT 59	BASELINE 'A'	1+29.62	RT 111.08'
PT 60	BASELINE 'A'	1+76.52	RT 13.00'
PT 61	BASELINE 'A'	1+79.19	RT 10.34'
PT 62	BASELINE 'A'	2+02.40	RT 5.00'
PT 63	BASELINE 'A'	2+08.69	RT 5.00'

SITE GEOMETRY POINT TABLE

POINT NAME	REFERENCE BASELINE	STATION	OFFSET
PT 64	BASELINE 'A'	2+30.31	RT 5.00'
PT 65	BASELINE 'A'	2+35.18	RT 5.67'
PT 66	BASELINE 'A'	2+35.18	LT 14.03'
PT 67	BASELINE 'A'	2+26.18	LT 14.03'
PT 68	BASELINE 'A'	2+26.18	LT 28.00'
PT 69	BASELINE 'A'	2+26.18	LT 208.21'
PT 70	BASELINE 'A'	2+07.97	LT 208.21'
PT 71	BASELINE 'A'	1+56.56	RT 141.17'
PT 72	BASELINE 'A'	1+56.56	RT 160.45'

SITE GEOMETRY POINT TABLE

POINT NAME	REFERENCE BASELINE	STATION	OFFSET
PT 73	BASELINE 'A'	1+57.83	RT 161.29'
PT 74	BASELINE 'A'	1+63.41	RT 161.29'
PT 75	BASELINE 'A'	1+64.08	RT 135.86'
PT 76	BASELINE 'A'	1+74.09	RT 135.86'
PT 77	BASELINE 'A'	1+71.03	RT 169.37'
PT 78	BASELINE 'A'	1+74.75	RT 169.37'
PT 79	BASELINE 'A'	1+74.75	RT 186.41'
PT 80	BASELINE 'A'	2+23.65	RT 185.82'
PT 81	BASELINE 'A'	2+31.75	RT 186.81'

SITE GEOMETRY POINT TABLE

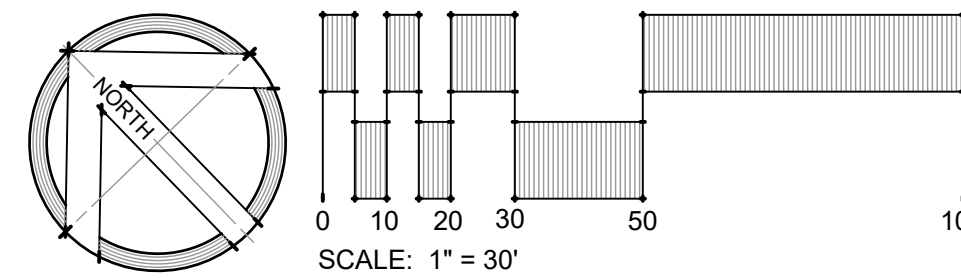
POINT NAME	REFERENCE BASELINE	STATION	OFFSET
PT 82	BASELINE 'A'	2+31.74	RT 104.81'
PT 83	BASELINE 'A'	1+81.75	RT 180.82'
PT 84	BASELINE 'A'	2+25.75	RT 180.81'
PT 85	BASELINE 'A'	2+25.74	RT 110.81'
PT 86	BASELINE 'A'	1+81.74	RT 110.82'
PT 87	BASELINE 'A'	1+76.52	RT 104.82'
PT 88	BASELINE 'A'	2+08.18	LT 28.00'
PT 89	BASELINE 'A'	0+22.19	LT 19.00'
PT 90	BASELINE 'A'	0+46.19	LT 19.00'

SITE GEOMETRY POINT TABLE

POINT NAME	REFERENCE BASELINE	STATION	OFFSET
PT 91	BASELINE 'A'	0+82.19	LT 19.00'
PT 92	BASELINE 'A'	1+06.19	LT 19.00'
PT 93	BASELINE 'A'	1+42.19	LT 19.00'
PT 94	BASELINE 'A'	1+66.19	LT 19.00'
PT 95	BASELINE 'A'	1+84.19	LT 19.00'
PT 96	BASELINE 'A'	1+84.19	LT 184.00'
PT 97	BASELINE 'A'	1+66.19	LT 184.00'
PT 98	BASELINE 'A'	1+42.19	LT 184.00'
PT 99	BASELINE 'A'	1+06.19	LT 184.00'

SITE GEOMETRY POINT TABLE

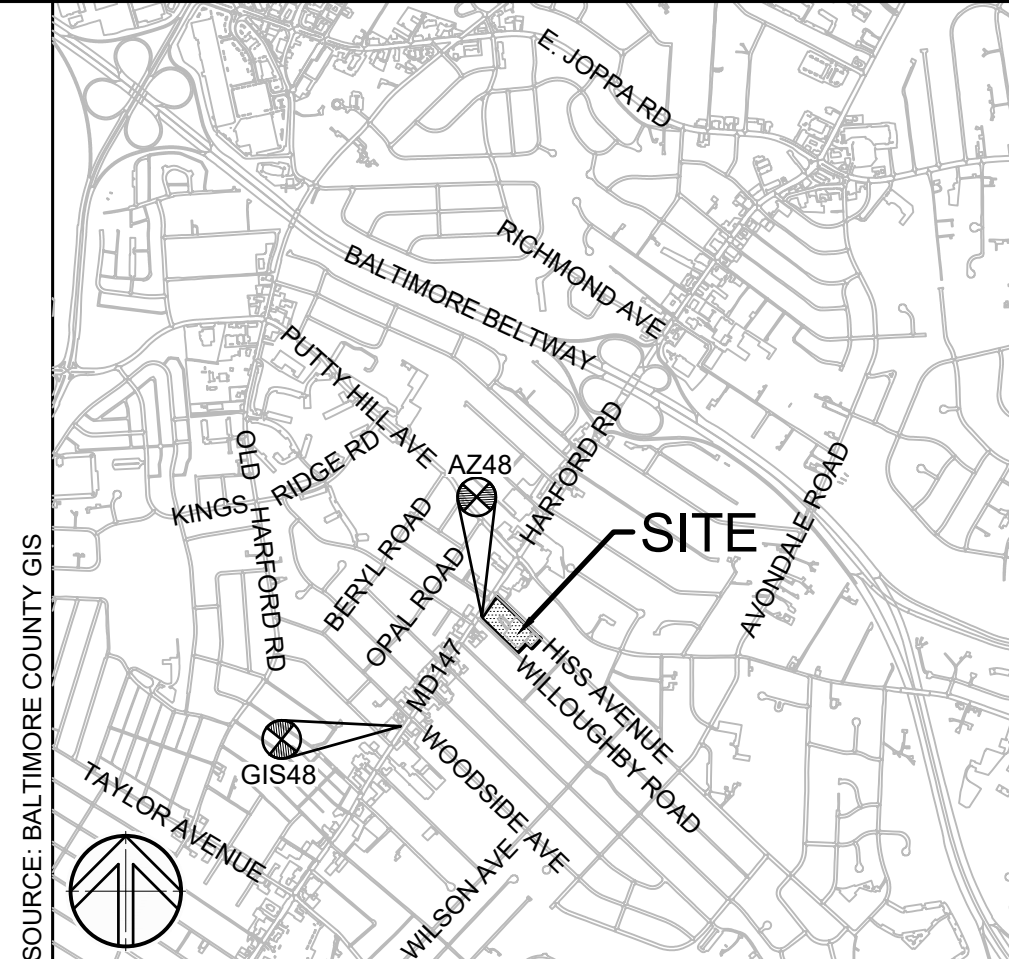
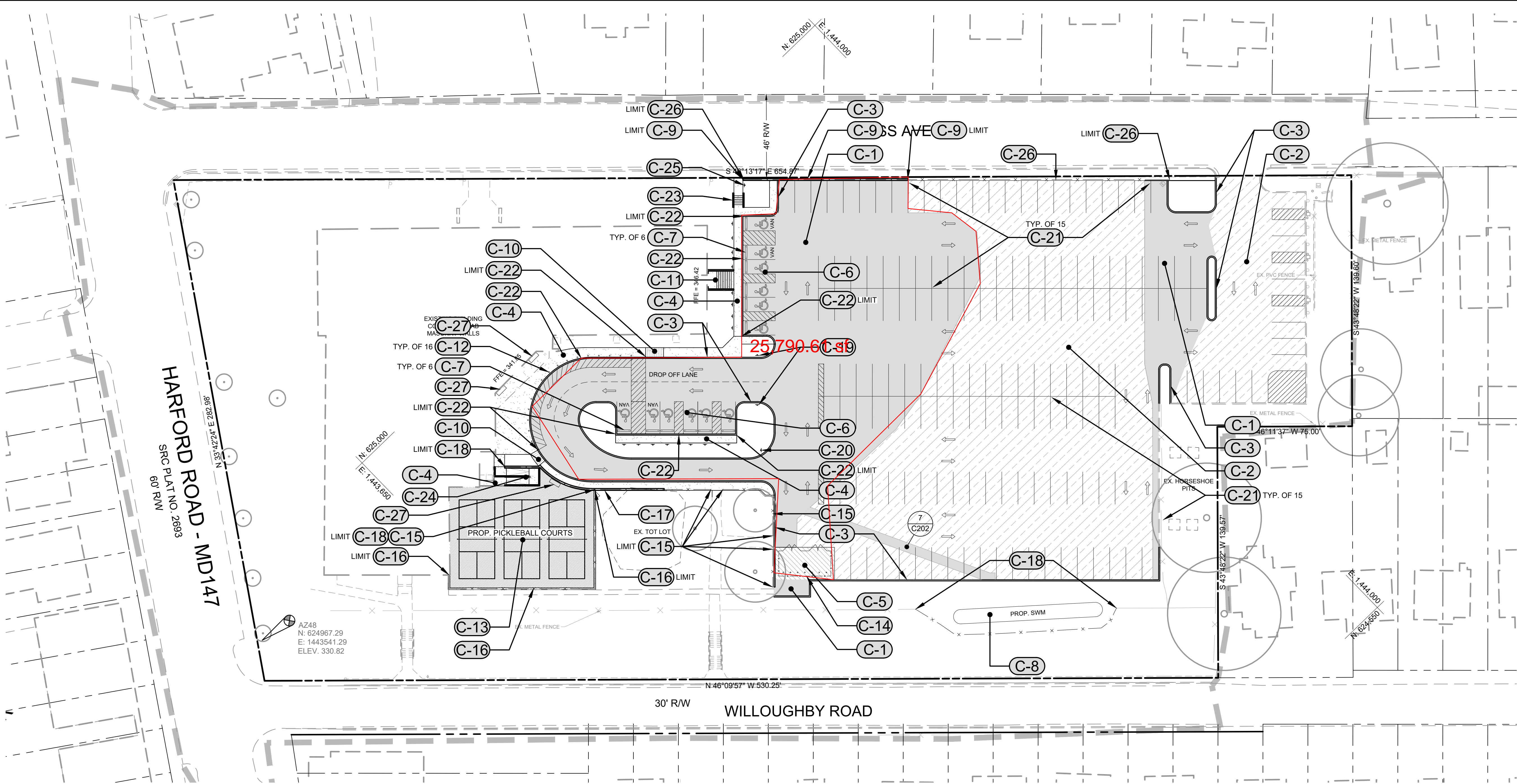
POINT NAME	REFERENCE BASELINE	STATION	OFFSET
PT 100	BASELINE 'A'	1+09.92	LT 269.00'
PT 101	BASELINE 'A'	0+10.92	LT 271.59'



	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHI	DRAWING SCALE	PROPERTY MANAGEMENT	
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.						N/A	VSE SNE	61NWS 60NWS	PLAN SCALE: AS SHOWN	APPROVED BY: _____ PROPERTY MANAGER	
	LICENSE NO. 41978 EXPIRATION DATE 12/20/2025		CONTRACT COMPLETION BOX				N/A			PROFILE SCALE:	DATE: _____	
	ENGINEER: MARK HADLEY		DGN BY: EFA/AMK		BUREAU OF ENGINEERING AND CONSTRUCTION		TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER
	SITERESOURCES Creative Design. Successfully Engineered. 4 North Park Drive, Suite 200, Cockeysville, MD 21030 410.883.3388 www.siteresourcesinc.com		DWN BY: EFA/AMK		REVIEWED BY:							APPROVED BY: _____ CHIEF
DATE: 6/6/25		CHKD BY: MJH		DATE REVIEWED:							DATE: _____	

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE – PROPERTY MANAGEMENT	
PARKVILLE SENIOR CENTER PARKING	
SITE GEOMETRY PLAN	
PARKING RECONFIGURATION – 100% CONSTRUCTION DOCUMENTS	
BALTIMORE COUNTY DEPARTMENT AGING	
8601 HARFORD RD, PARKVILLE, MD 21234	
SUBDIVISION: SECTION–A GLENHAVEN	
ELECTION DIST. NO.: 14C6	
MARYLAND COORDINATE SYSTEM NAD83/2011 & NAVD88	
SHEET DESIGNATION C121	
CONTRACT NUMBER 25021 POO	
JOB ORDER NUMBER 861889	
SHEET 4 OF 34	
DRAWING NUMBER 2024–0404	
FILE NO.: _____	

DWG. FILENAME: © SITE RESOURCES, INC. Z:\21\21039-baco parkville sr ctr p\04-DWG\C122 - Detail Reference Plan.dwg-C122 Oct 17, 2024 02:07pm tdc



VICINITY MAP 1"=1000'

LEGEND

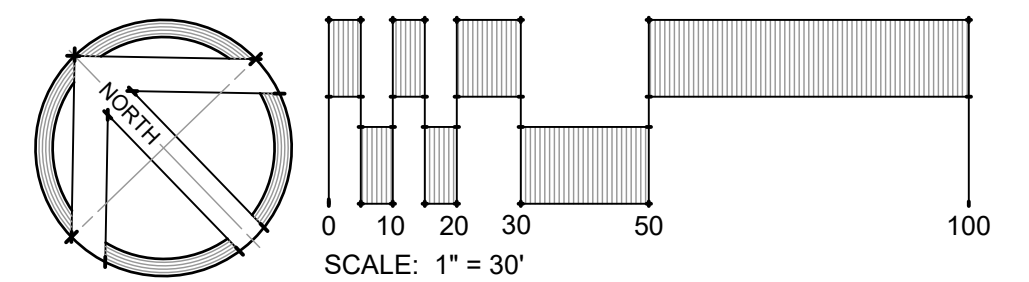
- PROPERTY LINE
- EXISTING BUILDING
- EXISTING WALK
- EXISTING ROAD
- EXISTING CURB
- EXISTING FENCE
- PROPOSED CONCRETE WALK
- PROPOSED ASPHALT PAVING
- PROPOSED ASPHALT MILL & OVERLAY
- PROPOSED DUMPSTER PAD
- PROPOSED CURB
- PROPOSED FENCE
- PROPOSED SPORTS COURT PAVING
- PROPOSED SIGN
- PROPOSED LIGHTING

CONSTRUCTION NOTES

- | | | | | | | | | | | | |
|-----------|------------|---|---|-------------|---|---|----------------------------|---|-------------|--|---|
| 1
C201 | C-1 | PROPOSED INTERMEDIATE DUTY ASPHALT PAVING | 3
C204 | C-9 | PROPOSED RETAINING WALL 1 | 5
C204 | C-18 | PROPOSED 6' CHAIN LINK FENCE | 4
C203 | C-26 | PROPOSED 4' CHAIN LINK FENCE WITH BROWN PRIVACY SLATS |
| 2
C201 | C-2 | PROPOSED ASPHALT MILL & OVERLAY | 1
C202 | C-10 | PROPOSED RAMP TRANSITION TO FLUSH CURB | 9
C201 | C-19 | PROPOSED ONE WAY SIGN | | C-27 | ADD ALTERNATE: INSTALL BENCH PER MANUFACTURER'S RECOMMENDATIONS |
| 3
C201 | C-3 | PROPOSED CONCRETE CURB & GUTTER | 2
C204 | C-11 | PROPOSED STAIRS WITH CHEEK WALL AND RAILING | 9
C201 | C-20 | PROPOSED DO NOT ENTER SIGN | | | MANUFACTURER: VICTOR STANLEY |
| 6
C201 | C-4 | PROPOSED SIDEWALK | 2
C202 | C-12 | PROPOSED BOLLARD | | C-21 | PROPOSED LIGHTING. SEE ELECTRICAL DRAWINGS FOR DETAILS. | | | MODEL: RB-28 BENCH |
| 2
C203 | 3
C203 | C-5 | PROPOSED HEAVY-DUTY CONCRETE DUMPSTER PAD | 7
C201 | 8
C201 | C-13 | PROPOSED PICKLEBALL COURTS | 4
C201 | C-22 | PROPOSED FLUSH CURB | SIZE: 6 FT. |
| 3
C202 | 4
C202 | C-6 | PROPOSED HANDICAP PARKING SPACES | 1
C203 | C-14 | PROPOSED DUMPSTER ENCLOSURE - CHAIN LINK FENCE WITH PRIVACY SLATS | | 1
C204 | C-23 | PROPOSED STAIRS W/ CHEEK WALL AND RAILING | COLOR: STANDARD COLOR TBD BY OWNER |
| 5
C202 | C-7 | PROPOSED WHEELSTOP | | 4
C203 | C-15 | PROPOSED 4' CHAIN LINK FENCE | | 2
C205 | C-24 | PROPOSED SWITCHBACK RAMP AND HANDRAILS | OPTIONS: INTERMEDIATE ARMREST (BOLT-ON) |
| | C-8 | PROPOSED MICRO-BIORETENTION | | 5
C203 | C-16 | PROPOSED 8' CHAIN LINK FENCE | | 9
C201 | C-25 | INSTALL SALVAGED "SENIOR CENTER ENTRANCE" SIGN ON PROPOSED SIGN POST | INSTALL TYPE: SURFACE MOUNT |
| | | | | 4
C204 | C-17 | PROPOSED RETAINING WALL 2 | | | | | |

GENERAL NOTE

MEET EXISTING PAVEMENT SMOOTHLY IN LINE AND GRADE.



SEAL	PROFESSIONAL CERTIFICATION	AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHI	DRAWING SCALE	PROPERTY MANAGEMENT
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DUTY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.				N/A	VSE SNE	61NWS 60NWS	PLAN SCALE: AS SHOWN	APPROVED BY: _____ PROPERTY MANAGER
	LICENSE NO. 41978 EXPIRATION DATE 12/20/2025	CONTRACT COMPLETION BOX			N/A			PROFILE SCALE: _____	DATE: _____
	ENGINEER: MARK HADLEY	DGN BY: EFA/AMK	BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	WATER	FIELD ENGINEER
	DWN BY: EFA/AMK	REVIEWED BY: _____							APPROVED BY: _____ CHIEF
	CHKD BY: MJH	DATE REVIEWED: _____							DATE: _____

SHEET DESIGNATION		CONTRACT NUMBER	
C122		25021 P00	
		JOB ORDER NUMBER	
		861889	
		SHEET 5 OF 34	
		DRAWING NUMBER	
		2024-0405	
		FILE NO.:	

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE – PROPERTY MANAGEMENT

PARKVILLE SENIOR CENTER PARKING

DETAIL REFERENCE PLAN

PARKING RECONFIGURATION – 100% CONSTRUCTION DOCUMENTS

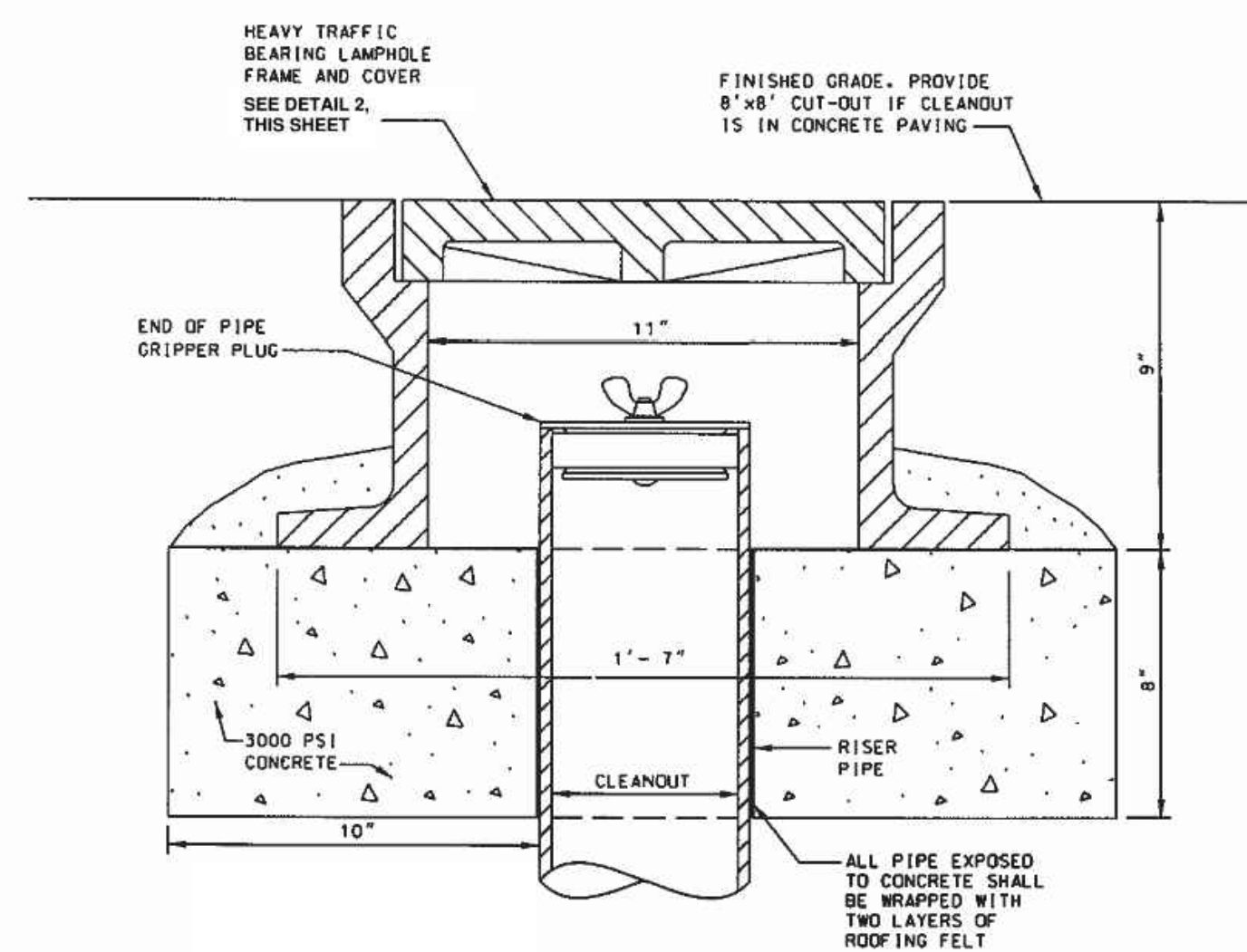
BALTIMORE COUNTY DEPARTMENT AGING

8601 HARFORD RD, PARKVILLE, MD 21234

SUBDIVISION: SECTION-A GLENHAVEN

MARYLAND COORDINATE SYSTEM NAD83/2011 & NAVD88

ELECTION DIST. NO.: 14C6

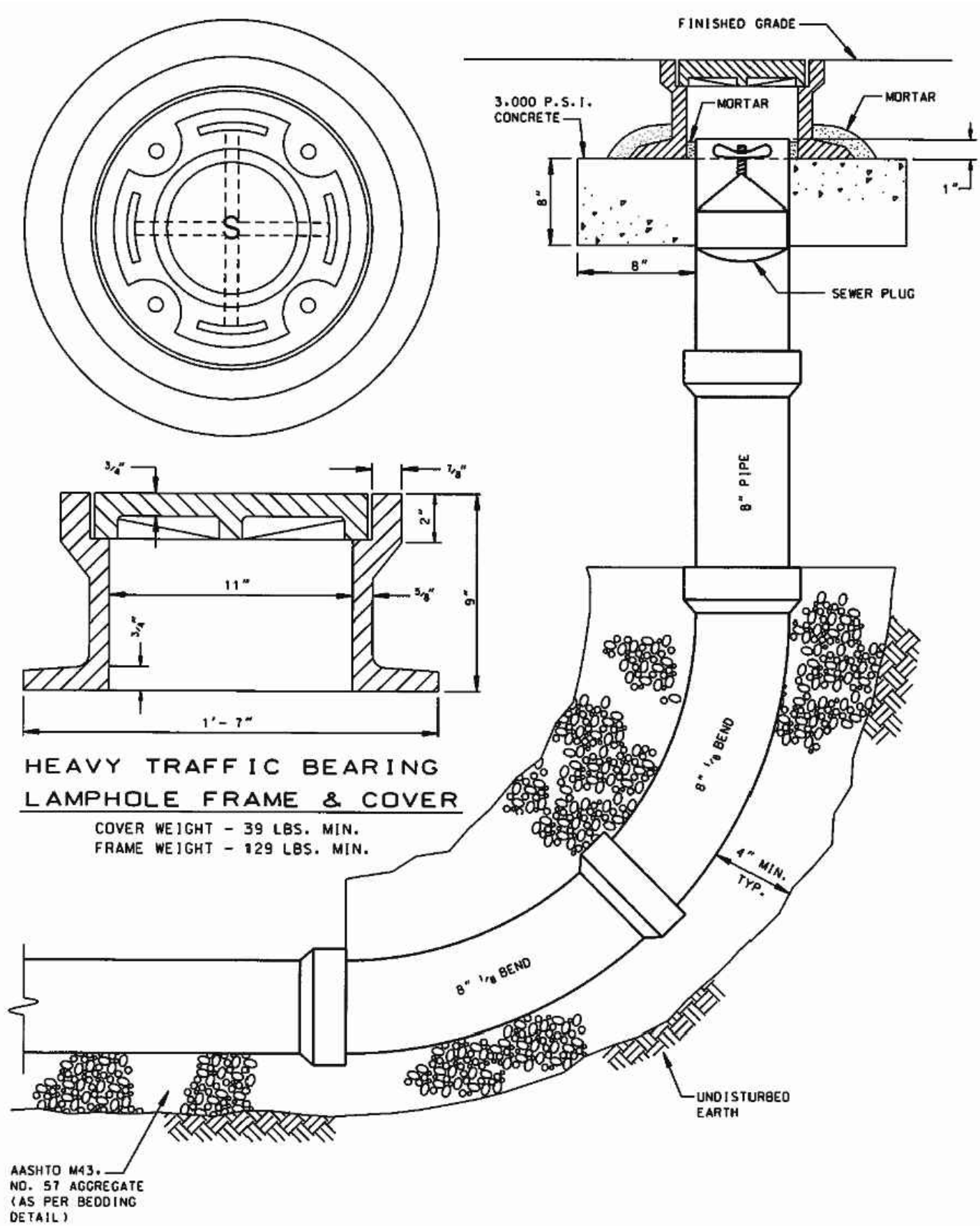


SECTION

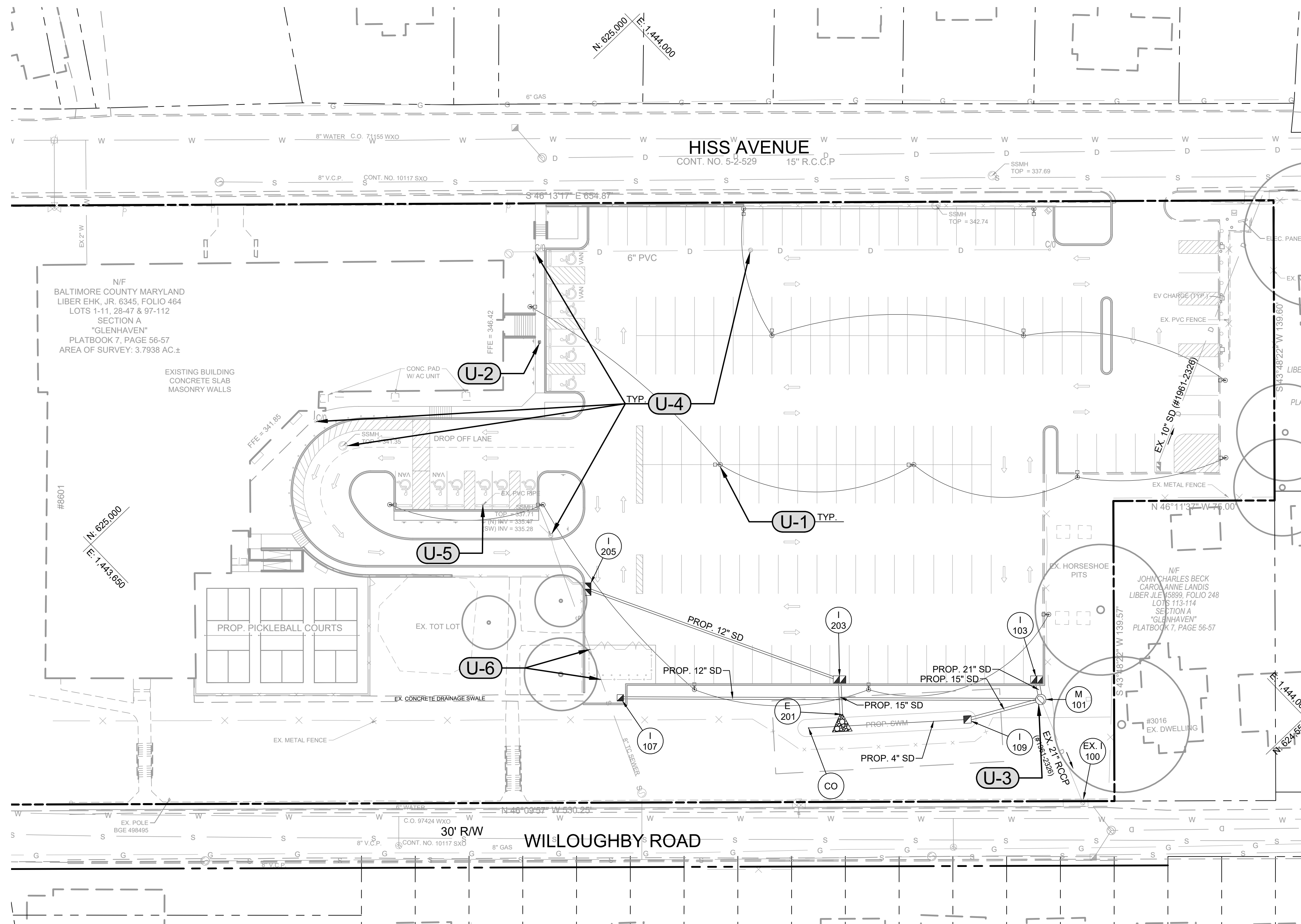
NOTES:

1. THIS DETAIL PERTAINS TO BUSINESS, COMMERCIAL OR INDUSTRIAL APPLICATIONS AND AS OTHERWISE APPROVED. IF LOCATED IN CONCRETE PAVING, THE CLEAN-OUT SHALL BE ENCASED IN A 24" x 24" AREA BOXED OUT WITH EXPANSION JOINT MATERIAL.

1 ROADWAY BOX - SANITARY CLEANOUT IN PAVING
NOT TO SCALE



2 LAMPHOLE FRAME & COVER



LEGEND

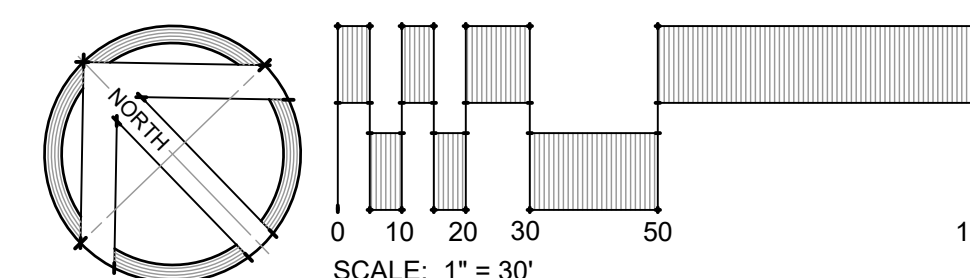
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GENERAL NOTE

1. ALL EXISTING STRUCTURES RIM/TOP ELEVATION SHALL BE ADJUSTED TO PROPOSED GRADE.
2. REFER TO ELECTRICAL DRAWINGS FOR PROPOSED LIGHTING, POLES, AND ASSOCIATED HANDHOLES.

UTILITY NOTE

- U-1** PROPOSED LIGHTING - SEE ELECTRICAL ENGINEERING PLANS
- U-2** PROPOSED CONCRETE HANDHOLE - SEE ELECTRICAL ENGINEERING PLANS
- U-3** PROPOSED STORM DRAIN MANHOLE - REPLACE EXISTING INLET WITH A STORM DRAIN MANHOLE AT THE PROPOSED GRADE.
- U-4** PER GENERAL NOTE, ALL EXISTING STRUCTURES RIM/TOP ELEVATION SHALL BE ADJUSTED TO PROPOSED GRADE.
- U-5** EXISTING SANITARY CLEANOUT TOP ELEVATION SHALL BE ADJUSTED TO PROPOSED GRADE AND ENCLOSED IN A ROADWAY BOX. SEE DETAILS 1 & 2, THIS SHEET.
- U-6** CONTRACTOR TO TEST PIT EXISTING TERRACOTTA SANITARY LINE BEFORE DRILLING FOR ENCLOSURE POSTS.



 SEAL	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHI	DRAWING SCALE		PROPERTY MANAGEMENT	
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.						N/A	NSE	61W3	PLAN SCALE:	AS SHOWN	APPROVED BY:	PROPERTY MANAGER
	LICENSE NO. 41978, EXPIRATION DATE 12/20/2025.		CONTRACT COMPLETION BOX				N/A	R.O.W NO.	60W3	PROFILE SCALE:		DATE:	
	ENGINEER: MARK HADLEY		BUREAU OF ENGINEERING AND CONSTRUCTION		TRAFFIC		HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	PROPERTY MANAGEMENT
 Creative Design. Successful Engineering.		DGN BY: EFA/AMK		DGN BY: EFA/AMK		REVIEWED BY:						APPROVED BY:	CHIEF
DATE: 6/6/25		CHKD BY: MJH		DATE REVIEWED:								DATE:	

MARYLAND COORDINATE SYSTEM NAD83/2011 & NAVD88

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE – PROPERTY MANAGEMENT

PARKVILLE SENIOR CENTER PARKING

UTILITY PLAN


PARKING RECONFIGURATION - 100% CONSTRUCTION DOCUMENTS

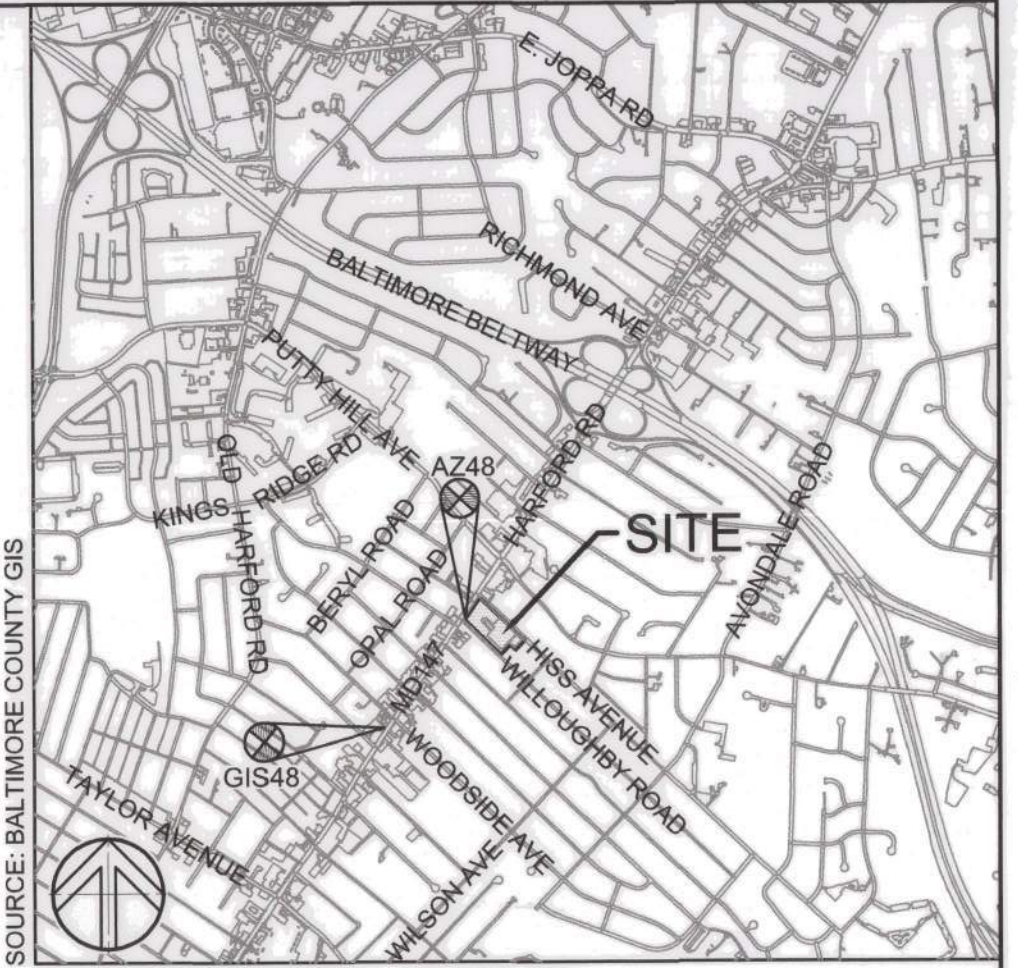
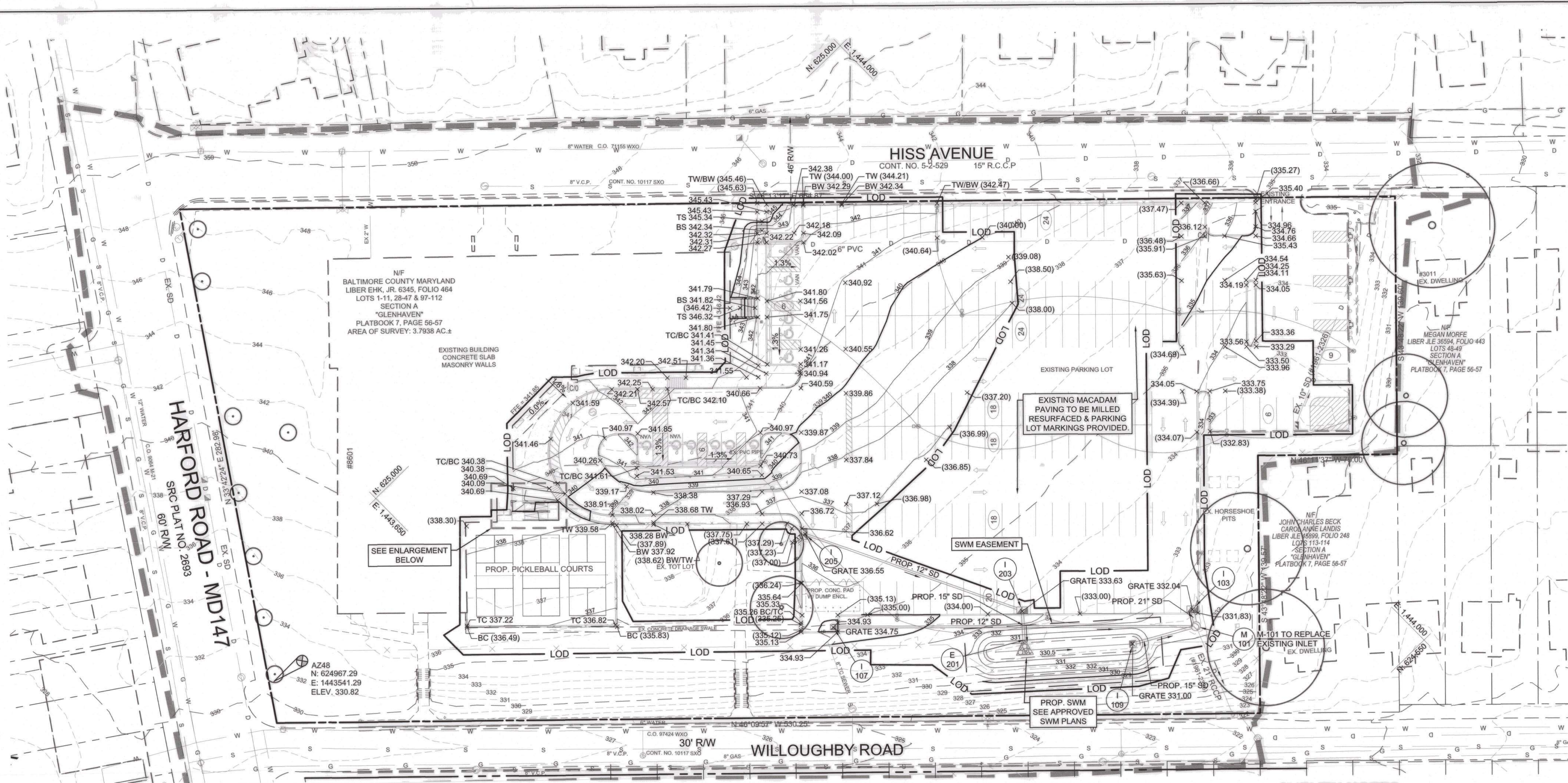
BALTIMORE COUNTY DEPARTMENT AGING

8601 HARFORD RD, PARKVILLE, MD 21234

SUBDIVISION: SECTION-A GLENHAVEN

ELECTION DIST. NO.: 14C6

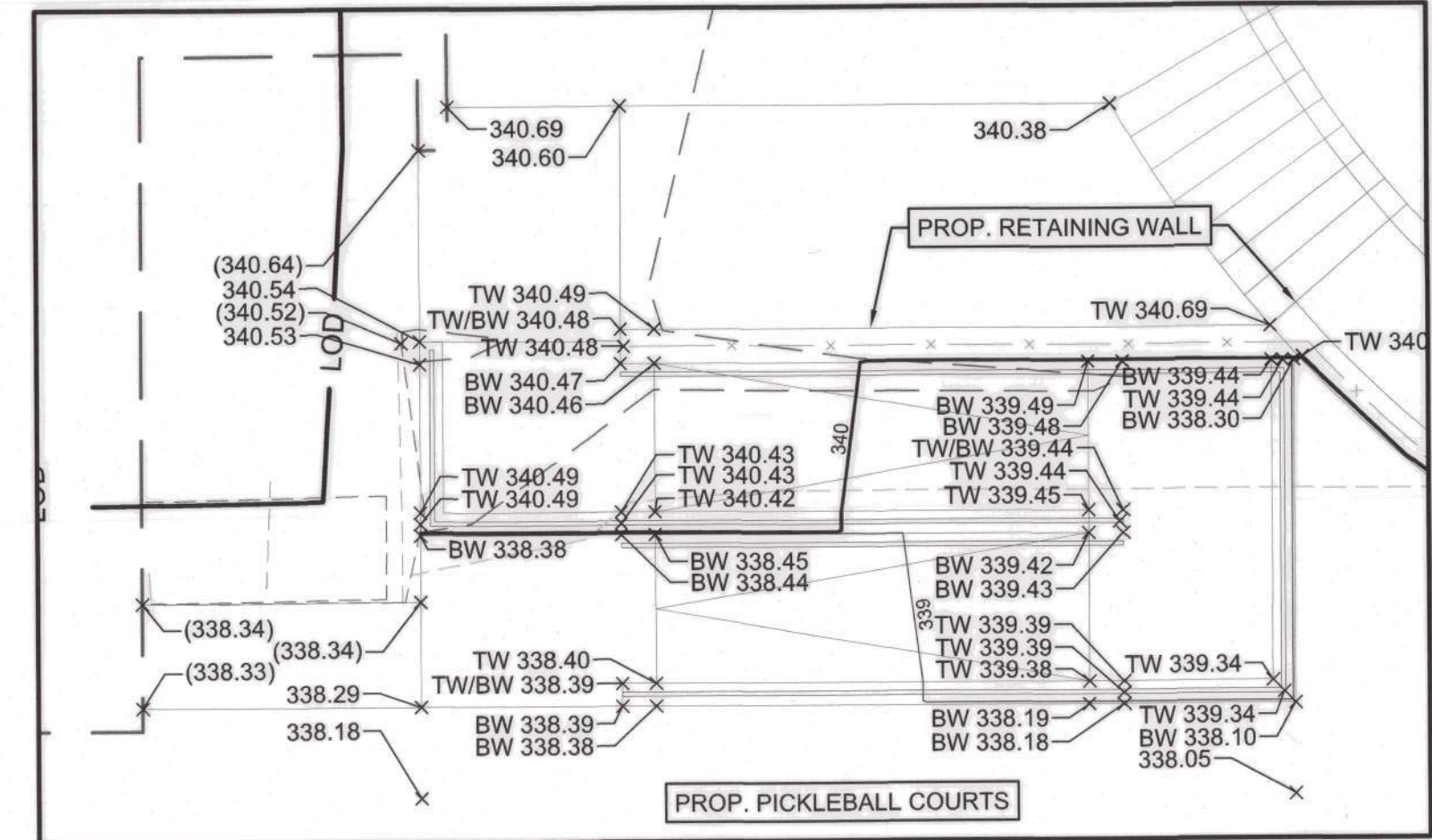
SHEET DESIGNATION	CONTRACT NUMBER
C131	25021 P00
	JOB ORDER NUMBER
	861889
	SHEET 6 OF 34
	DRAWING NUMBER
	2024-0406
	FILE NO.: 859



VICINITY MAP 1"=1000'

LEGEND

	PROPERTY LINE
	EXISTING BUILDING
	EXISTING WALK
	EXISTING ROAD
	EXISTING CURB
	EXISTING FENCE
	EXISTING STORM DRAIN
	EXISTING WATER
	EXISTING SANITARY SEWER
	EXISTING GAS
	EXISTING LIGHTING
	EXISTING CONTOURS
	EXISTING TREES
	LIMIT OF TOPOGRAPHIC SURVEY
	PROPOSED RETAINING WALL
	PROPOSED SIDEWALK
	PROPOSED CURB
	PROPOSED FENCE
	PROPOSED GUARDRAIL
	PROPOSED FLAGPOLE
	PROPOSED WOODLINE
	PROPOSED CONTOURS
	SPOT ELEVATIONS
	PROPOSED STORM DRAIN
	PROPOSED STORM DRAIN INLET
	PROPOSED ELECTRIC
	PROPOSED LIGHTING



OWNER'S/DEVELOPER'S CERTIFICATION-GRADING
I/WE CERTIFY THAT ALL GRADING ON THIS SITE WILL BE DONE IN ACCORDANCE WITH THE CURRENT GRADING REQUIREMENTS AS SET FORTH BY THE BALTIMORE COUNTY DEPARTMENT OF ENVIRONMENTAL PROTECTION AND SUSTAINABILITY AND WITH THE REQUIREMENTS SPECIFIED IN ARTICLE 33, TITLE 5 OF THE BALTIMORE COUNTY CODE.

Michael Goodyear
SIGNATURE OF OWNER/DEVELOPER

5.9.24
DATE

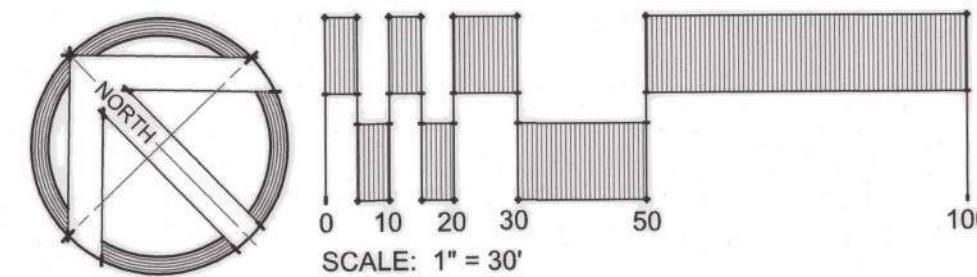
Michael Goodyear
PRINT NAME

Sr. Project Manager
TITLE

BALTIMORE COUNTY
DEPARTMENT OF ENVIRONMENTAL PROTECTION
AND SUSTAINABILITY
APPROVED FOR GRADING
10.10.24
DATE
STORMWATER MANAGEMENT REQUIRED

GENERAL GRADING NOTES:

- UNLESS OTHERWISE NOTED, SPOT ELEVATIONS AT CURBS ARE FOR BOTTOM OF CURB.
- THE PROPOSED GRADING SHOWN ON THIS PLAN MEETS THE REQUIREMENTS SET FORTH BY BALTIMORE COUNTY DEPARTMENT OF ENVIRONMENTAL PROTECTION AND SUSTAINABILITY AND COMPLIES WITH ARTICLE 33, TITLE 5 OF THE BALTIMORE COUNTY CODE. HOWEVER, DUE TO BUILDING TYPES AND LAYOUT, SOME FIELD ADJUSTMENTS MAY BE REQUIRED. ALL CHANGES MUST COMPLY WITH THE ABOVE MENTIONED REQUIREMENTS.
- ALL SWALES HAVE BEEN DESIGNED BY THE ENGINEER TO CONVEY RUNOFF ACCORDING TO BALTIMORE COUNTY DEPARTMENT OF PUBLIC WORKS DESIGN STANDARDS.
- THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION OR DISTURBANCE OF VEGETATION IN THE CRITICAL AREA BUFFER, EXCEPT AS PERMITTED BY THE BALTIMORE COUNTY DEPARTMENT OF ENVIRONMENTAL PROTECTION AND SUSTAINABILITY.
- STORMWATER MANAGEMENT HAS BEEN ADDRESSED BY ENVIRONMENTAL SITE DESIGN



SURVEY NOTES

TOPOGRAPHIC INFORMATION WAS TAKEN FROM A SURVEY PROVIDED BY HANOVER SURVEY IN AUGUST, 2023. ALL HORIZONTAL SURVEY DATA PROVIDED BY UTILITY MAPPING ARE REFERENCED TO THE FOLLOWING SURVEY CONTROL POINTS:

PT#	NORTHING	EASTING	ELEVATION	DESCRIPTION
HLS1	625180.56	1443687.67	348.40	MAG NAIL
HLS2	624974.82	1443907.31	345.68	MAG NAIL
HLS3	624750.64	1444118.84	334.76	MAG NAIL
HLS4	624656.88	1443894.77	332.66	MAG NAIL
HLS5	624783.19	1443698.12	326.49	MAG NAIL
AZ48	624967.29	1443541.29	330.82	MAG NAIL
GIS48	623826.03	1442695.68	327.36	MAG NAIL

LIMIT OF DISTURBANCE (OVERALL): 57,400 S.F. / 1.32 AC.
LIMIT OF DISTURBANCE (SWM STUDY AREA): 46,430 S.F. / 1.07 AC.

MARYLAND COORDINATE SYSTEM NAD83/2011 & NAVD88

PROJECT INFORMATION:
PARKVILLE SENIOR CENTER
8601 HARFORD RD,
BALTIMORE, MD 21234
ELECTION DISTRICT 14
COUNCILMANIC DISTRICT 6

DESIGN PROFESSIONAL:
SITE RESOURCES, INC.
4 NORTH PARK DRIVE, SUITE 100
COCKEYSVILLE, MD 21030
410-683-3388
CONTACT:
ALEXANDER KURTZ
AKURTZ@SITERESOURCESINC.COM

OWNER/DEVELOPER:
BALTIMORE COUNTY PROPERTY MANAGEMENT
12200A LONG GREEN PIKE
GLEN ARM, MARYLAND 21057
CONTACT:
STEVE GALLATIN
SGALLATIN@BALTIMORECOUNTYMD.GOV

SHEET DESIGNATION	CONTRACT NUMBER
C141	25021 POO
JOB ORDER NUMBER	861889
SHEET 7 OF 34	
DRAWING NUMBER	2024-0407
FILE NO.	

PROFESSIONAL CERTIFICATION	AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHI	DRAWING SCALE	PROPERTY MANAGEMENT
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 41978 EXPIRATION DATE 12/20/2025 ENGINEER: MARK HADLEY SITERESOURCES Creative Design, Successfully Engineered. 4 North Park Drive, Suite 100, Cockeysville, MD 21030 410-683-3388 www.siteresourcesinc.com	CONTRACT COMPLETION BOX BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	PLAN SCALE: AS SHOWN PROFILE SCALE:	APPROVED BY: PROPERTY MANAGER DATE:
DGN BY: EFA/AMK DWN BY: EFA/AMK CHKD BY: MJH	REVIEWED BY:							APPROVED BY: CHIEF DATE:

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT

PARKVILLE SENIOR CENTER PARKING

GRADING PLAN

PARKING RECONFIGURATION - 100% CONSTRUCTION DOCUMENTS

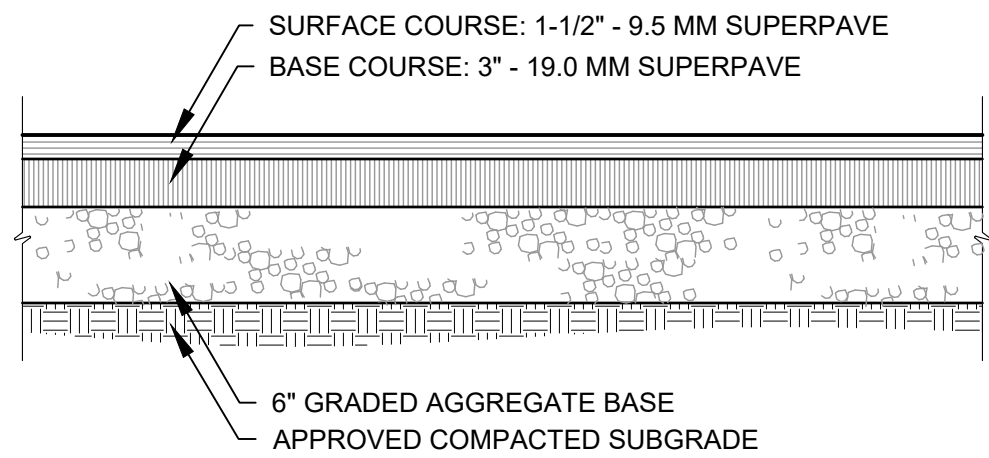
BALTIMORE COUNTY DEPARTMENT AGING

8601 HARFORD RD, PARKVILLE, MD 21234

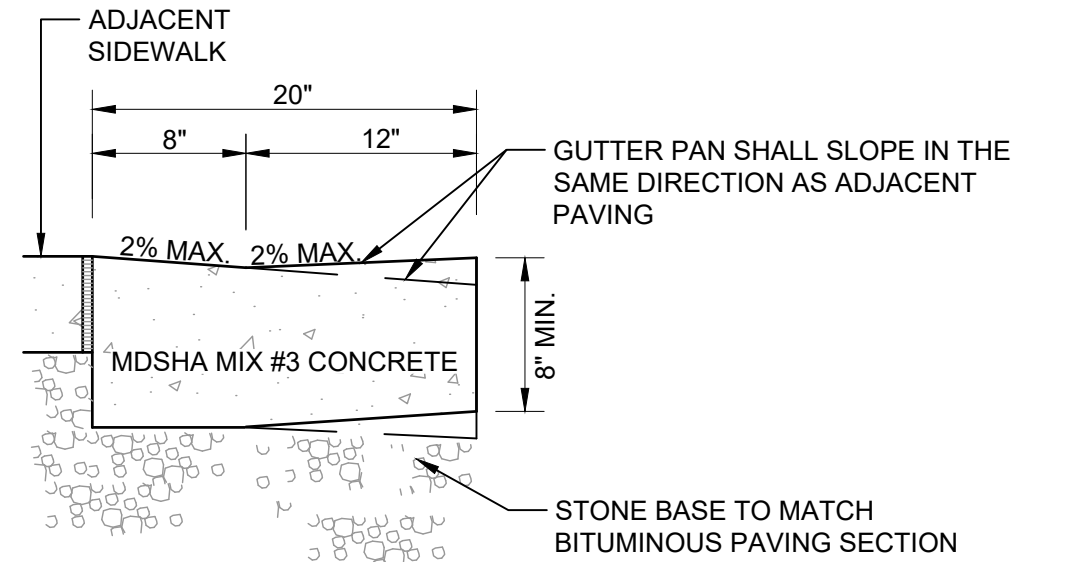
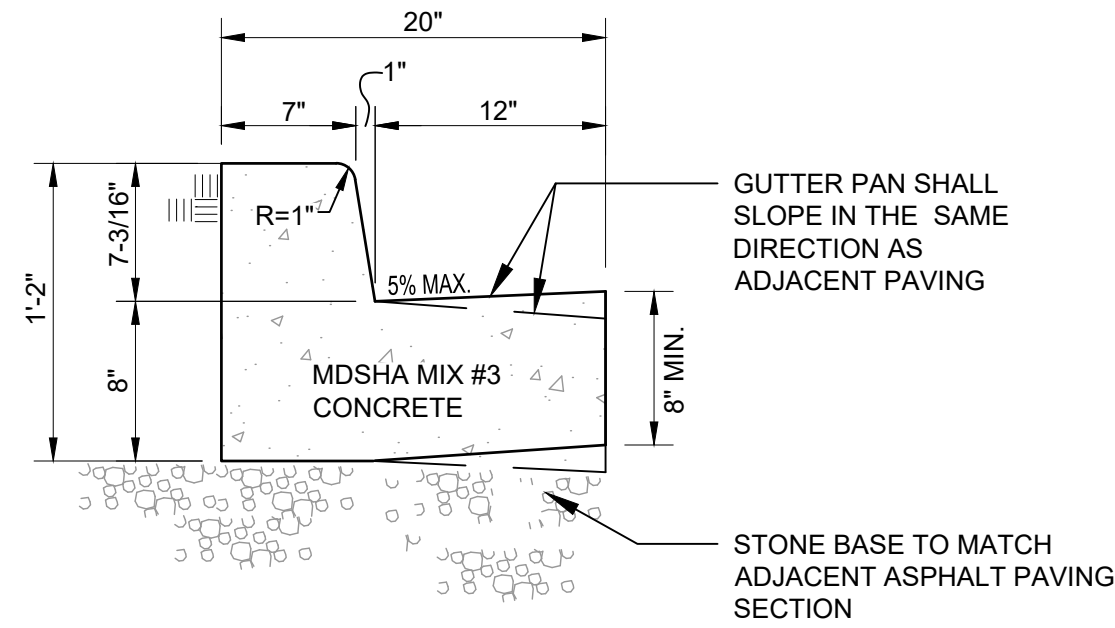
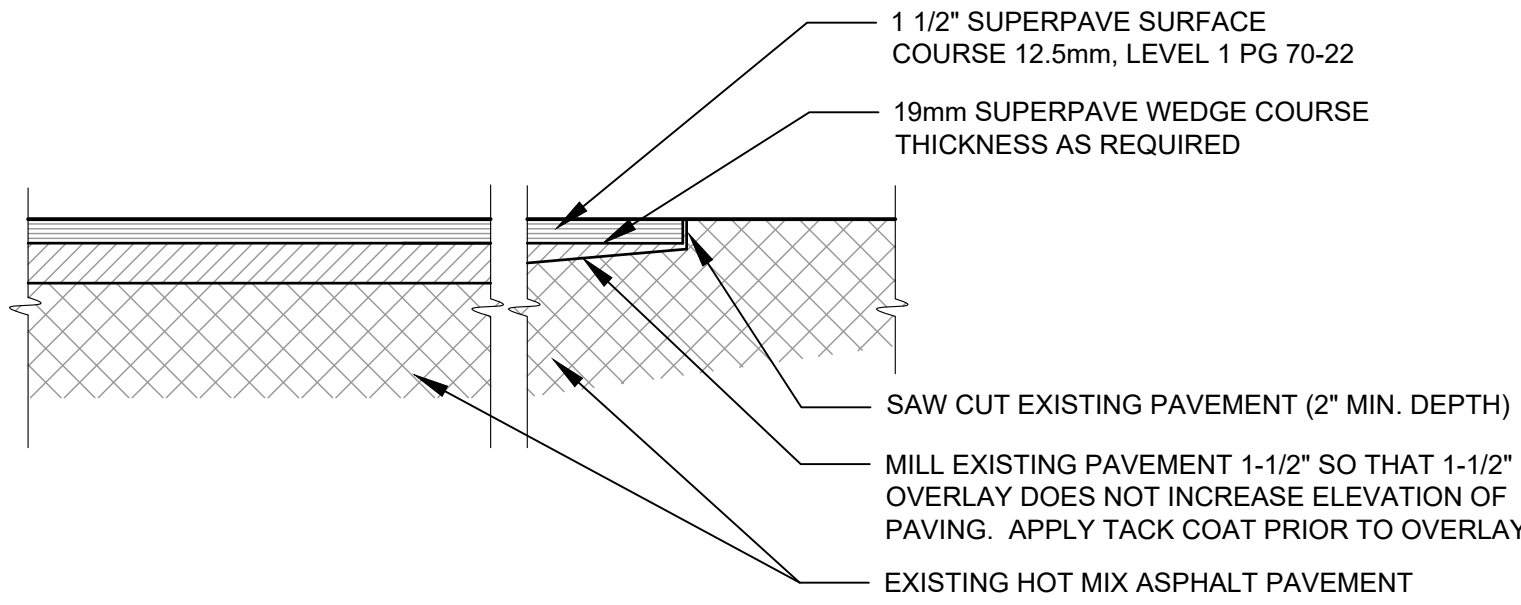
SUBDIVISION: SECTION-A GLENHAVEN

ELECTION DIST. NO.: 14C6

DWG. FILENAME: © SITE RESOURCES, INC. Z:\21\21039-baco parkville sr ctr p\04-DWG\C201 - Site Details.dwg-C201 Oct 17, 2024 02:09pm tdc



NOTES:
1. A REPRESENTATIVE FROM THE ON-SITE GEO-TECHNICAL ENGINEER SHALL OBSERVE AND TEST ANY COMPACTED FILL TO BE USED FOR PAVEMENT SUPPORT, AND OBSERVE ANY PROOFROLLING OPERATIONS OF PAVEMENT SUBGRADES.



1 INTERMEDIATE-DUTY HOT MIX ASPHALT PAVING

NOT TO SCALE

2 HOT MIX ASPHALT OVERLAY

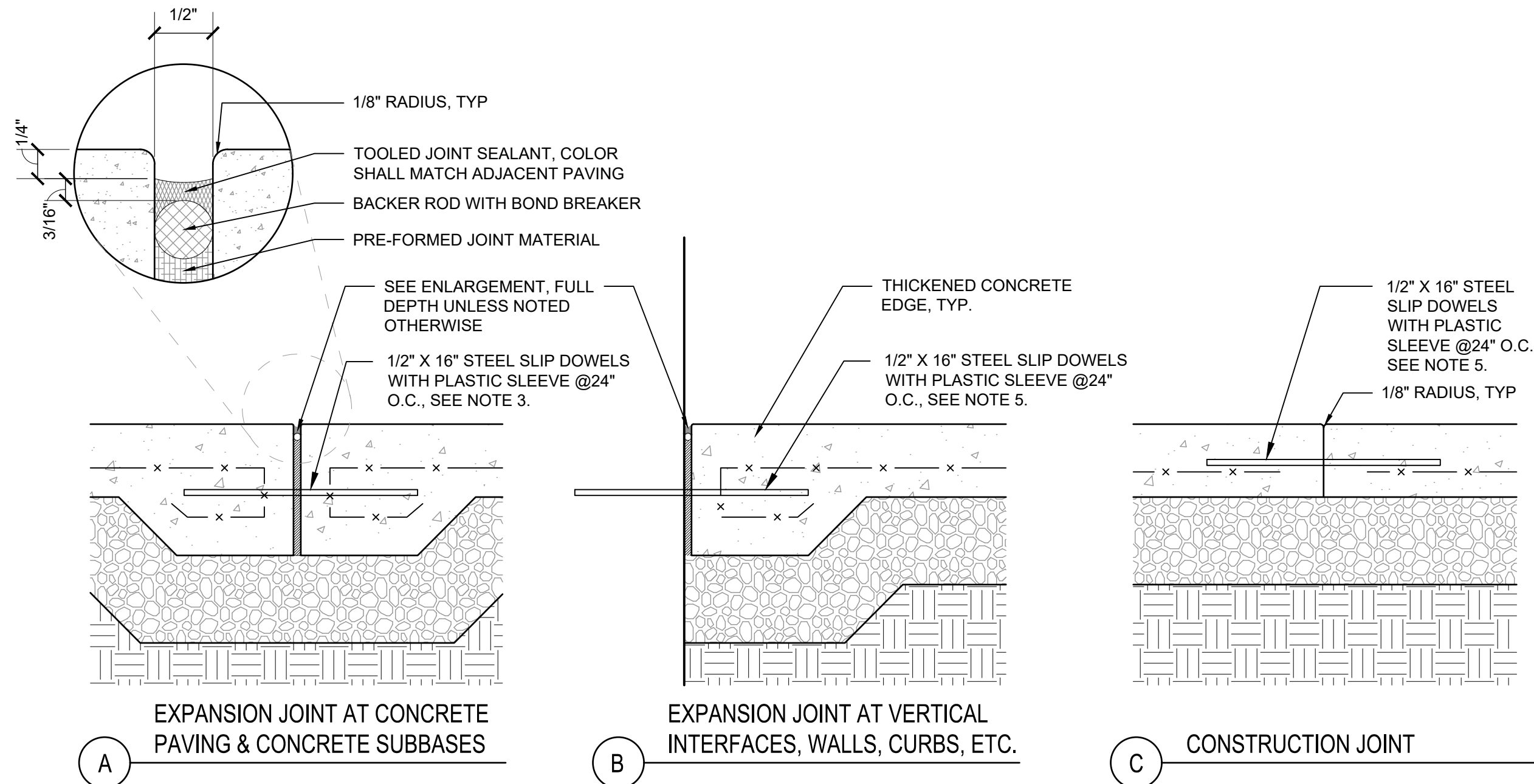
NOT TO SCALE

3 CONCRETE CURB & GUTTER

NOT TO SCALE

4 FLUSH CURB & GUTTER

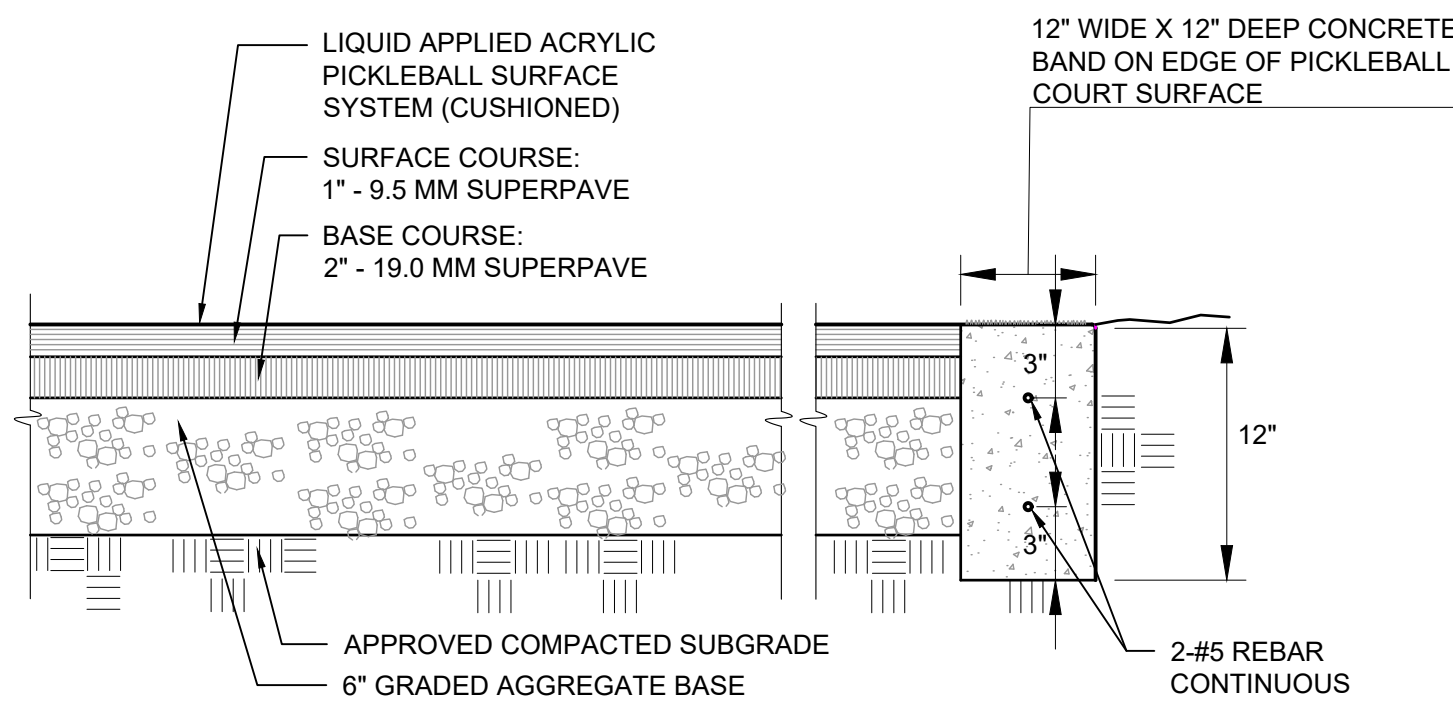
NOT TO SCALE



NOTES:
1. PROVIDE EXPANSION JOINTS WHERE POUR MEETS EXISTING CONCRETE PAVING OR CURB.
2. WHEN CONCRETE PAVING ABUTS BACK OF STREET CURB, PAVING SHALL BE 1/4" ABOVE TOP OF CURB.
3. WHEN CONCRETE PAVING ABUTS EXISTING CONCRETE PAVING, CORE DRILL AND INSTALL DOWELS PER DETAIL.
4. UNLESS OTHERWISE SHOWN ON PLAN, CONTRACTOR TO SUBMIT LAYOUT OF PROPOSED CONTRACTION JOINTS FOR APPROVAL PRIOR TO POURING CONCRETE.
5. WHEN CONCRETE PAVING ABUTS A DOORWAY INTO A BUILDING, DOWEL CONCRETE PAVING INTO BUILDING.
6. REFER TO APPROPRIATE PAVING DETAILS FOR DIMENSIONS OF CONCRETE, BASE MATERIALS, AND STEEL REINFORCEMENT, AS REQUIRED.

5 CONCRETE PAVING - TYP. JOINTS

NOT TO SCALE



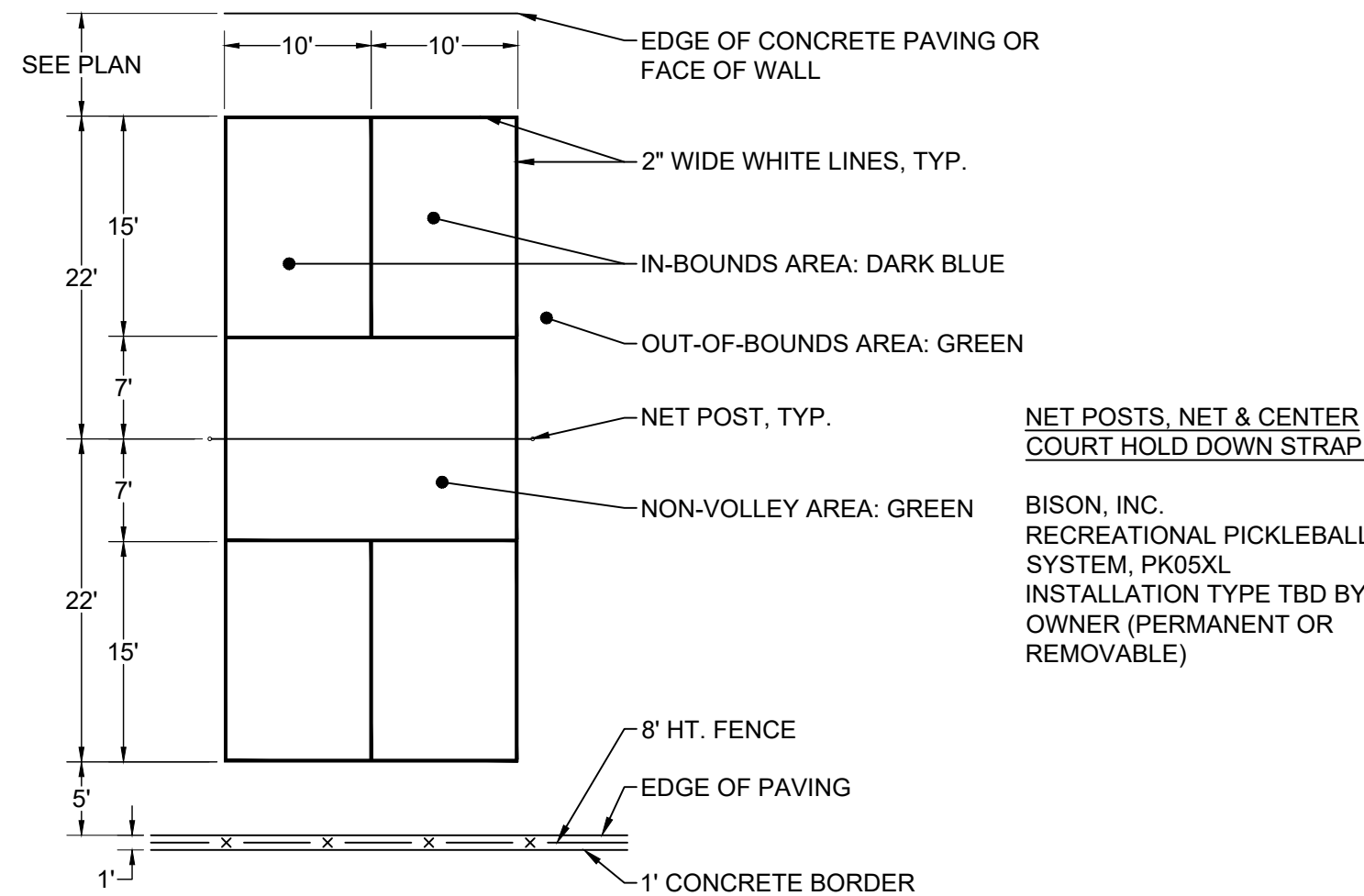
NOTE:
A REPRESENTATIVE FROM THE ON-SITE GEOTECHNICAL ENGINEER SHALL OBSERVE AND TEST ANY COMPACTED FILL TO BE USED FOR PAVEMENT SUPPORT, AND OBSERVE ANY PROOFROLLING OPERATIONS OF PAVEMENT SUBGRADES.

7 ASPHALT PAVING AT PICKLEBALL COURTS

NOT TO SCALE

6 CONCRETE PAVING

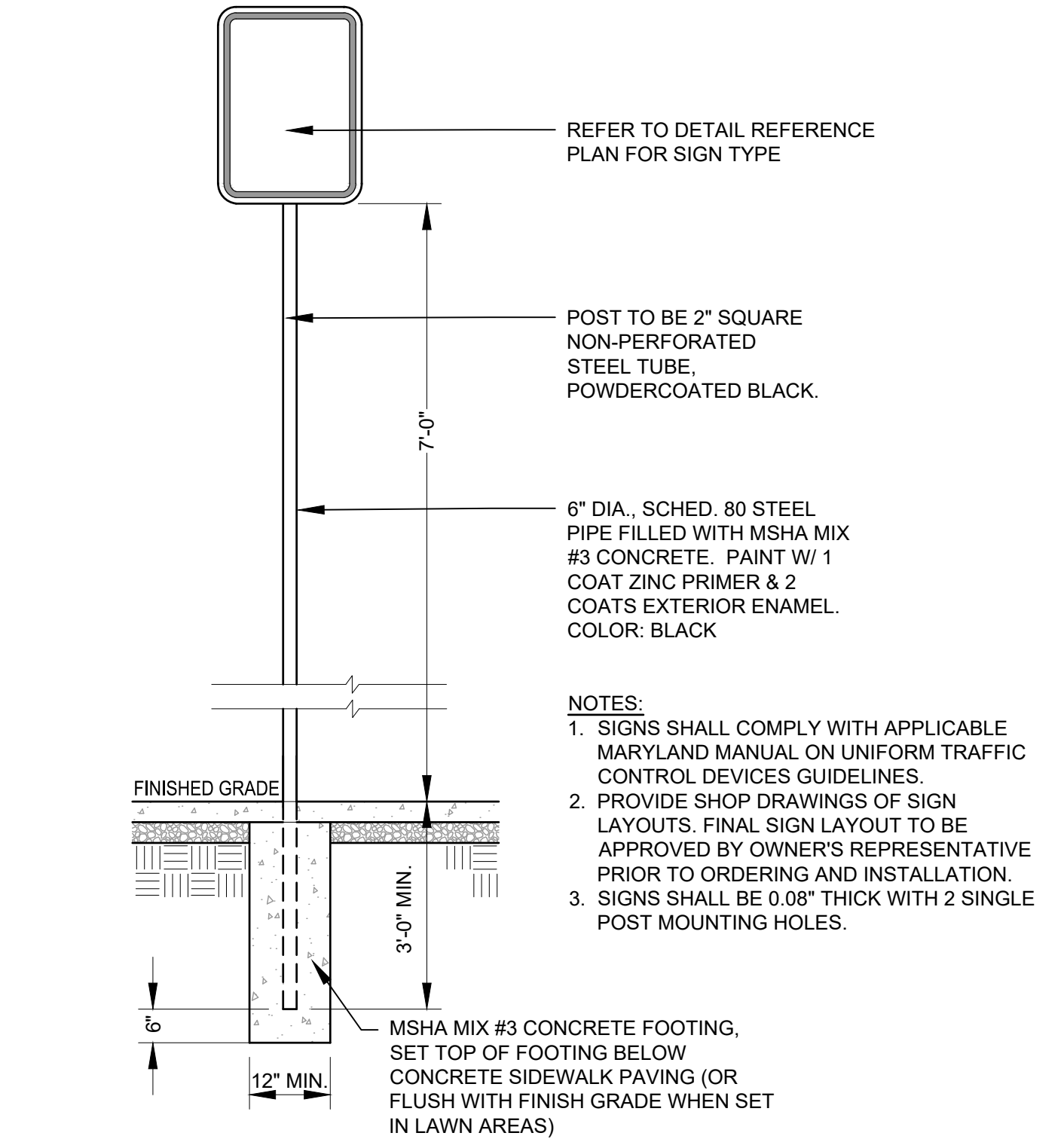
NOT TO SCALE



NOTES:
1. FOR LAYOUT OF SITE, REFER TO CONSTRUCTION DOCUMENTS.
2. SEE SPECIFICATION FOR PROTECTIVE COLORCOATING APPLICATION RATES.
3. COLORCOAT SURFACE AFTER FENCE AND GATES HAVE BEEN INSTALLED. RESTRICT ACCESS TO COURT AREA TO PROTECT THE COLORCOATED SURFACE DURING CURING.
4. ALL MEASUREMENTS FOR LINE STRIPING ARE TO THE OUTSIDE OF LINES, EXCEPT THOSE INVOLVING THE CENTER SERVICE LINE. THE CENTER SERVICE LINE IS MEASURED TO THE CENTER OF THE LINE.

8 PICKLEBALL COURT - TYPICAL LAYOUT

NOT TO SCALE



NOTES:
1. SIGNS SHALL COMPLY WITH APPLICABLE MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES GUIDELINES.
2. PROVIDE SHOP DRAWINGS OF SIGN LAYOUTS. FINAL SIGN LAYOUT TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO ORDERING AND INSTALLATION.
3. SIGNS SHALL BE 0.08" THICK WITH 2 SINGLE POST MOUNTING HOLES.

9 TRAFFIC SIGN

NOT TO SCALE

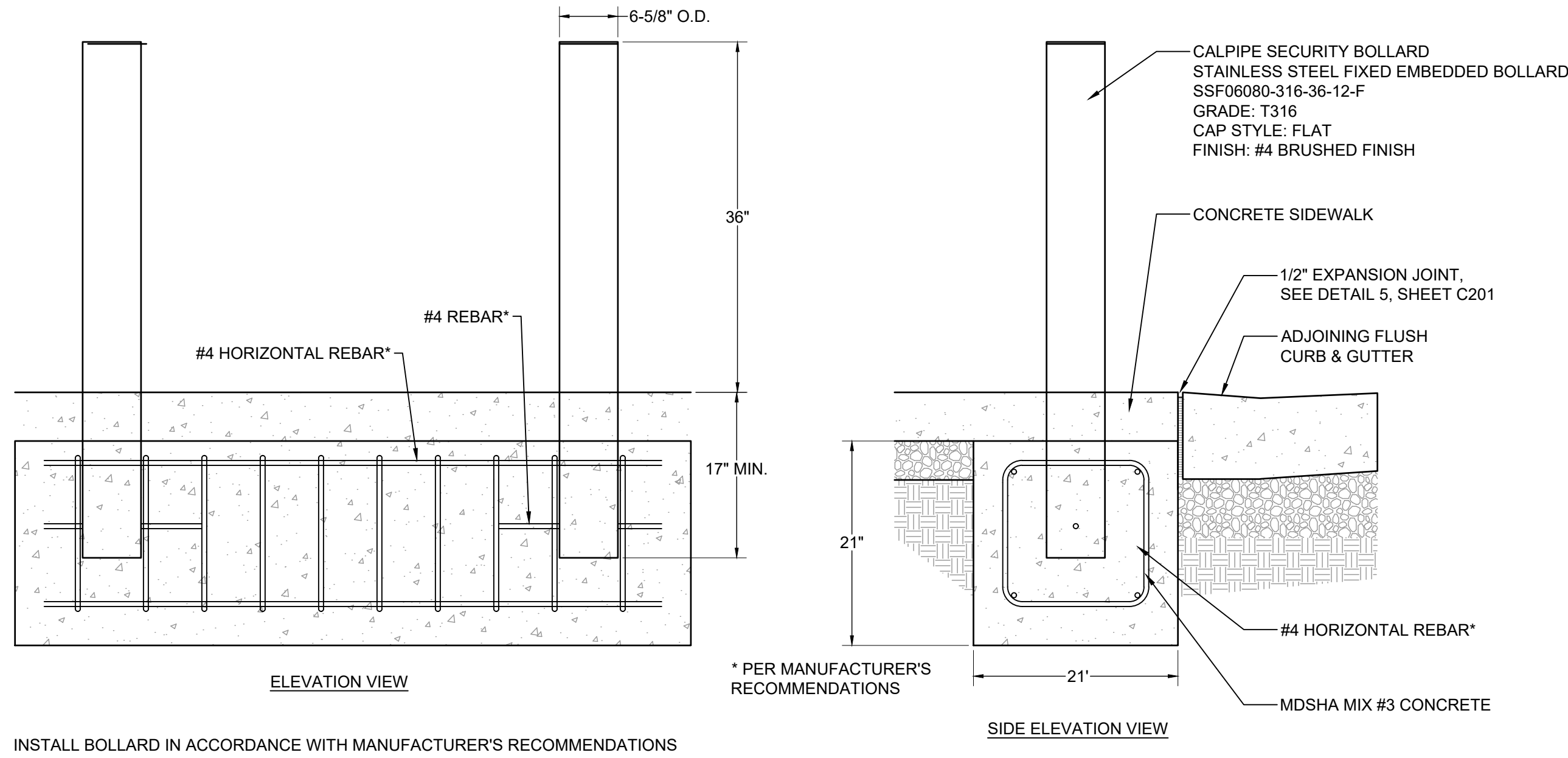
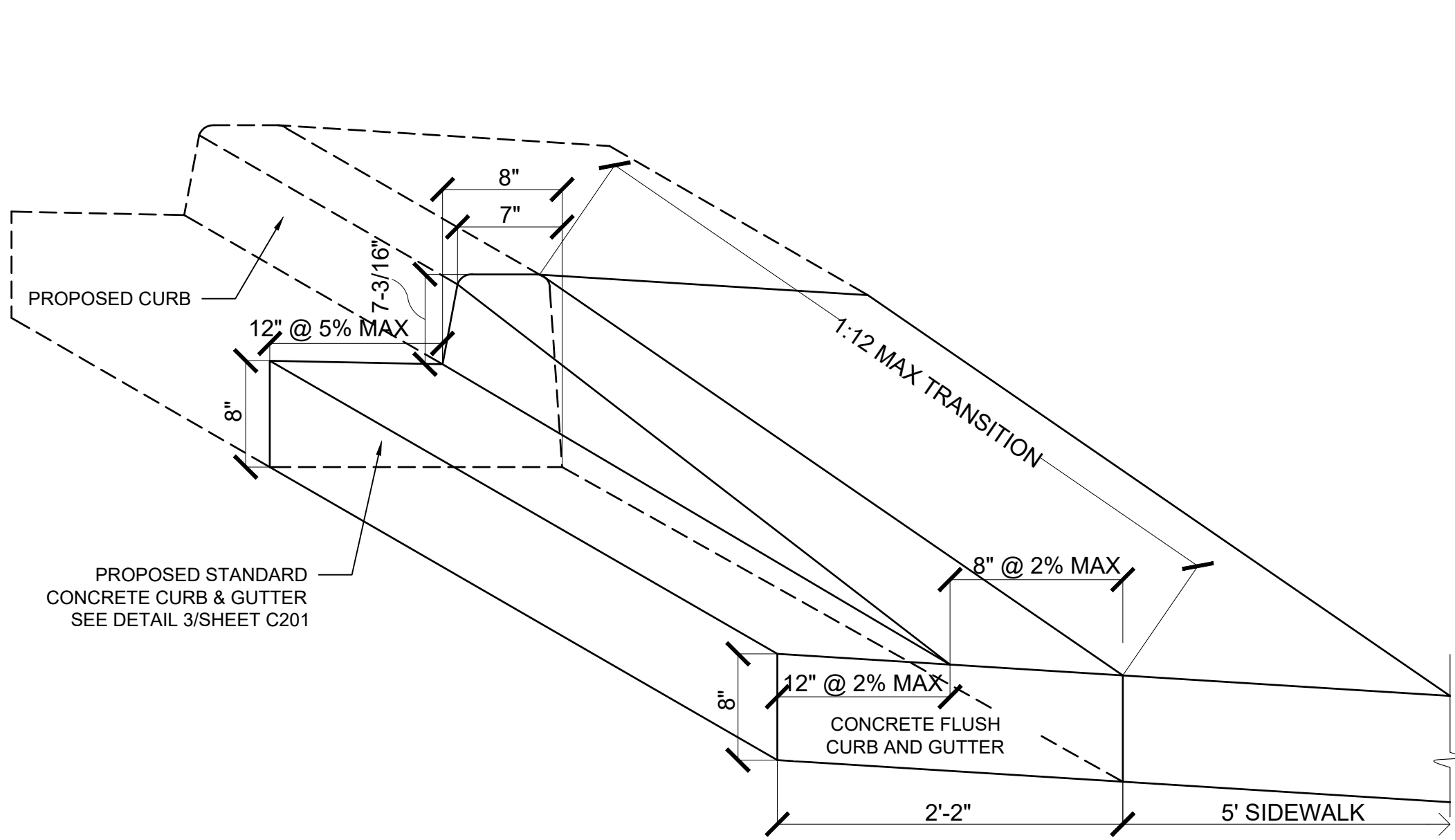
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	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.						N/A	VSE SNE	61N3 60N3	PLAN SCALE: AS SHOWN		APPROVED BY: PROPERTY MANAGER	
	LICENSE NO. 41978		EXPIRATION DATE 12/20/2025		CONTRACT COMPLETION BOX						DATE:		
	ENGINEER: MARK HADLEY		DGN BY: EFA/AMK		BUREAU OF ENGINEERING AND CONSTRUCTION		TRAFFIC		HIGHWAYS		STRUCTURES		PROPERTY MANAGEMENT
	SITERESOURCES		DWN BY: EFA/AMK		REVIEWED BY:								CHIEF
	4 North Park Drive, Suite 100, Cockeysville, MD 21030		DATE REVIEWED:										DATE:

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE – PROPERTY MANAGEMENT
PARKVILLE SENIOR CENTER PARKING
SITE DETAILS I
PARKING RECONFIGURATION – 100% CONSTRUCTION DOCUMENTS
BALTIMORE COUNTY DEPARTMENT AGING
SUBDIVISION: SECTION-A GLENHAVEN 8601 HARFORD RD, PARKVILLE, MD 21234

ELECTION DIST. NO.: 14C6

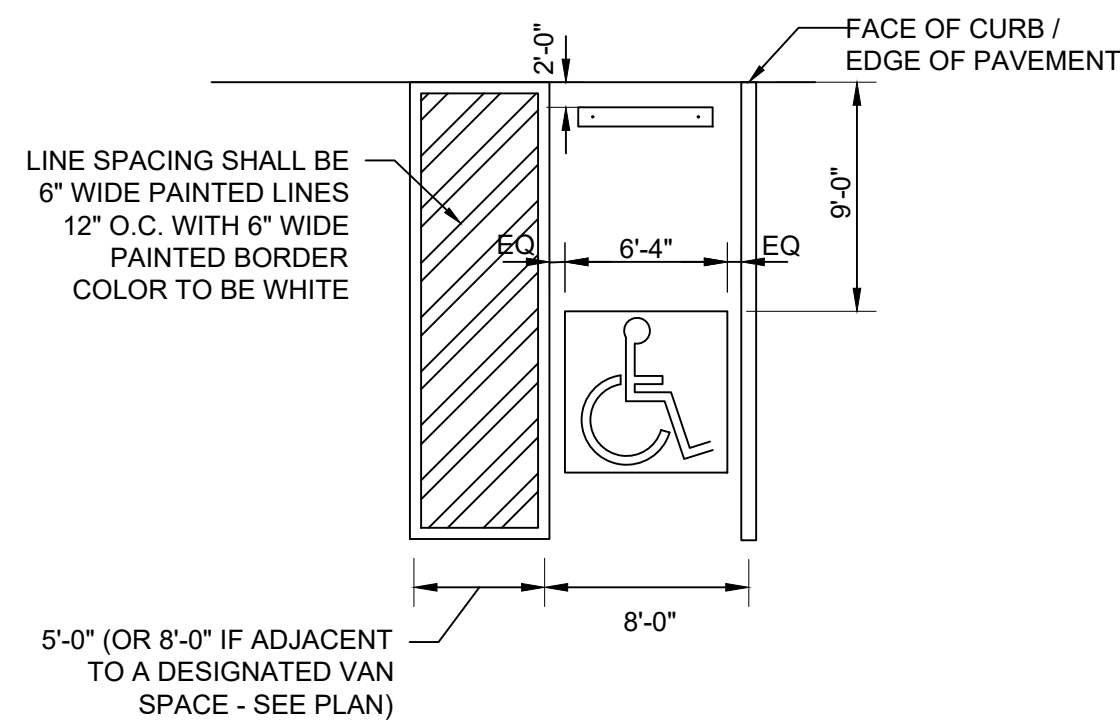
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C201	25021 P00
JOB ORDER NUMBER	861889
SHEET 8 OF 34	
DRAWING NUMBER	2024-0408
FILE NO.:	

DWG. FILENAME: © SITE RESOURCES, INC. Z:\21\039-baco parkville sr ctr p\04-DWG\C201 - Site Details.dwg-C202 Oct 17, 2024 02:09pm tdc

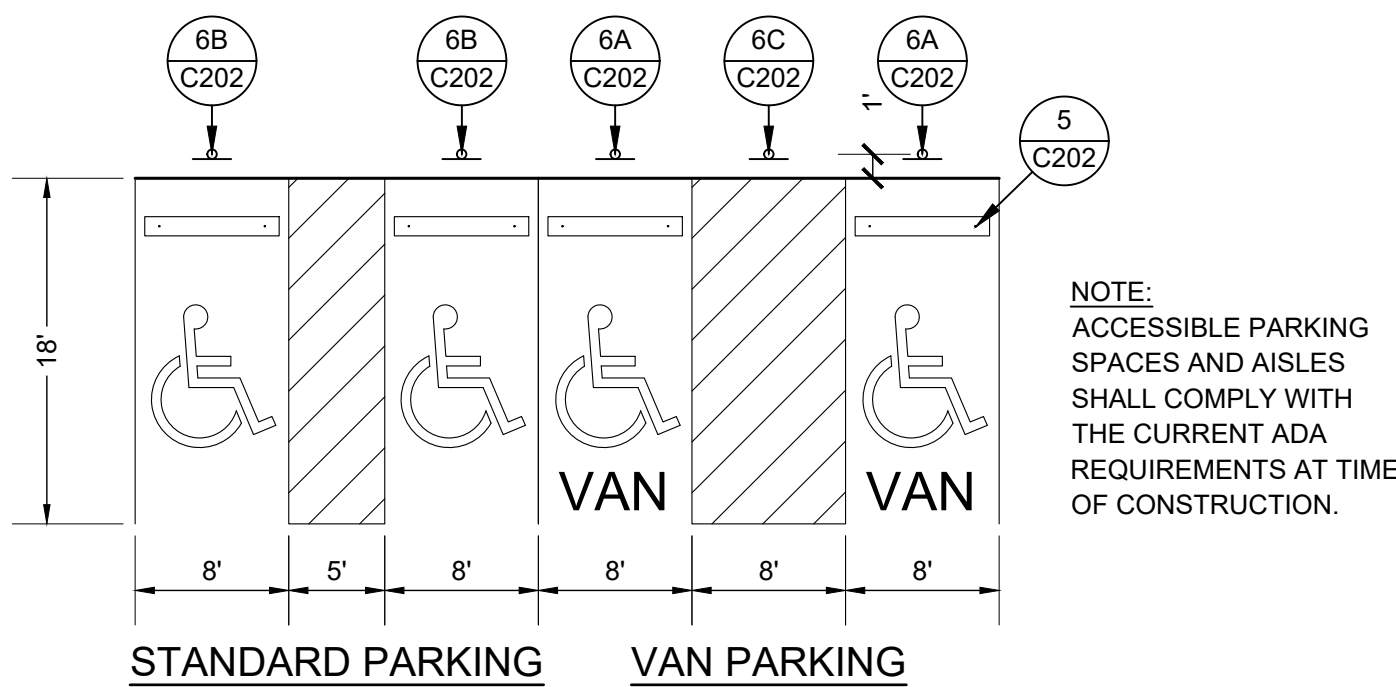


1 RAMP TRANSITION TO FLUSH CURB NOT TO SCALE

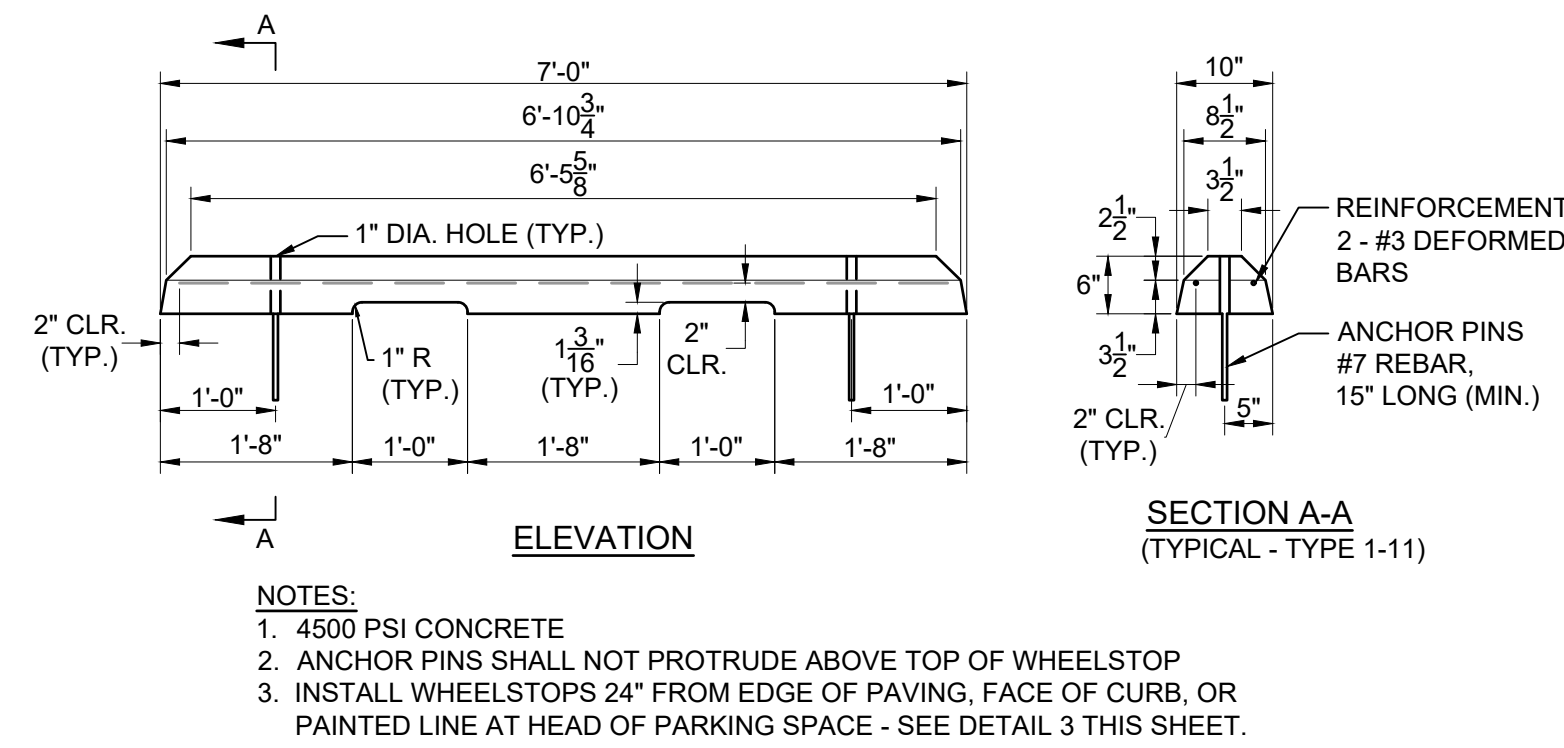
2 BOLLARD NOT TO SCALE



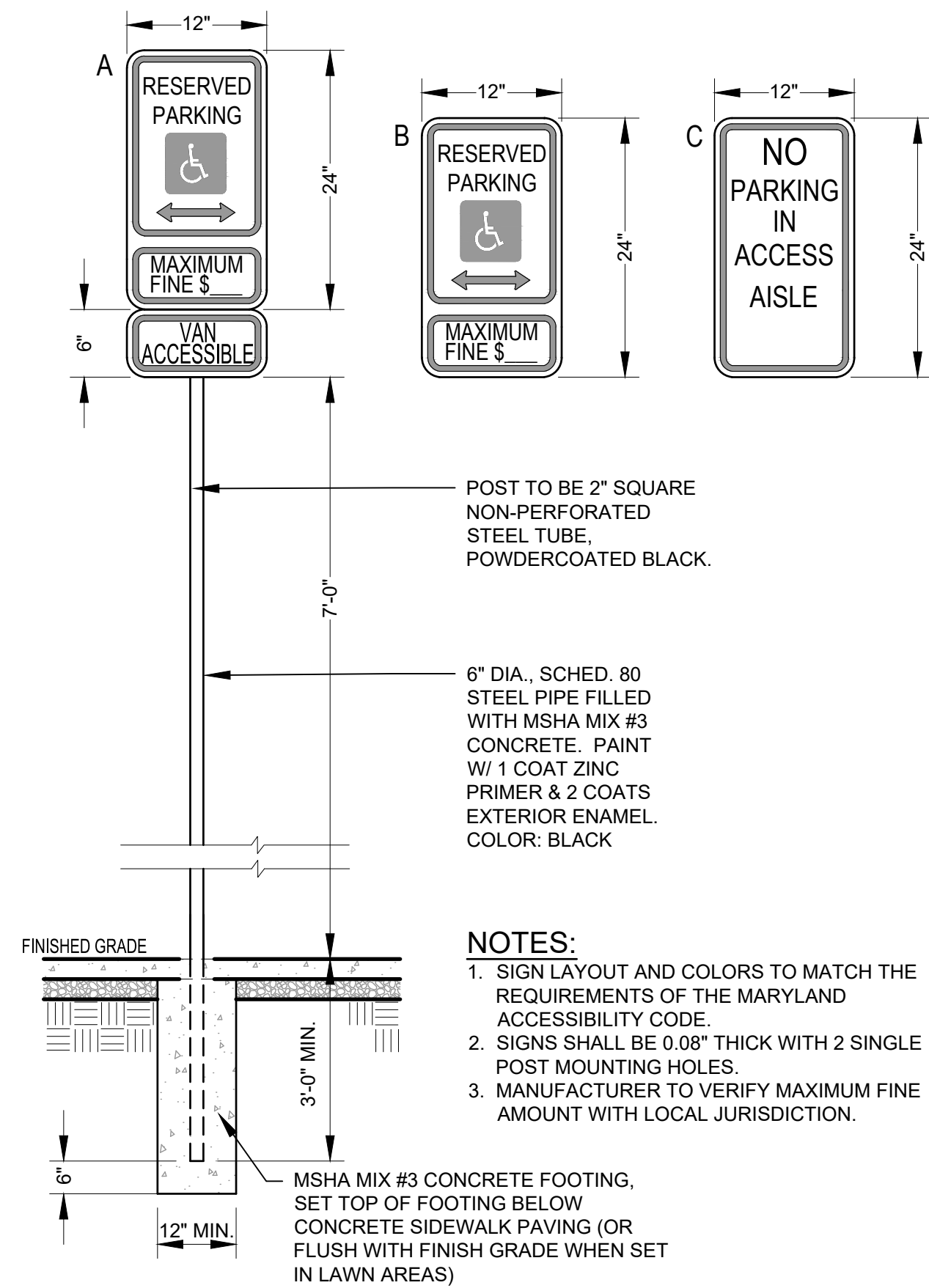
3 ACCESSIBLE PARKING SPACE STRIPING NOT TO SCALE



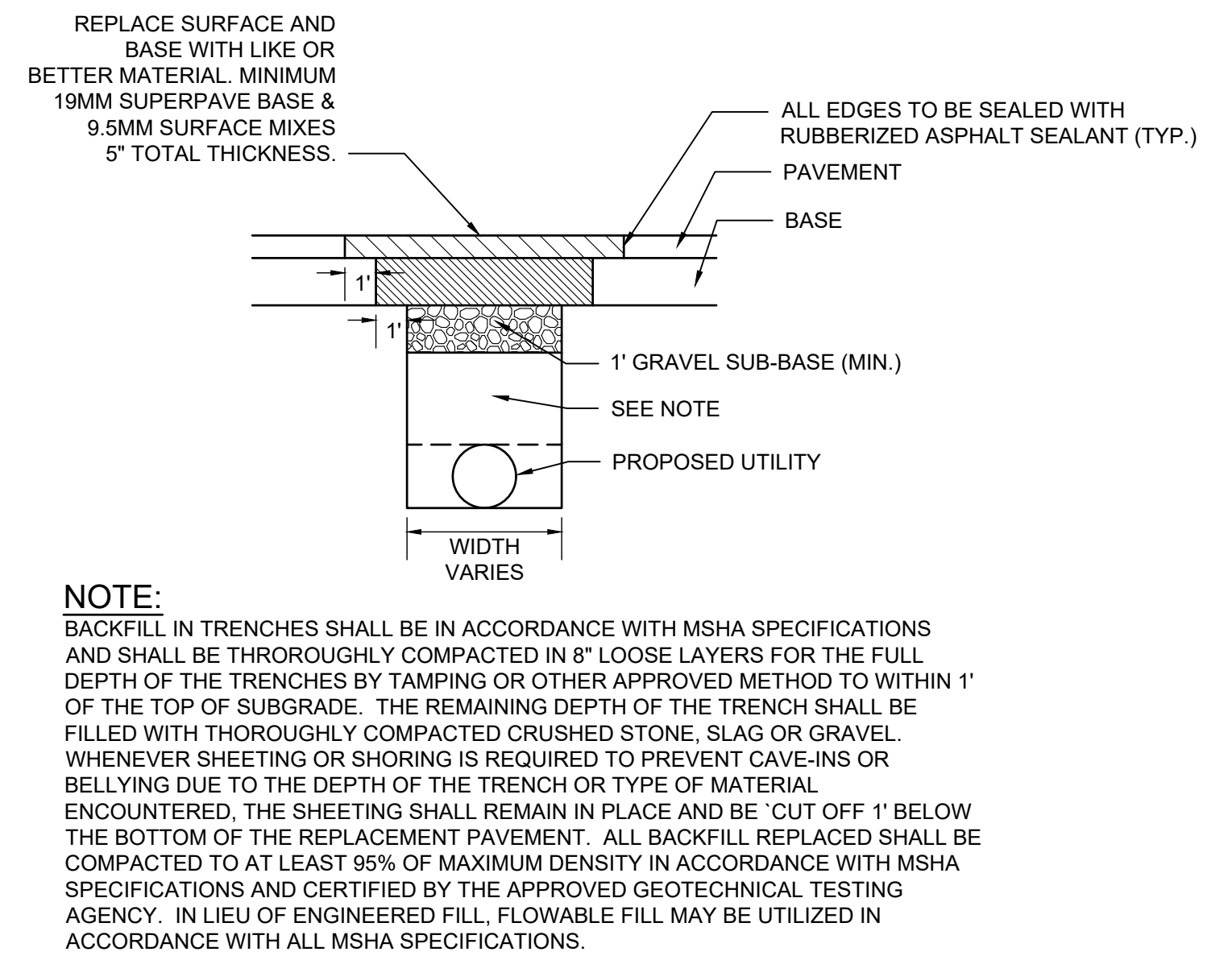
4 ACCESSIBLE PARKING SPACE LAYOUT NOT TO SCALE




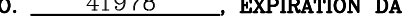
5 PRECAST CONCRETE WHEELSTOP NOT TO SCALE



6 ACCESSIBLE PARKING SIGNS NOT TO SCALE

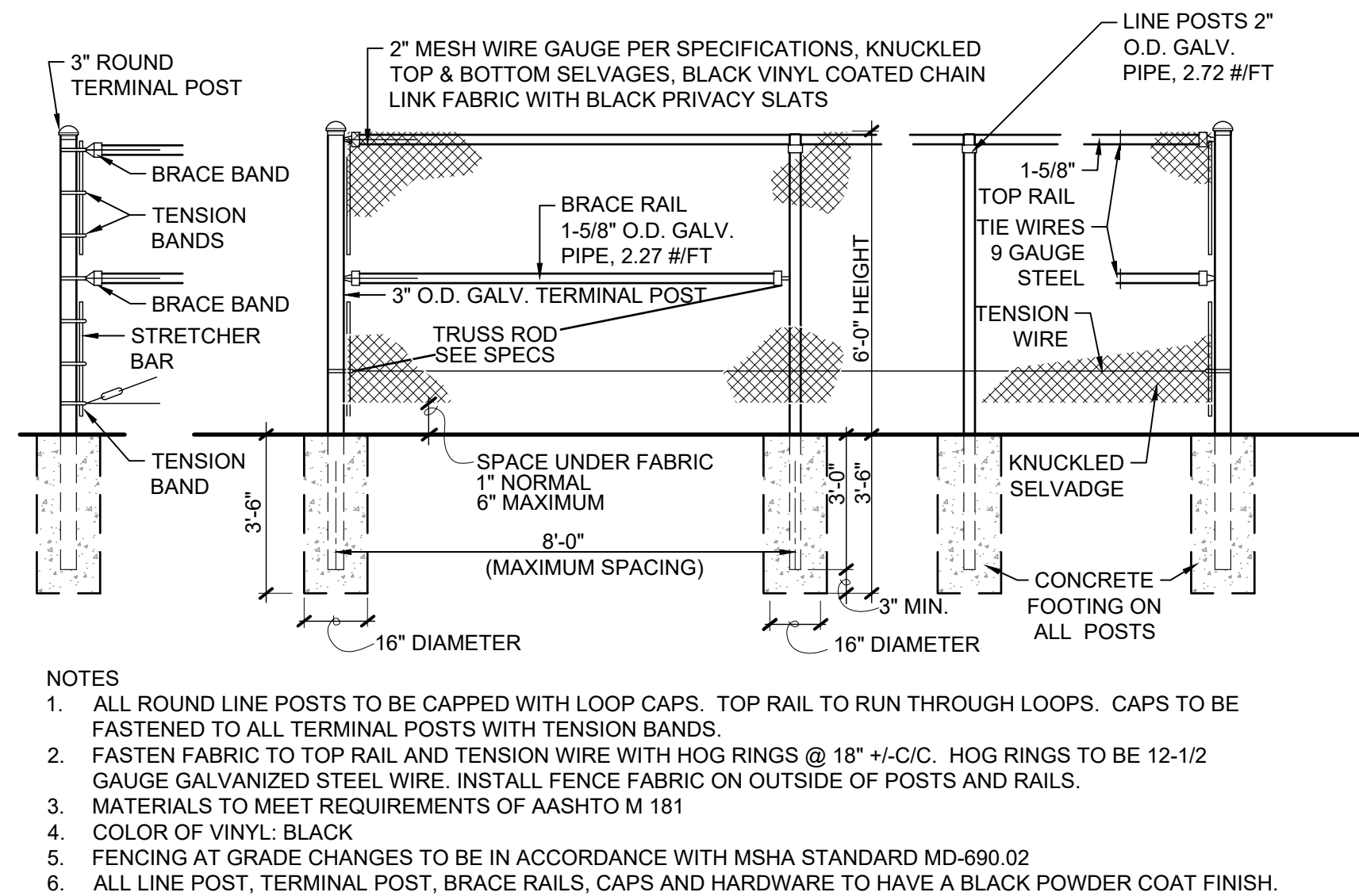
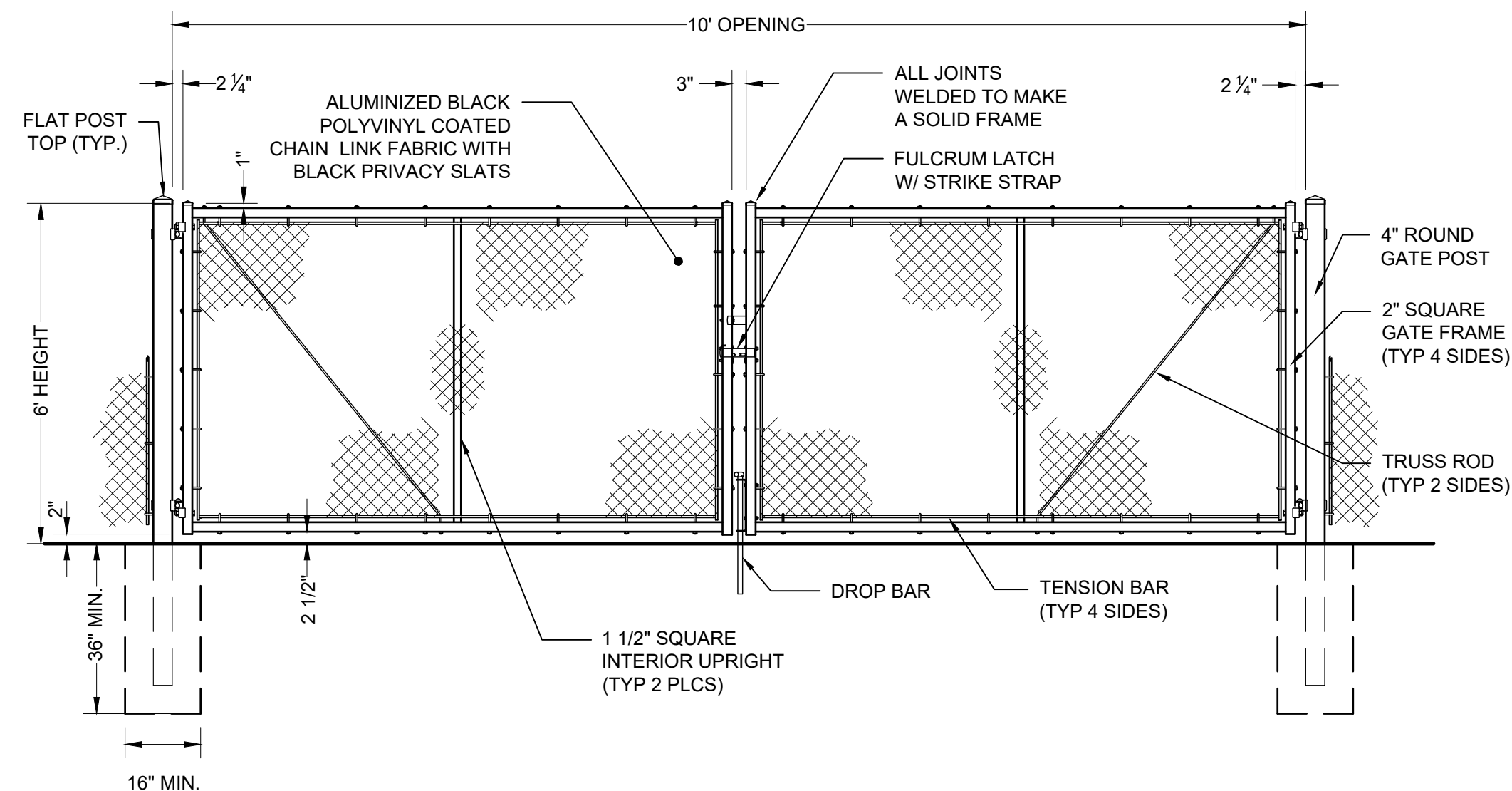


7 HOT MIX ASPHALT PAVING RESTORATION DETAIL NOT TO SCALE

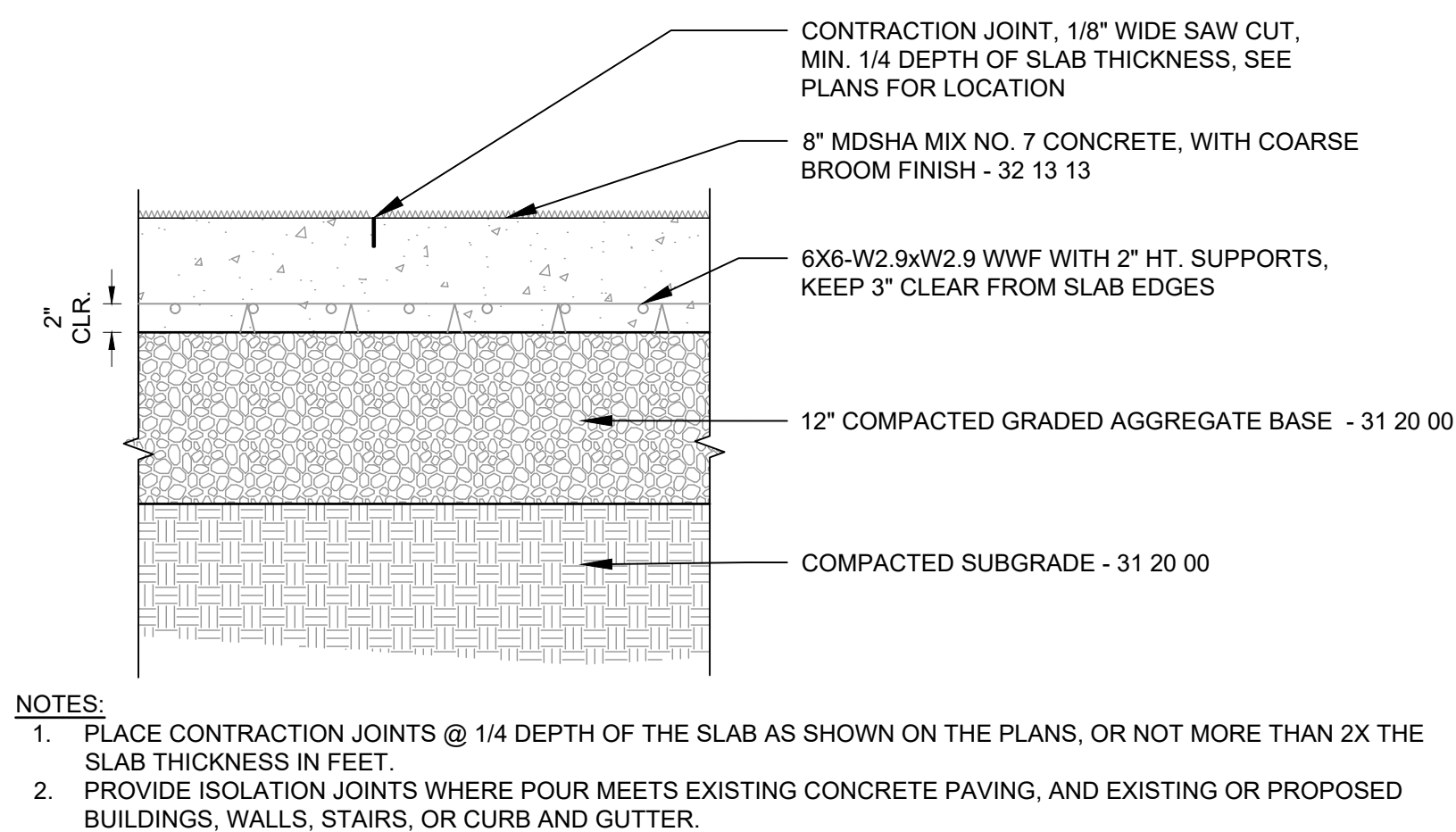
SEAL	PROFESSIONAL CERTIFICATION			AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION	SHT	DRAWING SCALE		PROPERTY MANAGEMENT		
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 41978 EXPIRATION DATE 12/20/2025 ENGINEER: <u>MARK HADLEY</u>							N/A	YES	61N3	PLAN SCALE: AS SHOWN	APPROVED BY: _____ PROPERTY MANAGER				
								R.O.W NO.	SNE	60N3					PROFILE SCALE: _____	DATE: _____
				CONTRACT COMPLETION BOX					N/A							
ENGINEER: <u>MARK HADLEY</u>			DGN BY: <u>EFA/AMK</u>	BUREAU OF ENGINEERING AND CONSTRUCTION		TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	PROPERTY MANAGEMENT			
 4 North Park Drive, Suite 100, Cockeysville, MD 21030 410.663.3388 www.siteresourcesinc.com			DWN BY: <u>EFA/AMK</u>	REVIEWED BY:									APPROVED BY: _____ CHIEF			
			CHKD BY: <u>MJH</u>	DATE REVIEWED:										DATE: _____		
DATE : 6/6/25																

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE – PROPERTY MANAGEMENT
PARKVILLE SENIOR CENTER PARKING
SITE DETAILS II
PARKING RECONFIGURATION – 100% CONSTRUCTION DOCUMENTS
BALTIMORE COUNTY DEPARTMENT AGING
8601 HARFORD RD, PARKVILLE, MD 21234
SUBDIVISION: SECTION-A GLENHAVEN
ELECTION DIST. NO.: 14C6

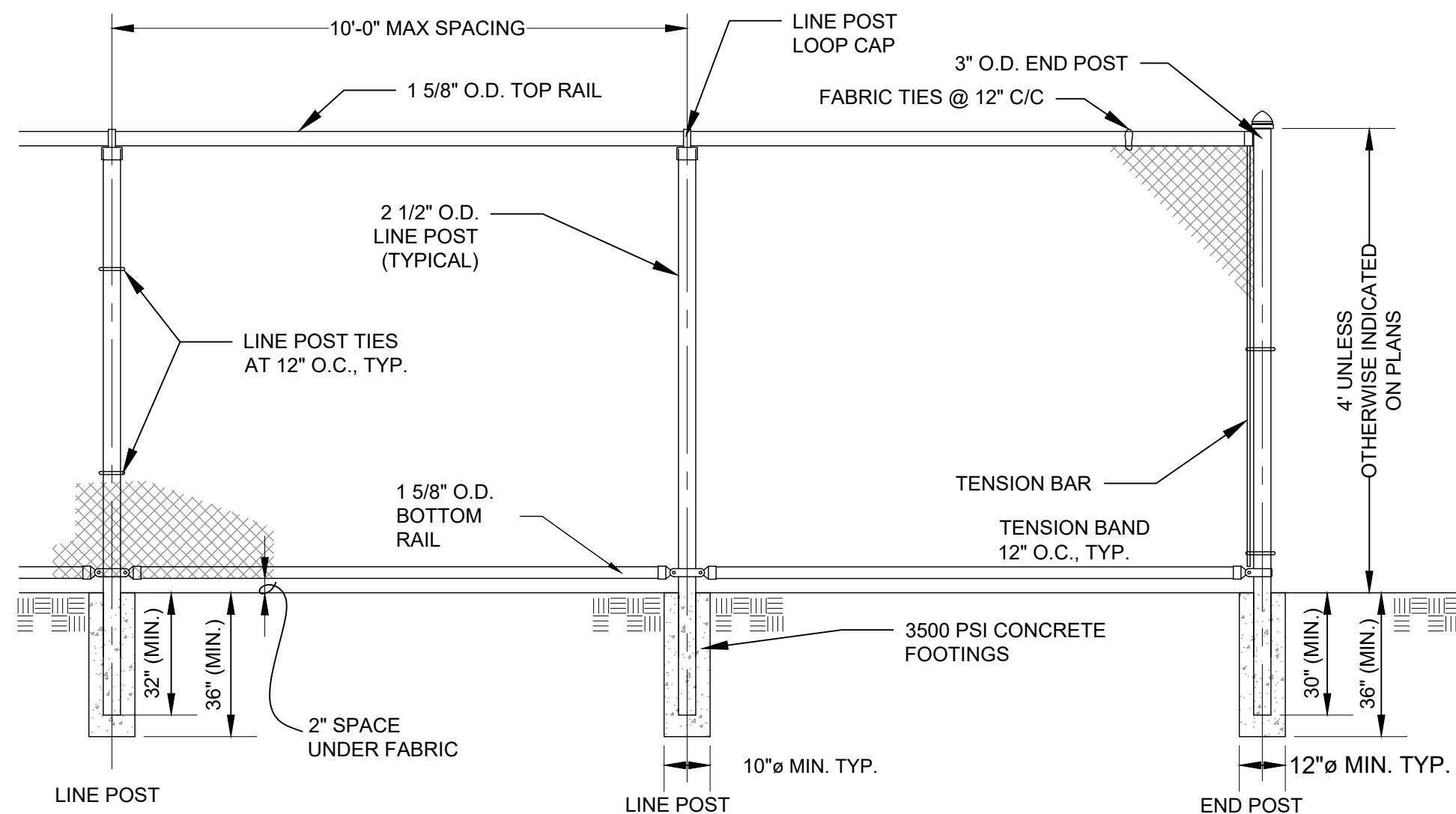
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C202	25021 POO
JOB ORDER NUMBER	861889
SHEET 9 OF 34	
DRAWING NUMBER	2024-0409
FILE NO.:	07/24



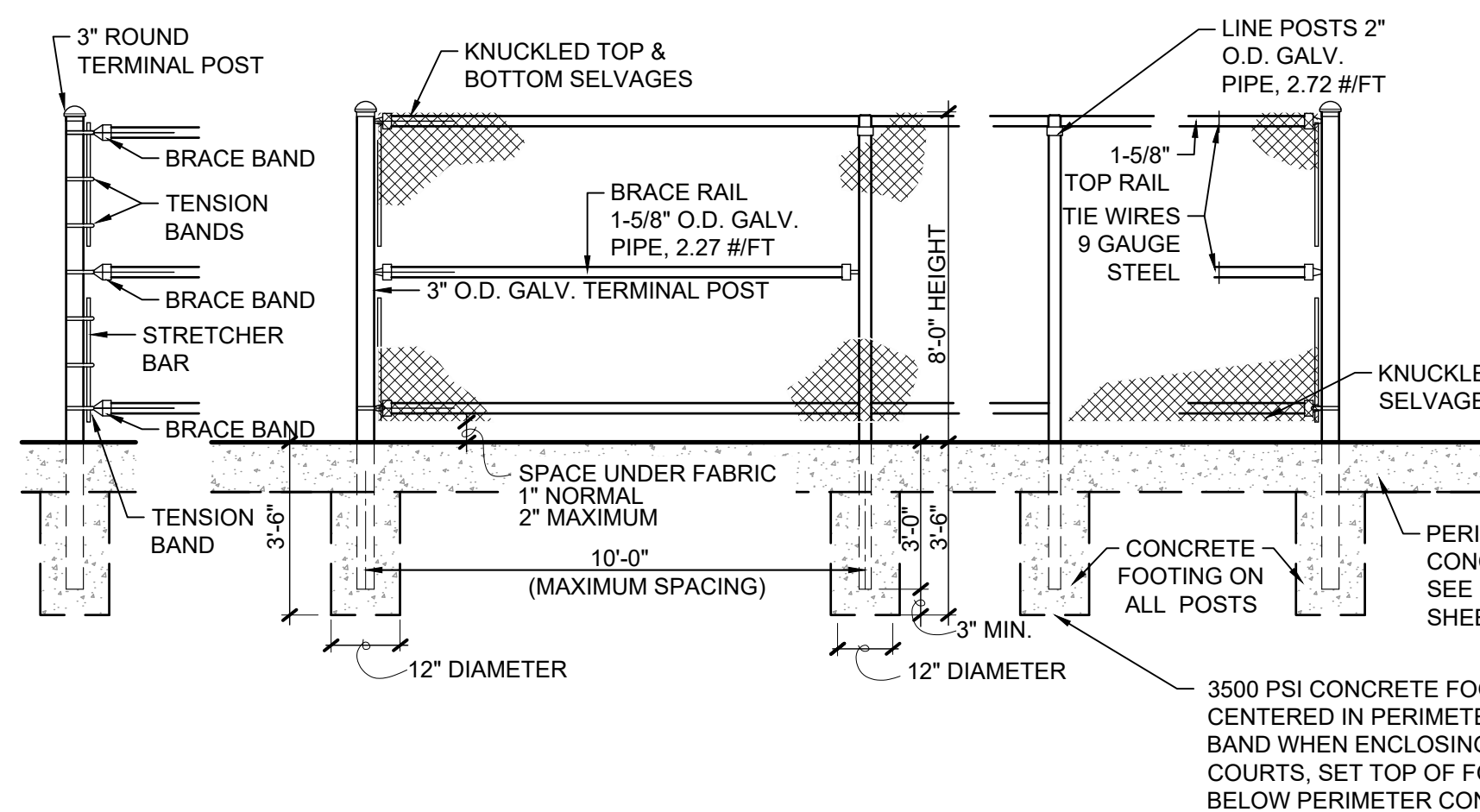
1 6'-0" HT. DUMPSTER ENCLOSURE GATE & FENCING



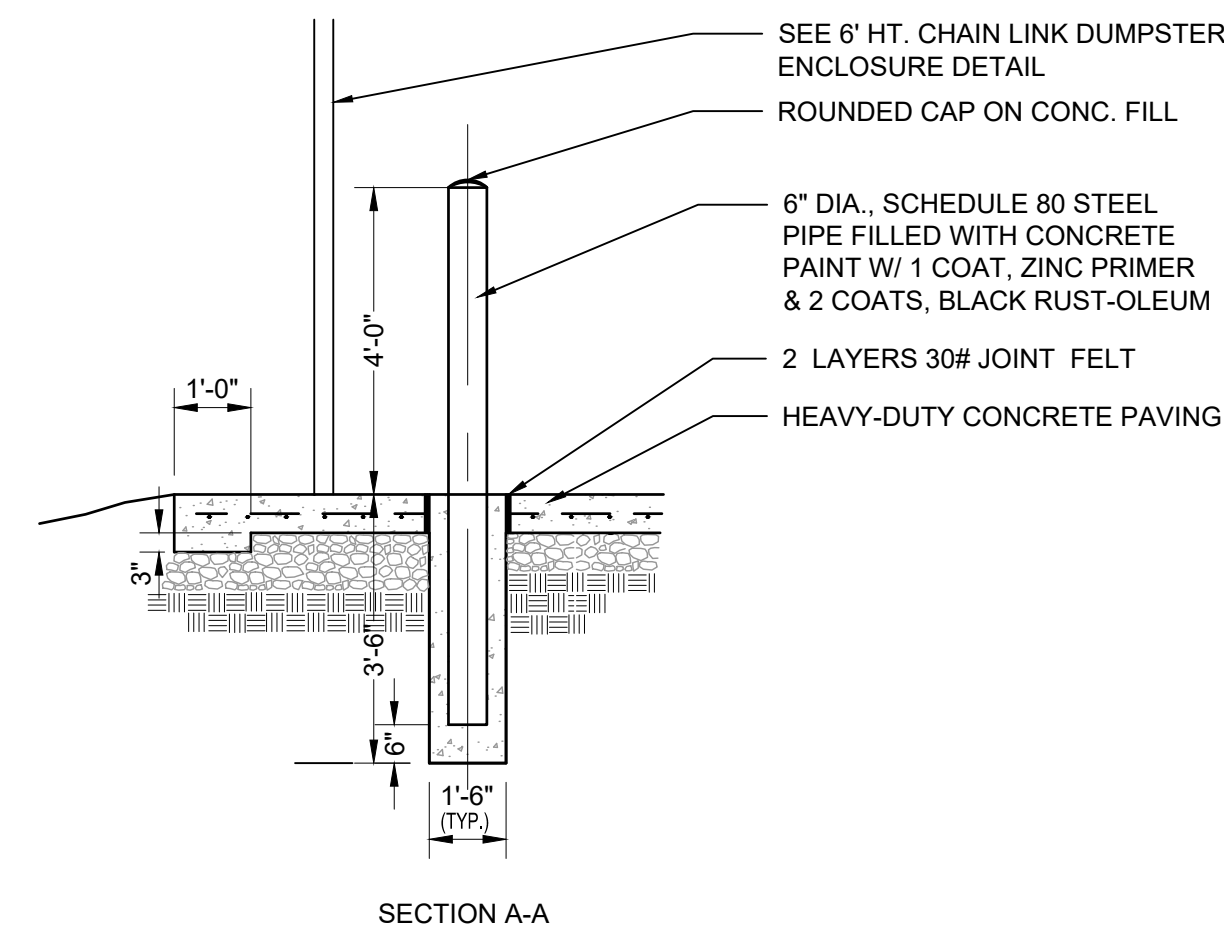
2 CONCRETE PAVING - HEAVY-DUTY





4 4' CHAIN LINK FENCE - BLACK COATED FABRIC




5 8' CHAIN LINK FENCE - BLACK COATED FABRIC



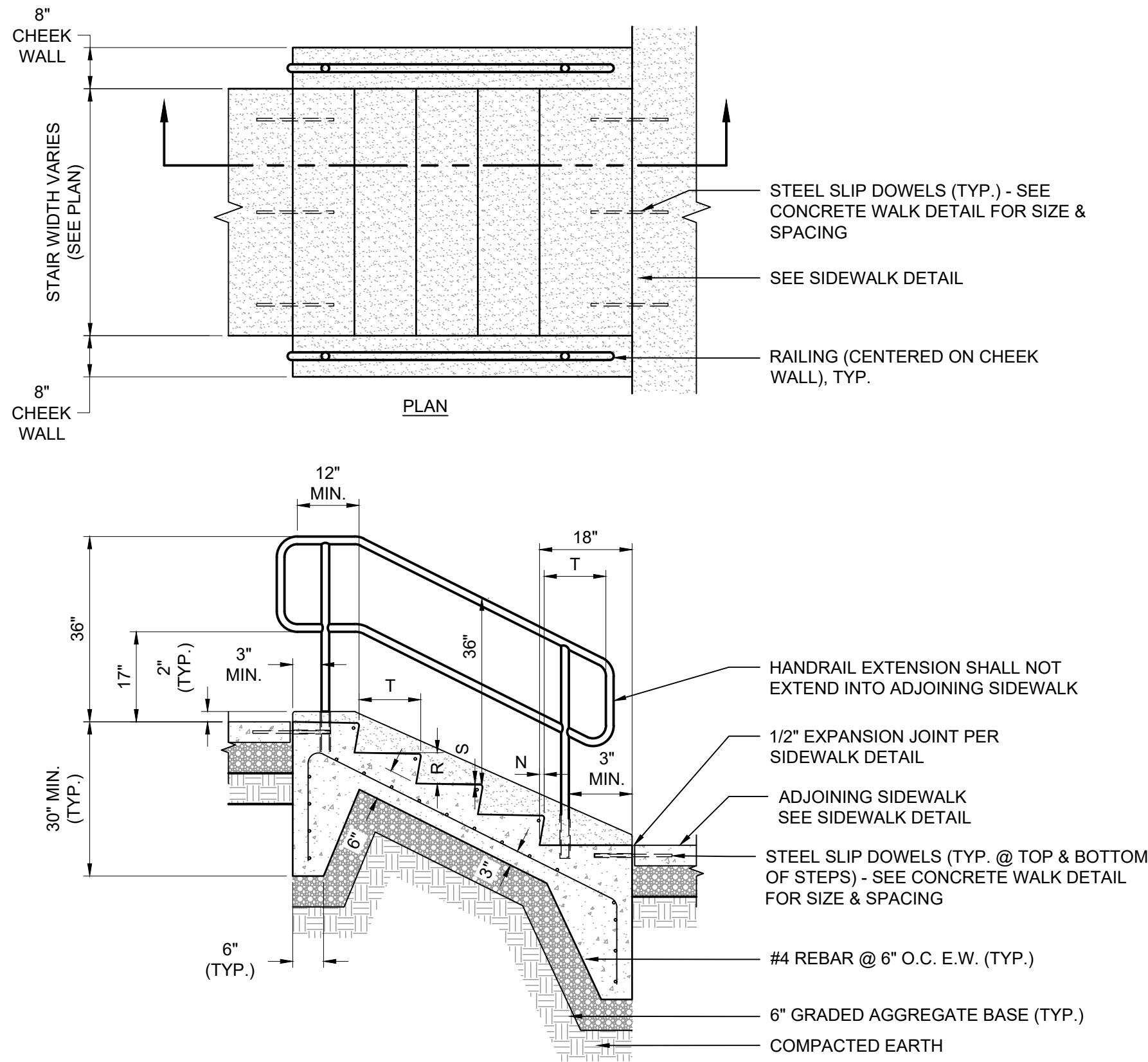
6 CHAIN LINK GATE

SEAL	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHT	DRAWING SCALE		PROPERTY MANAGEMENT		
 6/6/25	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 41978 EXPIRATION DATE: 12/20/2025						N/A	VSE	61NW3	PLAN SCALE:	AS SHOWN	APPROVED BY:	PROPERTY MANAGER	
							R.O.W NO.			PROFILE SCALE:		DATE:		
			CONTRACT COMPLETION BOX				N/A							
ENGINEER: MARK HADLEY		DGN BY: EPA/AMK	BUREAU OF ENGINEERING AND CONSTRUCTION		TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	PROPERTY MANAGEMENT		
 Creative Design. Successful Engineer.		DWN BY: EPA/AMK	REVIEWED BY:									APPROVED BY:	CHIEF	
CHKD BY: MJH		DATE REVIEWED:												
DATE :	6/6/25		4 North Park Drive, Suite 100, Cockeysville, MD 21030 410.683.3388 www.siteresourcesinc.com											

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE – PROPERTY MANAGEMENT		
PARKVILLE SENIOR CENTER PARKING		
SITE DETAILS III		
PARKING RECONFIGURATION – 100% CONSTRUCTION DOCUMENTS		
BALTIMORE COUNTY DEPARTMENT AGING		
SUBDIVISION: SECTION–A GLENHAVEN	8601 HARFORD RD. PARKVILLE, MD 21234	ELECTION DIST. NO.: 14C6

SHEET DESIGNATION	CONTRACT NUMBER
C203	25021 P00
	JOB ORDER NUMBER
	861889
	SHEET 10 OF 34
	DRAWING NUMBER
	2024-0410
	FILE NO.:

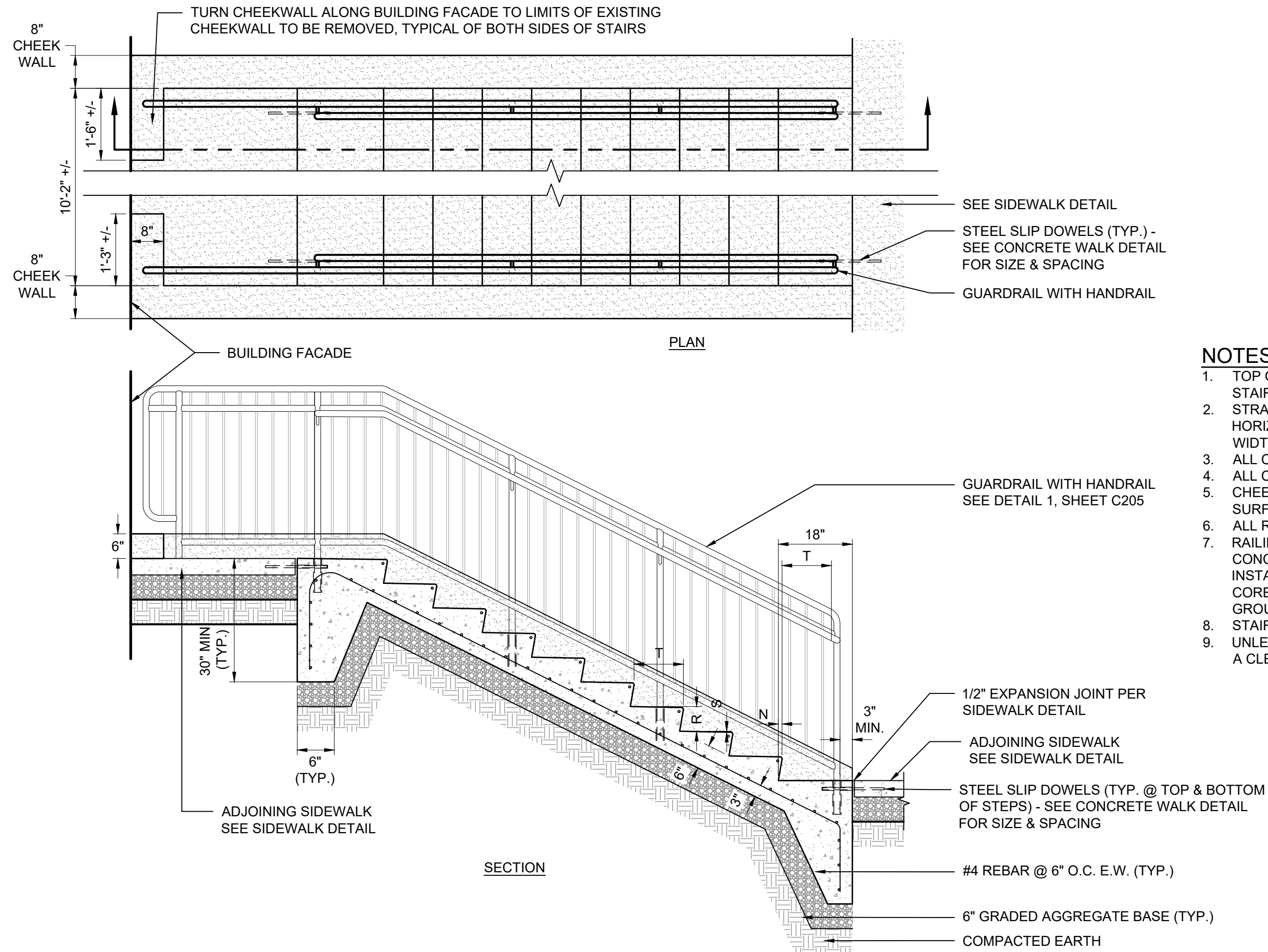
DWG. FILENAME: © SITE RESOURCES, INC. Z:\21\21039-baco parkville sr ctr p\04-DWG\C201 - Site Details.dwg-C204 Oct 17, 2024 02:09pm tdc



RISE (R)	TREAD (T)	SLOPE (S)	OVERHANG (N)
6	12	1/4	1

ALL DIMENSIONS IN INCHES

- NOTES:
1. RAILINGS & POST TO BE SHOP FABRICATED OF 1-1/2" O.D. STEEL TUBING WITH ALL JOINTS CONTINUOUSLY WELDED AND GROUND SMOOTH. ASSEMBLY SHALL BE ELECTROCHEMICALLY GALVANIZED AFTER FABRICATION.
 2. TOP OF RAILING TO BE 36" ABOVE WALKING SURFACE AND STAIR NOSE.
 3. STRAIGHT PORTION OF RAILING TO EXTEND A MINIMUM OF 12" HORIZONTALLY BEYOND NOSE OF TOP RISER AND A TREAD WIDTH BEYOND BOTTOM RISER BEFORE TURNING DOWN.
 4. ALL CONCRETE TO BE MDSA MIX NO. 3.
 5. ALL CHEEK WALL & STAIR NOSE RADII SHALL BE 1/2".
 6. CHEEK WALL SHALL BE 2" ABOVE STAIR NOSE & WALKING SURFACE.
 7. ALL RAILING EXTERIOR RADII SHALL BE 4".
 8. RAILING POSTS SHALL BE INSTALLED AT A DEPTH OF 8" INTO CONCRETE. WHERE INTERMEDIATE POSTS ARE NECESSARY, INSTALL IN CENTER OF STAIR TREAD. CONCRETE SHALL BE CORE DRILLED AND POST SET WITH NON-SHRINK GROUT. GROUT TO BE FLUSH WITH ADJACENT CONCRETE.
 9. STAIR TREADS TO RECEIVE LIGHT BROOM FINISH. (SEE SPECS)
 10. UNLESS OTHERWISE SHOWN ON PLAN, ALL REBAR SHALL HAVE A CLEARANCE OF 3" FROM SURFACE ON ALL SIDES.



- NOTES:
1. TOP OF RAILING TO BE 36" ABOVE WALKING SURFACE AND STAIR NOSE.
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RISE (R)	TREAD (T)	SLOPE (S)	OVERHANG (N)
6	12	1/4	1

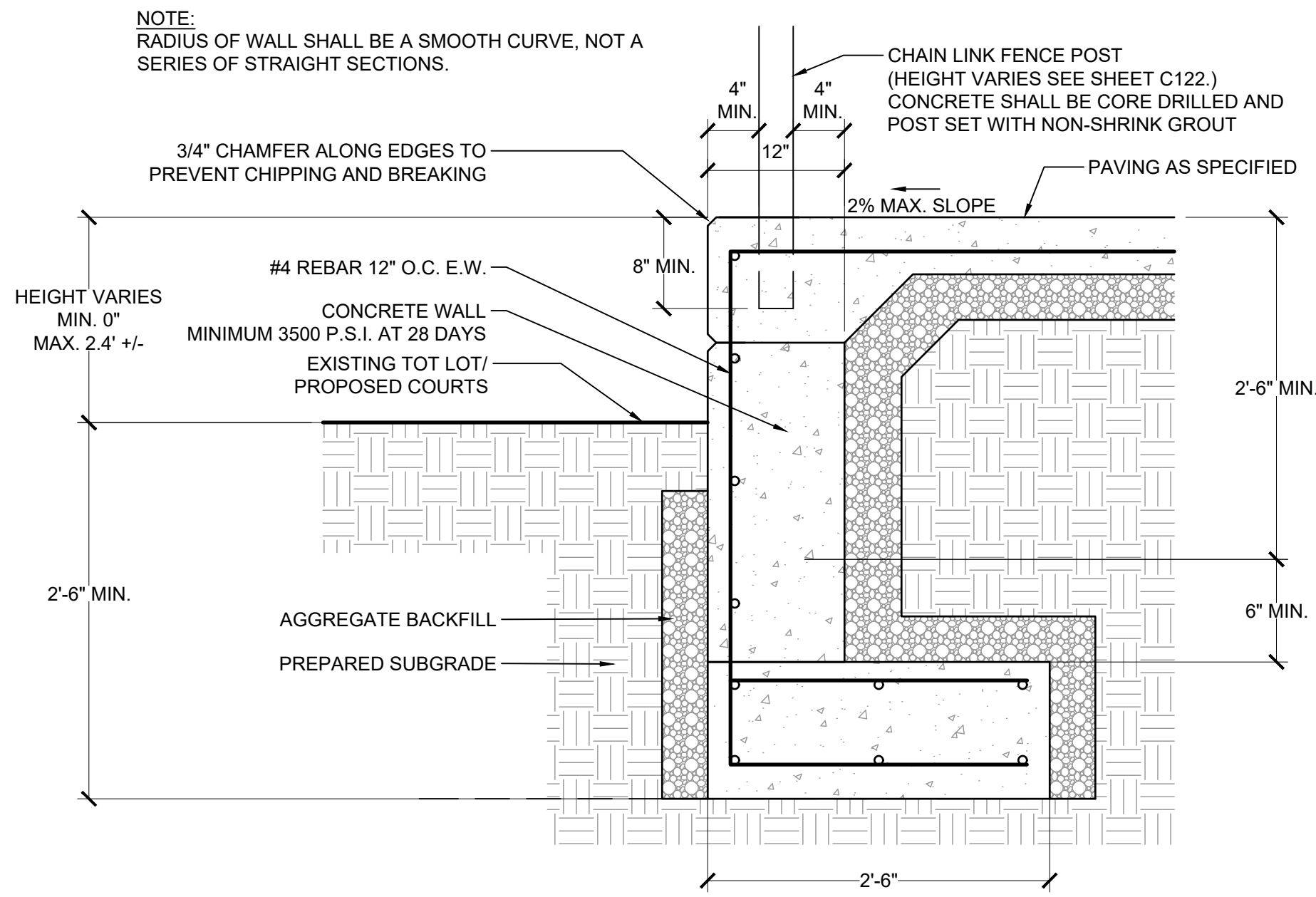
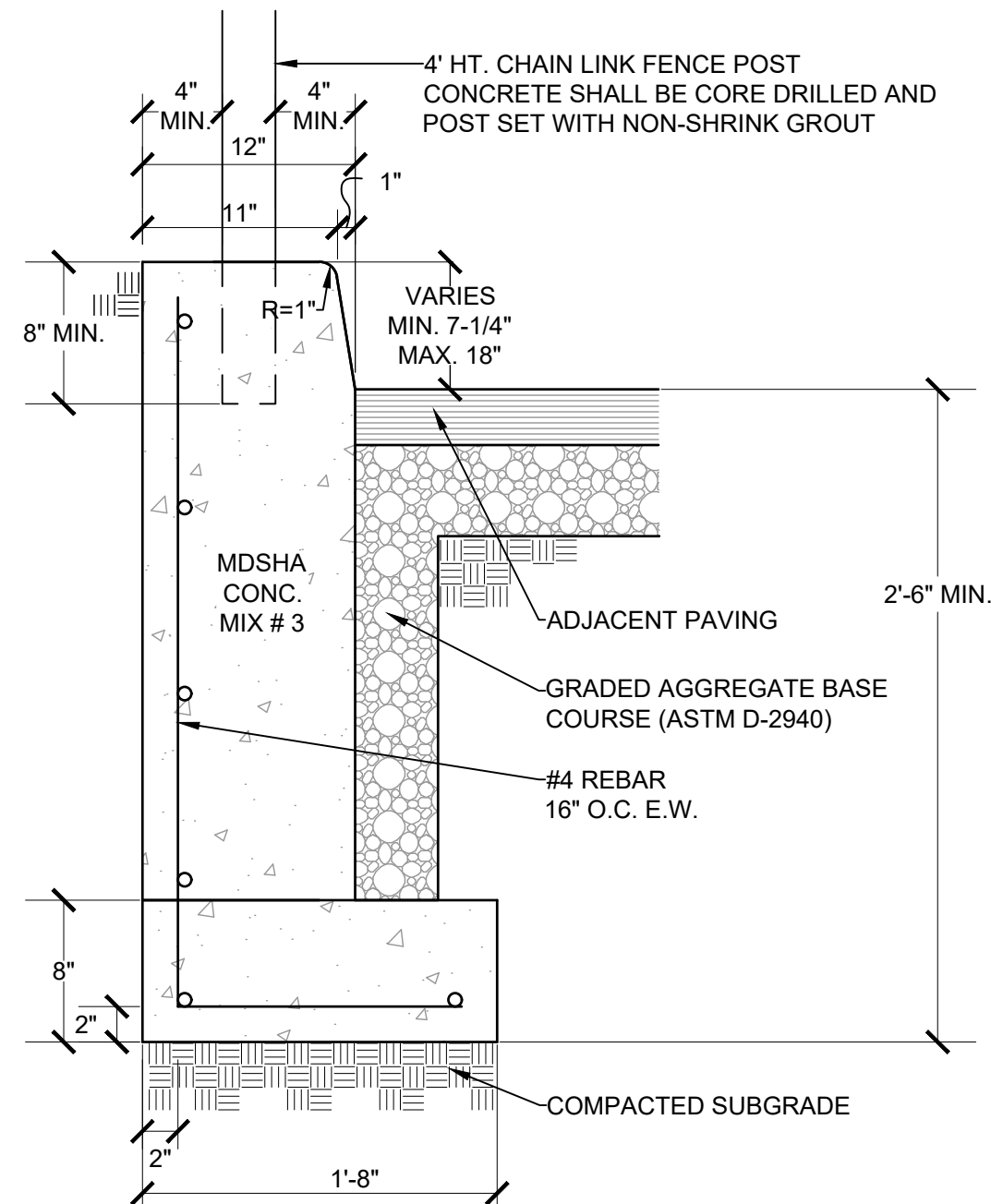
ALL DIMENSIONS IN INCHES

1 CONCRETE STAIRS WITH HANDRAIL

NOT TO SCALE

2 CONCRETE STAIRS, HANDRAIL, AND 42" GUARDRAIL AT BUILDING ENTRANCE

NOT TO SCALE

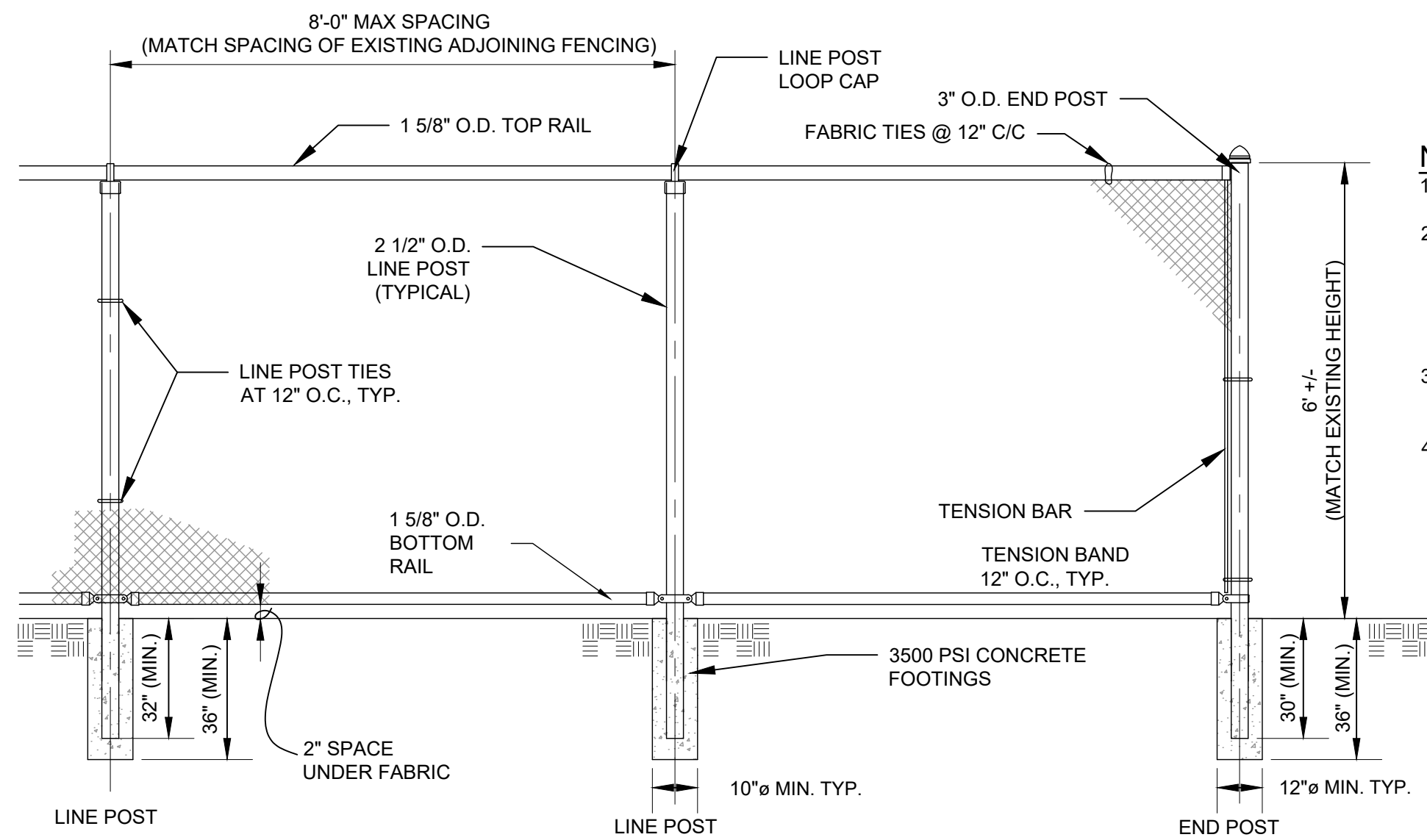


3 RETAINING WALL 1

NOT TO SCALE

4 RETAINING WALL 2


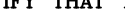
NOT TO SCALE




- NOTES
1. MATERIALS TO MEET REQUIREMENTS OF AASHTO M 181.
 2. FENCE FABRIC TO BE 1 3/4" WEAVE GALVANIZED CHAIN LINK, 11 GAUGE GALVANIZED WIRE DIAMETER. INSTALL FENCE FABRIC ON WILLOUGHBY ROAD SIDE OF POSTS AND RAILS TO MATCH ADJOINING EXISTING FENCING.
 3. FENCING AT GRADE CHANGES TO BE IN ACCORDANCE WITH MSHA STANDARD MD-690.02.
 4. ALL LINE POST, TERMINAL POST, RAILS, CAPS AND HARDWARE TO BE SCHEDULE 40.

5 6' CHAIN LINK FENCE

NOT TO SCALE

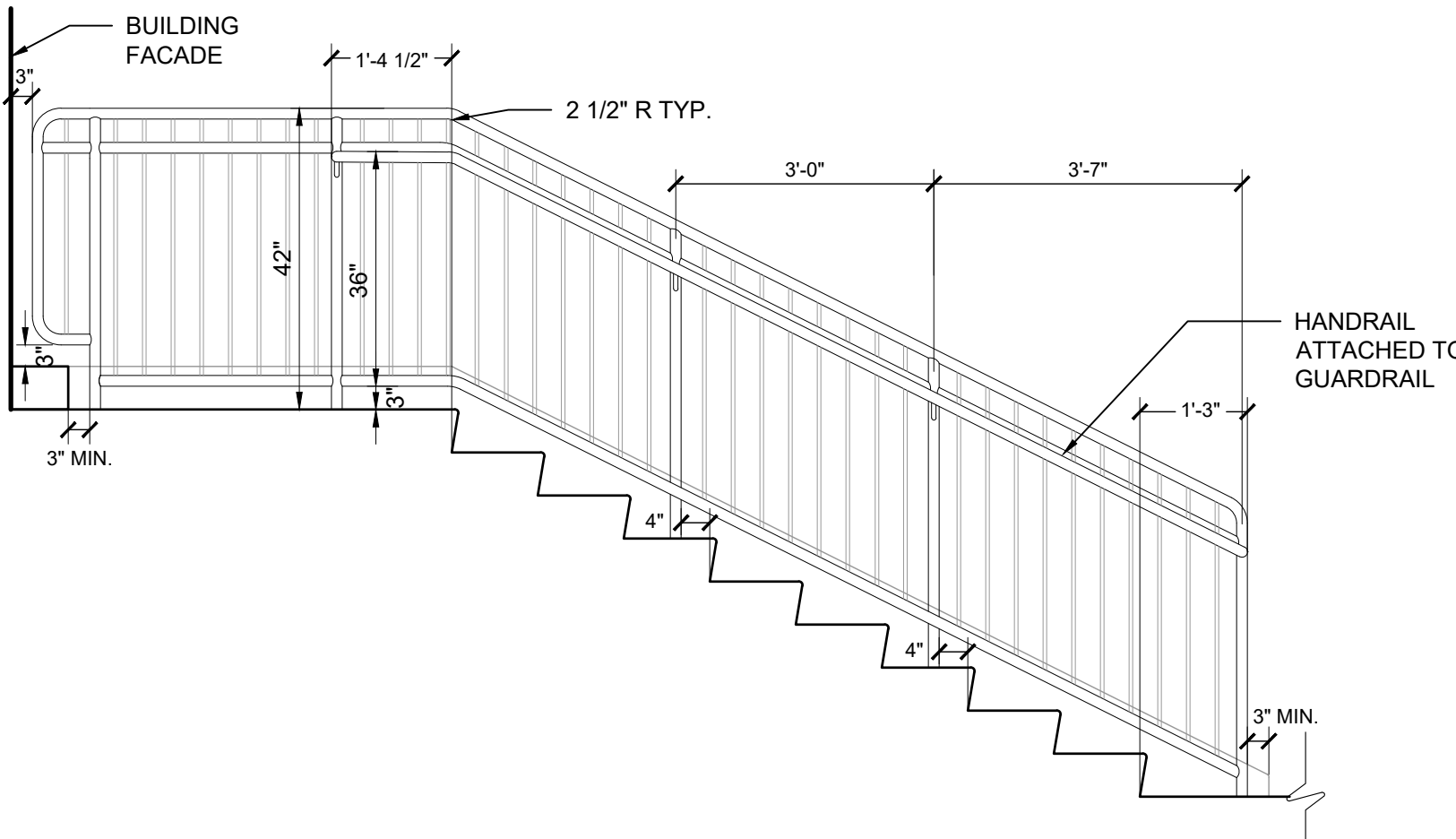
<div>SEAL</div> <div><div>6/6/25</div></div> <div>DATE : 6/6/25</div>	<div>PROFESSIONAL CERTIFICATION</div> <div>I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.</div> <div>LICENSE NO. 41978 EXPIRATION DATE 12/20/2025</div> <div>ENGINEER: MARK HADLEY</div> <div><div>SITERESOURCES</div><div>Creative Design. Successful Engineers.</div><div>4 North Park Drive, Suite 100, Cockeysville, MD 21030 410-653-3388 www.siteresourcesinc.com</div></div>		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SH	DRAWING SCALE	PROPERTY MANAGEMENT	
							N/A	YSE SNE	61N3 60N3	PLAN SCALE: AS SHOWN	APPROVED BY: _____	
							R.O.W NO.				PROPERTY MANAGER	
								N/A			DATE: _____	
							CONTRACT COMPLETION BOX					
		DGN BY: EFA/AMK	BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	PROPERTY MANAGEMENT	
		DWN BY: EFA/AMK	REVIEWED BY: _____								APPROVED BY: _____	
		CHKD BY: MJH	DATE REVIEWED: _____								CHIEF	
												DATE: _____

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE – PROPERTY MANAGEMENT
PARKVILLE SENIOR CENTER PARKING
SITE DETAILS IV
PARKING RECONFIGURATION – 100% CONSTRUCTION DOCUMENTS
BALTIMORE COUNTY DEPARTMENT AGING
8601 HARFORD RD, PARKVILLE, MD 21234
ELECTION DIST. NO.: 14C6

SHEET DESIGNATION	CONTRACT NUMBER
C204	25021 POO
	
JOB ORDER NUMBER	861889
SHEET 11 OF 34	DRAWING NUMBER
2024-0411	FILE NO.:

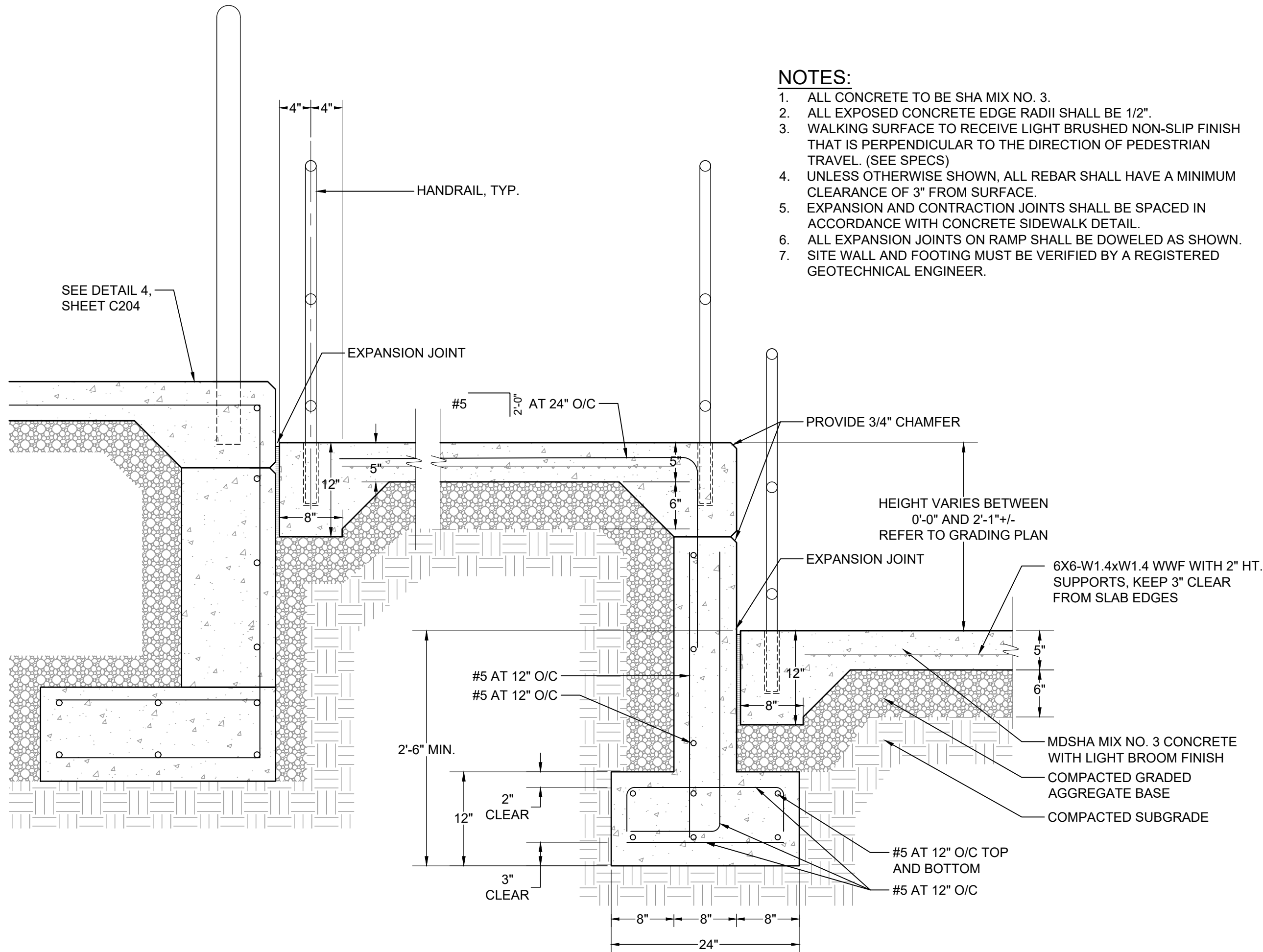
DWG. FILENAME: © SITE RESOURCES, INC. Z:\21\21039-baco parkville sr ctr p\04-DWG\C201 - Site Details.dwg-C205 Oct 17, 2024 02:09pm tdc

- NOTES:
APPLICABLE TO ALL CONDITIONS
1. RAILINGS, POST, HANDRAIL AND BRACKETS SHALL BE SHOP FABRICATED HOT DIPPED GALVANIZED STEEL TUBING WITH ALL JOINTS CONTINUOUSLY WELDED AND GROUND SMOOTH. ASSEMBLY SHALL BE ELECTROCHEMICALLY GALVANIZED AFTER FABRICATION.
 2. HANDRAIL SHALL EXTEND 12" BEYOND THE LAST RISER BEFORE RETURNING TO THE LAST GUARDRAIL POST AT THE SAME SLOPE.
 3. BRACKETS SHALL ONLY BE ATTACHED TO INTERMEDIATE GUARDRAIL POST.
 4. TOP RAILING SHALL BE 42" ABOVE WALKING SURFACE AND STAIR NOSE.
 5. ALL GUARDRAIL POSTS SHALL BE EMBEDDED IN CONCRETE AT A MINIMUM DEPTH OF 8". CONCRETE SHALL BE CORE DRILLED.



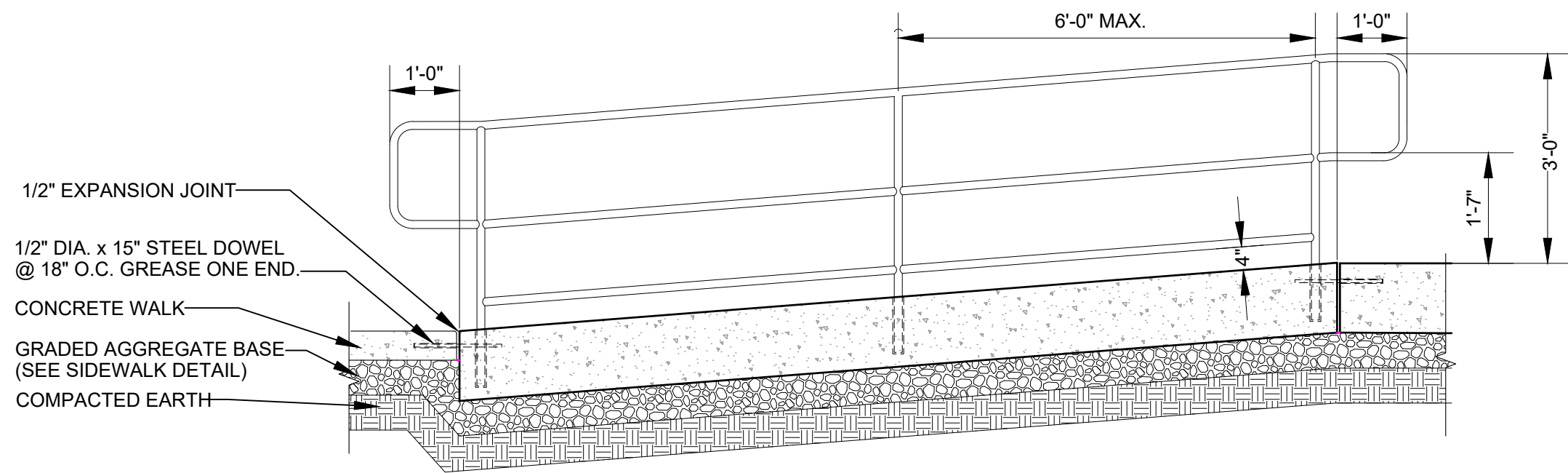
1 GUARDRAIL WITH HANDRAIL

NOT TO SCALE

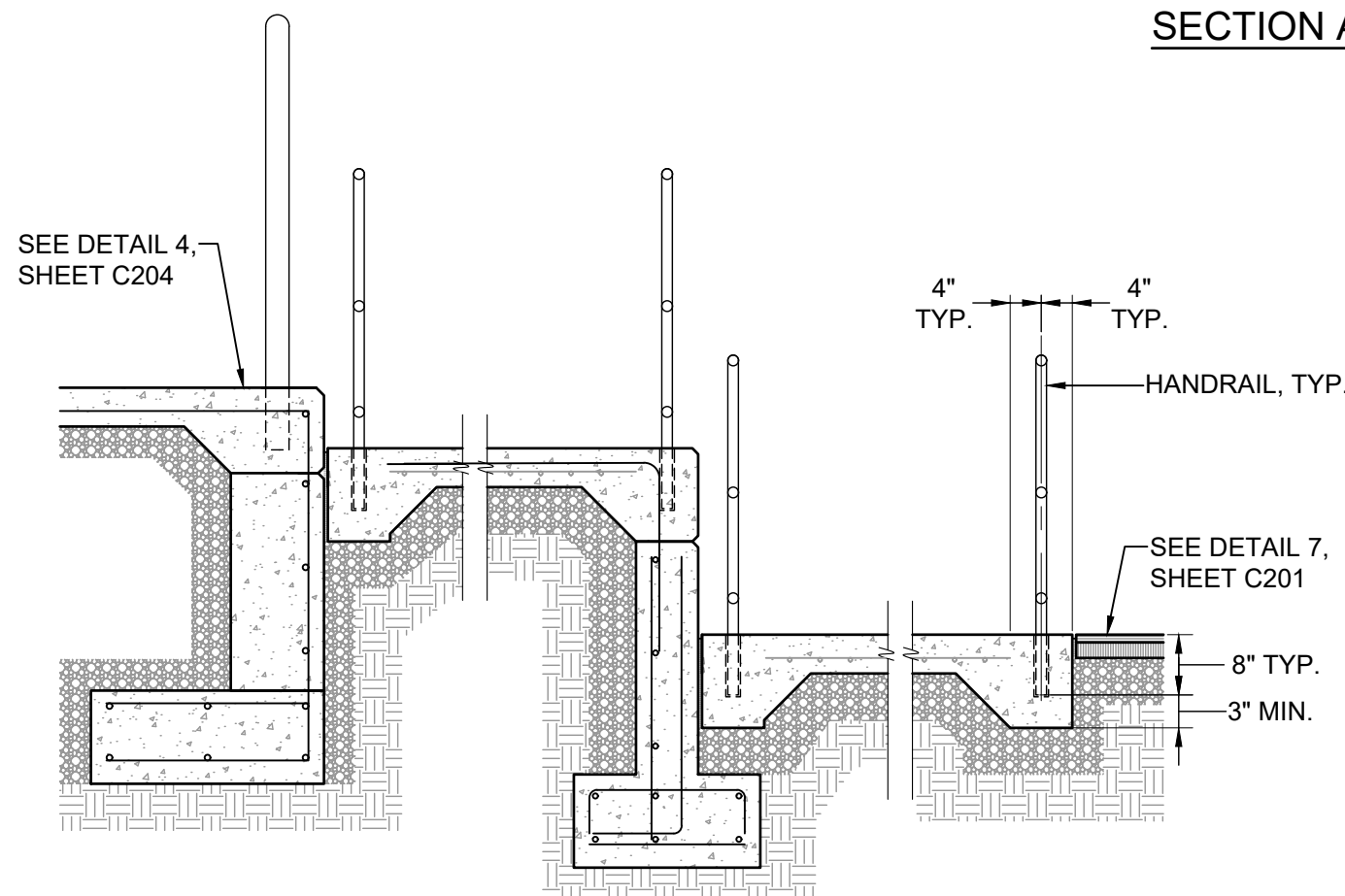


2 CONCRETE SWITCHBACK RAMP AND HANDRAILS

NOT TO SCALE

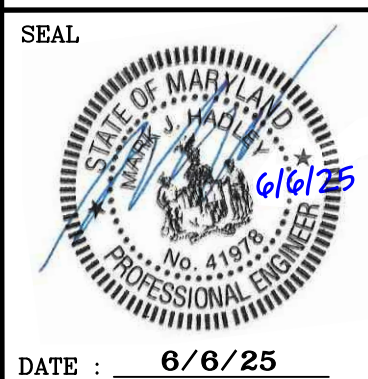


SECTION A-A



SECTION B-B

- NOTES:
1. RAILINGS & POST TO BE SHOP FABRICATED OF 1-1/2" O.D. STEEL TUBING WITH ALL JOINTS CONTINUOUSLY WELDED AND GROUND SMOOTH. ASSEMBLY SHALL BE ELECTROCHEMICALLY GALVANIZED AFTER FABRICATION. PAINT WITH 2 COATS OF BLACK EXTERIOR ENAMEL.
 2. TOP OF RAILING TO BE 36" ABOVE WALKING SURFACE.
 3. ALL RAILING EXTERIOR RADII SHALL BE 4".
 4. RAILING POSTS SHALL BE INSTALLED AT A DEPTH OF 8" INTO CONCRETE. CONCRETE SHALL BE CORE DRILLED AND POST SET WITH NON-SHRINK GROUT.


SEAL 	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SH	DRAWING SCALE	PROPERTY MANAGEMENT	
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	LICENSE NO. 41978, EXPIRATION DATE 12/20/2025					N/A	SNE	60NW3	PROFILE SCALE: _____	DATE: _____	
	ENGINEER: MARK HADLEY		CONTRACT COMPLETION BOX							PROPERTY MANAGER	
	SITERESOURCES Creative Design. Successfully Integrated. 4 North Park Drive, Suite 100, Cockeysville, MD 21030 410.663.3388 www.siteresourcesinc.com		DGN BY: EFA/AMK	BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER

DWN BY: EFA/AMK	REVIEWED BY:										APPROVED BY: _____	CHEF
CHKD BY: MJH	DATE REVIEWED:										DATE: _____	

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE – PROPERTY MANAGEMENT
PARKVILLE SENIOR CENTER PARKING
SITE DETAILS V
PARKING RECONFIGURATION – 100% CONSTRUCTION DOCUMENTS
BALTIMORE COUNTY DEPARTMENT AGING
8601 HARFORD RD, PARKVILLE, MD 21234
SUBDIVISION: SECTION-A GLENHAVEN

ELECTION DIST. NO.: 14C6

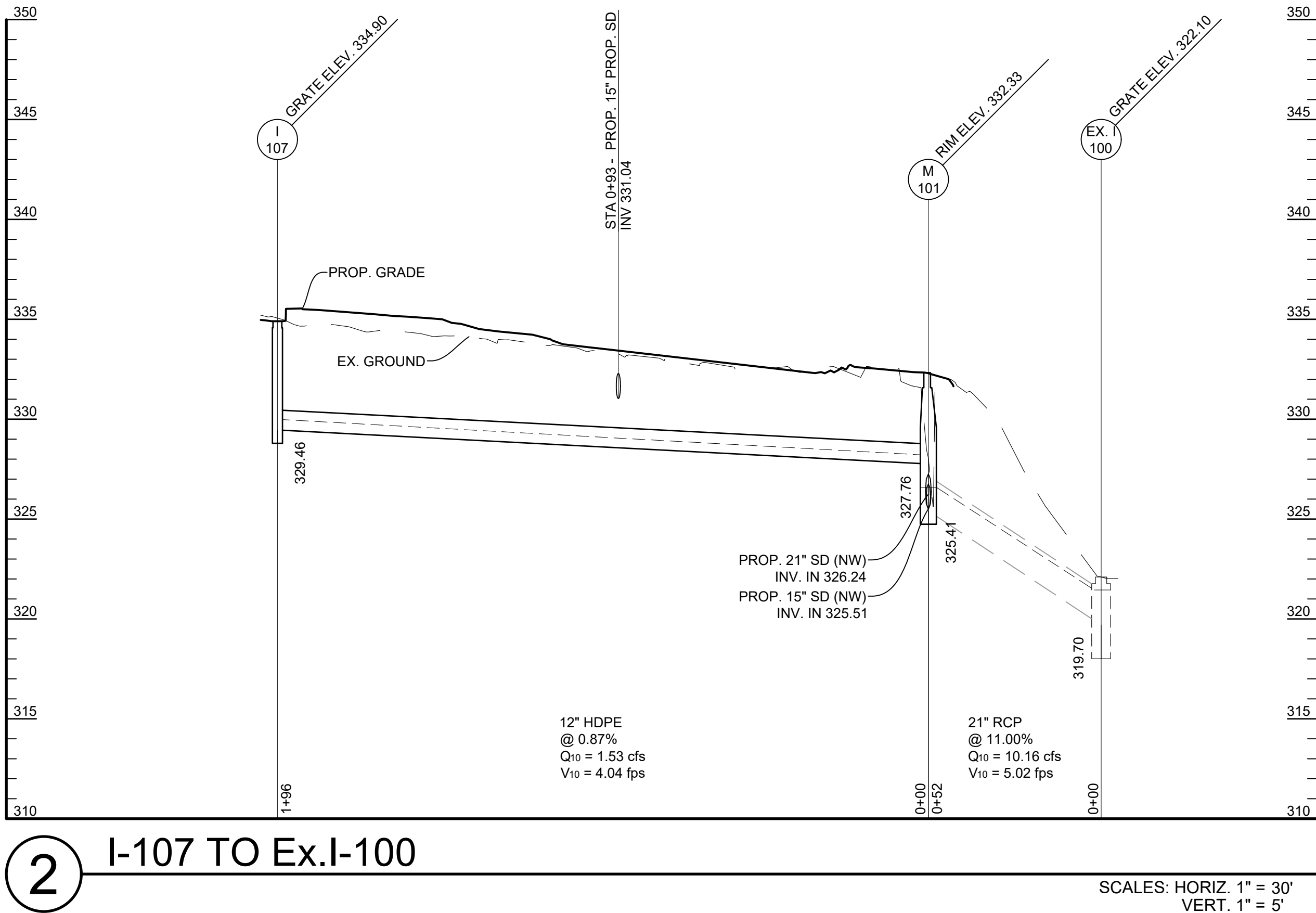
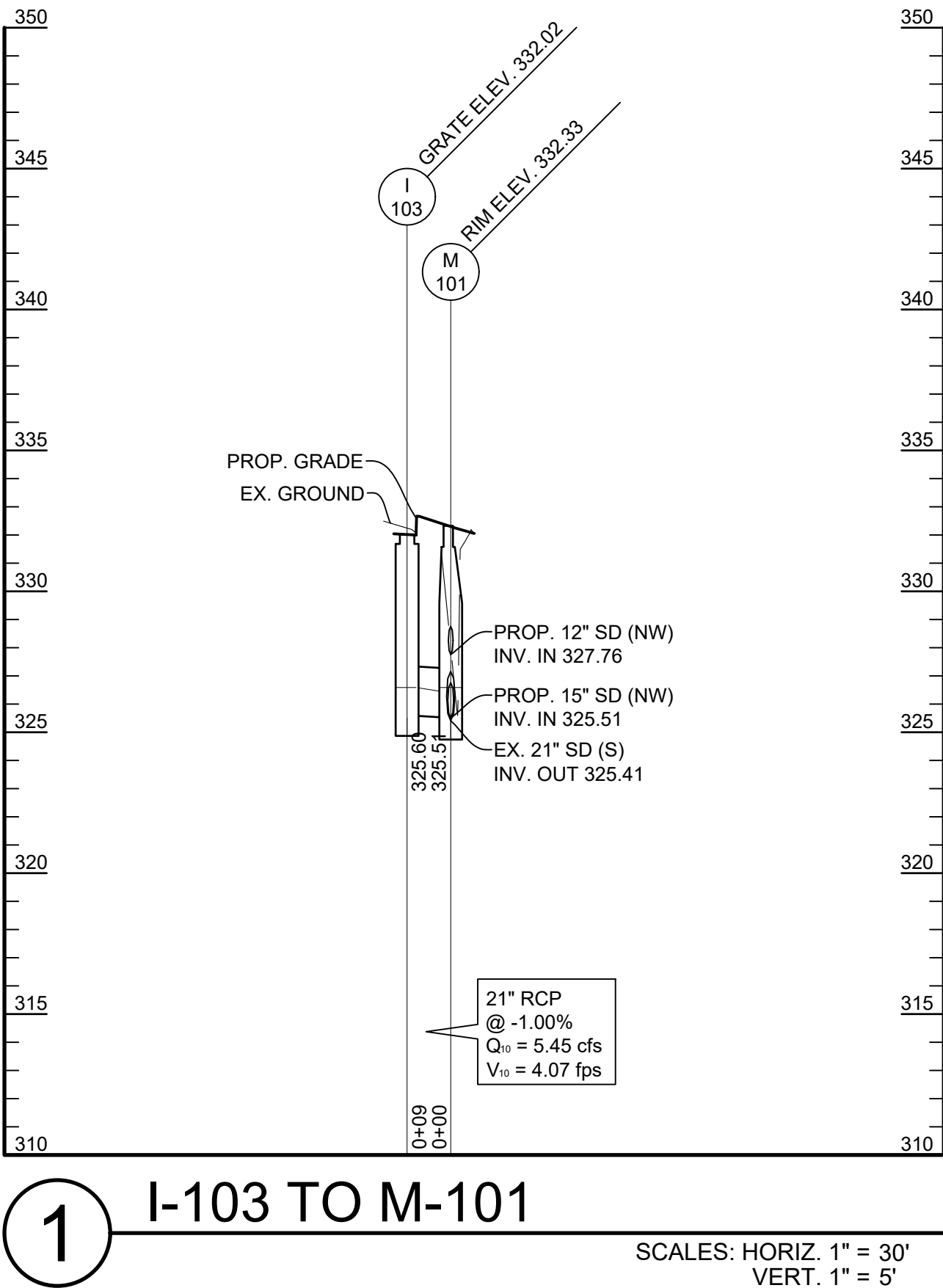
SHEET DESIGNATION	CONTRACT NUMBER
C205	25021 POO
JOB ORDER NUMBER	
861889	
SHEET 12 OF 34	
DRAWING NUMBER	
2024-0412	
FILE NO.:	



DWG. FILENAME: © SITE RESOURCES, INC. Z:\21\21039-baco parkville sr ctr p\04-DWG\C301 - Storm Drain Profiles.dwg--C301 Oct 17, 2024 02:10pm tdc

STRUCTURE TABLE

STRUCTURE #	STRUCTURE TYPE	TOP ELEV.	INV. IN	INV. OUT	COORDINATES	NOTES
CO-8	4 INCH CLEANOUT	CAP 331.00		4" PVC (SE) 326.33	N: 624,706.18 E: 1,443,830.40	
M-101	PRECAST MANHOLE TYPE A BACO D-3.01	RIM 332.33	15" HDPE (NW) 325.51 12" HDPE (NW) 327.76	21" RCP (NE) 325.51 21" RCP (S) 325.41	N: 624,640.70 E: 1,443,917.27	
I-103	TYPE S COMBINATION INLET DOUBLE GRATE TANDEM	GRATE 332.02	21" RCP (SW) 325.60		N: 624,648.51 E: 1,443,922.30	
I-107	TYPE Y-5 YARD INLET BACO D-2.25C	GRATE 334.90		12" HDPE (SE) 329.46	N: 624,777.13 E: 1,443,777.20	
I-109	TYPE Y-1 INLET BACO D-2.22A	GRATE 331.67	4" PVC (NW) 326.33	15" HDPE (SE) 326.33	N: 624,657.71 E: 1,443,886.29	
E-201	HDPE END SECTION	- 332.46	15" HDPE (NE) 331.00		N: 624,700.17 E: 1,443,845.76	
I-203	TYPE S COMBINATION INLET DOUBLE GRATE TANDEM	GRATE 333.64	12" HDPE (NW) 331.18	15" HDPE (SW) 331.08	N: 624,712.30 E: 1,443,856.32	
I-205	TYPE S INLET DOUBLE GRATE TANDEM	GRATE 336.54		12" HDPE (SE) 333.37	N: 624,823.97 E: 1,443,801.49	



	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SH	DRAWING SCALE	PROPERTY MANAGEMENT
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	LICENSE NO. 41978 EXPIRATION DATE 12/20/2025		CONTRACT COMPLETION BOX				N/A			PROFILE SCALE: _____	DATE: _____
	ENGINEER: MARK HADLEY	DGN BY: EFA/AMK	BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	PROPERTY MANAGEMENT
	DWN BY: EFA/AMK	REVIEWED BY: _____								APPROVED BY: _____	
	CHKD BY: MJH	DATE REVIEWED: _____								DATE: _____	

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE – PROPERTY MANAGEMENT

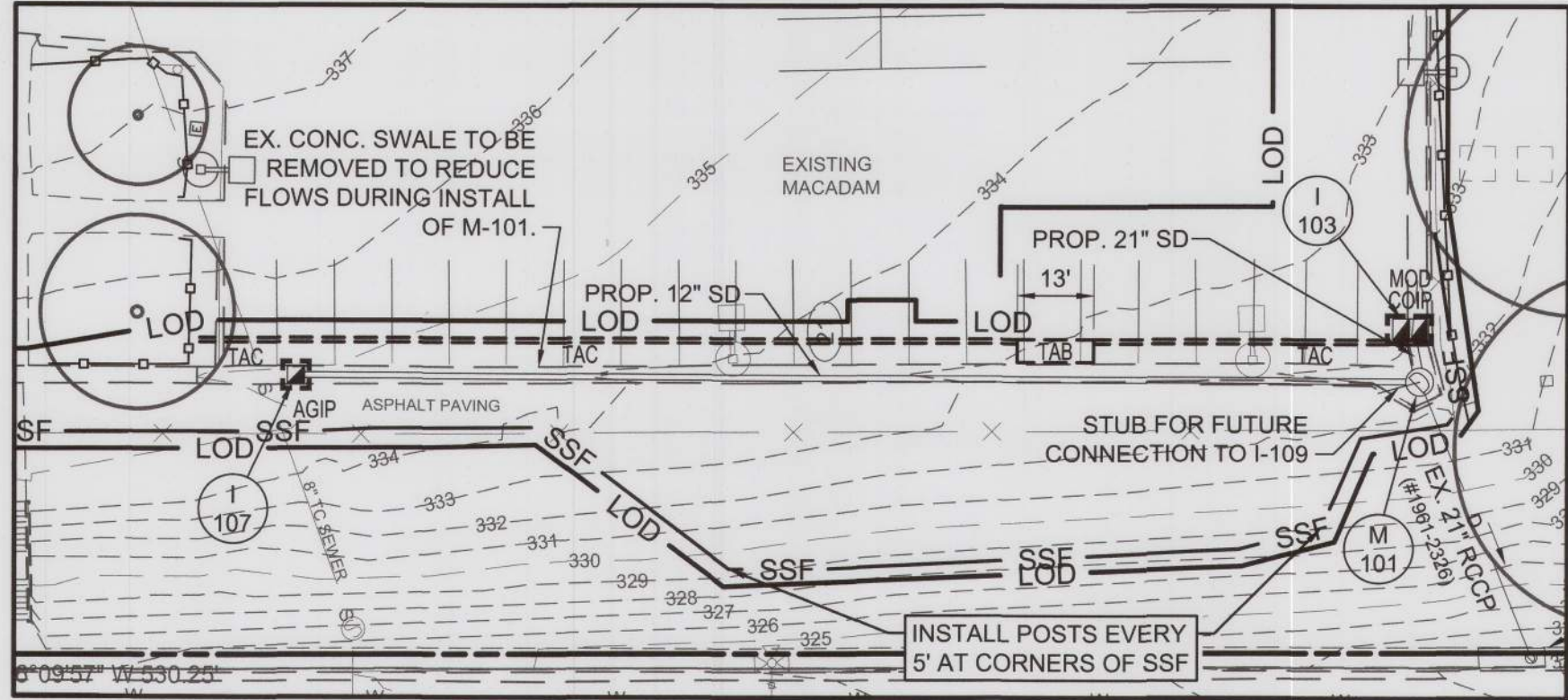
PARKVILLE SENIOR CENTER PARKING
STORM DRAIN PROFILES
PARKING RECONFIGURATION – 100% CONSTRUCTION DOCUMENTS
BALTIMORE COUNTY DEPARTMENT AGING
8601 HARFORD RD, PARKVILLE, MD 21234

SUBDIVISION: SECTION-A GLENHAVEN

ELECTION DIST. NO.: 14C6

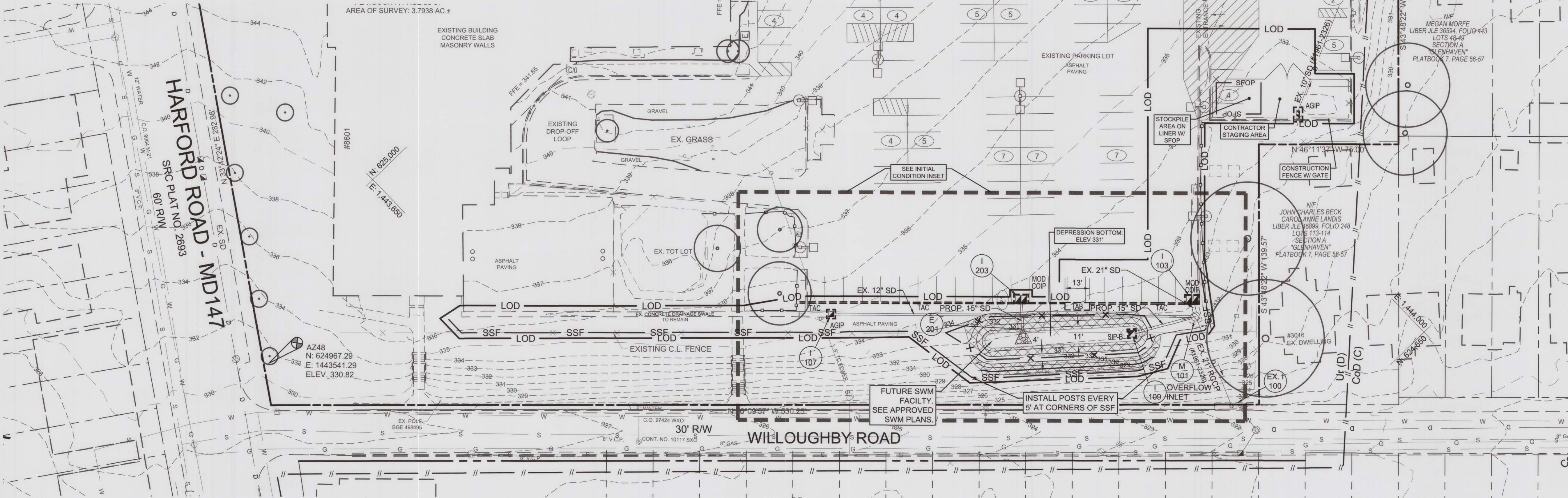
SHEET DESIGNATION	CONTRACT NUMBER
C301	25021 P00
	JOB ORDER NUMBER 861889
	SHEET 13 OF 34 DRAWING NUMBER 2024-0413
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DWG. FILENAME: © SITE RESOURCES, INC. Z:\21039-baco parkville sr ctr pl\04-DWG\C401 - Existing ESC Plan.dwg-C401 Sep 19, 2024 11:43am auk



1 INITIAL CONDITION INSET

1" = 30'



GENERAL NOTES (FOR EROSION AND SEDIMENT CONTROL PLANS ONLY)

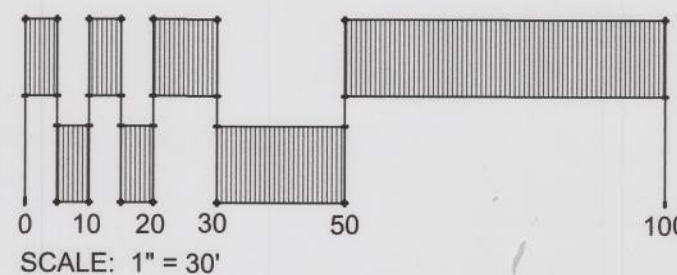
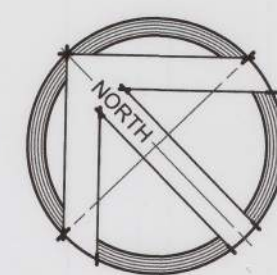
- REFER TO "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control" FOR STANDARD DETAILS AND DETAILED SPECIFICATIONS OF EACH PRACTICE SPECIFIED HEREIN.
- WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, MINOR FIELD ADJUSTMENTS CAN AND WILL BE MADE TO INSURE THE CONTROL OF ANY SEDIMENT. CHANGES IN SEDIMENT CONTROL PRACTICES REQUIRE PRIOR APPROVAL OF THE SEDIMENT CONTROL INSPECTOR AND THE BALTIMORE COUNTY SOIL CONSERVATION DISTRICT.
- AT THE END OF EACH WORKING DAY, ALL SEDIMENT CONTROL PRACTICES WILL BE INSPECTED AND LEFT IN OPERATIONAL CONDITION.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION MUST BE COMPLETED WITHIN: a.) THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN THREE HORIZONTAL TO ONE VERTICAL (3:1), AND b.) SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.
- ANY CHANGE TO THE GRADING PROPOSED ON THIS PLAN REQUIRES RE-SUBMISSION TO BALTIMORE COUNTY SOIL CONSERVATION DISTRICT FOR APPROVAL.
- DUST CONTROL WILL BE PROVIDED FOR ALL DISTURBED AREAS. REFER TO "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control", PG. H.22, FOR ACCEPTABLE METHODS AND SPECIFICATIONS FOR DUST CONTROL.
- ANY VARIATIONS FROM THE SEQUENCE OF OPERATIONS STATED ON THIS PLAN REQUIRES THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR AND THE BALTIMORE COUNTY SOIL CONSERVATION DISTRICT PRIOR TO THE INITIATION OF THE CHANGE.
- EXCESS CUT OF BORROW MATERIAL SHALL GO TO, OR COME FROM, RESPECTIVELY, A SITE WITH AN OPEN GRADING PERMIT AND APPROVED SEDIMENT CONTROL PLAN.
- THE FOLLOWING ITEM MAY BE USED AS APPLICABLE: REFER TO "MARYLAND'S GUIDELINES TO WATERWAY CONSTRUCTION" BY THE WATER MANAGEMENT ADMINISTRATION OF THE MARYLAND DEPARTMENT OF THE ENVIRONMENT, REVISED NOVEMBER 2000, FOR STANDARD DETAILS AND DETAILED SPECIFICATIONS OF EACH PRACTICE SPECIFIED HEREIN FOR WATERWAY CONSTRUCTION.
- PUMPING SEDIMENT-LADEN WATER INTO WATERS OF THE STATE IS STRICTLY PROHIBITED. ANY PORTABLE DEWATERING DEVICE MUST BE LOCATED WITHIN THE LIMIT OF DISTURBANCE.
- UPON INSTALLATION OF THE BASE PAVEMENT AND AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR, RELOCATE THE STABILIZED CONSTRUCTION ENTRANCE(S) AND INSTALL ADDITIONAL CONTROL MEASURES (STABILIZED CONSTRUCTION ENTRANCES, SILT FENCES, SUPER SILT FENCES) AS NEEDED TO CONTROL SEDIMENT RUN OFF FROM DISTURBED AREAS. THE ADDITIONAL CONTROLS MUST NOT ALTER DRAINAGE PATTERNS.

STABILIZED CONSTRUCTION ENTRANCE NOTE:

WHERE A STABILIZED CONSTRUCTION ENTRANCE (SCE) IS NOT PRACTICAL, THE CONTRACTOR SHALL USE SMALL CONSTRUCTION VEHICLES, MAXIMIZE WORK WITHIN THE LIMIT OF DISTURBANCE, AND PRIOR TO DRIVING ON ANY ADJACENT AND PUBLIC ROADS, ALL EQUIPMENT AND VEHICLES MUST BE THOROUGHLY CLEANED OR WASHED TO REMOVE SEDIMENT AND DEBRIS. ALL SEDIMENT SPILLED, DROPPED OR TRACKED ONTO THE ROAD MUST BE REMOVED IMMEDIATELY BY VACUUMING, SCRAPING OR SWEEPING. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE THAT DRAINS TO AN APPROVED SEDIMENT CONTROL DEVICE.

GENERAL NOTES (CONTINUED)

- ANY DEMOLITION ACTIVITIES WHICH EXPOSE "DIRT" MUST BE INCLUDED WITHIN THE LOD.
- SEE DEMOLITION PLAN FOR EXISTING FEATURES TO BE REMOVED.
- THESE PLANS TO BE USED FOR SEDIMENT CONTROL ONLY.
- EXISTING PAVING DISTURBED BY CONSTRUCTION TRAFFIC SHALL BE REPLACED IN KIND.



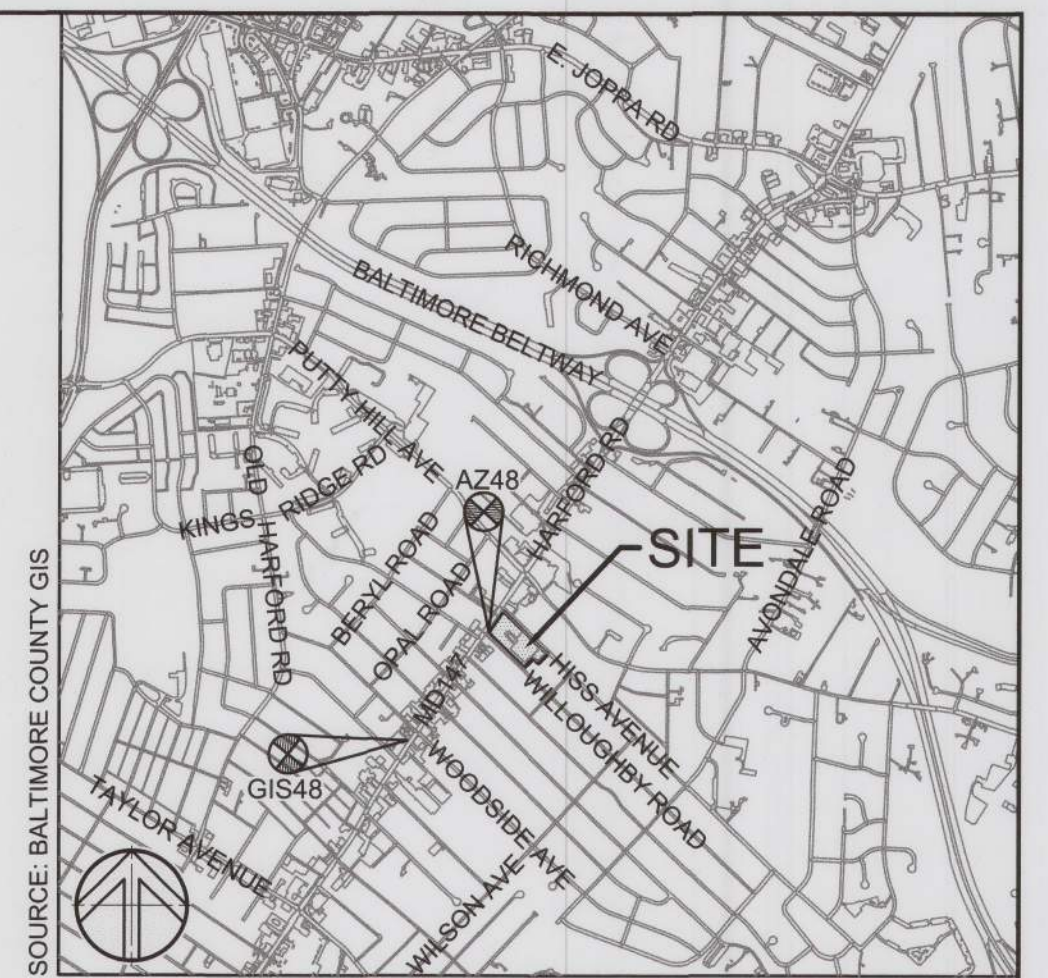
SURVEY NOTES

TOPOGRAPHIC INFORMATION WAS TAKEN FROM A SURVEY PROVIDED BY HANOVER SURVEY IN AUGUST, 2023. ALL HORIZONTAL SURVEY DATA PROVIDED BY UTILITY MAPPING ARE REFERENCED TO THE FOLLOWING SURVEY CONTROL POINTS:

SITE CONTROL COORDINATE TABLE				
PT#	NORTHING	EASTING	ELEVATION	DESCRIPTION
HLS1	625180.56	1443687.67	348.40	MAG NAIL
HLS2	624974.82	1443907.31	345.68	MAG NAIL
HLS3	624750.64	1444118.84	334.76	MAG NAIL
HLS4	624656.88	1443894.77	332.66	MAG NAIL
HLS5	624783.19	1443698.12	326.49	MAG NAIL
AZ48	624967.29	1443541.29	330.82	MAG NAIL
GIS48	623826.03	1442695.68	327.36	MAG NAIL

HYDROLOGIC SOIL GROUP RATING

U_r URBAN LAND, 0% TO 8% SLOPES D K FACTOR: N/A
CoD CROOM-URBAN LAND, 0% TO 15% SLOPES C K FACTOR: 0.32



VICINITY MAP LEGEND

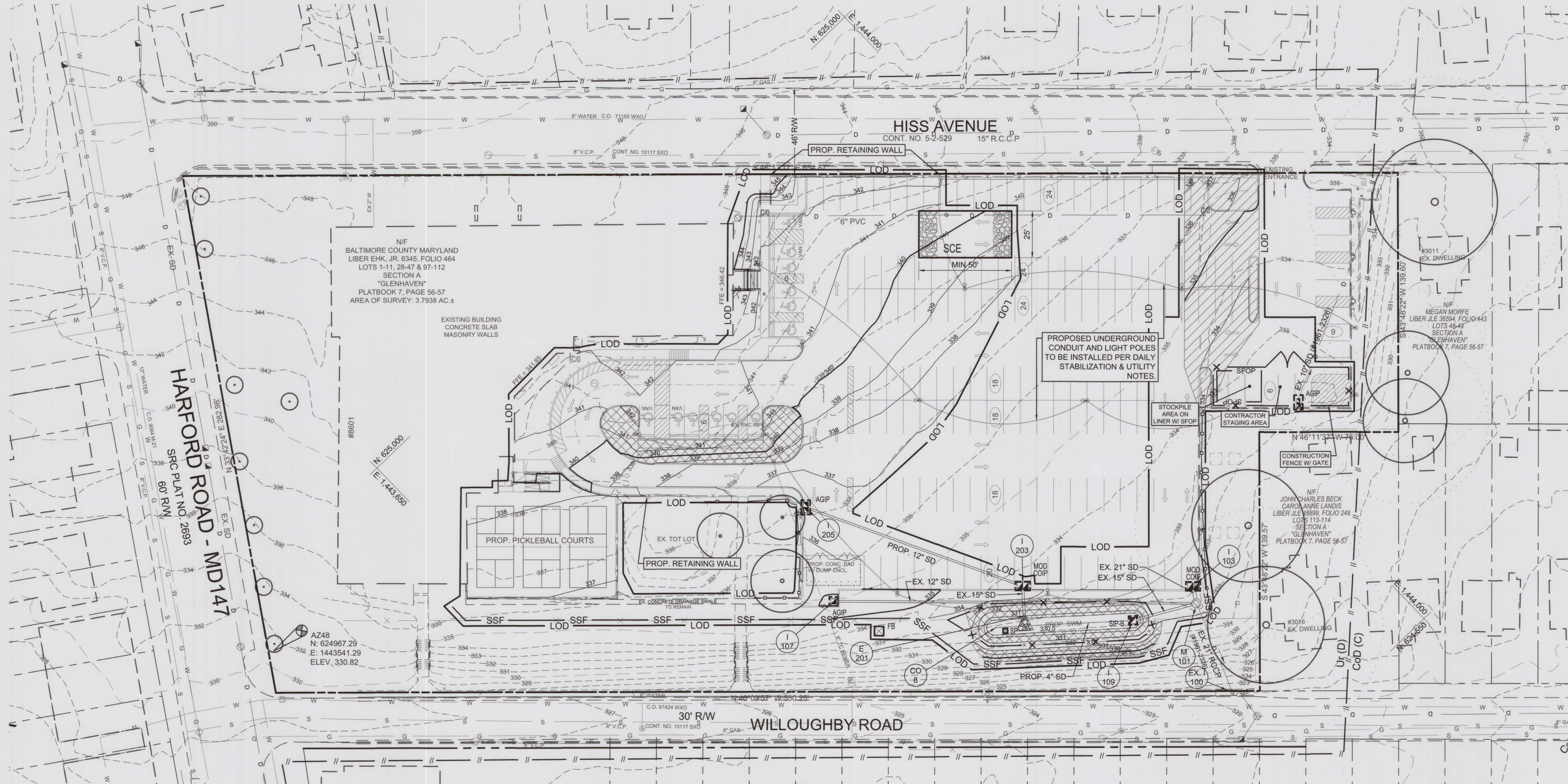
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	EXISTING BUILDING
	EXISTING WALK
	EXISTING ROAD
	EXISTING CURB
	EXISTING FENCE
	EXISTING STORM DRAIN
	EXISTING WATER
	EXISTING SANITARY SEWER
	EXISTING GAS
	EXISTING LIGHTING
	EXISTING CONTOURS
	EXISTING SOIL GROUP DELINEATION
	EXISTING TREES
	LIMIT OF DISTURBANCE
	TREE PROTECTION FENCE
	SUPER SILT FENCE
	TEMPORARY SAFETY FENCE
	INLET PROTECTION
	SOIL STABILIZATION MATTING
	DAILY STABILIZATION
	TEMPORARY ASPHALT CURB
	TEMPORARY ASPHALT BERM
	PROPOSED STORM DRAIN
	PROPOSED STORM DRAIN INLET
	PROPOSED CONTOURS

Baltimore County Soil Conservation District
APPROVED FOR SEDIMENT CONTROL **9-24-24**
Date
Jeffrey P. West DISTRICT OFFICIAL **141-280010-24** Plan No.
Technical Review for the District by:
Stuart Darley
This plan approval will expire three (3) years from the approval date.

ESC 1 OF 6

SEAL	PROFESSIONAL CERTIFICATION	AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SH	DRAWING SCALE	PROPERTY MANAGEMENT	
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	ENGINEER: MARK HADLEY	DGN BY: EPA/AMK	BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER
	SITERESOURCES Central Design Services Incorporated 4 North Park Drive, Suite 100, Cockeysville, MD 21030 410.683.3388 www.siteresourcesinc.com	DWN BY: EPA/AMK	REVIEWED BY: _____							APPROVED BY: _____ CHIEF
	CHKD BY: MJH	DATE REVIEWED: _____								DATE: _____

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT		SHEET DESIGNATION	CONTRACT NUMBER
PARKVILLE SENIOR CENTER PARKING		C401	25021 POO
EXISTING EROSION & SEDIMENT CONTROL PLAN			JOB ORDER NUMBER
PARKING RECONFIGURATION - 100% CONSTRUCTION DOCUMENTS			861889
BALTIMORE COUNTY DEPARTMENT AGING			SHEET 14 OF 34
8601 HARFORD RD, PARKVILLE, MD 21234			DRAWING NUMBER
ELECTION DIST. NO.: 14C6			2024-0414
			FILE NO.:



INLET PROTECTION NOTE:

THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:

1. ANY INLET OUTFALLING DIRECTLY INTO A SEDIMENT TRAPPING DEVICE.
2. INLETS ON PRIVATE OR PUBLIC PAVED ROADWAYS OPEN TO THE PUBLIC.

ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, PAGE E.23 (OR AS MAY BE AMENDED). THE REMOVAL OF ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.

* STORM DRAINS TO BE FLUSHED PRIOR TO TRAPPING DEVICE REMOVAL.

DAILY STABILIZATION NOTE

CONTRACTOR SHALL ONLY DISTURB THAT AREA WHICH CAN BE COMPLETED AND STABILIZED BY THE END OF EACH WORKING DAY.

- STABILIZATION SHALL BE AS FOLLOWS:
1. FOR AREAS TO BE PAVED, THE APPLICATION OF STONE BASE.
 2. FOR AREAS TO BE VEGETATIVELY STABILIZED:
 - a. PERMANENT SEED AND SOIL STABILIZATION MATTING OR SOD FOR ALL STEEP SLOPES, CHANNELS OR SWALES.
 - b. PERMANENT SEED AND MULCH FOR ALL OTHER AREAS.

ANY AREAS WHICH CAN NOT BE STABILIZED BY THE END OF EACH WORKING DAY MUST HAVE SILT FENCE INSTALLED ON THE DOWNSIDE SLOPE.

TEMPORARY STOCKPILE NOTE

- TEMPORARY STOCKPILES SHALL BE:
1. LOCATED WITHIN THE LIMIT OF DISTURBANCE (LOD).
 2. DRAIN TO A FUNCTIONING SEDIMENT CONTROL DEVICE.
 3. POSITIONED TO NOT IMPEDE UPON, OR IMPAIR THE FUNCTION OF SAID DEVICE.
 4. POSITIONED TO NOT ALTER DRAINAGE DIVIDES.

UTILITY NOTE:

1. CONTRACTOR SHOULD OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW (DOWNSLOPE) OF THE TRENCH.
2. PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
3. ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION IS TO BE REPAIRED IMMEDIATELY.

MAINTENANCE NOTE


CONTRACTOR SHALL INSPECT AND MAINTAIN ALL SEDIMENT CONTROL MEASURES AND DEVICES AFTER EVERY STORM EVENT. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO THE REMOVAL OF ALL ACCUMULATED SEDIMENT. GEOTEXTILE FABRIC SHALL BE REPLACED AS NEEDED TO ENSURE PROPER FUNCTION.

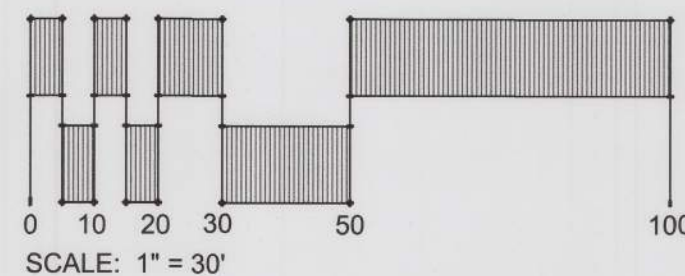
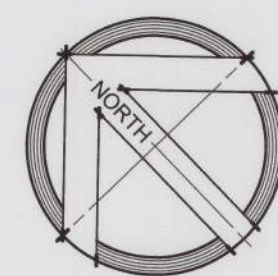
LEGEND

	PROPERTY LINE
	EXISTING BUILDING
	EXISTING WALK
	EXISTING ROAD
	EXISTING CURB
	EXISTING FENCE
	EXISTING STORM DRAIN
	EXISTING WATER
	EXISTING SANITARY SEWER
	EXISTING GAS
	EXISTING LIGHTING
	EXISTING CONTOURS
	EXISTING SOIL GROUP DELINEATION
	EXISTING TREES
	PROPOSED RETAINING WALL
	PROPOSED SIDEWALK
	PROPOSED CURB
	PROPOSED FENCE
	PROPOSED CONTOURS
	PROPOSED STORM DRAIN
	PROPOSED STORM DRAIN INLET
	PROPOSED ELECTRIC
	PROPOSED LIGHTING
	LIMIT OF DISTURBANCE
	TREE PROTECTION FENCE
	SUPER SILT FENCE
	TEMPORARY SAFETY FENCE
	INLET PROTECTION
	SOIL STABILIZATION MATTING
	DAILY STABILIZATION
	STABILIZED CONSTRUCTION ENTRANCE
	CONCRETE WASHOUT STRUCTURE
	SUMP PIT
	FILTER BAG

Baltimore County Soil Conservation District
APPROVED FOR SEDIMENT CONTROL
Jeffrey P. West 9-24-24
Date

ESC 2 OF 6

	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHI	DRAWING SCALE	PROPERTY MANAGEMENT	
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 41978 EXPIRATION DATE 12/20/2025		CONTRACT COMPLETION BOX				N/A VSE R.O.W NO. N/A		6INX3 6INX3		PLAN SCALE: AS SHOWN	APPROVED BY: _____ PROPERTY MANAGER
											PROFILE SCALE: _____	DATE: _____
ENGINEER: MARK HADLEY	DGN BY: EFA/AMK	BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	PROPERTY MANAGEMENT		
	DWN BY: EFA/AMK	REVIEWED BY:								APPROVED BY: _____ CHIEF		
DATE : 09/19/2024	CHKD BY: MJH		DATE REVIEWED:									
SITERESOURCES Creative Design Successfully Engineered. 4 North Park Drive, Suite 100, Cockeysville, MD 21030 410.883.3388 www.siteresourcesinc.com												



TOTAL LIMIT OF DISTURBANCE: 57,400 S.F. / 1.32 AC.

MARYLAND COORDINATE SYSTEM NAD83/2011 & NAVD88

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT

PARKVILLE SENIOR CENTER PARKING
PROPOSED EROSION & SEDIMENT CONTROL PLAN
PARKING RECONFIGURATION - 100% CONSTRUCTION DOCUMENTS
BALTIMORE COUNTY DEPARTMENT AGING
8601 HARFORD RD, PARKVILLE, MD 21234

SUBDIVISION: SECTION-A GLENHAVEN

ELECTION DIST. NO.: 14C6

SHEET DESIGNATION	CONTRACT NUMBER
C411	25021 POO
JOB ORDER NUMBER	861889
SHEET 15 OF 34	
DRAWING NUMBER	2024-0415
FILE NO.:	

B-4-2 STANDARDS AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING AND SOIL AMENDMENTS

DEFINITION THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION.

PURPOSE TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH.

CONDITIONS WHERE PRACTICE APPLIES WHERE VEGETATIVE STABILIZATION IS TO BE ESTABLISHED.

- CRITERIA
- A. SOIL PREPARATION
1. TEMPORARY STABILIZATION
- A. SEEDBED PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT, SUCH AS DISC HARROWS OR CHISEL PLOWS OR RIPPERS MOUNTED ON CONSTRUCTION EQUIPMENT. AFTER THE SOIL IS LOOSENED, IT MUST NOT BE ROLLED OR DRAGGED SMOOTH BUT LEFT IN THE ROUGHENED CONDITION. SLOPES 3:1 OR FLATTER ARE TO BE TRACKED WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE.
- B. APPLY FERTILIZER AND LIME AS PRESCRIBED ON THE PLANS.
- C. INCORPORATE LIME AND FERTILIZER INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS.
2. PERMANENT STABILIZATION
- A. A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MORE. THE MINIMUM SOIL CONDITIONS REQUIRED FOR PERMANENT VEGETATIVE ESTABLISHMENT ARE:
- i. SOIL PH BETWEEN 6.0 AND 7.0.
- ii. SOLUBLE SALTS LESS THAN 500 PARTS PER MILLION (PPM).
- iii. SOIL CONTAINS LESS THAN 40 PERCENT CLAY BUT ENOUGH FINE GRAINED MATERIAL (GREATER THAN 30 PERCENT SILT PLUS CLAY) TO TRACE THE CAPACITY TO HOLD A MODERATE AMOUNT OF MOISTURE, AN EXCEPTION: IF LOVEGRASS WILL BE PLANTED, THEN A SANDY SOIL (LESS THAN 30 PERCENT SILT PLUS CLAY) WOULD BE ACCEPTABLE.
- iv. SOIL CONTAINS 1.5 PERCENT MINIMUM ORGANIC MATTER BY WEIGHT.
- v. SOIL CONTAINS SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION.
- B. APPLICATION OF AMENDMENTS OR TOPSOIL IS REQUIRED IF ON-SITE SOILS DO NOT MEET THE ABOVE CONDITIONS.
- C. GRADED AREAS MUST BE MAINTAINED IN A TRUE AND EVEN GRADE AS SPECIFIED ON THE APPROVED PLAN, THEN SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO 5 INCHES.
- D. APPLY SOIL AMENDMENTS AS SPECIFIED ON THE APPROVED PLAN OR AS INDICATED BY THE RESULTS OF A SOIL TEST.
- E. MIX SOIL AMENDMENTS INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. RAKE LAWN AREAS TO SMOOTH THE SURFACE, REMOVE LARGE OBJECTS LIKE STONES AND BRANCHES, AND READY THE AREA FOR SEED APPLICATION. LOOSEN SURFACE SOIL BY DRAGGING WITH A HEAVY CHAIN OR OTHER EQUIPMENT TO ROUGHEN THE SURFACE WHERE SITE CONDITIONS WILL NOT PERMIT NORMAL SEED PREPARATION.
- TRACK SLOPES 3:1 OR FLATTER WITH TRACKED EQUIPMENT LEAVING THE SOIL IN AN IRREGULAR CONDITION WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE. LEAVE THE TOP 1 TO 3 INCHES OF SOIL LOOSE AND FRIABLE. SEEDBED LOOSENING MAY BE UNNECESSARY ON NEWLY DISTURBED AREAS.

- B. TOPSOILING
1. TOPSOIL IS PLACED OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION. THE PURPOSE IS TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.
2. TOPSOIL SALVAGED FROM AN EXISTING SITE MAY BE USED PROVIDED IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-NRCS.
3. TOPSOILING IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:
- A. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
- B. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.
- C. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
- D. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.
4. AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN.
5. TOPSOIL SPECIFICATIONS: SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING CRITERIA:
- A. TOPSOIL MUST BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, OR LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. TOPSOIL MUST NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND MUST CONTAIN LESS THAN 5 PERCENT BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1½ INCHES IN DIAMETER.
- B. TOPSOIL MUST BE FREE OF NOXIOUS PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACK GRASS, JOHNSON GRASS, NUT SEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.
- C. TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.
6. TOPSOIL APPLICATION
- A. EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED WHEN APPLYING TOPSOIL.
- B. UNIFORMLY DISTRIBUTE TOPSOIL IN A 5 TO 8 INCH LAYER AND LIGHTLY COMPACT TO A MINIMUM THICKNESS OF 4 INCHES. SPREADING IS TO BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS MUST BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
- C. TOPSOIL MUST NOT BE PLACED IF THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.

- C. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS)
1. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE. SOIL ANALYSIS MAY BE PERFORMED BY A RECOGNIZED PRIVATE OR COMMERCIAL LABORATORY. SOIL SAMPLES TAKEN FOR ENGINEERING PURPOSES MAY ALSO BE USED FOR CHEMICAL ANALYSES.
2. FERTILIZERS MUST BE UNIFORM IN COMPOSITION, FREE FLOWING AND SUITABLE FOR ACCURATE APPLICATION BY APPROPRIATE EQUIPMENT. MANURE MAY BE SUBSTITUTED FOR FERTILIZER WITH PRIOR APPROVAL FROM THE APPROPRIATE APPROVAL AUTHORITY. FERTILIZERS MUST ALL BE DELIVERED TO THE SITE FULLY LABELED ACCORDING TO THE APPLICABLE LAWS AND MUST BEAR THE NAME, TRADE NAME OR TRADEMARK AND WARRANTY OF THE PRODUCER.
3. LIME MATERIALS MUST BE GROUND LIMESTONE (HYDRATED OR BURNT LIME MAY BE SUBSTITUTED EXCEPT WHEN HYDROSEEDING) WHICH CONTAINS AT LEAST 50 PERCENT TOTAL OXIDES (CALCIUM OXIDE PLUS MAGNESIUM OXIDE). LIMESTONE MUST BE GROUND TO SUCH FINENESS THAT AT LEAST 50 PERCENT WILL PASS THROUGH A #100 MESH SIEVE AND 98 TO 100 PERCENT WILL PASS THROUGH A #20 MESH SIEVE.
4. LIME AND FERTILIZER ARE TO BE EVENLY DISTRIBUTED AND INCORPORATED INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS.
5. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, SPREAD GROUND LIMESTONE AT THE RATE OF 4 TO 8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL.

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

DEFINITION THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.

PURPOSE TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION.

CONDITIONS WHERE PRACTICE APPLIES TO THE SURFACE OF ALL PERIMETER CONTROLS, SLOPES, AND ANY DISTURBED AREA NOT UNDER ACTIVE GRADING.

- CRITERIA
- A. SEEDING
1. SPECIFICATIONS
- A. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY. ALL SEED USED MUST HAVE BEEN TESTED WITHIN THE 6 MONTHS IMMEDIATELY PRECEDING THE DATE OF SOWING SUCH MATERIAL ON ANY PROJECT. REFER TO TABLE B.4 REGARDING THE QUALITY OF SEED. SEED TAGS MUST BE AVAILABLE UPON REQUEST TO THE INSPECTOR TO VERIFY TYPE OF SEED AND SEEDING RATE.
- B. MULCH ALONE MAY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES ONLY IF THE GROUND IS FROZEN. THE APPROPRIATE SEEDING MIXTURE MUST BE APPLIED WHEN THE GROUND THAWS.
- C. INOCULANTS: THE INOCULANT FOR TREATING LEGUME SEED IN THE SEED MIXTURES MUST BE A PURE CULTURE OF NITROGEN FIXING BACTERIA PREPARED SPECIFICALLY FOR THE SPECIES. INOCULANTS MUST NOT BE USED LATER THAN THE DATE INDICATED ON THE CONTAINER. ADD FRESH INOCULANTS AS DIRECTED ON THE PACKAGE. USE FOUR TIMES THE RECOMMENDED RATE WHEN HYDROSEEDING. NOTE: IT IS VERY IMPORTANT TO KEEP INOCULANT AS COOL AS POSSIBLE UNTIL USED. TEMPERATURES ABOVE 75 TO 80 DEGREES FAHRENHEIT CAN WEAKEN BACTERIA AND MAKE THE INOCULANT LESS EFFECTIVE.
- D. SOD OR SEED MUST NOT BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.

2. APPLICATION
- A. DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST SPREADERS.
- i. INCORPORATE SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON TEMPORARY SEEDING TABLE B.1, PERMANENT SEEDING TABLE B.3, OR SITE-SPECIFIC SEEDING SUMMARIES.
- ii. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION. ROLL THE SEEDBED AREA WITH A WEIGHTED ROLLER TO PROVIDE GOOD SEED TO SOIL CONTACT.
- B. DRILL OR CULTIPACKER SEEDING: MECHANIZED SEEDERS THAT APPLY AND COVER SEED WITH SOIL.
- i. CULTIPACKING SEEDERS ARE REQUIRED TO BURY THE SEED IN SUCH A FASHION AS TO PROVIDE AT LEAST 1/4 INCH OF SOIL COVERING. SEEDBED MUST BE FIRM AFTER PLANTING.
- ii. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION.
- C. HYDROSEEDING: APPLY SEED UNIFORMLY WITH HYDROSEEDER (SLURRY INCLUDES SEED AND FERTILIZER).
- i. IF FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING, THE APPLICATION RATES SHOULD NOT EXCEED THE FOLLOWING: NITROGEN, 100 POUNDS PER ACRE TOTAL OF SOLUBLE NITROGEN; P2O5 (PHOSPHOROUS), 200 POUNDS PER ACRE; K2O (POTASSIUM), 200 POUNDS PER ACRE.
- ii. LIME: USE ONLY GROUND AGRICULTURAL LIMESTONE (UP TO 3 TONS PER ACRE MAY BE APPLIED BY HYDROSEEDING). NORMALLY, NOT MORE THAN 2 TONS ARE APPLIED BY HYDROSEEDING AT ANY ONE TIME. DO NOT USE BURNT OR HYDRATED LIME WHEN HYDROSEEDING.
- iii. MIX SEED AND FERTILIZER ON SITE AND SEED IMMEDIATELY AND WITHOUT INTERRUPTION.
- iv. WHEN HYDROSEEDING DO NOT INCORPORATE SEED INTO THE SOIL.

- B. MULCHING
1. MULCH MATERIALS (IN ORDER OF PREFERENCE)
- A. STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, RYE, OAT, OR BARLEY AND REASONABLY BRIGHT IN COLOR. STRAW IS TO BE FREE OF NOXIOUS WEE SEEDS AS SPECIFIED IN THE MARYLAND SEED LAW AND NOT MUSTY, MOLDY, CAKED, DECAYED, OR EXCESSIVELY DUSTY. NOTE: USE ONLY TERLIE STRAW MULCH IN AREAS WHERE ONE SPECIES OF GRASS IS DESIRED.
- B. WOOD CELLULOSE FIBER MULCH (WCFM) CONSISTING OF SPECIALLY PREPARED WOOD CELLULOSE PROCESSED INTO A UNIFORM FIBROUS PHYSICAL STATE.
- i. WCFM IS TO BE DYED GREEN OR CONTAIN A GREEN DYE IN THE PACKAGE THAT WILL PROVIDE AN APPROPRIATE COLOR TO FACILITATE VISUAL INSPECTION OF THE UNIFORMLY SPREAD SLURRY.

- ii. WCFM, INCLUDING DYE, MUST CONTAIN NO GERMINATION OR GROWTH INHIBITING FACTORS.
- iii. WCFM MATERIALS ARE TO BE MANUFACTURED AND PROCESSED IN SUCH A MANNER THAT THE WOOD CELLULOSE FIBER MULCH WILL REMAIN IN UNIFORM SUSPENSION IN WATER UNDER AGITATION AND WILL BLEND WITH SEED, FERTILIZER AND OTHER ADDITIVES TO FORM A HOMOGENEOUS SLURRY. THE MULCH MATERIAL MUST FORM A BLOTTER-LIKE GROUND COVER, ON APPLICATION, HAVING MOISTURE ABSORPTION AND PERCOLATION PROPERTIES AND MUST COVER AND HOLD GRASS SEED IN CONTACT WITH THE SOIL WITHOUT INHIBITING THE GROWTH OF THE GRASS SEEDLINGS.
- iv. WCFM MATERIAL MUST NOT CONTAIN ELEMENTS OR COMPOUNDS AT CONCENTRATION LEVELS THAT WILL BE PHYTO-TOXIC.
- v. WCFM MUST CONFORM TO THE FOLLOWING PHYSICAL REQUIREMENTS: FIBER LENGTH OF APPROXIMATELY 10 MILLIMETERS, DIAMETER APPROXIMATELY 1 MILLIMETER, PH RANGE OF 4.0 TO 8.5, ASH CONTENT OF 1.6 PERCENT MAXIMUM AND WATER HOLDING CAPACITY OF 90 PERCENT MINIMUM.

2. APPLICATION
- A. APPLY MULCH TO ALL SEEDBED AREAS IMMEDIATELY AFTER SEEDING.
- B. WHEN STRAW MULCH IS USED, SPREAD IT OVER ALL SEEDBED AREAS AT THE RATE OF 2 TONS PER ACRE TO A UNIFORM LOOSE DEPTH OF 1 TO 2 INCHES. APPLY MULCH TO ACHIEVE A UNIFORM DISTRIBUTION AND DEPTH SO THAT THE SOIL SURFACE IS NOT EXPOSED. WHEN USING A MULCH ANCHORING TOOL, INCREASE THE APPLICATION RATE TO 2.5 TONS PER ACRE.
- C. WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGHT OF 1500 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER TO ATTAIN A MIXTURE WITH A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.
3. ANCHORING
- A. PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS (LISTED BY PREFERENCE), DEPENDING UPON THE SIZE OF THE AREA AND EROSION HAZARD:
- i. A MULCH ANCHORING TOOL IS A TRACTOR DRAWN IMPLEMENT DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE A MINIMUM OF 2 INCHES. THIS PRACTICE IS MOST EFFECTIVE ON LARGE AREAS, BUT IS LIMITED TO FLATTER SLOPES WHERE EQUIPMENT CAN OPERATE SAFELY. IF USED ON SLOPING LAND, THIS PRACTICE SHOULD FOLLOW THE CONTOUR.
- ii. WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. APPLY THE FIBER BINDER AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER AT A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.
- iii. SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRO-TACK), DCA-70, PETROSET, TERRA TAX II, TERRA TACK AR OR OTHER APPROVED EQUAL MAY BE USED. FOLLOW APPLICATION RATES AS SPECIFIED BY THE MANUFACTURER. APPLICATION OF LIQUID BINDERS NEEDS TO BE HEAVIER AT THE EDGES WHERE WIND CATCHES MULCH, SUCH AS IN VALLEYS AND ON CRESTS OF BANKS. USE OF ASPHALT BINDERS IS STRICTLY PROHIBITED.
- iv. LIGHTWEIGHT PLASTIC NETTING MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER RECOMMENDATIONS. NETTING IS USUALLY AVAILABLE IN ROLLS 4 TO 15 FEET WIDE AND 300 TO 3,000 FEET LONG.

B-4-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION

DEFINITION TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.

PURPOSE TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS.

CONDITIONS WHERE PRACTICE APPLIES EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR A PERIOD OF 6 MONTHS OR LESS. FOR LONGER DURATION OF TIME, PERMANENT STABILIZATION PRACTICES ARE REQUIRED.

- CRITERIA
1. SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B.1 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE 6A), AND ENTER THEM IN THE TEMPORARY SEEDING SUMMARY BELOW ALONG WITH APPLICATION RATES, SEEDING DATES AND SEEDING DEPTHS. IF THIS SUMMARY IS NOT PUT ON THE PLAN AND COMPLETED, THEN TABLE B.1 PLUS FERTILIZER AND LIME RATES MUST BE PUT ON THE PLAN.
2. FOR SITES HAVING SOIL TESTS PERFORMED, USE AND SHOW THE RECOMMENDED RATES BY THE TESTING AGENCY. SOIL TESTS ARE NOT REQUIRED FOR TEMPORARY SEEDING.
3. WHEN STABILIZATION IS REQUIRED OUTSIDE OF A SEEDING SEASON, APPLY SEED AND MULCH OR STRAW MULCH ALONE AS PRESCRIBED IN SECTION B-4-3.A.1.B AND MAINTAIN UNTIL THE NEXT SEEDING SEASON.

TEMPORARY SEEDING SUMMARY

HARDINESS ZONE 7B					
SPECIES	APPLICATION RATE (LBS./AC.)	SEEDING DATES	SEEDING DEPTH	FERTILIZER RATE (10-20-20)	LIME RATE
ANNUAL RYEGRASS	40 LBS./AC.	2/15 - 4/30 8/15 - 11/30	½"	436 LB./AC. (10 LB./1000 S.F.)	2 TONS/AC. (90 LB./1000 S.F.)
FOXTAIL MILLET	30 LBS./AC.	5/1 - 8/14	½"		

B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

DEFINITION TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.

PURPOSE TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.

CONDITIONS WHERE PRACTICE APPLIES EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

- CRITERIA
- A. SEED MIXTURES
1. GENERAL USE
- A. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE CONDITION OR PURPOSE FOUND ON TABLE B.2. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN.
- B. ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES, STREAM BANKS, OR DUNES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFE OR AESTHETIC TREATMENT MAY BE FOUND IN USDA-NRCS TECHNICAL FIELD OFFICE GUIDE, SECTION 342 - CRITICAL AREA PLANTING.
- C. FOR SITES HAVING DISTURBED AREA OVER 5 ACRES, USE AND SHOW THE RATES RECOMMENDED BY THE SOIL TESTING AGENCY.
- D. FOR AREAS RECEIVING LOW MAINTENANCE, APPLY UREA FORM FERTILIZER (46-0-0) AT 3 ½ POUNDS PER 1000 SQUARE FEET (150 POUNDS PER ACRE) AT THE TIME OF SEEDING IN ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT SEEDING SUMMARY.
2. TURFGRASS MIXTURES
- A. AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE.
- B. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR PURPOSE. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN.

- i. KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN AREAS THAT RECEIVE INTENSIVE MANAGEMENT. IRRIGATION REQUIRED IN THE AREAS OF CENTRAL MARYLAND AND EASTERN SHORE. RECOMMENDED CERTIFIED KENTUCKY BLUEGRASS CULTIVARS SEEDING RATE: 1.5 TO 2.0 POUNDS PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.
- ii. KENTUCKY BLUEGRASS/PERENNIAL RYE: FULL SUN MIXTURE: FOR USE IN FULL SUN AREAS WHERE RAPID ESTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE MEDIUM TO INTENSIVE MANAGEMENT. CERTIFIED PERENNIAL RYEGRASS CULTIVARS/CERTIFIED KENTUCKY BLUEGRASS SEEDING RATE: 2 POUNDS MIXTURE PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.
- iii. TALL FESCUE/KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN DROUGHT PRONE AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MANAGEMENT IN FULL SUN TO MEDIUM SHADE. RECOMMENDED MIXTURE INCLUDES: CERTIFIED TALL FESCUE CULTIVARS 95 TO 100 PERCENT, CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 0 TO 5 PERCENT. SEEDING RATE: 5 TO 8 POUNDS PER 1000 SQUARE FEET. ONE OR MORE CULTIVARS MAY BE BLENDED.
- iv. KENTUCKY BLUEGRASS/FINE FESCUE: SHADE MIXTURE: FOR USE IN AREAS WITH SHADE IN BLUEGRASS LAWNS. FOR ESTABLISHMENT IN HIGH QUALITY, INTENSIVELY MANAGED TURF AREA. MIXTURE INCLUDES: CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 30 TO 40 PERCENT AND CERTIFIED FINE FESCUE AND 60 TO 70 PERCENT. SEEDING RATE: 1½ TO 3 POUNDS PER 1000 SQUARE FEET.

NOTES: SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT UNIVERSITY OF MARYLAND PUBLICATION, AGRONOMY MEMO #77, "TURFGRASS CULTIVAR RECOMMENDATIONS FOR MARYLAND"

CHOOSE CERTIFIED MATERIAL. CERTIFIED MATERIAL IS THE BEST GUARANTEE OF CULTIVAR PURITY. THE CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF AGRICULTURE, TURF AND SEED SECTION, PROVIDES A RELIABLE MEANS OF CONSUMER PROTECTION AND ASSURES A PURE GENETIC LINE.

- C. IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURES WESTERN MD: MARCH 15 TO JUNE 1, AUGUST 1 TO OCTOBER 1 (HARDINESS ZONES: 5B, 6A) CENTRAL MD: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONE: 6B) SOUTHERN MD, EASTERN SHORE: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONES: 7A, 7B)
- D. TILL AREAS TO RECEIVE SEED BY DISKING OR OTHER APPROVED METHODS TO A DEPTH OF 2 TO 4 INCHES. LEVEL AND RAKE THE AREAS TO PREPARE A PROPER SEEDBED. REMOVE STONES AND DEBRIS OVER 1 1/2 INCHES IN DIAMETER. THE RESULTING SEEDBED MUST BE IN SUCH CONDITION THAT FUTURE MOWING OF GRASSES WILL POSE NO DIFFICULTY.
- E. IF SOIL MOISTURE IS DEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER FOR PLANT GROWTH (1/2 TO 1 INCH EVERY 3 TO 4 DAYS DEPENDING ON SOIL TEXTURE) UNTIL THEY ARE FIRMLY ESTABLISHED. THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE LATE IN THE PLANTING SEASON, IN ABNORMALLY DRY OR HOT SEASONS, OR ON ADVERSE SITES.
- B. SOD: TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER)
1. GENERAL SPECIFICATIONS
- A. CLASS OF TURFGRASS SOD MUST BE MARYLAND STATE CERTIFIED. SOD LABELS MUST BE MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR.
- B. SOD MUST BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF ¾ INCH, PLUS OR MINUS ¼ INCH, AT THE TIME OF CUTTING. MEASUREMENT FOR THICKNESS MUST EXCLUDE TOP GROWTH AND THATCH. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE.
- C. STANDARD SIZE SECTIONS OF SOD MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10 PERCENT OF THE SECTION.
- D. SOD MUST NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL.
- E. SOD MUST BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOD NOT TRANSPLANTED WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION.
2. SOD INSTALLATION
- A. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, LIGHTLY IRRIGATE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOD.
- B. LAY THE FIRST ROW OF SOD IN A STRAIGHT LINE WITH SUBSEQUENT

ROWS PLACED PARALLEL TO IT AND TIGHTLY WEDGED AGAINST EACH OTHER. STAGGER LATERAL JOINTS TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS WHICH WOULD CAUSE AIR DRYING OF THE ROOTS.

C. WHEREVER POSSIBLE, LAY SOD WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAGGERING JOINTS. ROLL AND TAMP. PEG OR OTHERWISE SECURE THE SOD TO PREVENT SLIPPAGE ON SLOPES. ENSURE SOLID CONTACT EXISTS BETWEEN SOD ROOTS AND THE UNDERLYING SOIL SURFACE.

D. WATER THE SOD IMMEDIATELY FOLLOWING ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOD PAD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. COMPLETE THE OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOD WITHIN EIGHT HOURS.

3. SOD MAINTENANCE

A. IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK OR AS OFTEN AND SUFFICIENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATER SOD DURING THE HEAT OF THE DAY TO PREVENT WILTING.

B. AFTER THE FIRST WEEK, SOD WATERING IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE CONTENT.

C. DO NOT MOW UNTIL THE SOD IS FIRMLY ROOTED. NO MORE THAN 1/3 OF THE GRASS LEAF MUST BE REMOVED BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. MAINTAIN A GRASS HEIGHT OF AT LEAST 3 INCHES UNLESS OTHERWISE SPECIFIED.

PERMANENT SEEDING SUMMARY

HARDINESS ZONE 7B				FERTILIZER RATE (10-20-20)			LIME RATE
NO.	SPECIES	APPLICATION RATE (LB/AC)	SEEDING DATES***	SEEDING DEPTHS	N	P2O5	
****	TALL FESCUE** & KENTUCKY BLUEGRASS**	300 LB/AC***	2/15 - 4/30* 8/15 - 10/31	1¼" - 1½"	45 LB/AC (1.0 LB/1000 SF)	90 LB/AC (2 LB/1000 SF)	90 LB/AC (2 LB/1000 SF)
					2 TONS/AC (90 LB/1000 SF)		

- * WARM-SEASON GRASSES NEED A SOIL TEMPERATURE OF AT LEAST 50 DEGREES F IN ORDER TO GERMINATE. IF SOIL TEMPERATURES ARE COLDER THAN 50 DEGREES, OR MOISTURE IS NOT ADEQUATE, THE SEEDS WILL REMAIN DORMANT UNTIL CONDITIONS ARE FAVORABLE. IN GENERAL, PLANTING DURING THE LATTER PORTION OF THIS PERIOD ALLOWS MORE TIME FOR WEED EMERGENCE AND WEED CONTROL PRIOR TO PLANTING. WHEN SELECTING A PLANTING DATE, CONSIDER THE NEED FOR WEED CONTROL VS. THE LIKELIHOOD OF HAVING SUFFICIENT MOISTURE FOR LATER PLANTINGS, ESPECIALLY ON DROUGHTY SITES.
- ** SELECT TURFGRASS VARIETIES FROM THOSE LISTED AS ELIGIBLE "RECOMMENDED VARIETIES" CONTAINED IN THE CURRENT "MARYLAND TURFGRASS VARIETY LIST" PUBLISHED BY THE STATE OF MARYLAND, DEPARTMENT OF AGRICULTURE (MDA), TURF & SEED ADMINISTRATION.
- *** FOR TALL FESCUE CHOOSE 3 PROVEN CULTIVARS TO BE USED IN EQUAL PROPORTIONS IN THE SEED MIX.
- **** SEE 2011 MD STANDARDS & SPECIFICATIONS FOR SOIL EROSION & SEDIMENT CONTROL, SECTION B-4-5, PARAGRAPH A.2.B.III FOR TURFGRASS MIXTURE AND RATE AND PARAGRAPH A.2.C FOR TURFGRASS SEEDING DATES.
- ***** NOTE THAT DURING SEEDING DATES 5/16 - 8/14, ADD 15.0 LBS PER ACRE OF FOXTAIL MILLET TO SEED MIXTURE.

- NOTES:
1. THE PLANTING DATES LISTED ARE AVERAGES FOR EACH ZONE. THESE DATES MAY REQUIRE ADJUSTMENT TO REFLECT LOCAL CONDITIONS, ESPECIALLY NEAR THE BOUNDARIES OF THE ZONES. WHEN SEEDING TOWARD THE END OF THE LISTED PLANTING DATES, OR WHEN CONDITIONS ARE EXPECTED TO BE LESS THAN OPTIMAL, SELECT AN APPROPRIATE NURSE CROP FROM TABLE B.1 TEMPORARY SEEDING FOR SITE STABILIZATION AND PLANT TOGETHER WITH THE PERMANENT SEEDING MIX.
2. WHEN PLANTED DURING THE GROWING SEASON, MOST OF THESE MATERIALS MUST BE PURCHASED AND KEPT IN A DORMANT CONDITION UNTIL PLANTING. BARE-ROOT GRASSES ARE THE EXCEPTION THEY MAY BE SUPPLIED AS GROWING (NON-DORMANT) PLANTS.

B-4-8 STANDARDS AND SPECIFICATIONS

FOR STOCKPILE AREA

Definition

A mound or pile of soil protected by appropriately designed erosion and sediment control measures.

Purpose

To provide a designated location for the temporary storage of soil that controls the potential for erosion, sedimentation, and changes to drainage patterns.

Conditions Where Practice Applies

Stockpile areas are utilized when it is necessary to salvage and store soil for later use.

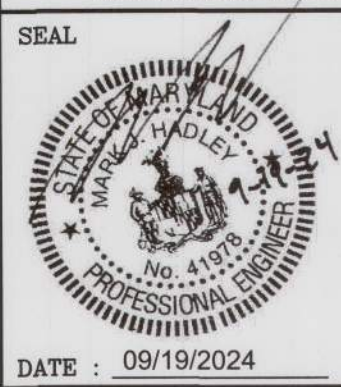
Criteria

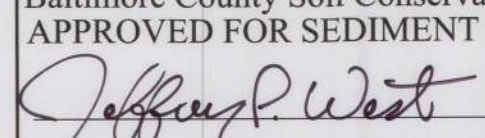
1. The stockpile location and all related sediment control practices must be clearly indicated on the erosion and sediment control plan.
2. The footprint of the stockpile must be sized to accommodate the anticipated volume of material and based on a side slope ratio no steeper than 2:1. Benching must be provided in accordance with Section B-3 Land Grading.
3. Runoff from the stockpile area must drain to a suitable sediment control practice.
4. Access the stockpile area from the upgrade side.
5. Clear water runoff into the stockpile area must be minimized by use of a diversion device such as an earth dike, temporary swale or diversion fence. Provisions must be made for discharging concentrated flow in a non-erosive manner.
6. Where runoff concentrates along the toe of the stockpile fill, an appropriate erosion/sediment control practice must be used to intercept the discharge.
7. Stockpiles must be stabilized in accordance with the 3/7 day stabilization requirement as well as Standard B-4-1 Incremental Stabilization and Standard B-4-4 Temporary Stabilization.
8. If the stockpile is located on an impervious surface, a liner should be provided below the stockpile to facilitate cleanup. Stockpiles containing contaminated material must be covered with impermeable sheeting.

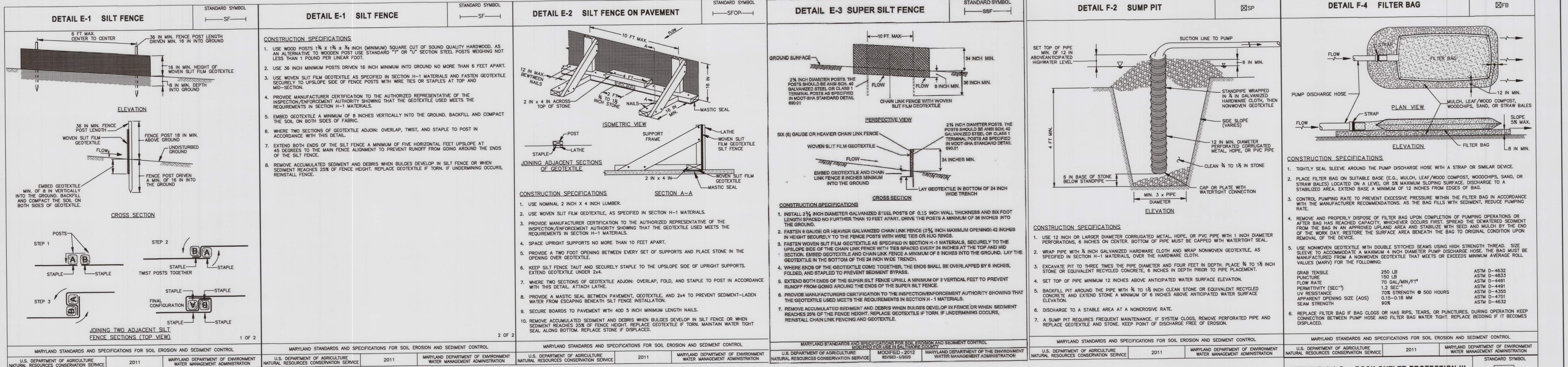
Maintenance

The stockpile area must continuously meet the requirements for Adequate Vegetative Establishment in accordance with Section B-4 Vegetative Stabilization. Side slopes must be maintained at no steeper than a 2:1 ratio. The stockpile area must be kept free of erosion. If the vertical height of a stockpile exceeds 20 feet for 2:1 slopes, 30 feet for 3:1 slopes, or 40 feet for 4:1 slopes, benching must be provided in accordance with Section B-3 Land Grading.

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SEAL	PROFESSIONAL CERTIFICATION	AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHFT	DRAWING SCALE	PROPERTY MANAGEMENT	
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.				N/A	YES	61NWS	PLAN SCALE: AS SHOWN	APPROVED BY: PROPERTY MANAGER	
	LICENSE NO. 41978, EXPIRATION DATE 12/20/2025.				R.O.W NO.		60NWS	PROFILE SCALE:	DATE:	
	ENGINEER: MARK HADLEY	DGN BY: EFA/AMK	CONTRACT COMPLETION BOX		N/A					
	SITERESOURCES	DWN BY: EFA/AMK	BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER
	4 North Park Drive, Suite 100, Cockeysville, MD 21030 410.960.3385 www.siteresourcesinc.com	CHD BY: MJH	REVIEWED BY:							APPROVED BY: CHIEF
DATE: 09/19/2024		DATE REVIEWED:							DATE:	
BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE – PROPERTY MANAGEMENT										
PARKVILLE SENIOR CENTER PARKING										
EROSION & SEDIMENT CONTROL DETAILS I										
PARKING RECONFIGURATION – 100% CONSTRUCTION DOCUMENTS										
BALTIMORE COUNTY DEPARTMENT AGING										
8601 HARFORD RD, PARKVILLE, MD 21234										
SUBDIVISION: SECTION–A GLENHAVEN										
ELECTION DIST. NO.: 14C6										

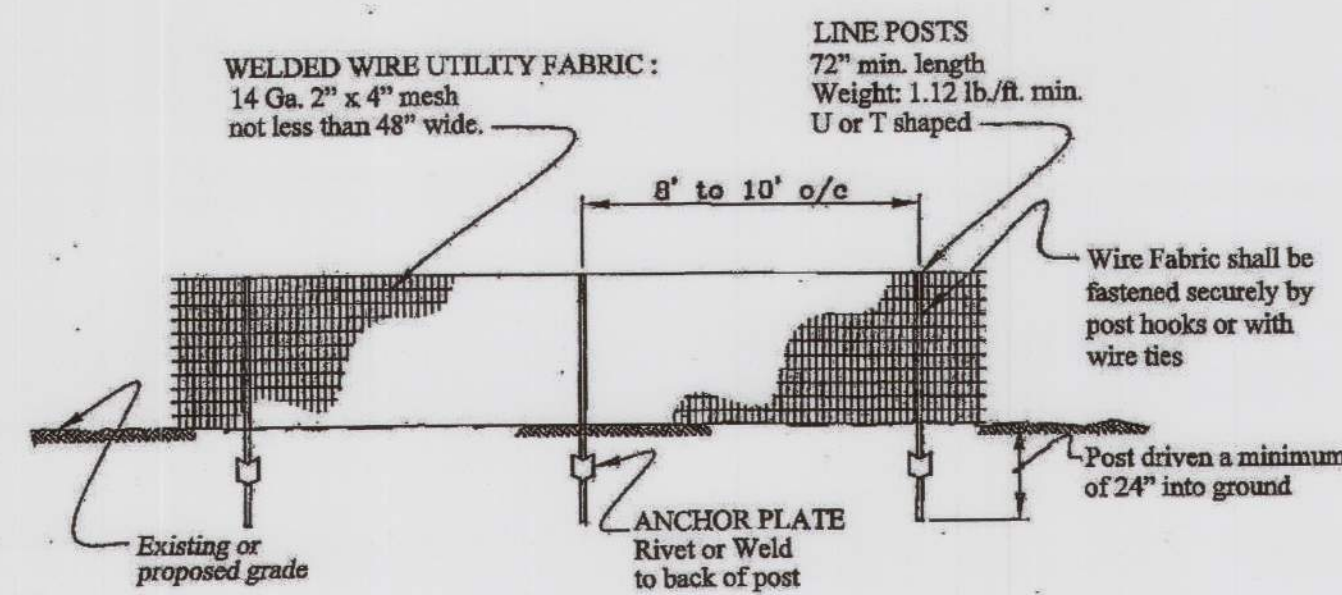
Baltimore County Soil Conservation District APPROVED FOR SEDIMENT CONTROL	
 9-24-24 Date	
SHEET DESIGNATION	CONTRACT NUMBER
C421	25021 POO
JOB ORDER NUMBER	
861889	
SHEET 16 OF 34	
DRAWING NUMBER	
2024-0416	
FILE NO.:	



SEQUENCE OF OPERATIONS

NOTE: ALL REQUIRED FEDERAL, STATE, AND LOCAL PERMITS MUST BE OBTAINED PRIOR TO THE PRE-CONSTRUCTION MEETING

1. NOTIFY BALTIMORE COUNTY DEPARTMENT OF PERMITS, APPROVALS, AND INSPECTIONS, SEDIMENT CONTROL, (410) 887-3276 AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
2. SCHEDULE AND HOLD ON-SITE PRE-CONSTRUCTION MEETING WITH REPRESENTATIVES OF OWNER, CONTRACTOR, AND BALTIMORE COUNTY SEDIMENT CONTROL INSPECTIONS.
3. CONTACT REPRESENTATIVES OF UTILITY OWNERS AND MISS UTILITY AT 1-800-275-7777 AT LEAST THREE DAYS IN ADVANCE OF STARTING WORK SHOWN ON THE PLANS.
4. ANY WALKS, ROADS, CURBS, ETC. OR ANY UTILITY OR STRUCTURE DAMAGED DURING CONSTRUCTION, NOT SCHEDULED FOR DEMOLITION, SHALL BE REPLACED IN KIND BY THE CONTRACTOR. MEET EXISTING CONDITIONS SMOOTHLY FOR LINE AND GRADE.
5. IF APPLICABLE, ORANGE HIGH VISIBILITY FENCE SHALL BE MANUALLY INSTALLED ALONG THE LIMIT OF DISTURBANCE, WHERE THE LIMIT IS WITHIN 50 FEET OF THE FOREST BUFFER/CONSERVATION EASEMENT. THIS SHALL BE COMPLETED BY AND INSPECTED AT THE PRE CONSTRUCTION MEETING.
6. CLEAR AND GRUB FOR SEDIMENT & EROSION CONTROL MEASURES OR DEVICES ONLY.
7. INSTALL ALL SUPER SILT FENCE AS SHOWN ON SHEET C401. INSTALL CONTRACTOR'S STAGING AREA W/ FENCING & STOCKPILE AREA W/ LINER, SFOP & AGIP AT EXISTING INLET.
8. NOTIFY BALTIMORE COUNTY DEPARTMENT OF PERMITS, APPROVALS, AND INSPECTIONS, SEDIMENT CONTROL, UPON COMPLETION OF SAID INSTALLATION.
9. WITH THE APPROVAL OF BALTIMORE COUNTY DEPARTMENT OF PERMITS, APPROVALS AND INSPECTIONS, SEDIMENT CONTROL AND THE SEDIMENT CONTROL INSPECTOR, BEGIN INSTALLATION OF THE PROPOSED STORM DRAINS AS SHOWN ON THE INITIAL CONDITIONS INSET (FROM M-101 TO I-103 & FROM M-101 TO I-107) AS SHOWN ON SHEET C401. IN ORDER TO REDUCE FLOW TO M-101 DURING ITS INSTALLATION, REMOVE THE EXISTING CONCRETE SWALE AS SHOWN ON SHEET C111 - DEMOLITION PLAN. INSTALL A STUB & CAP FROM M-101 TO I-109. PROVIDE A TEMPORARY ASPHALT CURB (TAC) AS SHOWN ON SHEET C401 AND PROVIDE INLET PROTECTION ON INLETS I-107 AND I-103 PRIOR TO INLETS BECOMING FUNCTIONAL. INSTALL THE TEMPORARY ASPHALT BERM (TAB).
10. BEGIN DEMOLITION AND ROUGH GRADING OF THE SWM FACILITY AND INSTALLATION OF UTILITIES WITHIN THE LOD AS SHOWN ON SHEET C401. CONTRACTOR SHALL ROUGH GRADE DEPRESSION OF STORMWATER MANAGEMENT (SWM) FACILITY SO THAT THE INITIAL GROUND SURFACE IS FLUSH WITH THE VEER ELEVATION OF THE OVERFLOW INLET I-109. INSTALL SUMP PIT. FINAL GRADING OF THE SWM FACILITY, AND INSTALLATION OF THE SWM MATERIALS SHALL BE DONE ONLY WHEN THE ENTIRE CONTRIBUTING DRAINAGE AREA IS STABILIZED WITH ESTABLISHED VEGETATION. IMMEDIATELY AFTER INSTALLING OVERFLOW INLET I-109, INSTALL INLET PROTECTION AS SHOWN ON SHEET C401. EMPLOY A 3-DAY DRY WEATHER FORECAST TO INSTALL PROPOSED STORM DRAIN FROM E-201 TO I-203. INSTALL RIP RAP OUTLET AT E-201.
11. INSTALL STABILIZED CONSTRUCTION ENTRANCE AND ANY REMAINING SEDIMENT & EROSION CONTROL MEASURES AS SHOWN ON SHEET C411.
12. NOTIFY BALTIMORE COUNTY DEPARTMENT OF PERMITS, APPROVALS, AND INSPECTIONS, SEDIMENT CONTROL, UPON COMPLETION OF SAID INSTALLATION.
13. WITH THE APPROVAL OF BALTIMORE COUNTY DEPARTMENT OF PERMITS, APPROVALS AND INSPECTIONS, SEDIMENT CONTROL AND THE SEDIMENT CONTROL INSPECTOR, BEGIN DEMOLITION OF THE SITE TO THE EXTENTS OF THE LOD AS SHOWN ON SHEET C411. ROUGH GRADE DISTURBED AREA.
14. WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, FINISH DEMOLITION OF SITE. BEGIN MASS GRADING, CONSTRUCTION OF PARKING LOT, PICKLE BALL COURTS, RETAINING WALLS, AND CURB AND GUTTER. COMPLETE INSTALLATION OF UTILITIES. PROVIDE INLET PROTECTION FOR I-205 UPON INSTALLATION. RETAINING WALL TO BE INSTALLED IN ACCORDANCE WITH THE GRADING PLAN AND SITE DETAILS. REPLACE TEMPORARY ASPHALT CURB WITH CONCRETE CURB AND GUTTER AS SHOWN ON SHEET C411.
15. FINE GRADE AND STABILIZE DISTURBED AREAS TO THE EXTENTS SHOWN ON SHEET C411, STABILIZE WITH PERMANENT SEED & SOIL STABILIZATION MATTING WHERE SHOWN. INSTALL CONCRETE PAD W/ ENCLOSURE FOR DUMPSTER AREA.
16. WITH APPROVAL FROM THE SEDIMENT CONTROL INSPECTOR, DEWATER DEPRESSION USING SUMP PIT & FILTER BAG AND CONVERT DEPRESSION TO FINAL SWM FACILITY IN ACCORDANCE WITH THE APPROVED SWM PLANS.
17. PROVIDE LANDSCAPE INSTALLATION FOR THE AREAS OF THE SITE THAT HAVE BEEN CONSTRUCTED PER THE CONSTRUCTION DOCUMENTS.
18. UPON COMPLETION AND STABILIZATION OF SITE WITH ESTABLISHED VEGETATION AND WITH PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, REMOVE REMAINING SEDIMENT CONTROL MEASURES AND STABILIZE THOSE AREAS DISTURBED BY THIS PROCESS.
19. PREPARE AND SUBMIT SWM AS BUILT PLANS TO BALTIMORE COUNTY DEPS WITHIN 30 DAYS OF FACILITY COMPLETION.



TEMPORARY SAFETY FENCE FOR SEDIMENT TRAPPING DEVICES

NOT TO SCALE

Baltimore County
Department of Environmental Protection and Resource Management

CONSULTANT'S CERTIFICATION:

I CERTIFY THAT THIS PLAN OF EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE BALTIMORE COUNTY SOIL CONSERVATION DISTRICT AND THE CURRENT STATE OF MARYLAND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. I HAVE REVIEWED THIS EROSION AND SEDIMENT CONTROL PLAN WITH THE OWNER/DEVELOPER.

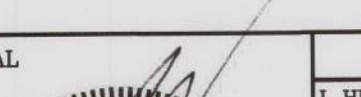
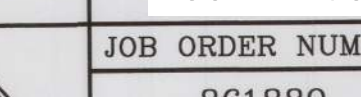
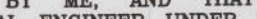
SIGNATURE _____ DATE 9/19/24

MARK J. HADLEY
PRINT NAME _____
MD LICENSE NUMBER _____

OWNER'S/DEVELOPER'S CERTIFICATION:

I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THIS CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I/WE ALSO CERTIFY THAT THE SITE WILL BE INSPECTED AT THE END OF EACH WORKING DAY, AND THAT ANY NEEDED MAINTENANCE WILL BE COMPLETED SO AS TO INSURE THAT ALL SEDIMENT CONTROL PRACTICES ARE LEFT IN OPERATIONAL CONDITION. I/WE AUTHORIZE THE RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY THE BALTIMORE COUNTY SOIL CONSERVATION DISTRICT BOARD OF SUPERVISORS OR THEIR AUTHORIZED AGENTS.

Michael Goodyear 5.9.24
SIGNATURE OWNER/DEVELOPER DATE
Michael Goodyear Sr. Project Manager
PRINT NAME TITLE

<div>SEAL</div> <div></div> <div>DATE : 09/19/2024</div>	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHI	DRAWING SCALE		PROPERTY MANAGEMENT		BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE – PROPERTY MANAGEMENT										<div></div> <div>JOB ORDER NUMBER</div>	
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.						N/A	N/A	6INX3	PLAN SCALE: AS SHOWN	APPROVED BY:	PROPERTY MANAGER		PARKVILLE SENIOR CENTER PARKING											861889
	LICENSE NO. 41978 EXPIRATION DATE 12/20/2025		CONTRACT COMPLETION BOX				N/A		6INX3	PROFILE SCALE:	DATE:			EROSION & SEDIMENT CONTROL DETAILS III											SHEET 18 OF 34
	ENGINEER: MARK HADLEY		BUREAU OF ENGINEERING AND CONSTRUCTION		TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	PROPERTY MANAGEMENT		PARKING RECONFIGURATION – 100% CONSTRUCTION DOCUMENTS											DRAWING NUMBER
<div><div>CREATIVE DESIGN. SUCCESSFULLY ENGINEERED.</div></div> <div>4 North Park Drive, Suite 100, Cockeysville, MD 21039 410-663-3388 www.siteresourcesinc.com</div>		DGN BY: EFA/AMK									APPROVED BY:		CHIEF	BALTIMORE COUNTY DEPARTMENT AGING										2024-0418	
		DWN BY: EFA/AMK									DATE:			SUBDIVISION: SECTION-A GLENHAVEN										FILE NO.:	
		CHKD BY: MJH		DATE REVIEWED:										8601 HARFORD RD, PARKVILLE, MD 21234										ELECTION DIST. NO.: 14C6	

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H-1. STANDARDS AND SPECIFICATIONS
FOR
MATERIALS

Table H.1: Geotextile Fabrics

PROPERTY	TEST METHOD	WOVEN SLIT FILM GEOTEXTILE		WOVEN MONOFILAMENT GEOTEXTILE		NONWOVEN GEOTEXTILE	
		MD	CD	MD	CD	MD	CD
		MINIMUM AVERAGE ROLL VALUE ¹					
Grab Tensile Strength	ASTM D-4632	200 lb	200 lb	370 lb	250 lb	200 lb	200 lb
Grab Tensile Elongation	ASTM D-4632	15%	10%	15%	15%	50%	50%
Trapezoidal Tear Strength	ASTM D-4533	75 lb	75 lb	100 lb	60 lb	80 lb	80 lb
Puncture Strength	ASTM D-6241	450 lb		900 lb		450 lb	
Apparent Opening Size ²	ASTM D-4751	U.S. Sieve 30 (0.59 mm)		U.S. Sieve 70 (0.21 mm)		U.S. Sieve 70 (0.21 mm)	
Permittivity	ASTM D-4491	0.05 sec ⁻¹		0.28 sec ⁻¹		1.1 sec ⁻¹	
Ultraviolet Resistance Retained at 500 hours	ASTM D-4355	70% strength		70% strength		70% strength	

¹ All numeric values except apparent opening size (AOS) represent minimum average roll values (MARV). MARV is calculated as the typical minus two standard deviations. MD is machine direction; CD is cross direction.

² Values for AOS represent the average maximum opening.

Geotextiles must be evaluated by the National Transportation Product Evaluation Program (NTPPE) and conform to the values in Table H.1.

The geotextile must be inert to commonly encountered chemicals and hydrocarbons and must be rot and mildew resistant. The geotextile must be manufactured from fibers consisting of long chain synthetic polymers and composed of a minimum of 95 percent by weight of polyolefins or polyesters, and formed into a stable network so the filaments or yarns retain their dimensional stability relative to each other, including selvages.

When more than one section of geotextile is necessary, overlap the sections by at least one foot. The geotextile must be pulled taut over the applied surface. Equipment must not run over exposed fabric. When placing riprap on geotextile, do not exceed a one foot drop height.

Table H.2: Stone Size

TYPE	SIZE RANGE	d ₁₀	d ₃₀	AASHTO	MIDSIZE WEIGHT ¹
NUMBER 57 ¹	3/8 to 1 1/4 inch	1/2 in	1 1/2 in	M-43	N/A
NUMBER 1	2 to 3 inch	2 1/2 in	3 in	M-43	N/A
RIPRAP ² (CLASS 0)	4 to 7 inch	5 1/2 in	7 in	N/A	N/A
CLASS I	N/A	9 1/2 in	15 in	N/A	40 lb
CLASS II	N/A	16 in	24 in	N/A	200 lb
CLASS III	N/A	23 in	34 in	N/A	600 lb

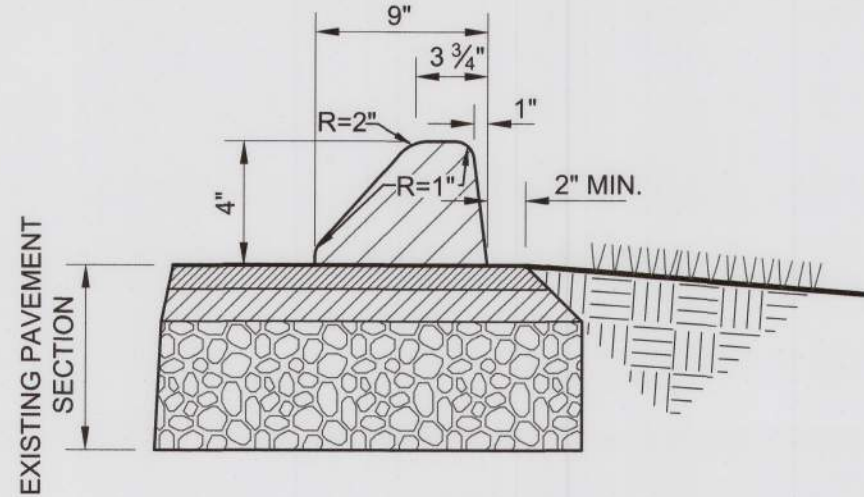
¹ This classification is to be used on the upstream face of stone outlets and check dams.

² This classification is to be used for gabions.

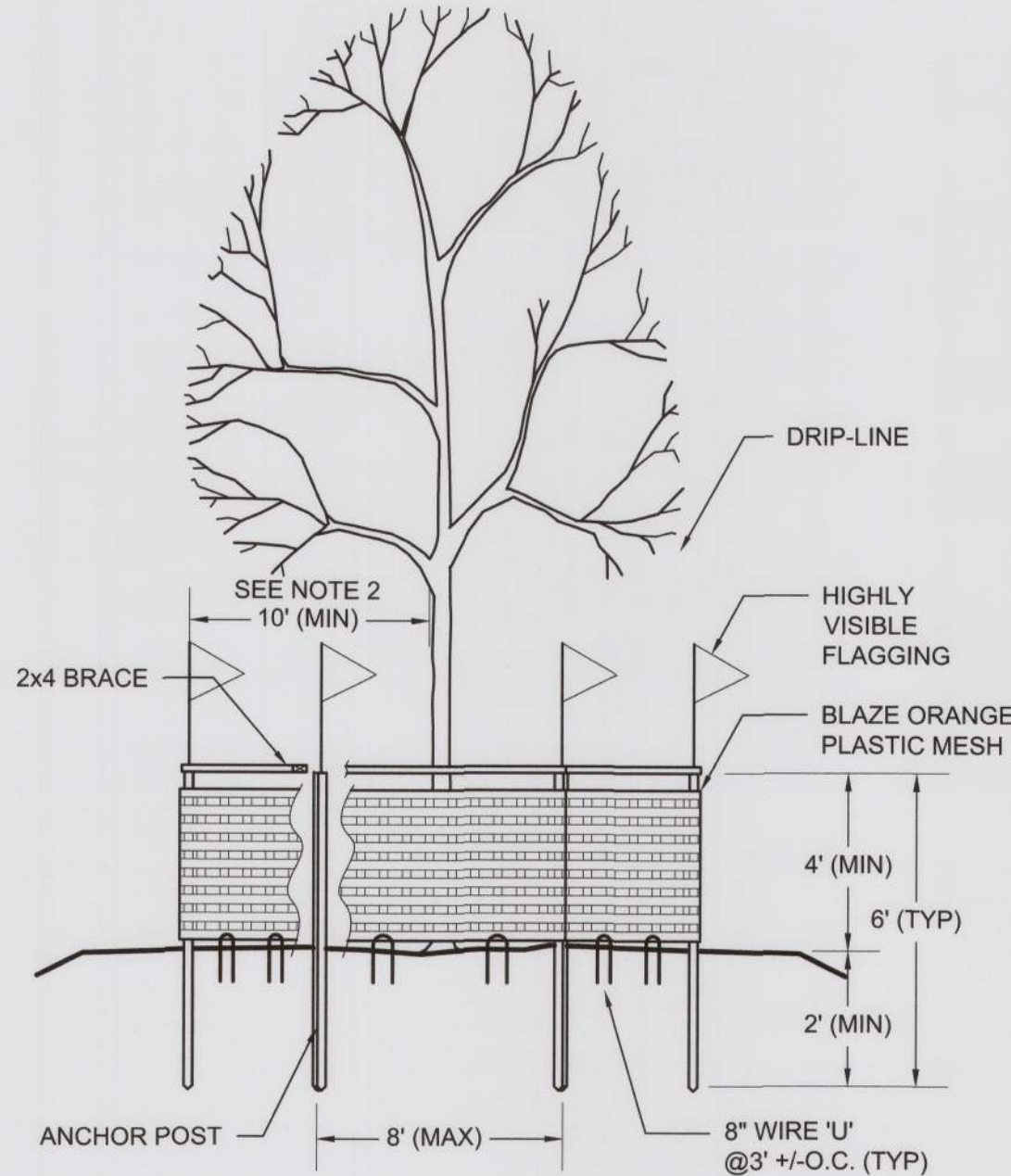
³ Optimum gradation is 50 percent of the stone being above and 50 percent below the midsize.

Stone must be composed of a well graded mixture of stone sized so that fifty (50) percent of the pieces by weight are larger than the size determined by using the charts. A well graded mixture, as used herein, is defined as a mixture composed primarily of larger stone sizes but with a sufficient mixture of other sizes to fill the smaller voids between the stones. The diameter of the largest stone in such a mixture must not exceed the respective d₃₀ selected from Table H.2. The d₃₀ refers to the median diameter of the stone. This is the size for which 50 percent, by weight, will be smaller and 50 percent will be larger.

Note: Recycled concrete equivalent may be substituted for all stone classifications for temporary control measures only. Concrete broken into the sizes meeting the appropriate classification, containing no steel reinforcement, and having a minimum density of 150 pounds per cubic foot may be used as an equivalent.



1 TEMPORARY ASPHALT CURB
NOTE: REPAIR DAMAGED ASPHALT.
REMOVE ACCUMULATED SEDIMENT AND
DEBRIS. MAINTAIN POSITIVE DRAINAGE
TO I-103.



- TREE PROTECTION FENCE SHALL BE BLAZE ORANGE PLASTIC MESH WITH ANCHOR POSTS. ANCHOR POSTS SHALL BE MINIMUM 2" STEEL 'U' CHANNEL OR 'T' POST, 6' IN LENGTH, SPACED 8' O.C. (MAXIMUM) MARKED WITH HIGHLY VISIBLE FLAGGING. ANCHOR POSTS MUST BE INSTALLED TO A DEPTH OF NO LESS THAN 1/4 OF THE TOTAL HEIGHT OF THE POST. USE 2" X 4" LUMBER FOR CROSS BRACING ALONG TOP OF FENCE. USE 8" WIRE 'U' TO SECURE FENCE BOTTOM.
- PLACE FENCE AS SHOWN ON PLAN, AT A MINIMUM OF 10' FROM TRUNK
- ROOT DAMAGE SHOULD BE AVOIDED DURING INSTALLATION OF ANCHOR POSTS AND FENCE.
- PLACE PROTECTION SIGNAGE IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
- NO CONSTRUCTION EQUIPMENT, MATERIALS, OR EXCAVATED EARTH PERMITTED INSIDE TREE PROTECTION FENCES.
- MAINTAIN TREE PROTECTION DEVICES THROUGHOUT CONSTRUCTION.
- THIS FENCE IS A TREE PROTECTION DEVICE ONLY.

2 TREE PROTECTION FENCE
NOT TO SCALE

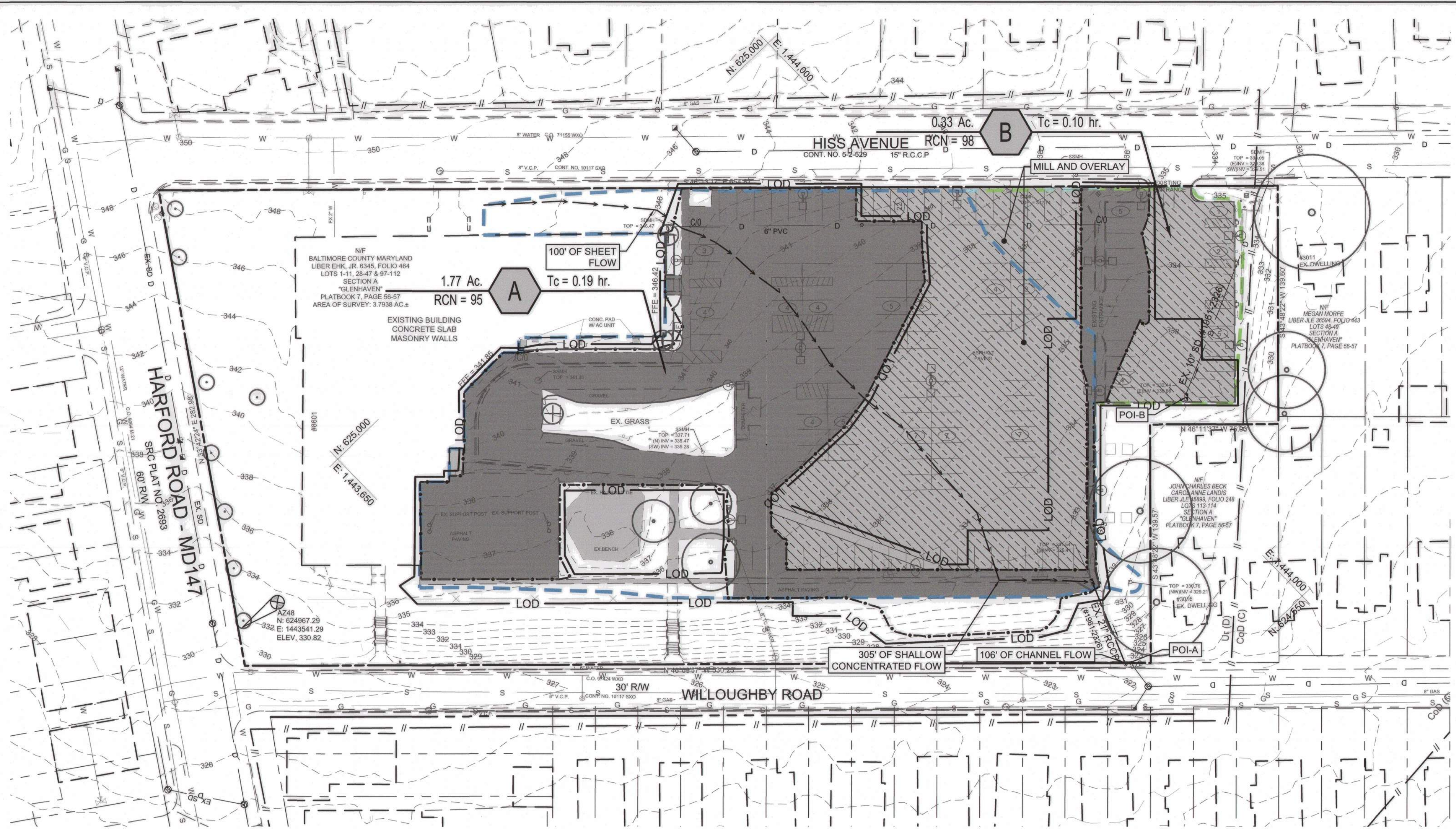
Baltimore County Soil Conservation District
APPROVED FOR SEDIMENT CONTROL
Jeffrey P. West 9-24-24
Date

ESC 6 OF 6

SHEET DESIGNATION	CONTRACT NUMBER
C424	25021 POO
JOB ORDER NUMBER	
861889	
SHEET 19 OF 34	
DRAWING NUMBER	
2024-0419	
FILE NO.:	

	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHI	DRAWING SCALE	PROPERTY MANAGEMENT	
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.						N/A	YES	61NW3	PLAN SCALE: AS SHOWN	APPROVED BY: _____	
							R.O.W. NO.	SNE	60NW3	PROFILE SCALE: _____	PROPERTY MANAGER	
	LICENSE NO. 41978 EXPIRATION DATE 12/20/2025		CONTRACT COMPLETION BOX				N/A				DATE: _____	
ENGINEER: MARK HADLEY		DGN BY: EFA/AMK	BUREAU OF ENGINEERING AND CONSTRUCTION		TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	PROPERTY MANAGEMENT
 SITERESOURCES Creative Design Solutions Engineering 4 North Park Drive, Suite 100, Cockeysville, MD 21030 410.683.3388 www.siteresourcesinc.com		DWN BY: EFA/AMK	REVIEWED BY: _____									APPROVED BY: _____
		CHKD BY: MJH	DATE REVIEWED: _____									CHIEF
DATE: 09/19/2024		DATE: _____										

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE – PROPERTY MANAGEMENT
PARKVILLE SENIOR CENTER PARKING
EROSION & SEDIMENT CONTROL DETAILS IV
PARKING RECONFIGURATION – 100% CONSTRUCTION DOCUMENTS
BALTIMORE COUNTY DEPARTMENT AGING
SUBDIVISION: SECTION-A GLENHAVEN 8601 HARFORD RD, PARKVILLE, MD 21234 ELECTION DIST. NO.: 14C6



LANDOWNER'S / DEVELOPER'S CERTIFICATION:

I/WE HEREBY CERTIFY THAT ALL WORK SHOWN ON THESE CONSTRUCTION DRAWINGS WILL BE ACCOMPLISHED PURSUANT TO THESE PLANS. I/WE ALSO UNDERSTAND THAT IT IS MY/OUR RESPONSIBILITY TO HAVE THE CONSTRUCTION SUPERVISED AND CERTIFIED, INCLUDING THE SUBMITTAL OF "AS-BUILT" PLANS WITHIN THIRTY (30) DAYS OF COMPLETION, BY A MARYLAND REGISTERED PROFESSIONAL ENGINEER.

Michael Goodyear 5.9.24
Signature Owner/Developer Date

Michael Goodyear
Print Name

ENGINEER'S CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED BY ME OR UNDER MY SUPERVISION AND MEETS THE MINIMUM STANDARDS OF THE BALTIMORE COUNTY DEPARTMENT OF ENVIRONMENTAL PROTECTION AND SUSTAINABILITY AND THE BALTIMORE SOIL CONSERVATION DISTRICT.

Mark Hadley 4/19/24
Signature P.E. No.

Mark Hadley 10/1/24
Print Name Date

FIELD VERIFICATION CERTIFICATION

I HEREBY CONFIRM THAT I COMPLETED A FIELD VERIFICATION TO THE INFORMATION SHOWN ON THE PLANS ON SEPTEMBER 9, 2023 AND THAT THE INFORMATION SHOWN ON THE PLANS IS IN AGREEMENT WITH THE ACTUAL FIELD CONDITIONS.

Alexander Kurtz
SIGNED

ALEXANDER KURTZ 11/22/2023
PRINTED NAME DATE

SURVEY NOTES

TOPOGRAPHIC INFORMATION WAS TAKEN FROM A SURVEY PROVIDED BY HANOVER SURVEY IN AUGUST, 2023. ALL HORIZONTAL SURVEY DATA PROVIDED BY UTILITY MAPPING ARE REFERENCED TO THE FOLLOWING SURVEY CONTROL POINTS:

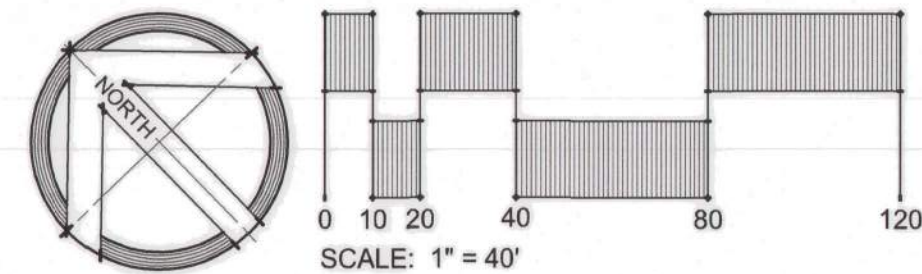
SITE CONTROL COORDINATE TABLE				
PT#	NORTHING	EASTING	ELEVATION	DESCRIPTION
HLS1	625180.56	1443687.67	348.40	MAG NAIL
HLS2	624974.82	1443907.31	345.68	MAG NAIL
HLS3	624750.64	1444118.84	334.76	MAG NAIL
HLS4	624656.88	1443894.77	332.66	MAG NAIL
HLS5	624783.19	1443698.12	326.49	MAG NAIL
AZ48	624967.29	1443541.29	330.82	MAG NAIL
GIS48	623826.03	1442895.68	327.36	MAG NAIL

HYDROLOGIC SOIL GROUP RATING

Ur URBAN LAND, 0% TO 8% SLOPES D
CoD CROOM-URBAN LAND, 0% TO 15% SLOPES C

NATURAL RESOURCE MAPPING

WETLANDS (NONTIDAL)	NO
WETLANDS OF SPECIAL STATE CONCERN	NO
WETLAND BUFFERS	NO
MAJOR WATERWAYS	NO
FLOODPLAINS	NO
PERENNIAL STREAMS	NO
INTERMITTENT STREAMS	NO
STREAM BUFFERS	NO
ENHANCED STREAM BUFFERS	NO
FORESTS	NO
FOREST BUFFERS	NO
CRITICAL AREAS	NO
STEEP SLOPES	YES
HIGHLY ERODIBLE SOILS**	NO
TOPOGRAPHY / SLOPES	PROVIDED
SEEPS	NO
VEGETATIVE COVER	YES
SOILS	PROVIDED
BEDROCK / GEOLOGY	PROVIDED
EXISTING DRAINAGE AREAS	PROVIDED



LIMIT OF DISTURBANCE (OVERALL): 57,400 S.F. / 1.32 AC.
LIMIT OF DISTURBANCE (SWM STUDY AREA): 46,430 S.F. / 1.07 AC.
MARYLAND COORDINATE SYSTEM (MCS)

PROFESSIONAL CERTIFICATION	AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHT	DRAWING SCALE	PROPERTY MANAGEMENT
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 41976 EXPIRATION DATE 12/20/2025				N/A	VSF SNE	61NW3 60NW3	PLAN SCALE: AS SHOWN PROFILE SCALE:	APPROVED BY: PROPERTY MANAGER DATE:
ENGINEER: MARK HADLEY SITERESOURCES Creative Design, Successfully Engineered 4 North Park Drive, Suite 100, Cockeysville, MD 21030 410.883.3388 www.siteresourcesinc.com	CONTRACT COMPLETION BOX	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER APPROVED BY: CHIEF DATE:
DGN BY: EPA/AMK DWN BY: EPA/AMK CHKD BY: MJH	REVIEWED BY:	DATE REVIEWED:						

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT
PARKVILLE SENIOR CENTER PARKING
STORMWATER MANAGEMENT EXISTING CONDITIONS PLAN
PARKING RECONFIGURATION
BALTIMORE COUNTY DEPARTMENT AGING
8601 HARFORD RD, PARKVILLE, MD 21234
ELECTION DIST. NO.: 14C6

GENERAL NOTES:

- UNLESS OTHERWISE NOTED, ALL CONSTRUCTION AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH:
 - BALTIMORE COUNTY DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS FOR CONSTRUCTION MATERIALS, DECEMBER 2007, ERRATA & ADDENDA.
 - NATURAL RESOURCES CONSERVATION SERVICE OF MARYLAND STANDARDS AND SPECIFICATIONS, POND, CODE 378, JANUARY 2000.
 - MARYLAND DEPARTMENT OF TRANSPORTATION STATE HIGHWAY ADMINISTRATION, JULY 2008, STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS.
- STORMWATER MANAGEMENT APPROVED UNDER BILL NO. 25-10.
- SWM FACILITY WILL BE PUBLICLY OWNED & MAINTAINED BY BALTIMORE COUNTY PROPERTY MANAGEMENT.

AS-BUILT CERTIFICATION:

I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS.

Signature P.E. No.

Print Name Date

CERTIFY MEANS TO STATE OR DECLARE A PROFESSIONAL OPINION BASED UPON ON-SITE INSPECTIONS AND MATERIAL TESTS WHICH ARE CONDUCTED DURING CONSTRUCTION. THE ON-SITE INSPECTIONS AND MATERIAL TESTS ARE THOSE INSPECTIONS AND TESTS DEEMED SUFFICIENT AND APPROPRIATE BY COMMONLY ACCEPTED ENGINEERING STANDARDS. CERTIFY DOES NOT MEAN IMPLY OR GUARANTEE BY THE ENGINEER NOR DOES AN ENGINEER'S CERTIFICATION RELIEVE ANY OTHER PARTY FROM MEETING REQUIREMENTS IMPOSED BY CONTRACT, EMPLOYMENT, OR OTHER MEANS, INCLUDING MEETING COMMONLY ACCEPTED PRACTICES.

CONTRACTOR'S AS-BUILT NOTES

AS-BUILT PLANS AND CERTIFICATIONS ARE REQUIRED FOR THIS STORMWATER MANAGEMENT FACILITY. THESE MUST BE PREPARED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER. BALTIMORE COUNTY WILL NOT PERFORM THE INSPECTION OR PREPARE THE AS-BUILT PLANS OR CERTIFICATION. THE STORMWATER MANAGEMENT PERMIT SECURITY WILL NOT BE RELEASED UNTIL THE AS-BUILT PLANS AND CERTIFICATION ARE APPROVED BY BALTIMORE COUNTY. IT IS THE CONTRACTOR'S RESPONSIBILITY, ON BEHALF OF THE OWNER, TO ENGAGE A LICENSED PROFESSIONAL ENGINEER TO CERTIFY THE STORMWATER MANAGEMENT FACILITIES AND TO PREPARE, SUBMIT AND PROCESS AS-BUILT DRAWINGS WITH BALTIMORE COUNTY.

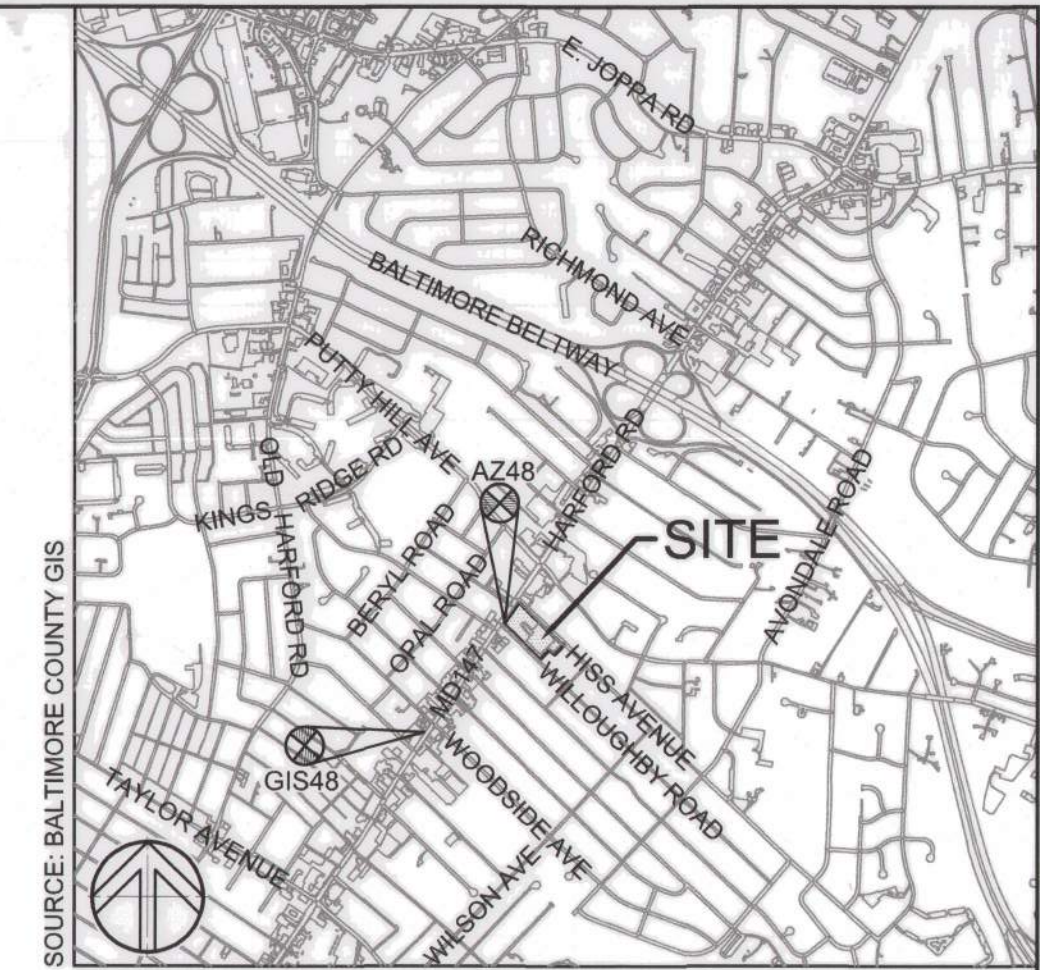
IN ORDER TO PREPARE THE REQUIRED AS-BUILT PLANS AND CERTIFICATION, THIS STORMWATER MANAGEMENT FACILITY MUST BE INSPECTED BY THE ENGINEER AT SPECIFIC STAGES DURING CONSTRUCTION AS REQUIRED BY THE AMENDED BALTIMORE COUNTY CODE, TITLE 4, STORMWATER MANAGEMENT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST FIVE (5) WORKING DAYS PRIOR TO STARTING ANY WORK SHOWN ON THESE PLANS.

ADDITIONAL CONTRACTOR'S AS-BUILT NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY, ON BEHALF OF THE OWNER, TO ENGAGE A LICENSED PROFESSIONAL ENGINEER TO CERTIFY THE STORMWATER MANAGEMENT FACILITIES AND TO PREPARE, SUBMIT, AND PROCESS AS-BUILT DRAWINGS WITH THE AUTHORITIES HAVING JURISDICTION. "CERTIFY" MEANS TO STATE OR DECLARE A PROFESSIONAL OPINION BASED ON SUFFICIENT AND APPROPRIATE ON-SITE OBSERVATIONS AND/OR INSPECTIONS AT CRUCIAL MILESTONES DURING CONSTRUCTION OF THE FACILITY, MATERIAL TESTS CONDUCTED DURING CONSTRUCTION, AND POST-CONSTRUCTION SURVEYING AND VERIFICATION. VERIFICATION SHALL INCLUDE PHOTODOCUMENTATION CONSISTING OF AT LEAST TEN (10) PHOTOS AT EACH STAGE OF CONSTRUCTION PROGRESS.
- CRUCIAL MILESTONES INCLUDE, AT A MINIMUM, REGULAR INSPECTIONS MADE AND DOCUMENTED DURING AND AT COMPLETION OF THE FOLLOWING STAGES OF CONSTRUCTION:
 - EXCAVATION TO SUBGRADE
 - INSTALLATION OF GEOTEXTILE FABRIC
 - INSTALLATION OF UNDERDRAIN SYSTEM WITH DRAINAGE STRUCTURE AND OUTFALL PIPE
 - INSTALLATION ON WETLAND SOIL, PEA GRAVEL AND GRAVEL MEDIA.
 - UPON COMPLETION OF FINAL GRADING, MULCH INSTALLATION, AND ESTABLISHMENT OF PERMANENT STABILIZATION
- THE FOLLOWING INFORMATION SHALL BE INCLUDED IN THE SWM AS-BUILT DOCUMENTATION:
 - COMPLY WITH INSPECTION REQUIREMENTS DURING CONSTRUCTION FOR AS-BUILT CERTIFICATION AS DESCRIBED IN THE MDE STORMWATER MANUAL AND AMENDED TO DATE.
 - NOTE CHANGES AND DEVIATIONS FROM THE ORIGINAL APPROVED SWM PLANS BY MARKING IN RED OR GREEN ON TOP OF THE ASSOCIATED APPROVED ITEM.
 - NOTE CONSTRUCTED DATA FOR GRADING CONTOURS, SPOT ELEVATIONS, HORIZONTAL AND VERTICAL DIMENSIONS, INVERTS, PLAN VIEWS, CROSS-SECTIONS, AND DETAILS.
 - IF CONSTRUCTED VALUES ARE THE SAME AS DESIGN VALUES, PLACE A CHECK MARK NEXT TO THE ASSOCIATED DATA TO INDICATE THE VALUE HAS BEEN VERIFIED.
 - COMPLETE AS-BUILT TABLES INCLUDED ON DRAWINGS AND SIGN AND SEAL CERTIFICATIONS.

PROVIDE ADDITIONAL DOCUMENTS SUCH AS PROGRESS AND FINAL PHOTOGRAPHS, INSPECTION REPORTS AND OTHER RELEVANT INFORMATION IN SUPPORT OF THE AS-BUILT DRAWINGS AND DATA TABLES.

- SUBMIT SWM AS-BUILTS TO THE AUTHORITIES HAVING JURISDICTION AND PROCESS FOR FINAL APPROVAL AND CLOSEOUT OF ASSOCIATED PERMIT(S).



VICINITY MAP LEGEND

---	PROPERTY LINE
- - - -	EXISTING BUILDING
- - - -	EXISTING WALK
- - - -	EXISTING ROAD
- - - -	EXISTING CURB
- - - -	EXISTING FENCE
- - - -	EXISTING STORM DRAIN
- - - -	EXISTING WATER
- - - -	EXISTING SANITARY SEWER
- - - -	EXISTING GAS
- - - -	EXISTING LIGHTING
- - - -	EXISTING CONTOURS
- - - -	EXISTING SOIL GROUP DELINEATION
- - - -	EXISTING TREES
- - - -	SWM STUDY AREA
- - - -	TC PATH
- - - -	IMPERVIOUS AREA
- - - -	IMPERVIOUS AREA (STUDY AREA ONLY)
- - - -	MILL AND OVERLAY (NOT CONSIDERED DISTURBANCE)
- - - -	DRAINAGE AREA - A
- - - -	DRAINAGE AREA - B
- - - -	LIMIT OF DISTURBANCE

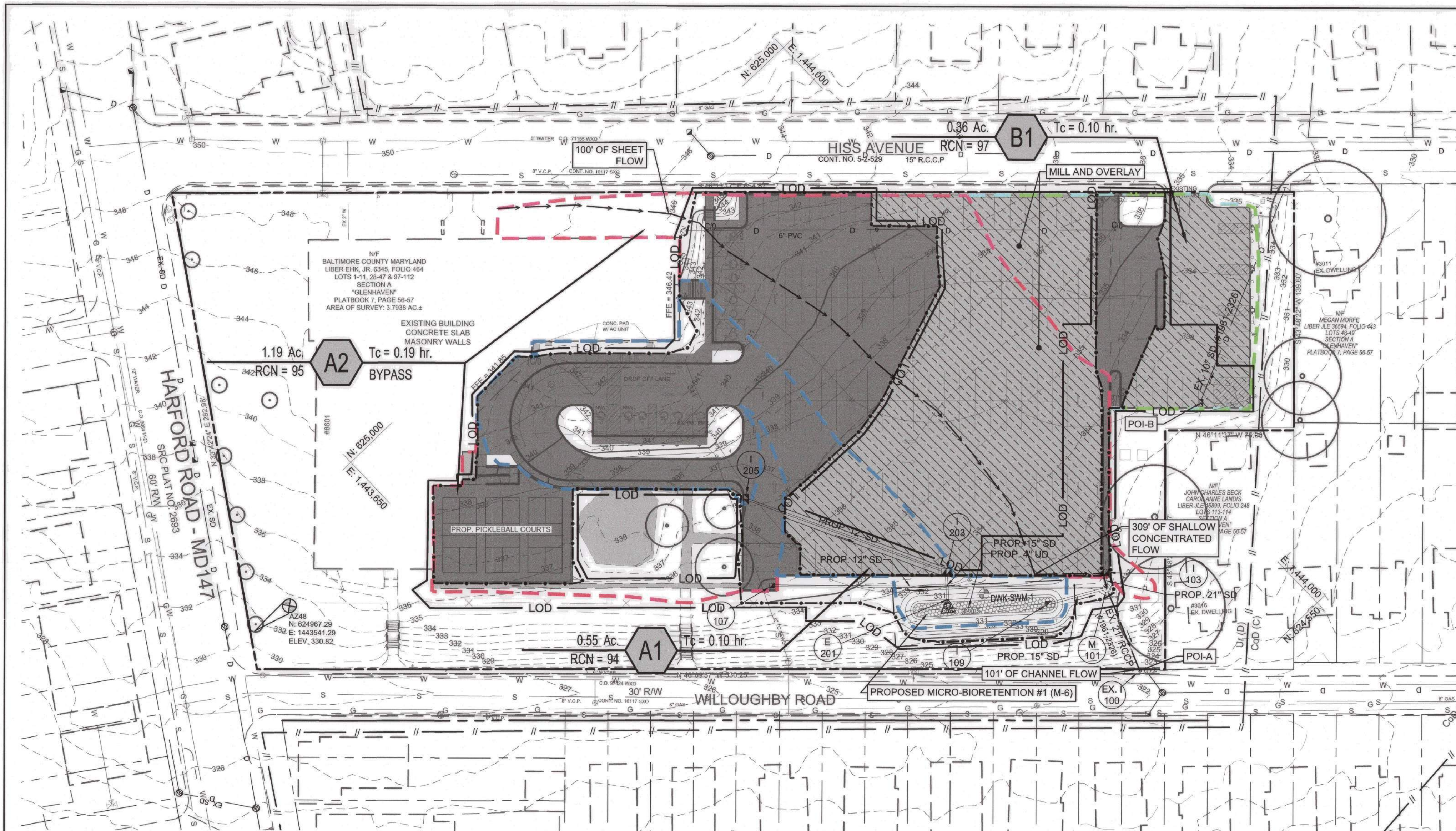
OWNER/DEVELOPER:
BALTIMORE COUNTY PROPERTY MANAGEMENT
12200A LONG GREEN PIKE
GLEN ARM, MARYLAND 21057
CONTACT:
STEVE GALLATIN
410-887-5893
SGALLATIN@BALTIMORECOUNTYMD.GOV

DESIGN PROFESSIONAL:
SITE RESOURCES, INC.
4 NORTH PARK DRIVE, SUITE 100
COCKEYSVILLE, MD 21030
CONTACT:
ALEXANDER KURTZ
AKURTZ@SITERESOURCESINC.COM

PROJECT INFORMATION:
PARKVILLE SENIOR CENTER
8601 HARFORD RD,
BALTIMORE, MD 21234
ELECTION DISTRICT 14
COUNCILMANIC DISTRICT 6

SHEET DESIGNATION	CONTRACT NUMBER
C501	25021 POO
	JOB ORDER NUMBER
	861889
	SHEET 20 OF 34
	DRAWING NUMBER
	2024-0420
	FILE NO.:

DWG. FILENAME: © SITE RESOURCES, INC. Z:\21\21039-baco parkville sr ctr p\04-DWG\C502 - ESD Drainage Area Map.dwg C502 Oct 01, 2024 10:06am auk



HYDROLOGIC SOIL GROUP RATING

GIB URBAN LAND, 0% TO 8% SLOPES D

ESD SUMMARY TABLE						
DA	ESD FACILITIES	DRAINAGE AREA		IMPERVIOUS AREA		ESDV
A1	MICRO-BIORETENTION (M-6)	23760 sf	0.55 ac	18180 sf	0.42 ac	1473 CU F

PROPOSED POI	DRAINAGE AREA	IMPERVIOUS AREA	10-YR
A	1.74 AC	1.44 AC	10.16 CFS
B	0.36 AC	0.34 AC	2.44 CFS**

**10 YR FOR POI-B IS GREATER THAN EXISTING CONDITIONS DUE TO DRAINAGE DIVISION, HOWEVER, THE EXISTING SD HAS ENOUGH CAPACITY TO HANDLE THIS INCREASE.

DESIGN SUMMARY TABLE

STORMWATER STUDY AREA*	1.07 AC
LIMIT OF DISTURBANCE (LOD)	1.18 AC
EXISTING IMPERVIOUS AREA WITHIN STUDY AREA	0.92 AC
PROPOSED IMPERVIOUS AREA WITHIN STUDY AREA	0.86 AC
ESDV / PE REQUIRED	1,381 CUFT / 1.00"
ESDV / PE PROVIDED	1473 CUFT / 1.07"
WATERSHED	BACK RIVER (USE CLASS I)

*MILL AND OVERLAY AND UTILITY TRENCHING IS NOT CONSIDERED DISTURBANCE AND HAS BEEN REMOVED FROM THE SWM STUDY AREA.

LEGEND

	PROPERTY LINE
	EXISTING BUILDING
	EXISTING WALK
	EXISTING ROAD
	EXISTING CURB
	EXISTING FENCE
	EXISTING STORM DRAIN
	EXISTING WATER
	EXISTING SANITARY SEWER
	EXISTING GAS
	EXISTING LIGHTING
	EXISTING CONTOURS
	EXISTING SOIL GROUP DELINEATION
	EXISTING TREES
	PROPOSED BUILDING
	PROPOSED BUILDING OVERHANG
	PROPOSED RETAINING WALL
	PROPOSED SIDEWALK
	PROPOSED CURB
	PROPOSED FENCE
	PROPOSED GUARDRAIL
	PROPOSED SIGN
	PROPOSED FLAGPOLE
	PROPOSED WOODSLINE
	SOIL BORING
	SWM FACILITY
	PROPOSED 15" SD
	PROPOSED STORM DRAIN INLET
	PROPOSED ELECTRIC PROPOSED LIGHTING
	PROPOSED CONTOURS
	SWM STUDY AREA
	TC PATH
	IMPERVIOUS AREA
	IMPERVIOUS AREA (STUDY AREA ONLY)
	MILL AND OVERLAY (NOT CONSIDERED DISTURBANCE)
	DRAINAGE AREA - A1
	DRAINAGE AREA - A2
	DRAINAGE AREA - B1
	LIMIT OF DISTURBANCE

LIMIT OF DISTURBANCE (OVERALL): 57,400 S.F. / 1.32 AC.
LIMIT OF DISTURBANCE (SWM STUDY AREA): 46,430 S.F. / 1.07 AC.
MARYLAND COORDINATE SYSTEM (MCS)

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT

PARKVILLE SENIOR CENTER PARKING
ESD DRAINAGE AREA MAP
PARKING RECONFIGURATION
BALTIMORE COUNTY DEPARTMENT AGING
8601 HARFORD RD, PARKVILLE, MD 21234

ELECTION DIST. NO.: 14C6

PROJECT INFORMATION:
PARKVILLE SENIOR CENTER
8601 HARFORD RD,
BALTIMORE, MD 21234
ELECTION DISTRICT 14
COUNCILMANIC DISTRICT 6

DESIGN PROFESSIONAL:
SITE RESOURCES, INC.
4 NORTH PARK DRIVE, SUITE 100
COCKEYSVILLE, MD 21030
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CONTACT:
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12200A LONG GREEN PIKE
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CONTACT:
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PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHT	DRAWING SCALE		PROPERTY MANAGEMENT	
		I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.				N/A	VSE	61NWS	PLAN SCALE:	AS SHOWN	APPROVED BY: _____	
		CONTRACT COMPLETION BOX				R.O.W NO.	SNE	60NWS	PROFILE SCALE:		DATE: _____	
		ENGINEER: MARK HADLEY		DGN BY: EFA/AMK		BUREAU OF ENGINEERING AND CONSTRUCTION		TRAFFIC	HIGHWAYS		STRUCTURES	
		SITERESOURCES		DWN BY: EFA/AMK		REVIEWED BY:		SEWER	WATER		FIELD ENGINEER	
DATE: 10/1/24		CHKD BY: MJH		DATE REVIEWED:							APPROVED BY: _____	
											DATE: _____	

SWM 2 OF 6

SHEET DESIGNATION	CONTRACT NUMBER
C502	25021 POO
JOB ORDER NUMBER	861889
SHEET 21 OF 34	
DRAWING NUMBER	2024-0421
FILE NO.:	

DWG. FILENAME: C:\SITE RESOURCES, INC.\21\21039-baco parkville sr ctr pl\04-DWG\C511 - SWM Details & Notes.dwg-C511 Oct 01, 2024 10:07am auk

TABLE B.4.1 MATERIAL SPECIFICATIONS FOR MICRO-BIORETENTION & SUBMERGED GRAVEL WETLANDS

MATERIAL	SPECIFICATION	SIZE	NOTES
PLANTINGS	SEE PLANTING PLAN	N/A	PLANTINGS ARE SITE-SPECIFIC
PLANTING SOIL (2' TO 4' DEEP)	LOAMY SAND (60-65%) & COMPOST (35-40%) OR SANDY LOAM (30%), COARSE SAND (30%) & COMPOST (40%)	N/A	USDA SOIL TYPES LOAMY SAND OR SANDY LOAM; CLAY CONTENT < 5%
ORGANIC CONTENT	MIN. 10% BY DRY WEIGHT (ASTM D 2974)		
MULCH	SHREDDED HARDWOOD		AGED 6 MONTHS, MINIMUM; NO PINE OR WOOD CHIPS
PEA GRAVEL WINDOW	PEA GRAVEL: ASTM-D-448	NO. 8 OR NO. 9 (1/8" TO 3/8")	
CURAIN DRAIN	ORNAMENTAL STONE: WASHED COBBLES	STONE: 2" TO 5"	
GEOTEXTILE		N/A	PE TYPE 1 NONWOVEN
GRAVEL (UNDERDRAINS AND INFILTRATION BERMS)	AASHTO M-43	NO. 57 OR NO. 6 AGGREGATE (3/4" TO 3/8")	DOUBLE WASHED TO REMOVE ALL FINES
UNDERDRAIN PIPING	F 758, TYPE PS 28 OR AASHTO M-278	4" TO 6" RIGID SCHEDULE 40 PVC OR SDR 35	SLOTTED OR PERFORATED PIPE: 3/8" PERF. @ 6" ON CENTER, 4 HOLES PER ROW; MINIMUM OF 3" OF GRAVEL OVER PIPES; NOT NECESSARY UNDERNEATH PIPES. PERFORATED PIPE SHALL BE WRAPPED WITH 1/4 INCH GALVANIZED HARDWARE CLOTH.
POURED IN PLACE CONCRETE (IF REQUIRED)	MSHA MIX NO. 3; F _c =3500 PSI @ 28 DAYS, NORMAL WEIGHT, AIR-ENTRAINED; REINFORCING TO MEET ASTM-615-60.	N/A	ON-SITE TESTING OF POURED-IN-PLACE CONCRETE REQUIRED: 28 DAY STRENGTH AND SLUMP TEST; ALL CONCRETE DESIGN (CAST-IN-PLACE OR PRE-CAST) NOT USING PREVIOUSLY APPROVED STATE OR LOCAL STANDARDS. REQUIRES DESIGN DRAWINGS SEALED AND APPROVED BY A PROFESSIONAL STRUCTURAL ENGINEER LICENSED IN THE STATE OF MARYLAND. DESIGN TO INCLUDE MEETING AISC CODE 360 R88; VERTICAL LOADING (H-10 OR H-20); ALLOWABLE HORIZONTAL LOADING (BASED ON SOIL PRESSURES); AND ANALYSIS OF POTENTIAL CRACKING.
SAND	AASHTO-M-6 OR ASTM-C-33	0.02" TO 0.04"	SAND SUBSTITUTIONS SUCH AS DIABASE AND GRAYSTONE (AASHTO) #10 ARE NOT ACCEPTABLE. NO CALCIUM CARBONATED OR DOLOMITIC SAND SUBSTITUTIONS ARE ACCEPTABLE. NO "ROCK DUST" CAN BE USED FOR SAND.
GABION BASKET	ASTM A975-97	4 TO 7 INCH RIVER STONE	3x3 GABION BASKET. STONES BOUND IN BASKET USING 11 GAUGE WIRE MESH OR HEAVIER.

*SEE MATERIAL SPECIFICATIONS FOR SHA BIORETENTION SOIL MIX (BSM) THIS SHEET FOR SPECIFIC BIORETENTION SOIL MIX FOR THIS PROJECT.

PLANTING SOIL MIX FOR WETLAND SOIL

BIORETENTION SOIL MIX (BSM). A HOMOGENEOUS MIXTURE COMPOSED BY LOOSE VOLUME OF 5 PARTS COARSE SAND, 3 PARTS BASE SOIL, AND 2 PARTS FINE BARK. BSM SHALL CONFORM TO THE FOLLOWING:

- (a) COMPONENTS. COMPONENTS OF BSM SHALL BE SAMPLED, TESTED AND APPROVED BEFORE MIXING AS FOLLOWS:
- (1) COARSE SAND. MSMT 356. COARSE SAND SHALL BE WASHED SILICA SAND OR CRUSHED GLASS THAT CONFORMS TO ASTM FINE AGGREGATE C-33. COARSE SAND SHALL INCLUDE LESS THAN 1% BY WEIGHT OF CLAY OR SILT SIZE PARTICLES, AND LESS THAN 5% BY WEIGHT OF ANY COMBINATION OF DIABASE, GREYSTONE, CALCAREOUS OR DOLOMITIC SAND.
- (2) BASE SOIL. BASE SOIL SHALL BE TESTED AND CERTIFIED BY THE PRODUCER TO CONFORM TO THE FOLLOWING REQUIREMENTS:

COMPOSITION - BASE SOIL				
TEST PROPERTY	TEST METHOD	TEST VALUE AND AMENDMENT		
PROHIBITED WEEDS	-	FREE OF SEED AND VIABLE PLANT PARTS OF SPECIES IN MDSHA 920.06.02(a)(b)(c) WHEN INSPECTED.		
DEBRIS	-	NO OBSERVABLE CONTENT OF CEMENT, CONCRETE, ASPHALT, CRUSHED GRAVEL OR CONSTRUCTION DEBRIS WHEN INSPECTED.		
GRADING ANALYSIS	T 87	SIEVE SIZE		PASSING BY WEIGHT MINIMUM %
		2 IN.		100
		NO. 4		90
		NO. 10		80
TEXTURAL ANALYSIS	T 88	PARTICLE		% PASSING BY WEIGHT
		SIZE	mm	MINIMUM
		SAND	2.0-0.050	50
		SILT	0.050-0.002	5
SOIL pH	D 4972	pH OF 5.7 TO 6.9		
ORGANIC MATTER	T 194	1.0 TO 10.0% BY WEIGHT		
SOLUBLE SALTS	EC1:2 (V/V)	500 ppm (1.25 mmhos/cm) OR LESS		
HARMFUL MATERIALS	-	MDSHA 920.01.01(a)		

- (3) FINE BARK. FINE BARK SHALL BE THE BARK OF HARDWOOD TREES THAT IS MILLED AND SCREENED TO A UNIFORM PARTICLE SIZE OF 2 IN. OR LESS. FINE BARK SHALL BE COMPOSTED AND AGED FOR 6 MONTHS OR LONGER, AND BE FREE FROM SAWDUST AND FOREIGN MATERIALS. A 1 TO 2 LB SAMPLE OF FINE BARK SHALL BE SUBMITTED TO THE LANDSCAPE OPERATIONS DIVISION FOR EXAMINATION.

- (b) COMPOSITION. BSM SHALL BE SAMPLED AND TESTED ACCORDING TO THE REQUIREMENTS OF MSMT 356 AND CONFORM TO THE FOLLOWING:

COMPOSITION - BIORETENTION SOIL MIX (BSM)				
TEST PROPERTY	TEST METHOD	TEST VALUE AND AMENDMENT		
WEEDS	-	FREE OF SEED AND VIABLE PLANT PARTS OF SPECIES IN 920.06.02(a)(b)(c) WHEN INSPECTED.		
DEBRIS	-	MDSHA 920.01.05(a)(2)		
TEXTURAL ANALYSIS	T 88	PARTICLE		% PASSING BY WEIGHT
		SIZE	mm	MINIMUM
		SAND	2.0-0.050	55
		SILT	0.050-0.002	20
SOIL pH	D 4972	pH OF 5.7 TO 7.1		
ORGANIC MATTER	T 194	MINIMUM 1.5% BY WEIGHT		
NUTRIENT ANALYSIS AND SOLUBLE SALTS	MEHLICH-3	CONCENTRATION		MAXIMUM
		MINIMUM		
		ppm	FIV	ppm
		CALCIUM (Ca)	32	25
		MAGNESIUM (Mg)	15	25
		PHOSPHORUS (P)	18	25
		POTASSIUM (K)	22	25
		SULFUR (SO ₄)	25	N/A
		EC1:2 (V/V)	SOLUBLE SALTS	40
				N/A
HARMFUL MATERIALS	-	MDSHA 920.01.01(a)		

- (c) AMENDMENT OR FAILURE. BSM THAT DOES NOT CONFORM TO COMPOSITION REQUIREMENTS FOR PH OR NUTRIENT ANALYSIS SHALL BE AMENDED AS SPECIFIED BY THE NMP. BSM THAT EXCEEDS MAXIMUM PHOSPHORUS CONCENTRATION OR FAILS OTHER COMPOSITION REQUIREMENTS WILL NOT BE ACCEPTED, AND SHALL NOT BE DELIVERED OR USED AS BSM.
- (d) STORAGE. MDSHA 920.01.02(B). BSM SHALL BE STORED IN A STOCKPILE THAT IS PROTECTED FROM WEATHER UNDER TARP OR SHED. BSM STORED FOR 6 MONTHS OR LONGER SHALL BE RESAMPLED, RETESTED, AND REAPPROVED BEFORE USE.
- (e) APPROVAL. MDSHA 920.01.02(C).
- (f) CERTIFICATION AND DELIVERY. MDSHA 920.01.02(D).

GEOTECHNICAL NOTE - TEST BORING LOG - DWK-SWM-1

THE 24-HOUR GROUNDWATER READING FOR TEST BORING DWK-SWM-1 INDICATES A WATER DEPTH AT ELEVATION 331 FEET. ACCORDING TO THE GEOTECHNICAL REPORT, THIS READING DOES NOT REPRESENT REGIONAL OR SEASONAL HIGH GROUNDWATER FOR THE FOLLOWING REASONS:

- THE 24-HOUR WATER READING COINCIDES WITH THE BORE HOLE CAVING DEPTH, IMPACTING THE ACCURACY OF THE READING.
- THERE WAS A SUBSTANTIAL RAIN EVENT ON JANUARY 10TH AND A SMALLER RAIN EVENT ON THE 13TH THAT RESULTED IN ±3.1 INCHES OF RAIN OVER THE COURSE OF THE INITIAL DRILLING AND THE 24-HOUR READING. THESE RAIN EVENTS SIGNIFICANTLY CONTRIBUTED TO THE POTENTIAL INFILTRATION OF STORMWATER INTO THE TOP OF THE BOREHOLE, IMPACTING THE GROUNDWATER READING.
- THE SITE IS AT THE UPPER WATERSHED BOUNDARY OF THE STEMMERS RUN WATERSHED, WHERE IT IS EXPECTED THAT GROUNDWATER WILL BE AT A SUBSTANTIAL DEPTH BELOW THE EXISTING GROUND SURFACE.
- THE SLOPE IMMEDIATELY ADJACENT TO THE BORING, FACING WILLOUGHBY ROAD, DOES NOT HAVE ANY INDICATIONS OR OBSERVATIONS OF SEEPAGE ALONG THE ENTIRE LENGTH AND DEPTH OF THE SLOPE, EXTENDING TO ELEVATION EL 322 FEET.
- THE USDA OFFICIAL SERIES DESCRIPTION (OSD) INDICATES THAT THE SEASONAL HIGH-WATER TABLE IS EXPECTED TO BE DEEPER THAN 84 INCHES BELOW THE GROUND SURFACE.

920.01.05 MDSHA BIORETENTION SOIL MIX

920.01.05 Bioretention Soil Mix (BSM). A homogeneous mixture composed by loose volume of 5 parts Coarse Sand, 3 parts Base Soil, and 2 parts Fine Bark. BSM shall conform to the following:

- (a) Components. Components of BSM shall be sampled, tested and approved before mixing as follows:
- (1) Coarse Sand. MSMT 356. Coarse Sand shall be washed silica sand or crushed glass that conforms to ASTM Fine Aggregate C-33. Coarse Sand shall include less than 1% by weight of clay or silt size particles, and less than 5% by weight of any combination of diabase, greystone, calcareous or dolomitic sand.
- (2) Base Soil. Base Soil shall be tested and certified by the producer to conform to the following requirements:

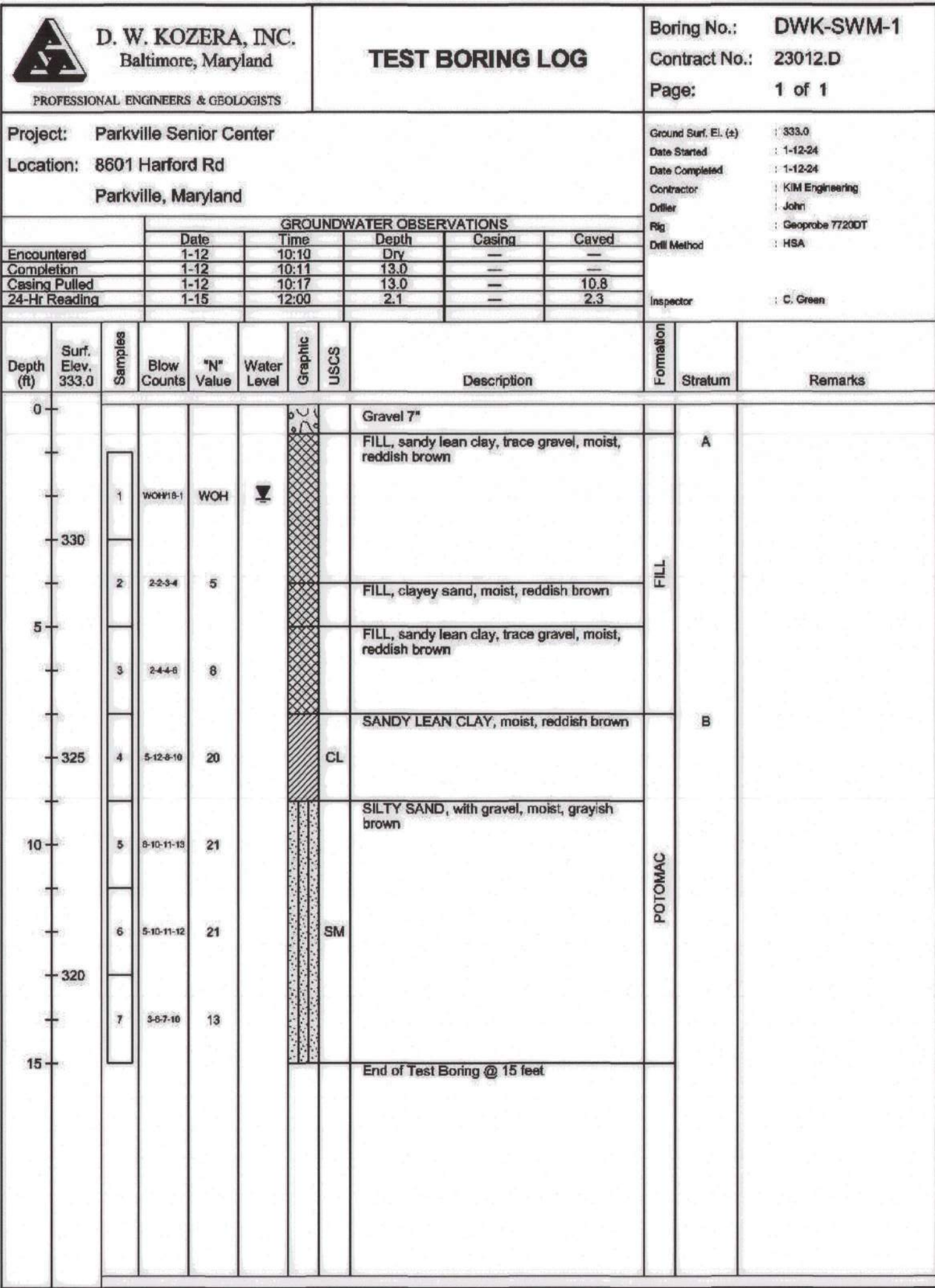
COMPOSITION - BASE SOIL				
TEST PROPERTY	TEST METHOD	TEST VALUE AND AMENDMENT		
PROHIBITED WEEDS	-	FREE OF SEED AND VIABLE PLANT PARTS OF SPECIES IN 920.06.02(a)(b)(c) WHEN INSPECTED.		
DEBRIS	-	NO OBSERVABLE CONTENT OF CEMENT, CONCRETE, ASPHALT, CRUSHED GRAVEL OR CONSTRUCTION DEBRIS WHEN INSPECTED.		
GRADING ANALYSIS	T 87	SIEVE SIZE		PASSING BY WEIGHT MINIMUM %
		2 IN.		100
		NO. 4		90
		NO. 10		80
TEXTURAL ANALYSIS	T 88	PARTICLE		% PASSING BY WEIGHT
		SIZE	mm	MINIMUM
		SAND	2.0-0.050	50
		SILT	0.050-0.002	5
SOIL pH	D 4972	pH OF 5.7 TO 6.9		
ORGANIC MATTER	T 194	1.0 TO 10.0% BY WEIGHT		
SOLUBLE SALTS	EC1:2 (V/V)	500 ppm (1.25 mmhos/cm) OR LESS		
HARMFUL MATERIALS	-	920.01.01(a)		

- (3) Fine Bark. Fine Bark shall be the bark of hardwood trees that is milled and screened to a uniform particle size of 2 in. or less. Fine Bark shall be composted and aged for 6 months or longer, and be free from sawdust and foreign materials. A 1 to 2 lb sample of Fine Bark shall be submitted to the Landscape Operations Division for examination.

- (b) Composition. BSM shall be sampled and tested according to the requirements of MSMT 356 and conform to the following:

COMPOSITION - BIORETENTION SOIL MIX (BSM)				
TEST PROPERTY	TEST METHOD	TEST VALUE AND AMENDMENT		
WEEDS	-	FREE OF SEED AND VIABLE PLANT PARTS OF SPECIES IN 920.06.02(a)(b)(c) WHEN INSPECTED.		
DEBRIS	-	920.01.05(a)(2)		
TEXTURAL ANALYSIS	T 88	PARTICLE		% PASSING BY WEIGHT
		SIZE	mm	MINIMUM
		SAND	2.0-0.050	55
		SILT	0.050-0.002	20
SOIL pH	D 4972	pH OF 5.7 TO 7.1		
ORGANIC MATTER	T 194	MINIMUM 1.5% BY WEIGHT		
NUTRIENT ANALYSIS AND SOLUBLE SALTS	MEHLICH-3	CONCENTRATION		MAXIMUM
		MINIMUM		
		ppm	FIV	ppm
		CALCIUM (Ca)	32	25
		MAGNESIUM (Mg)	15	25
		PHOSPHORUS (P)	18	25
		POTASSIUM (K)	22	25
		SULFUR (SO ₄)	25	N/A
		EC1:2 (V/V)	SOLUBLE SALTS	40
				N/A
HARMFUL MATERIALS	-	920.01.01(a)		

- (c) Amendment or Failure. BSM that does not conform to composition requirements for pH or nutrient analysis shall be amended as specified by the NMP. BSM that exceeds maximum phosphorus concentration or fails other composition requirements will not be accepted, and shall not be delivered or used as BSM.
- (d) Storage. 920.01.02(b). BSM shall be stored in a stockpile that is protected from weather under tarp or shed. BSM stored for 6 months or longer shall be resampled, retested, and reaproved before use.
- (e) Approval. 920.01.02(c).
- (f) Certification and Delivery. 920.01.02(d).



SEAL	PROFESSIONAL CERTIFICATION	AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SH	DRAWING SCALE	PROPERTY MANAGEMENT	
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.				N/A	YSE	61NW3	PLAN SCALE: AS SHOWN	APPROVED BY: PROPERTY MANAGER	
	LICENSE NO. 41978, EXPIRATION DATE 12/20/2025				N/A			PROFILE SCALE:	DATE:	
	ENGINEER: MARK HADLEY	DGN BY: EFA/AMK	BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER
	SITERESOURCES	DWN BY: EFA/AMK	REVIEWED BY:							APPROVED BY: CHIEF
DATE: 10/1/24		CHKD BY: MJH							DATE:	

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE – PROPERTY MANAGEMENT

PARKVILLE SENIOR CENTER PARKING

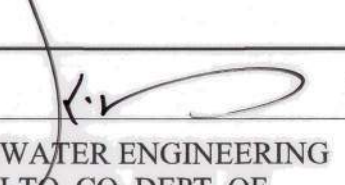
STORMWATER MANAGEMENT DETAILS & NOTES I

PARKING RECONFIGURATION

BALTIMORE COUNTY DEPARTMENT AGING

8601 HARFORD RD, PARKVILLE, MD 21234

SUBDIVISION: SECTION-A GLENHAVEN

APPROVED:  Chief

STORMWATER ENGINEERING
BALTO. CO. DEPT. OF
ENVIRONMENTAL PROTECTION
AND SUSTAINABILITY

SWM 3 OF 6	
SHEET DESIGNATION	CONTRACT NUMBER
C511	25021 POO
JOB ORDER NUMBER	
861889	
SHEET 22 OF 34	
DRAWING NUMBER	
2024-0422	
FILE NO.:	

MARYLAND STORMWATER DESIGN MANUAL CONSTRUCTION SPECIFICATIONS FOR MICRO-BIORETENTION

B.4.C SPECIFICATIONS FOR MICRO-BIORETENTION, RAIN GARDENS, LANDSCAPE INFILTRATION AND INFILTRATION BERMS

1. Material Specifications
The allowable materials to be used in these practices are detailed in Table B.4.1.

2. Filtering Media or Planting Soil
The soil shall be SHA 920.01.05 Bioretention Soil Mix (BSM)

3. Compaction
It is very important to minimize compaction of both the base of bioretention practices and the required backfill. When possible, use excavation hoes to remove original soil. If practices are excavated using a loader, the contractor should use wide track or marsh track equipment, or light equipment with turf type tires. Use of equipment with narrow tracks or narrow tires, rubber tires with large lugs, or high-pressure tires will cause excessive compaction resulting in reduced infiltration rates and is not acceptable. Compaction will significantly contribute to design failure.

Compaction can be alleviated at the base of the bioretention facility by using a primary tilling operation such as a chisel plow, ripper, or subsoiler. These tilling operations are to refracture the soil profile through the 12 inch compaction zone. Substitute methods must be approved by the engineer. Rototillers typically do not till deep enough to reduce the effects of compaction from heavy equipment.

Rototill 2 to 3 inches of sand into the base of the bioretention facility before backfilling the optional sand layer. Pump any ponded water before preparing (rototilling) base.

When backfilling the topsoil over the sand layer, first place 3 to 4 inches of topsoil over the sand, then rototill the sand/topsoil to create a gradation zone. Backfill the remainder of the topsoil to final grade.

When backfilling the bioretention facility, place soil in lifts 12" to 18". Do not use heavy equipment within the bioretention basin. Heavy equipment can be used around the perimeter of the basin to supply soils and sand. Grade bioretention materials with light equipment such as a compact loader or a dozer/loader with marsh tracks.

4. Plant Material
Recommended plant material for micro-bioretention practices can be found in Appendix A, Section A.2.3.

5. Plant Installation
Compost is a better organic material source, is less likely to float, and should be placed in the invert and other low areas. Mulch should be placed in surrounding to a uniform thickness of 2" to 3". Shredded or chipped hardwood mulch is the only accepted mulch. Pine mulch and wood chips will float and move to the perimeter of the bioretention area during a storm event and are not acceptable. Shredded mulch must be well aged (6 to 12 months) for acceptance.

Rootstock of the plant material shall be kept moist during transport and on-site storage. The plant root ball should be planted so 1/8th of the ball is above final grade surface. The diameter of the planting pit shall be at least six inches larger than the diameter of the planting ball. Set and maintain the plant straight during the entire planting process. Thoroughly water ground bed cover after installation.

Trees shall be braced using 2" by 2" stakes only as necessary and for the first growing season only. Stakes are to be equally spaced on the outside of the tree ball.

Grasses and legume seed should be drilled into the soil to a depth of at least one inch. Grass and legume plugs shall be planted following the non-grass ground cover planting specifications.

The topsoil specifications provide enough organic material to adequately supply nutrients from natural cycling. The primary function of the bioretention structure is to improve water quality. Adding fertilizers defeats, or at a minimum, impedes this goal. Only add fertilizer if wood chips or mulch are used to amend the soil. Rototill urea fertilizer at a rate of 2 pounds per 1000 square feet.

6. Underdrains
Underdrains should meet the following criteria:
- Pipe- Should be 4" to 6" diameter, slotted or perforated rigid plastic pipe (ASTMF 758, Type PS 28, or AASHTO-M-278) in a gravel layer. The preferred material is slotted, 4" rigid pipe (e.g., PVC).
 - Perforations - If perforated pipe is used, perforations should be 3/4" diameter located 6" on center with a minimum of four holes per row. Pipe shall be wrapped with a 1/2" (No. 4 or 4x4) galvanized hardware cloth.
 - Gravel - The gravel layer (No. 57 stone preferred) shall be at least 3" thick above and below the underdrain.
 - The main collector pipe shall be at a minimum 0.5% slope.
 - A rigid, non-perforated observation well must be provided (one per every 1,000 square feet) to provide a clean-out port and monitor performance of the filter.
 - A 4" layer of pea gravel (1/4" to 3/4" stone) shall be located between the filter media and underdrain to prevent migration of fines into the underdrain. This layer may be considered part of the filter bed when bed thickness exceeds 24".

The main collector pipe for underdrain systems shall be constructed at a minimum slope of 0.5%. Observation wells and/or clean-out pipes must be provided (one minimum per every 1000 square feet of surface area).

7. Miscellaneous
These practices may not be constructed until all contributing drainage area has been stabilized

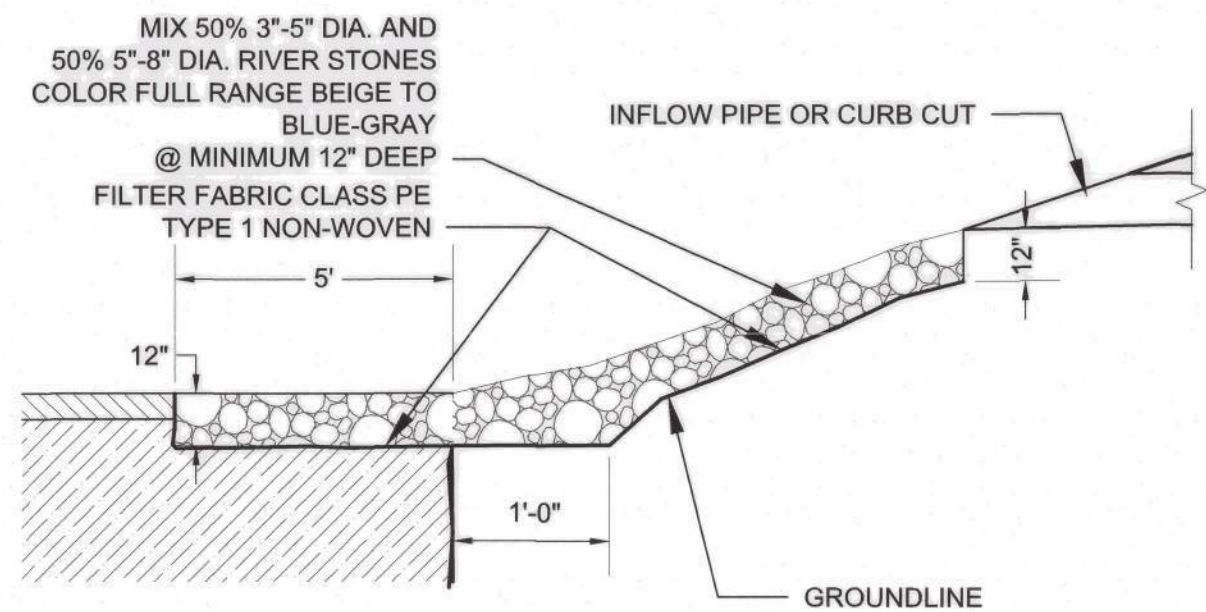
OPERATION AND MAINTENANCE SCHEDULE

- MICRO-BIORETENTION AREAS (M-6)
1. INSPECTION SHALL BE PERFORMED DURING WET WEATHER TO DETERMINE IF THE FACILITY IS FUNCTIONING PROPERLY. VISUAL INSPECTION OF ALL COMPONENTS SHALL BE COMPLETED BY THE OWNER. ALL DRAINS SHALL BE OPENED BY THE OWNER ONCE A YEAR. THE OWNER SHALL KEEP NOTES OF EACH INSPECTION.
 2. ANNUAL MAINTENANCE OF PLANT MATERIAL, MULCH LAYER AND SOIL LAYER IS REQUIRED. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING.
 3. DEBRIS AND LITTER SHALL BE REMOVED AS A REGULAR OPERATION AND AS NEEDED. ALL APPURTENANCES SHALL BE KEPT FREE OF TRASH.
 4. SCHEDULE OF PLANT INSPECTION WILL BE TWICE A YEAR IN SPRING AND FALL. THIS INSPECTION WILL INCLUDE REMOVAL OF DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT, TREATMENT OF ALL DISEASED TREES AND SHRUBS AND REPLACEMENT OF ALL DEFICIENT STAKES AND WIRES. WATERING OF PLANT MATERIAL MAY BE REQUIRED DURING PROLONGED DRY PERIODS.
 5. MULCH SHALL BE INSPECTED EACH SPRING. REPLACE MULCH ANNUALLY WHERE PRACTICE TREATS AREAS WITH HIGH CONCENTRATIONS OF HEAVY METALS. OTHERWISE, REPLACE TOP 2-3 INCHES OF MULCH AS NECESSARY.
 6. SOIL EROSION TO BE ADDRESSED ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER HEAVY STORM EVENTS.
 7. REMOVE ACCUMULATED SEDIMENT FROM THE SURFACE OF THE FILTER BED WHEN ACCUMULATION EXCEEDS ONE INCH.
 8. REMOVE AND REPLACE THE TOP FEW INCHES OF FILTER MATERIAL IF WATER REMAINS ON THE SURFACE OF THE FILTER BED FOR MORE THAN 24 HOURS FOLLOWING ANY STORM EVENT.
 9. ALL REQUIRED MAINTENANCE SHALL BE PERFORMED BY THE OWNER OR THE OWNER'S REPRESENTATIVE AT THE OWNER'S EXPENSE.

SEQUENCE OF OPERATIONS (FROM C422)

NOTE: ALL REQUIRED FEDERAL, STATE, AND LOCAL PERMITS MUST BE OBTAINED PRIOR TO THE PRE-CONSTRUCTION MEETING.

1. NOTIFY BALTIMORE COUNTY DEPARTMENT OF PERMITS, APPROVALS AND INSPECTIONS, SEDIMENT CONTROL, (410) 887-3226 AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
2. SCHEDULE AND HOLD ON-SITE PRE-CONSTRUCTION MEETING WITH REPRESENTATIVES OF OWNER, CONTRACTOR, AND BALTIMORE COUNTY SEDIMENT CONTROL INSPECTIONS.
3. CONTACT REPRESENTATIVES OF UTILITY OWNERS AND MISS UTILITY AT 1-800-257-7777 AT LEAST THREE DAYS IN ADVANCE OF STARTING WORK SHOWN ON THE PLANS.
4. ANY WALKS, ROADS, CURBS, ETC. OR ANY UTILITY OR STRUCTURE DAMAGED DURING CONSTRUCTION, NOT SCHEDULED FOR DEMOLITION, SHALL BE REPLACED IN KIND BY THE CONTRACTOR. MEET EXISTING CONDITIONS SMOOTHLY FOR LINE AND GRADE.
5. IF APPLICABLE, ORANGE HIGH VISIBILITY FENCE SHALL BE MANUALLY INSTALLED ALONG THE LIMIT OF DISTURBANCE, WHERE THE LIMIT IS WITHIN 50 FEET OF THE FOREST BUFFER/CONSERVATION EASEMENT. THIS SHALL BE COMPLETED BY AND INSPECTED AT THE PRE CONSTRUCTION MEETING.
6. CLEAR AND GRUB FOR SEDIMENT & EROSION CONTROL MEASURES OR DEVICES ONLY.
7. INSTALL ALL SUPER SILT FENCE AS SHOWN ON SHEET C401. INSTALL CONTRACTOR'S STAGING AREA W/ FENCING & STOCKPILE AREA W/ LINER, SFOP & AGIP AT EXISTING INLET.
8. NOTIFY BALTIMORE COUNTY DEPARTMENT OF PERMITS, APPROVALS, AND INSPECTIONS, SEDIMENT CONTROL, UPON COMPLETION OF SAID INSTALLATION.
9. WITH THE APPROVAL OF BALTIMORE COUNTY DEPARTMENT OF PERMITS, APPROVALS AND INSPECTIONS, SEDIMENT CONTROL AND THE SEDIMENT CONTROL INSPECTOR, BEGIN INSTALLATION OF THE PROPOSED STORM DRAINS AS SHOWN ON THE INITIAL CONDITIONS INSET (FROM M-101 TO I-103 & FROM M-101 TO I-107) AS SHOWN ON SHEET C401. IN ORDER TO REDUCE FLOW TO M-101 DURING ITS INSTALLATION, REMOVE THE EXISTING CONCRETE SWALE AS SHOWN ON SHEET C111 - DEMOLITION PLAN. INSTALL A STUB & CAP FROM M-101 TO I-109. PROVIDE A TEMPORARY ASPHALT CURB (TAC) AS SHOWN ON SHEET C401 AND PROVIDE INLET PROTECTION ON INLETS I-107 AND I-103 PRIOR TO INLETS BECOMING FUNCTIONAL. INSTALL THE TEMPORARY ASPHALT BERM (TAB).
10. BEGIN DEMOLITION AND ROUGH GRADING OF THE SWM FACILITY AND INSTALLATION OF UTILITIES WITHIN THE LOD AS SHOWN ON SHEET C401. CONTRACTOR SHALL ROUGH GRADE DEPRESSION OF STORMWATER MANAGEMENT (SWM) FACILITY SO THAT THE INITIAL GROUND SURFACE IS FLUSH WITH THE WEIR ELEVATION OF THE OVERFLOW INLET I-109. INSTALL SUMP PIT. FINAL GRADING OF THE SWM FACILITY, AND INSTALLATION OF THE SWM MATERIALS SHALL BE DONE ONLY WHEN THE ENTIRE CONTRIBUTING DRAINAGE AREA IS STABILIZED WITH ESTABLISHED VEGETATION. IMMEDIATELY AFTER INSTALLING OVERFLOW INLET I-109, INSTALL INLET PROTECTION AS SHOWN ON SHEET C401. EMPLOY A 3-DAY DRY WEATHER FORECAST TO INSTALL PROPOSED STORM DRAIN FROM E-201 TO I-203. INSTALL RIP RAP OUTLET AT E-201.
11. INSTALL STABILIZED CONSTRUCTION ENTRANCE AND ANY REMAINING SEDIMENT & EROSION CONTROL MEASURES AS SHOWN ON SHEET C411.
12. NOTIFY BALTIMORE COUNTY DEPARTMENT OF PERMITS, APPROVALS, AND INSPECTIONS, SEDIMENT CONTROL, UPON COMPLETION OF SAID INSTALLATION.
13. WITH THE APPROVAL OF BALTIMORE COUNTY DEPARTMENT OF PERMITS, APPROVALS AND INSPECTIONS, SEDIMENT CONTROL AND THE SEDIMENT CONTROL INSPECTOR, BEGIN DEMOLITION OF THE SITE TO THE EXTENTS OF THE LOD AS SHOWN ON SHEET C411. ROUGH GRADE DISTURBED AREA.
14. WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, FINISH DEMOLITION OF SITE. BEGIN MASS GRADING, CONSTRUCTION OF PARKING LOT, PICKLE BALL COURTS, RETAINING WALLS, AND CURB AND GUTTER. COMPLETE INSTALLATION OF UTILITIES. PROVIDE INLET PROTECTION FOR I-205 UPON INSTALLATION. RETAINING WALL TO BE INSTALLED IN ACCORDANCE WITH THE GRADING PLAN AND SITE DETAILS. REPLACE TEMPORARY ASPHALT CURB WITH CONCRETE CURB AND GUTTER AS SHOWN ON SHEET C411.
15. FINE GRADE AND STABILIZE DISTURBED AREAS TO THE EXTENTS SHOWN ON SHEET C411, STABILIZE WITH PERMANENT SEED & SOIL STABILIZATION MATTING WHERE SHOWN. INSTALL CONCRETE PAD W/ ENCLOSURE FOR DUMPSTER AREA.
16. WITH APPROVAL FROM THE SEDIMENT CONTROL INSPECTOR, DEWATER DEPRESSION USING SUMP PIT & FILTER BAG AND CONVERT DEPRESSION TO FINAL SWM FACILITY IN ACCORDANCE WITH THE APPROVED SWM PLANS.
17. PROVIDE LANDSCAPE INSTALLATION FOR THE AREAS OF THE SITE THAT HAVE BEEN CONSTRUCTED PER THE CONSTRUCTION DOCUMENTS.
18. UPON COMPLETION AND STABILIZATION OF SITE WITH ESTABLISHED VEGETATION AND WITH PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, REMOVE REMAINING SEDIMENT CONTROL MEASURES AND STABILIZE THOSE AREAS DISTURBED BY THIS PROCESS.
19. PREPARE AND SUBMIT SWM AS BUILT PLANS TO BALTIMORE COUNTY DEPS WITHIN 30 DAYS OF FACILITY COMPLETION.



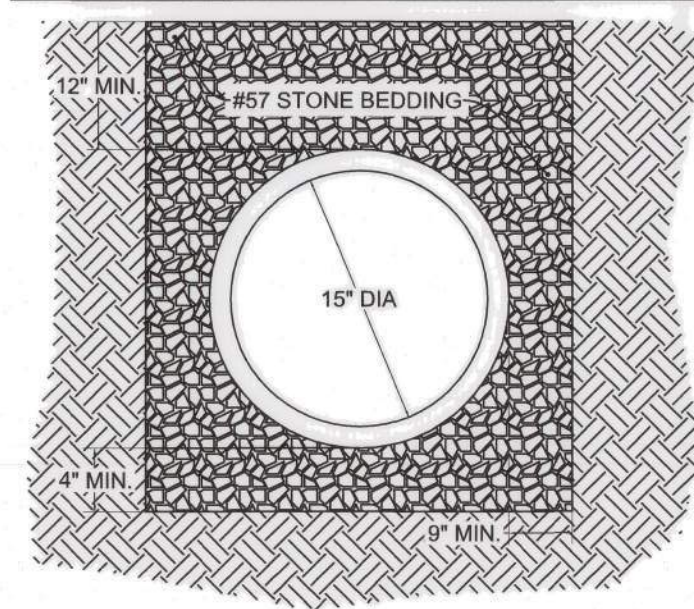
NOTES

1. INSTALL FILTER FABRIC FROM SIDES OF STORMWATER FACILITY THROUGH STONE SO FABRIC IS CONTIGUOUS. WHERE ENDS OF THE FABRIC COME TOGETHER, OVERLAP THE ENDS BY 6 INCHES. FOLDED AND STAPLED.
2. EVENLY WET DOWN FACILITY TO SETTLE PLANTING MEDIA AND REDRESS TOP SURFACE WITH ADDITIONAL PLANTING MEDIA TO SPECIFIED SURFACE ELEVATION PRIOR TO INSTALLING MULCH AND PLANT MATERIAL.

2 INFLOW PROTECTION

NOT TO SCALE

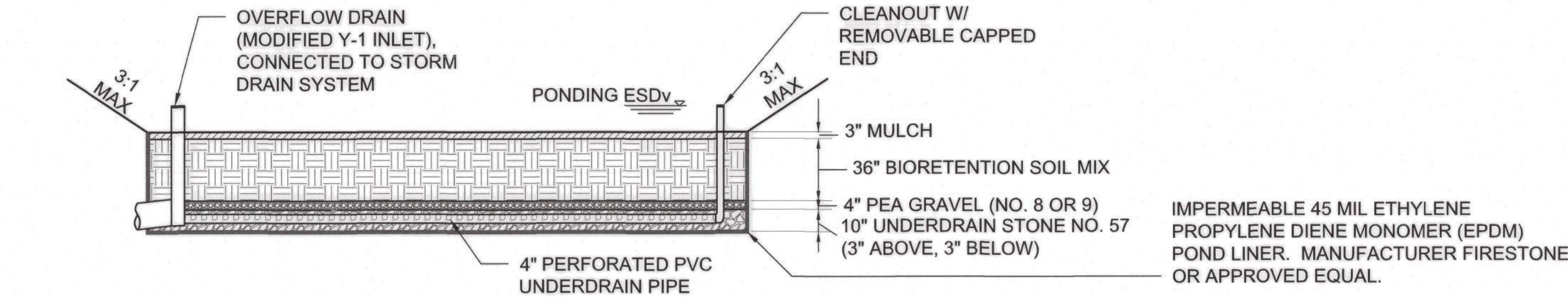
NOTE: FINAL PIPE BEDDING SPECIFICATIONS AND DIMENSIONS TO BE DETERMINED BY ON-SITE GEO-TECHNICAL ENGINEER. DIMENSIONS AND SPECIFICATIONS SHOWN BELOW ARE MINIMUMS ONLY. ACTUAL REQUIREMENTS TO BE DETERMINED BY ON-SITE GEO-TECHNICAL ENGINEER.



5 PIPE BEDDING DETAIL

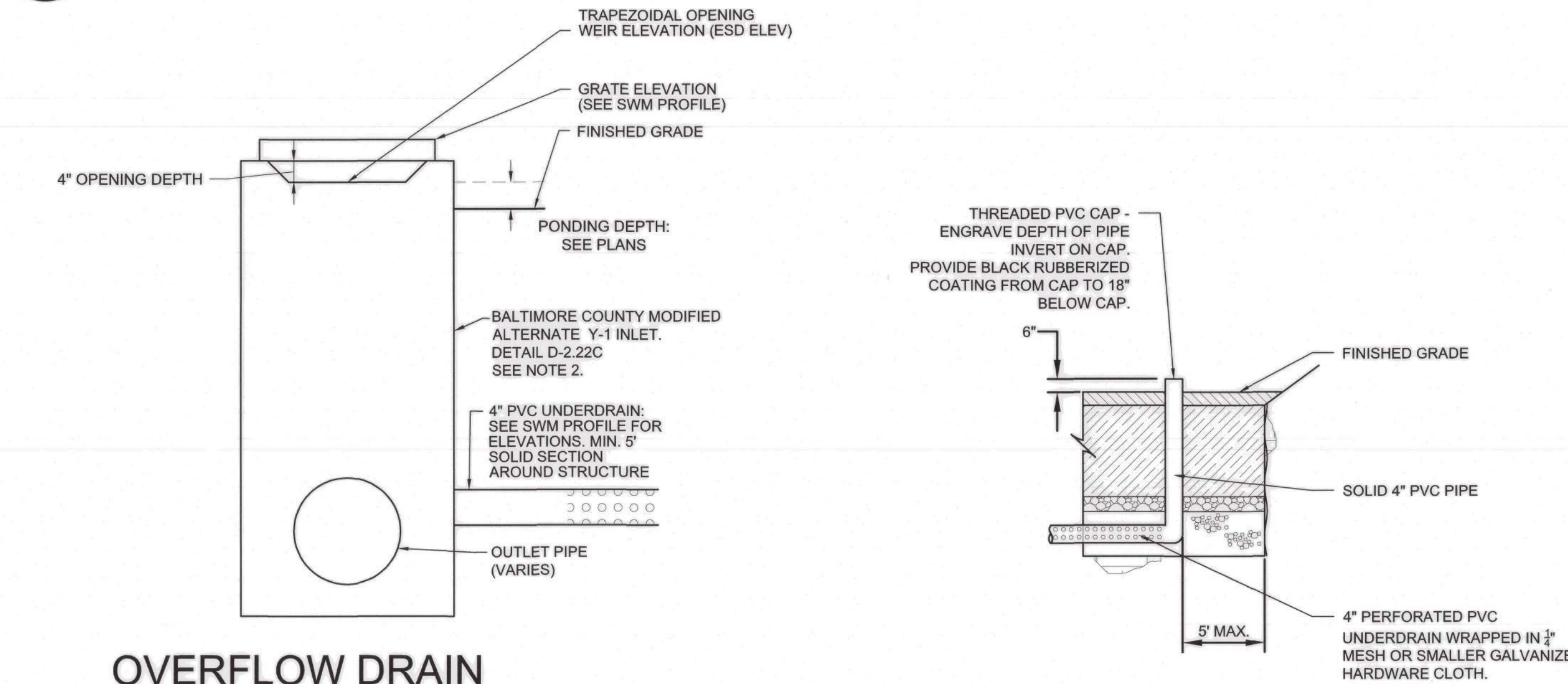
NOT TO SCALE

APPROVED: [Signature] Chief
STORMWATER ENGINEERING
BALTO. CO. DEPT. OF
ENVIRONMENTAL PROTECTION
AND SUSTAINABILITY



1 MICRO-BIORETENTION FACILITY - TYPICAL SECTION

NOT TO SCALE



3 OVERFLOW DRAIN (MODIFIED ALTERNATE Y-1)

NOT TO SCALE

4 CLEANOUT/OBSERVATION WELL DETAIL

NOT TO SCALE

- NOTES:
1. SEE STORMWATER PROFILE FOR TRAPEZOIDAL OPENING ELEVATION AND GRATE ELEVATION.
 2. TRAPEZOIDAL OPENING TO BE 4" IN HEIGHT.
 3. INLET TO HAVE TRAPEZOIDAL OPENINGS ON ALL SIDES OF THE STRUCTURE.

PROFESSIONAL CERTIFICATION				AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHT	DRAWING SCALE	PROPERTY MANAGEMENT	
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 41978, EXPIRATION DATE 12/20/2025								N/A	VSE SNE	61NW3 60NW3	PLAN SCALE: AS SHOWN	APPROVED BY: _____ PROPERTY MANAGER	
				CONTRACT COMPLETION BOX				R.O.W NO.			PROFILE SCALE: _____	DATE: _____	
ENGINEER: MARK HADLEY								N/A				PROPERTY MANAGEMENT	
DON BY: EFA/AMK												APPROVED BY: _____ CHIEF	
DWN BY: EFA/AMK				REVIEWED BY:								DATE: _____	
CHKD BY: MJH				DATE REVIEWED:									

SEAL	DATE: 10/1/24
------	---------------

ENGINEER: MARK HADLEY	CREATIVE DESIGN, SUCCESSFULLY ENGINEERED	410.683.3388
BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS
STRUCTURES	SEWER	WATER
FIELD ENGINEERS		

PROPERTY MANAGEMENT	PROPERTY MANAGER
PROPERTY MANAGEMENT	CHIEF

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT

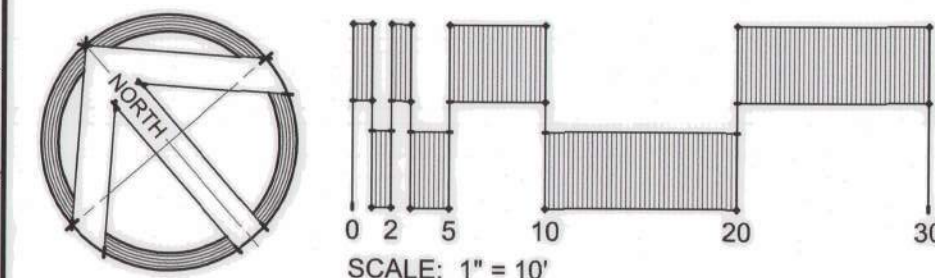
PARKVILLE SENIOR CENTER PARKING
STORMWATER MANAGEMENT DETAILS & NOTES II
PARKING RECONFIGURATION
BALTIMORE COUNTY DEPARTMENT AGING
8601 HARFORD RD, PARKVILLE, MD 21234

SUBDIVISION: SECTION-A GLENHAVEN

ELECTION DIST. NO.: 14C6

SWM 4 OF 6

SHEET DESIGNATION	CONTRACT NUMBER
C512	25021 POO
JOB ORDER NUMBER	861889
SHEET 23 OF 34	
DRAWING NUMBER	2024-0423
FILE NO.:	



SCALE: 1" = 10'



SCALES: HORIZ. 1" = 30'
VERT. 1" = 5'



SCALES: HORIZ. 1" = 10'
VERT. 1" = 5'

- | | |
|--|---------------------------------|
| | PROPERTY LINE |
| | EXISTING BUILDING |
| | EXISTING WALK |
| | EXISTING ROAD |
| | EXISTING CURB |
| | EXISTING FENCE |
| | EXISTING STORM DRAIN |
| | EXISTING WATER |
| | EXISTING SANITARY SEWER |
| | EXISTING GAS |
| | EXISTING LIGHTING |
| | EXISTING CONTOURS |
| | EXISTING SOIL GROUP DELINEATION |
| | EXISTING TREES |
| | PROPOSED BUILDING |
| | PROPOSED BUILDING OVERHANG |
| | PROPOSED RETAINING WALL |
| | PROPOSED SIDEWALK |
| | PROPOSED CURB |
| | PROPOSED FENCE |
| | PROPOSED GUARDRAIL |
| | PROPOSED SIGN |
| | PROPOSED FLAGPOLE |
| | PROPOSED WOODLINE |
| | SOIL BORING |
| | SWM FACILITY |
| | PROP. 15" SD |
| | PROP. STORM DRAIN INLET |
| | PROP. ELECTRIC |
| | PROPOSED CONTOURS |

DESIGN PROFESSIONAL:
SITE RESOURCES, INC.
4 NORTH PARK DRIVE, SUITE 100
COCKEYSVILLE, MD 21030
410-683-3388
CONTACT:
ALEXANDER KURTZ
AKURTZ@SITERESOURCESINC.COM

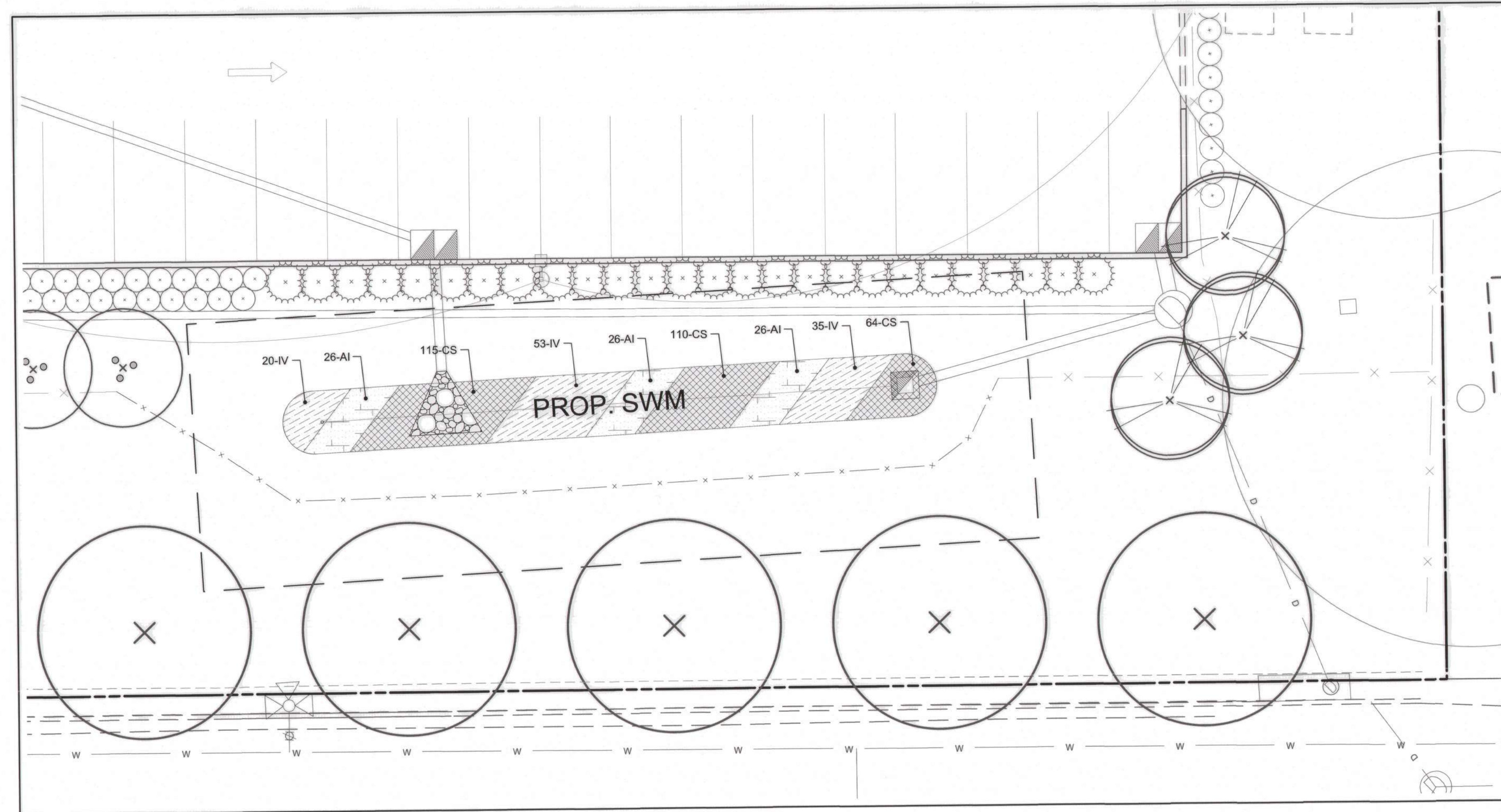
SHEET DESIGNATION	CONTRACT NUMBER
C521	25021 POO
	JOB ORDER NUMBER
	861889
	SHEET 24 OF 34
	DRAWING NUMBER
	2024-0424
<small>DATE: 12-10-2024</small>	

APPROVED: _____ Chief

STORMWATER ENGINEERING
BALTO. CO. DEPT. OF
ENVIRONMENTAL PROTECTION
AND SUSTAINABILITY

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE – PROPERTY MANAGEMENT
PARKVILLE SENIOR CENTER PARKING
STORMWATER MANAGEMENT ENLARGEMENT & SECTION
PARKING RECONFIGURATION
BALTIMORE COUNTY DEPARTMENT AGING
GLENHAVEN 8601 HARFORD RD, PARKVILLE, MD 21234

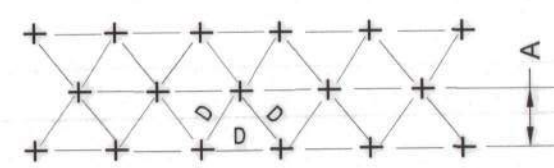
ELECTION DIST. NO.: 14C6



1 MICROBIORETENTION #1

SCALE: 1" = 10'

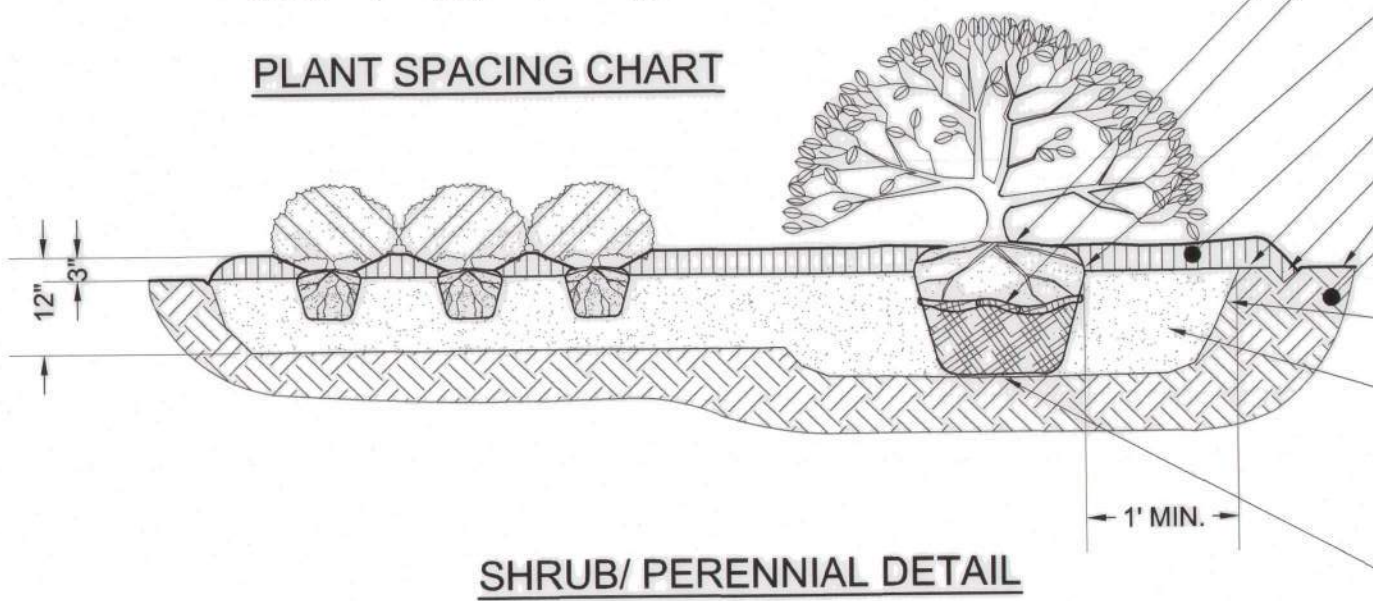
MICROBIORETENTION PLANT SCHEDULE						
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
PERENNIALS & ORNAMENTAL GRASSES						
AI	78	ASCLEPIAS INCARNATA	SWAMP MILKWEED	1 GAL	18" O.C.	FULLY ROOTED CONTAINER
CS	289	CAREX STRICTA	TUSsock SEDGE	1 QT	12" O.C.	FULLY ROOTED CONTAINER
IV	108	IRIS VERSICOLOR	BLUE FLAG IRIS	1 GAL	18" O.C.	FULLY ROOTED CONTAINER



NOTE:
FOR USE ONLY WHEN PLANTS ARE SPACED EQUIDISTANT FROM EACH OTHER AS SHOWN, AND SPECIFIED IN THE PLANT LIST.

SPACING "O"	ROW "A"	PLANTS / S.F.
6" O.C.	5.20'	4.81
8" O.C.	6.93'	2.60
10" O.C.	8.66'	1.66
12" O.C.	10.40'	1.15
15" O.C.	13.00'	.738
18" O.C.	15.60'	.512
24" O.C.	20.80'	.290
30" O.C.	26.00'	.185
36" O.C.	30.00'	.128

PLANT SPACING CHART



SHRUB/PERENNIAL DETAIL

NOTES:
1. CONTRACTOR SHALL LOOSEN ROOTS OF ALL CONTAINER GROWN MATERIAL TO ENCOURAGE LATERAL GROWTH OF ROOTS.
2. CONTRACTOR SHALL SCARIFY SIDES OF SHRUB PIT TO ELIMINATE SPADE GLAZING.
3. PERENNIALS SHALL BE PLANTED IN 12" DEPTH


KEEP MULCH 3" FROM TRUNK
CUT AND REMOVE BURLAP TO MIN. TOP 1/3 OF ROOT BALL - COMPLETELY REMOVE ALL NON-BIODEGRADABLE ROOT BALL COVERING
FIRST LATERAL ROOT FLUSH WITH FINISH GRADE; CLEANLY CUT ANY GIRDLING ROOTS
3" MULCH
3" SOIL WELL TO HOLD WATER
SHOVEL CUT EDGE
FINISHED GRADE
UNDISTURBED SOIL
BREAK DOWN SIDES OF PLANTING PIT WHEN BACKFILLING
PLANTING MIX
1/3 COMPOSTED ORGANICS
1/3 SHARP SAND
1/3 SOIL FROM HOLE
GENTLY COMPACT & WATER TO ELIMINATE LARGE AIR POCKETS
TAMP TO PREVENT SETTLING

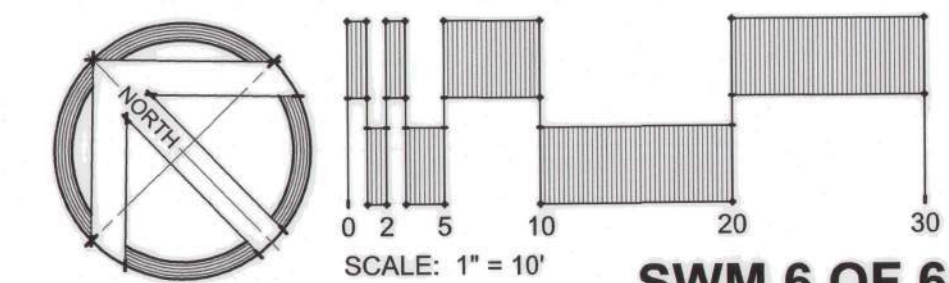
LANDSCAPE NOTES

(THESE NOTES APPLY TO ALL PLANTING IN THIS CONTRACT)
1. QUANTITIES SHOWN ON THE PLANT LIST ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. SYMBOLS ON THE PLAN SHALL TAKE PRECEDENCE. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES TO HIS OWN SATISFACTION.
2. PLANT MATERIAL SUBSTITUTIONS ARE SUBJECT TO APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT.
3. PLANT MATERIAL SHALL BE TAGGED AT THE SOURCE BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE UNLESS THE REQUIREMENT IS SPECIFICALLY WAIVED.
4. LOCATIONS OF ALL PLANT MATERIAL SHALL BE STAKED FOR APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT.
5. ALL SHRUB AND GROUND COVER AREAS SHALL BE PLANTED IN CONTINUOUS PREPARED BEDS MULCHED WITH COMPOSTED HARDWOOD MULCH AS DETAILED AND SPECIFIED.
6. PLANTING BEDS SHALL HAVE POSITIVE DRAINAGE WITH A MINIMUM 2% SLOPE. REFER TO STORMWATER MANAGEMENT PLANS, DETAILS AND NOTES FOR PROPOSED GRADES WITHIN STORMWATER MANAGEMENT FACILITIES.
7. CONDITIONS AND UTILITIES IN THE FIELD TO HIS OWN SATISFACTION. UTILITIES BID SHALL BE BASED ON ACTUAL SITE CONDITIONS. NO EXTRA PAYMENT SHALL BE MADE FOR WORK ARISING FROM SITE CONDITIONS DIFFERING FROM THOSE INDICATED ON DRAWINGS AND SPECIFICATIONS.
8. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 A MINIMUM OF TWO WORKING DAYS PRIOR TO BEGINNING PLANTING AND CONSTRUCTION.
9. DAMAGE TO EXISTING CONDITIONS AND UTILITIES SHALL BE REPAIRED AND RESTORED AT THE EXPENSE OF THE CONTRACTOR.
10. ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL CONFORM TO AMERICAN NURSERY & LANDSCAPE ASSOCIATION'S AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1.


GENERAL NOTES

- REFER TO SHEET C511 FOR CONSTRUCTION SPECIFICATIONS FOR MICRO-BIORETENTION.
- REFER TO SHEET C511 FOR THE OPERATION AND MAINTENANCE SCHEDULE FOR MICRO-BIORETENTION AREAS (M-6).

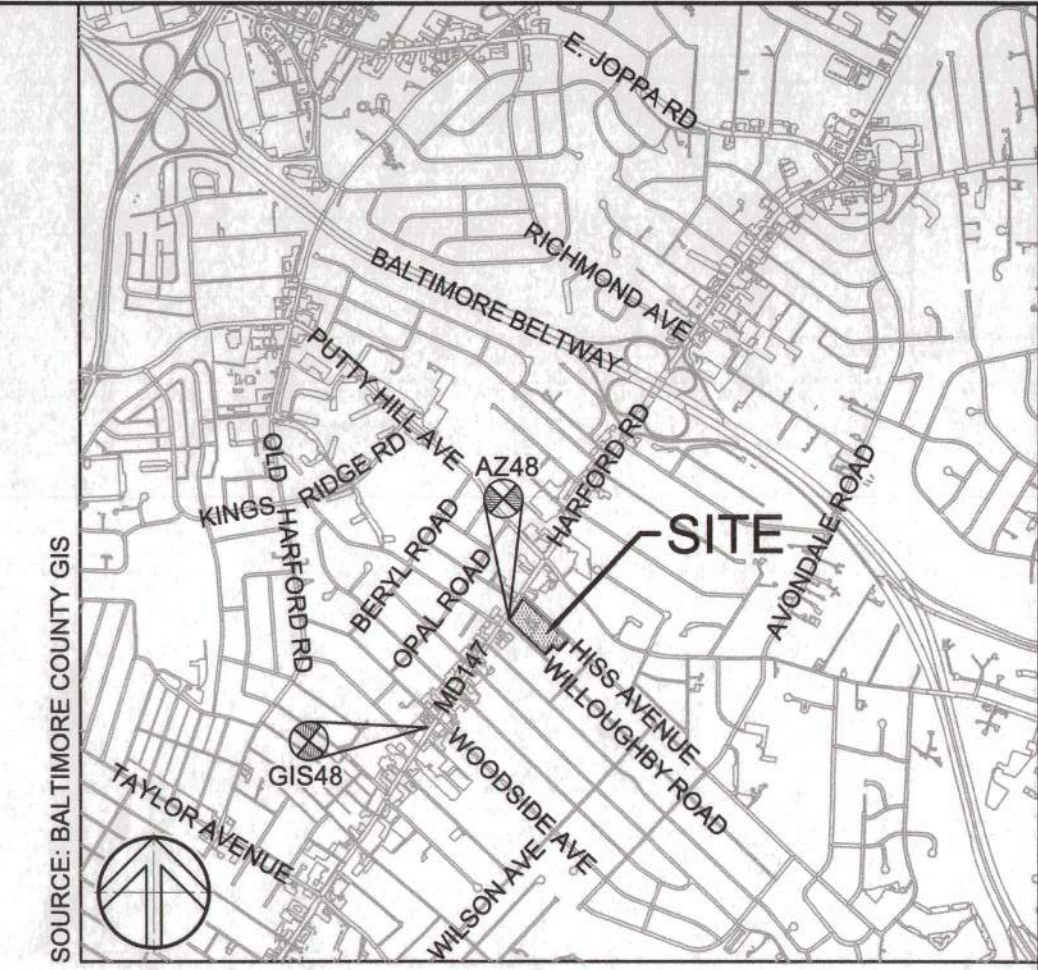
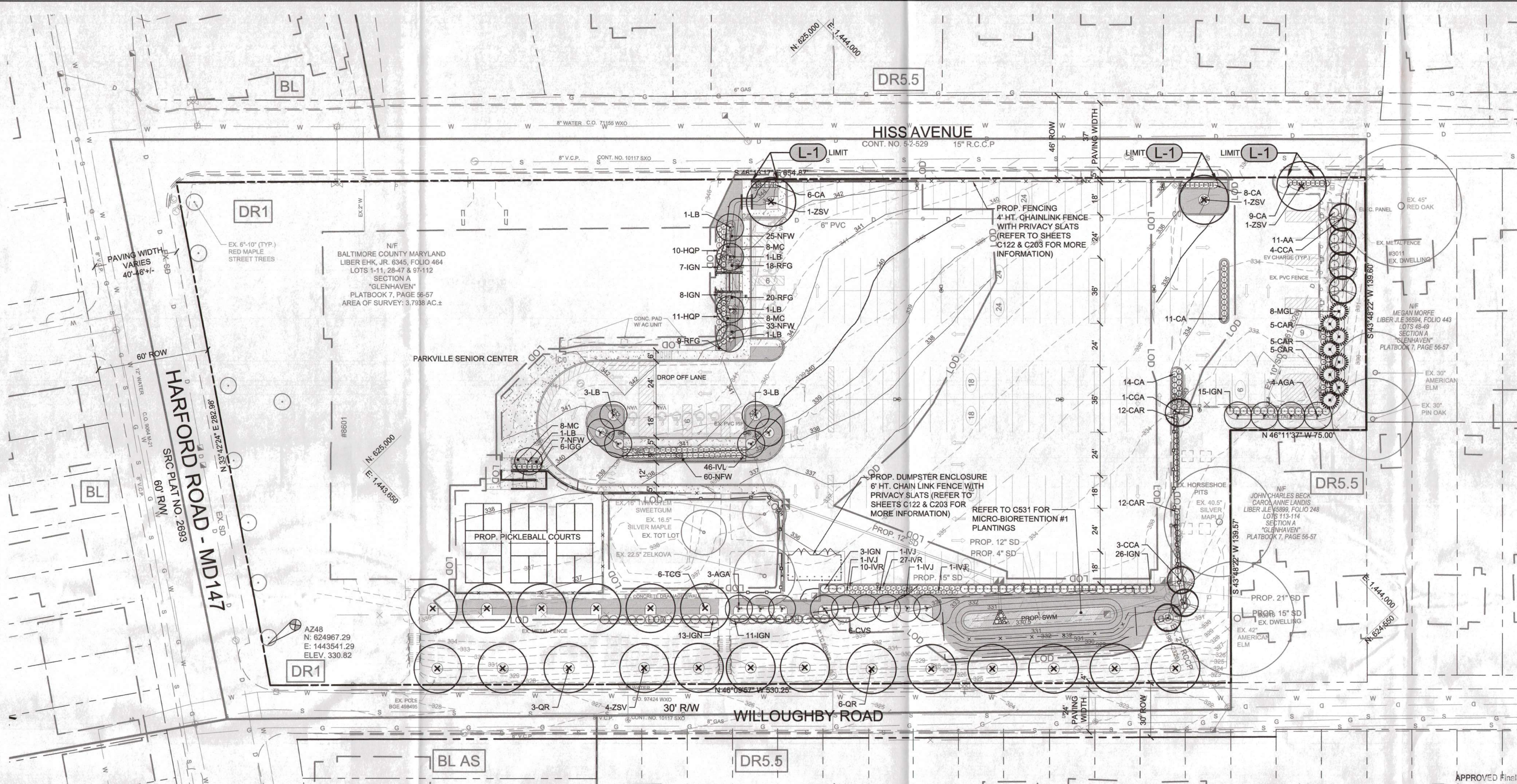
APPROVED:  Chief
STORMWATER ENGINEERING
BALTO. CO. DEPT. OF
ENVIRONMENTAL PROTECTION
AND SUSTAINABILITY



SWM 6 OF 6

	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION	SCALE	PROPERTY MANAGEMENT	
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.					N/A	VSE	61W3	PLAN SCALE: AS SHOWN	APPROVED BY: _____	
	LICENSE NO. 41978, EXPIRATION DATE 12/20/2025					N/A	SNE	60W3	PROFILE SCALE: _____	DATE: _____	
	ENGINEER: MARK HADLEY SITERESOURCES Creative Design. Successfully Engineered. 4 North Park Drive, Suite 100, Cockeysville, MD 21030 410.683.3388 www.siteresourcesinc.com		DGN BY: EFA/AMK DWN BY: EFA/AMK CHKD BY: MJH	BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER
			CONTRACT COMPLETION BOX	REVIEWED BY: _____	DATE REVIEWED: _____						PROPERTY MANAGER

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT		SHEET DESIGNATION C531	CONTRACT NUMBER 25021 P00
PARKVILLE SENIOR CENTER PARKING PARKING RECONFIGURATION - 100% CONSTRUCTION DOCUMENTS BALTIMORE COUNTY DEPARTMENT AGING 8601 HARFORD RD, PARKVILLE, MD 21234		JOB ORDER NUMBER 861889	
SUBDIVISION: SECTION-A GLENHAVEN		SHEET 25 OF 34 DRAWING NUMBER 2024-0425	
ELECTION DIST. NO.: 14C6		FILE NO.: _____	



VICINITY MAP	
1"=1000'	
LEGEND	
	PROPERTY LINE
	EXISTING BUILDING
	EXISTING WALK
	EXISTING ROAD
	EXISTING CURB
	EXISTING FENCE
	EXISTING STORM DRAIN
	EXISTING WATER
	EXISTING SANITARY SEWER
	EXISTING GAS
	EXISTING CONTOURS
	EXISTING TREES
	PROPOSED SIDEWALK
	PROPOSED CURB
	PROPOSED FENCE
	PROPOSED RETAINING WALL
	PROPOSED STORM DRAIN
	PROPOSED LIGHTING
	LIMIT OF DISTURBANCE
	TREE PROTECTION FENCE
	PROPOSED CONTOURS
	PROPOSED SHADE TREE
	PROPOSED EVERGREEN TREE
	PROPOSED ORNAMENTAL TREE
	PROPOSED SHRUBS
	PROPOSED PERENNIALS & GRASSES
	PROPOSED PLANT BED LINE
	PROPOSED SOD
	ZONING LINES

LANDSCAPE NOTE

- L-1** INSTALL ROOT BARRIER TO LIMITS SHOWN. INSTALL PER BALTIMORE COUNTY DEPARTMENT OF PUBLIC WORKS DETAIL G-5A.

GENERAL NOTES

- REFER TO SHEETS L201 & L202 FOR LANDSCAPE DETAILS, NOTES, SCHEDULE, AND TABULATIONS
- PLANTING UNITS ARE CALCULATED BASED ON THE AREA WITHIN THE LIMIT OF DISTURBANCE.
- DIMENSIONS SHOWN ON THIS PLAN ARE FOR PERMIT REVIEW PURPOSES ONLY. REFER TO C121 SITE LAYOUT INFORMATION.

PROPERTY INFORMATION

PROPERTY ADDRESS: 8601 HARFORD ROAD, PARKVILLE, MD 21234
OWNER: BALTIMORE COUNTY MARYLAND
APPLICANT: BALTIMORE COUNTY PROPERTY MANAGEMENT
APPLICANT ADDRESS: 12200 LONG GREEN PIKE, GLEN ARM, MD 21057
TAX MAP: 0071
TAX ACCOUNT NO.: 1402058646
DEED REFERENCE: 06345/00464
PLAT REF: 0007/0056

ZONING: DR-1
ACREAGE: 3.5 +/-
NO RELEVANT ZONING CASES PERTAINING TO LANDSCAPING

Final Landscape Plan Owner Certification Form		
I certify that I have reviewed this Final Landscape Plan; that I am aware of the regulations presented in the Baltimore County Landscape Manual; and I agree to comply with these regulations and all applicable policy, guidelines and ordinances. I agree to certify the implementation of this approved Final Landscape Plan upon completion of the landscape installation prior to PMA closeout if applicable or not later than one (1) year from the date of approval of this plan to the Department of Permits and Development Management, Development Plans Review, Room 207, County Office Building, 111 W. Chesapeake Avenue, Towson, MD 21204.		
<i>Michael Goodyear</i> Applicant Signature	5.9.24 Date	Michael Goodyear Print Name
12200 Address (Print)	Long Green Pike Street	
Glen Arm City	MD State	21078 Zip
PDM #		Permit #

Final Landscape Plan Landscape Architect Certification Form	
It is certified that this landscape plan is in compliance with all plans previously approved by Baltimore County and the Baltimore County comments attendant thereto.	
<i>[Signature]</i> Signature	REBEKAH WOLF Print Name
06/10/2024 Date	 Affix Seal

OWNER/DEVELOPER:	DESIGN PROFESSIONAL:
BALTIMORE COUNTY PROPERTY MANAGEMENT 12200A LONG GREEN PIKE GLEN ARM, MARYLAND 210057 CONTACT: STEVE GALLATIN 410-887-3827	SITE RESOURCES, INC. 4 NORTH PARK DRIVE, SUITE 100 COCKEYSVILLE, MD 21030 410-683-3388 CONTACT: EMILY ANDERSON EMAIL: EANDERSON@SITERESOURCESINC.COM

SEAL	PROFESSIONAL CERTIFICATION	AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SH	DRAWING SCALE	PROPERTY MANAGEMENT
	LICENSE NO. _____	CONTRACT COMPLETION BOX			N/A	YSE SNE	GINWS 60NWS	PLAN SCALE: AS SHOWN	APPROVED BY: _____ PROPERTY MANAGER
	EXPIRATION DATE _____	BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	R.O.W. NO.			PROFILE SCALE: _____	DATE: _____
	DGN BY: EFA/AMK	REVIEWED BY: _____			N/A				PROPERTY MANAGEMENT
	DWN BY: EFA/AMK	DATE REVIEWED: _____							APPROVED BY: _____ CHIEF
CHKD BY: MJH									DATE: _____

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT	
PARKVILLE SENIOR CENTER PARKING FINAL LANDSCAPE PLAN PARKING RECONFIGURATION - 100% CONSTRUCTION DOCUMENTS BALTIMORE COUNTY DEPARTMENT AGING 8601 HARFORD RD, PARKVILLE, MD 21234	
SUBDIVISION: SECTION-A GLENHAVEN	
MARYLAND COORDINATE SYSTEM NAD83/2011 & NAVD88 RECEIVED JUN 11 2024 DEPARTMENT OF PERMITS APPROVALS AND INSPECTIONS ELECTION DIST. NO.: 14C6	

SHEET DESIGNATION	CONTRACT NUMBER
L101	25021 POO
JOB ORDER NUMBER	861889
SHEET 26 OF 34	
DRAWING NUMBER	2024-0426
FILE NO.:	

DWG. FILENAME: SITE RESOURCES, INC. 21-21039-baco parkville, sr ctr pl 04-DWG L201 - Landscape Details.dwg - L201 Jun 10, 2024 10:14am efa

1

BALTIMORE COUNTY LANDSCAPE REQUIREMENTS

SCALE: 1" = 50'

LANDSCAPE REQUIREMENTS FOR PROJECT CONDITIONS

CONDITION A: STREET FRONTAGE AND STREETScape				
KEY	ELEMENT	RATE	MEASUREMENT	PLANTING UNITS REQUIRED (PU)
A ₁	ADJACENT ROADWAY	1 PU / 40 LF	332 LF	9
A ₂	ADJACENT ROADWAY	1 PU / 40 LF	430 LF	11
A ₃	INTERIOR ROADWAY	1 PU / 20 LF	102 LF	6
A ₄	INTERIOR ROADWAY	1 PU / 20 LF	118 LF	6
A ₅	INTERIOR ROADWAY	1 PU / 20 LF	191 LF	10
TOTAL REQUIRED 42 PU				

CONDITION B: PARKING LOTS				
KEY	ELEMENT	RATE	MEASUREMENT	PLANTING UNITS REQUIRED (PU)
B ₁	PARKING ADJACENT TO PUBLIC ROAD	1 PU / 15 LF	236 LF	16
B ₂	PARKING ADJACENT TO PUBLIC ROAD	1 PU / 15 LF	18 LF	2
B ₃	PARKING LOT INTERIOR	1 PU / 12 SPACES	173 SPACES	15
B ₄	PARKING ADJACENT TO RESIDENTIAL	1 PU / 15 LF	118 LF	8
B ₅	PARKING ADJACENT TO RESIDENTIAL	1 PU / 15 LF	50 LF	4
B ₆	PARKING ADJACENT TO PUBLIC ROAD	1 PU / 15 LF	180 LF	12
TOTAL REQUIRED 57 PU				
PARKING AREA		7% PERVIOUS	67,460 SF	4,723 SF REQUIRED

CONDITION H: DUMPSTERS				
KEY	ELEMENT	RATE	LINEAR FEET (LF)	PLANTING UNITS REQUIRED (PU)
H ₁	SIDE ADJACENT TO PUBLIC ROAD	1 PU / 15 LF	29 LF	2
TOTAL REQUIRED 2 PU				

PROPOSED PLANTING UNITS PROVIDED

QTY	TYPE	RATE	PU
22	MAJOR DECIDUOUS TREE	1 TREE / 1 PU	22
8	EVERGREEN TREE	2 TREES / 1 PU	4
32	MINOR DECIDUOUS TREE	2 TREES / 1 PU	16
295	SHRUB	5 SHRUBS / 1 PU	59
TOTAL PROVIDED 101 PU			
TOTAL REQUIRED 101 PU			
PLANTED PARKING AREA PROVIDED		3,319 SF	4.9%

MODIFICATION REQUEST

- MODIFICATION REQUIRED FOR NO LANDSCAPE STRIP BETWEEN PARKING LOT AND SIDEWALK ALONG HISS AVENUE AND PROVIDING (3) STREET TREES ALONG THIS EDGE FOR STREETScape PLANTING.
- MODIFICATION REQUIRED FOR NO LANDSCAPE STRIP BETWEEN PARKING LOT AND SIDEWALK ALONG HISS AVENUE AND REPLACE EXISTING 3.5FT HIGH CHAIN LINK FENCE WITH 4FT HIGH CHAIN LINK FENCE WITH PRIVACY SLATS IN LIEU OF PLANTING PLANTS FOR PARKING SCREENING.
- MODIFICATION REQUIRED FOR LANDSCAPE ISLANDS (5 FT. AND 7 FT. WIDE) LESS THAN REQUIRED WIDTH (9 FT.) FOR PARKING LOT INTERIOR LANDSCAPING.
- MODIFICATION REQUIRED FOR DUMPSTER ENCLOSURE 6'HT. CHAIN LINK FENCE WITH PRIVACY SLATS IN LIEU OF PLANTING PLANTS FOR DUMPSTER SCREENING.

GENERAL NOTES

- PLANTING UNITS ARE CALCULATED BASED ON THE AREA WITHIN THE LIMIT OF DISTURBANCE.
- EXISTING CHAIN LINK FENCE ALONG HISS AVENUE WILL BE REPLACED BY PROPOSED 4' HT. CHAIN LINK FENCE WITH PRIVACY SLATS.

LANDSCAPE NOTES

(THESE NOTES APPLY TO ALL PLANTING IN THIS CONTRACT)

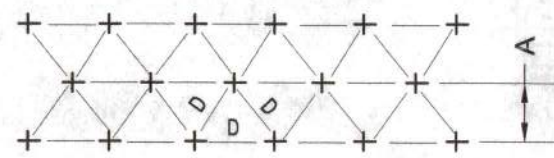
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- PLANT MATERIAL SHALL BE TAGGED AT THE SOURCE BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE UNLESS THE REQUIREMENT IS SPECIFICALLY WAIVED.
- LOCATIONS OF ALL PLANT MATERIAL SHALL BE STAKED FOR APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT.
- ALL SHRUB AND GROUND COVER AREAS SHALL BE PLANTED IN CONTINUOUS PREPARED BEDS MULCHED WITH COMPOSTED HARDWOOD MULCH AS DETAILED AND SPECIFIED.
- PLANTING BEDS SHALL HAVE POSITIVE DRAINAGE WITH A MINIMUM 2% SLOPE. CONTRACTOR SHALL VERIFY ACCURACY OF BASE INFORMATION AND EXISTING CONDITIONS AND UTILITIES IN THE FIELD TO HIS OWN SATISFACTION. UTILITIES BID SHALL BE BASED ON ACTUAL SITE CONDITIONS. NO EXTRA PAYMENT SHALL BE MADE FOR WORK ARISING FROM SITE CONDITIONS DIFFERING FROM THOSE INDICATED ON DRAWINGS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 A MINIMUM OF TWO WORKING DAYS PRIOR TO BEGINNING PLANTING AND CONSTRUCTION.
- DAMAGE TO EXISTING CONDITIONS AND UTILITIES SHALL BE REPAIRED AND RESTORED AT THE EXPENSE OF THE CONTRACTOR.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL CONFORM TO AMERICAN NURSERY & LANDSCAPE ASSOCIATION'S AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1.

MINIMUM LANDSCAPE MAINTENANCE REQUIREMENTS

- LAWN AREAS SHALL BE MOWED TO A HEIGHT OF 2 TO 3 INCHES AND NOT ALLOWED TO REACH A HEIGHT OF 4 INCHES BEFORE MOWING.
- ALL CURBS AND WALKS SHALL BE EDGED AS NEEDED.
- ALL LAWN AREAS ADJACENT TO BUILDING FACES OR STRUCTURES SHALL BE TRIMMED.
- A SLOW RELEASE NITROGEN BALANCED FERTILIZER WITH A 2-1-1 RATIO SHALL BE APPLIED AT A RATE OF 2 POUNDS OF NITROGEN PER 1000 SQUARE FEET IN SEPTEMBER, OCTOBER, AND FEBRUARY.
- LIME SHALL BE APPLIED AT THE RATE DETERMINED BY A SOILS REPORT.
- IT IS RECOMMENDED THAT LAWN AREAS BE TREATED IN MID-MARCH TO EARLY APRIL WITH PRE-EMERGENT HERBICIDE (BETASAN) OR EQUAL APPLIED AT THE MANUFACTURER'S RECOMMENDED RATE.
- A POST-EMERGENT HERBICIDE (TRIMEC) OR EQUAL IS RECOMMENDED TO BE SPRAYED ON LAWN AREAS IN THE LATE SPRING OR THE EARLY FALL. FOLLOW MANUFACTURER'S RATES AND RECOMMENDATIONS.
- INSECTICIDES AND FUNGICIDES ARE RECOMMENDED FOR INSECT AND DISEASE CONTROL.
- RESEED BARE AREAS OF LAWN AS NECESSARY. YEARLY AERATION IS RECOMMENDED.
- ALL TRASH, LITTER, AND DEBRIS SHALL BE REMOVED FROM LAWN AREAS, PARKING LOTS, AND SHRUB BEDS AS NEEDED.
- MULCH ALL SHRUB AND GROUND COVER BEDS YEARLY WITH 3 INCHES OF SHREDDED HARDWOOD BARK.
- PERMIT SHRUBS AND TREES TO GROW AND ENLARGE TO THEIR DESIGN SIZE. CONSULT PROJECT LANDSCAPE ARCHITECT FOR DETAILS.
- PRUNE TREES IN ACCORDANCE WITH LANDSCAPE CONTRACTORS ASSOCIATION GUIDELINES.

PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE / ROOT CONT.	SPACING	REMARKS
SHADE TREES						
QR	9	QUERCUS RUBRA	NORTHERN RED OAK	2" CAL. / B&B	AS SHOWN	STRONG SINGLE LEADER
TCG	6	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LITTLELEAF LINDEN	2" CAL. / B&B	AS SHOWN	STRONG SINGLE LEADER
ZSV	7	ZELKOVA SERRATA 'VILLAGE GREEN'	VILLAGE GREEN JAPANESE ZELKOVA	2" CAL. / B&B	AS SHOWN	STRONG SINGLE LEADER
EVERGREEN TREES						
MGL	8	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	LITTLE GEM SOUTHERN MAGNOLIA	6" HEAVY / B&B	AS SHOWN	STRONG SINGLE LEADER
ORNAMENTAL TREES						
AGA	7	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICE BERRY	8-10" HEAVY / B&B	AS SHOWN	MULTISTEMMED, 3 STEM MINIMUM
CCA	8	CERCIS CANADENSIS 'APPALACHIAN RED'	APPALACHIAN RED REDBUD	1.5" CAL. / B&B	AS SHOWN	SINGLE STEM / TREE FORM
CVS	6	CHIONANTHUS VIRGINICUS 'SPRING FLEEING'	SPRING FLEEING FRINGETREE	1.5" CAL. / B&B	AS SHOWN	SINGLE STEM / TREE FORM, MATCHED SET
LB	11	LAGERSTROEMIA X 'BILOXI'	BILOXI CRAPE MYRTLE	8-10" HEAVY / B&B	AS SHOWN	MULTISTEMMED, 3 STEM MINIMUM
SHRUBS						
AA	11	ARONIA ARBUTIFOLIA	RED CHOKEBERRY	24" HT / CONT.	AS SHOWN	FULLY BRANCHED; FULL / HEAVY; 5 CANE MINIMUM
CA	48	CEANOTHUS AMERICANUS	NEW JERSEY TEA	18" HT / CONT.	AS SHOWN	FULLY BRANCHED; FULL / HEAVY; 5 CANE MINIMUM
CAR	39	CLETHRA ALNIFOLIA 'RUBY SPICE'	RUBY SPICE SUMMERSWEET CLETHRA	24" HT / CONT.	AS SHOWN	FULLY BRANCHED; FULL / HEAVY; 5 CANE MINIMUM
HQP	21	HYDRANGEA QUERCIFOLIA 'PEE WEE'	PEE WEE OAKLEAF HYDRANGEA	18" HT / CONT.	AS SHOWN	FULLY BRANCHED; FULL / HEAVY; 5 CANE MINIMUM
IGG	6	ILEX GLABRA 'GEMBOX'	GEMBOX INKBERRY HOLLY	18" HT / CONT.	AS SHOWN	FULLY BRANCHED; FULL / HEAVY
IGN	83	ILEX GLABRA 'NIGRA'	NIGRA INKBERRY HOLLY	24" HT / CONT.	AS SHOWN	FULLY BRANCHED; FULL / HEAVY
IVJ	4	ILEX VERTICILLATA 'JIM DANDY'	JIM DANDY WINTERBERRY HOLLY	24" HT / CONT.	AS SHOWN	FULLY BRANCHED; FULL / HEAVY; 5 CANE MINIMUM
IVR	37	ILEX VERTICILLATA 'RED SPRITE'	RED SPRITE WINTERBERRY HOLLY	24" HT / CONT.	AS SHOWN	FULLY BRANCHED; FULL / HEAVY; 5 CANE MINIMUM
IVL	46	ITEA VIRGINICA 'LITTLE HENRY'	LITTLE HENRY VIRGINIA SWEETSPIRE	18" HT / CONT.	AS SHOWN	FULLY BRANCHED; FULL / HEAVY; 5 CANE MINIMUM
PERENNIALS & ORNAMENTAL GRASSES						
MC	24	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS	1 GAL. CONT.	24" O.C.	FULLY ROOTED CONTAINER
NFW	125	NEPETA X FAASSENII 'WALKER'S LOW'	CATMINT	1 GAL. CONT.	18" O.C.	FULLY ROOTED CONTAINER
RFG	47	RUDBECKIA FULGIDA VAR. SULLIVANTII 'GOLDSTURM'	BLACK-EYED SUSAN	1 GAL. CONT.	18" O.C.	FULLY ROOTED CONTAINER

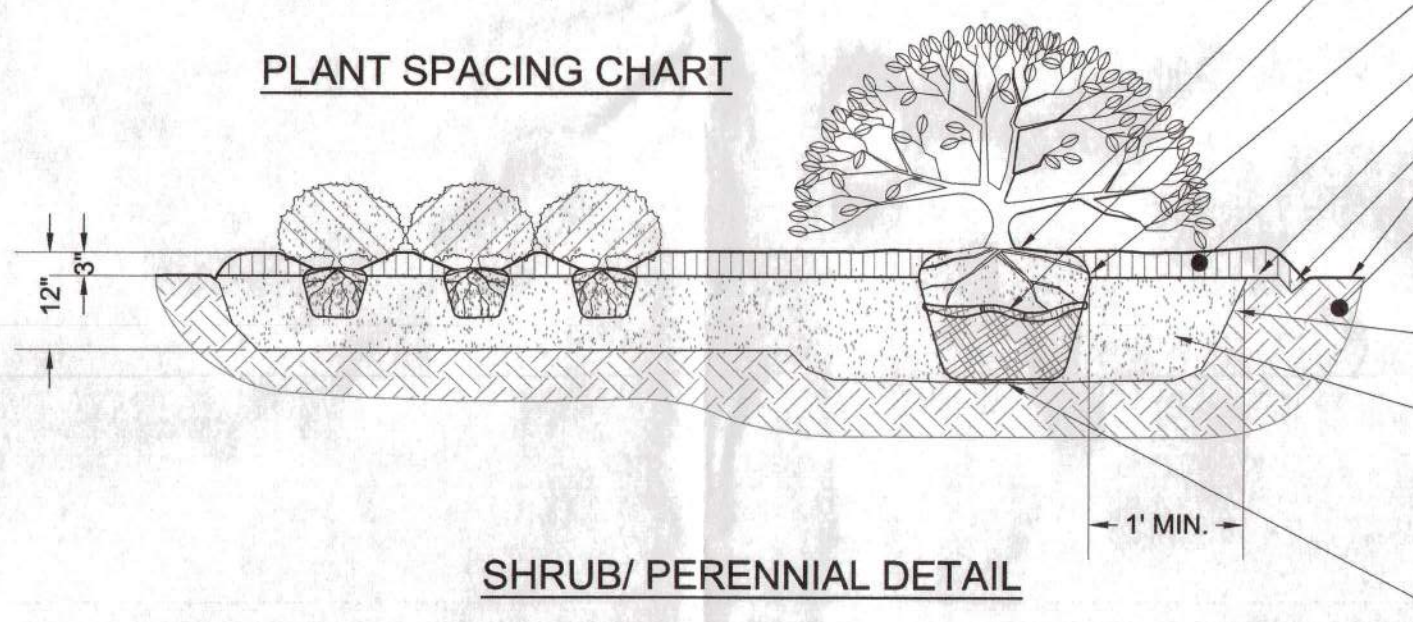
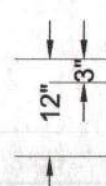


NOTE:
FOR USE ONLY WHEN PLANTS ARE SPACED EQUIDISTANT FROM EACH OTHER AS SHOWN, AND SPECIFIED IN THE PLANT LIST.

NOTES:
1. CONTRACTOR SHALL LOOSEN ROOTS OF ALL CONTAINER GROWN MATERIAL TO ENCOURAGE LATERAL GROWTH OF ROOTS.
2. CONTRACTOR SHALL SCARIFY SIDES OF SHRUB PIT TO ELIMINATE SPADE GLAZING.
3. PERENNIALS SHALL BE PLANTED IN 12" DEPTH

SPACING "D"	ROW "A"	PLANTS / S.F.
6" O.C.	5.20'	4.61
8" O.C.	6.93'	2.60
10" O.C.	8.66'	1.66
12" O.C.	10.40'	1.15
15" O.C.	13.00'	.78
18" O.C.	15.60'	.51
24" O.C.	20.80'	.29
30" O.C.	26.00'	.18
36" O.C.	30.00'	.12

PLANT SPACING CHART



SHRUB/PERENNIAL PLANTING DETAILS

NOT TO SCALE

2

SHRUB/PERENNIAL PLANTING DETAILS

Final Landscape Plan
Owner Certification Form

I certify that I have reviewed this Final Landscape Plan; that I am aware of the regulations presented in the Baltimore County Landscape Manual; and I agree to comply with these regulations and all applicable policy, guidelines and ordinances. I agree to certify the implementation of this approved Final Landscape Plan upon completion of the landscape installation prior to PWA closeout if applicable or not later than one (1) year from the date of approval of this plan to the Department of Permit and Development Management, Development Plans Review, Room 207, County Office Building, 111 W. Chesapeake Avenue, Towson, MD 21204.

Michael Goodyear 5.9.24 Michael Goodyear
Applicant Signature Date Print Name
12200 Long Green Pike
Glen Arm MD 21078
City State Zip
PDM # Permit #

Final Landscape Plan
Landscape Architect Certification Form

It is certified that this landscape plan is in compliance with all plans previously approved by Baltimore County and the Baltimore County comments attendant thereto.

Signature: [Signature] REBEKAH WOLF
Print Name: REBEKAH WOLF
Date: 06/10/2024
Affix Seal: [Seal]

APPROVED Final Landscape Plans
Baltimore County
Dept. of Permits, Approvals & Inspections

JUNE 10, 2024

SHEET DESIGNATION L201 CONTRACT NUMBER 25021 POO

JOB ORDER NUMBER 861889

SHEET 27 OF 34

DRAWING NUMBER 2024-0427

FILE NO.:

DATE: JUNE 10, 2024

DATE REVIEWED:

DATE:

DATE:

DATE:

DATE:

DATE:

DATE:

OWNER/DEVELOPER:
BALTIMORE COUNTY PROPERTY MANAGEMENT
12200A LONG GREEN PIKE
GLEN ARM, MARYLAND 210057
CONTACT:
STEVE GALLATIN
410-887-3827

DESIGN PROFESSIONAL:
SITE RESOURCES, INC.
4 NORTH PARK DRIVE, SUITE 100
COCKEYSVILLE, MD 21030
410-683-3388
CONTACT: EMILY ANDERSON
EMAIL: EANDERSON@SITERESOURCESINC.COM

SEAL: [Seal]

PROFESSIONAL CERTIFICATION

LICENSE NO. _____ EXPIRATION DATE _____

DGN BY: EFA/AMK
DWN BY: EFA/AMK
CHKD BY: MJH

BUREAU OF ENGINEERING AND CONSTRUCTION

REVIEWED BY: _____
DATE REVIEWED: _____

AS-BUILT / REVISION

BY DATE P.W.A. NO. KEY SHEET POSITION SHT DRAWING SCALE PROPERTY MANAGEMENT

CONTRACT COMPLETION BOX

PLAN SCALE: AS SHOWN
PROFILE SCALE: _____

APPROVED BY: _____
DATE: _____

PROPERTY MANAGER

PROPERTY MANAGEMENT

CHIEF

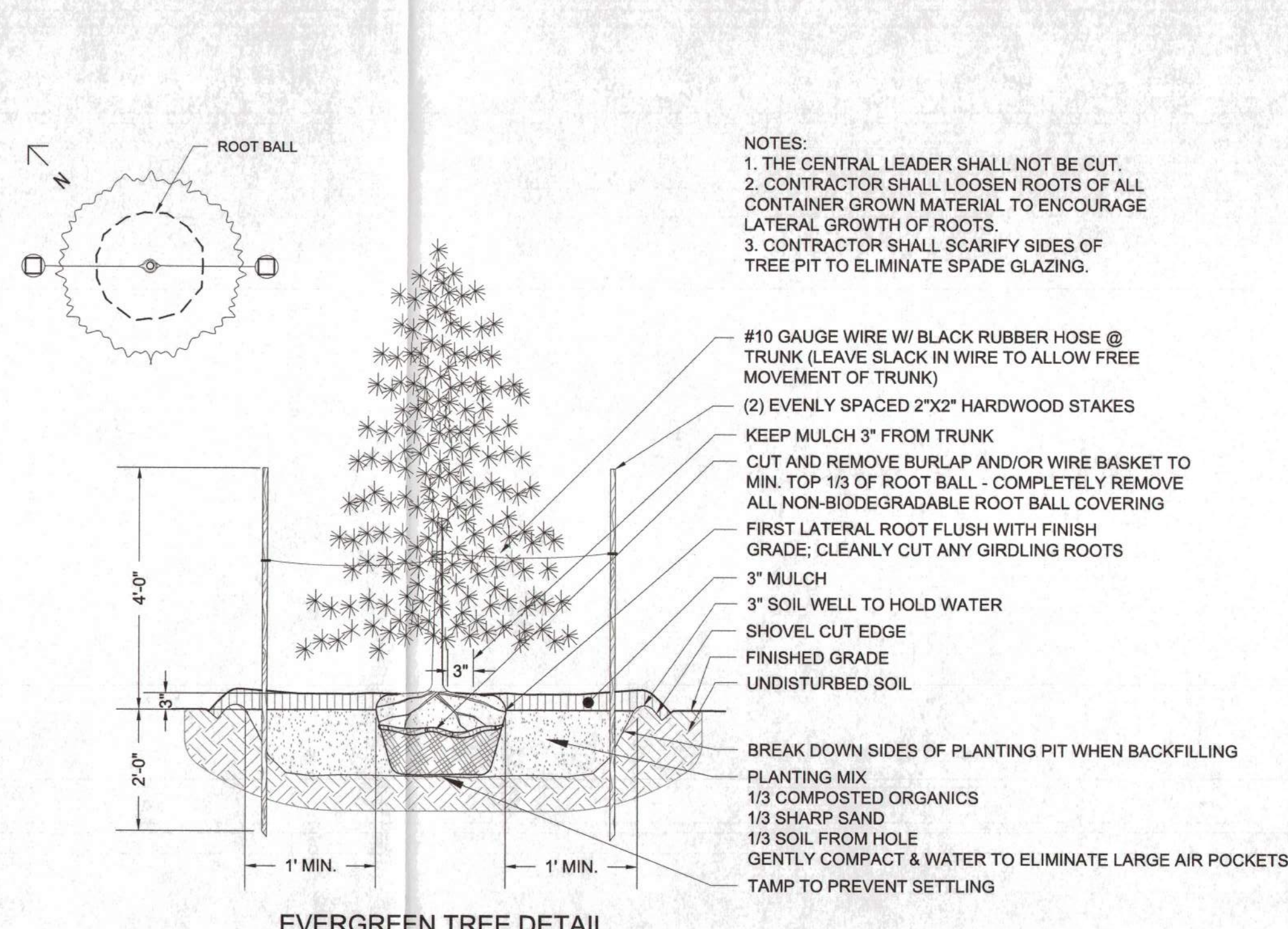
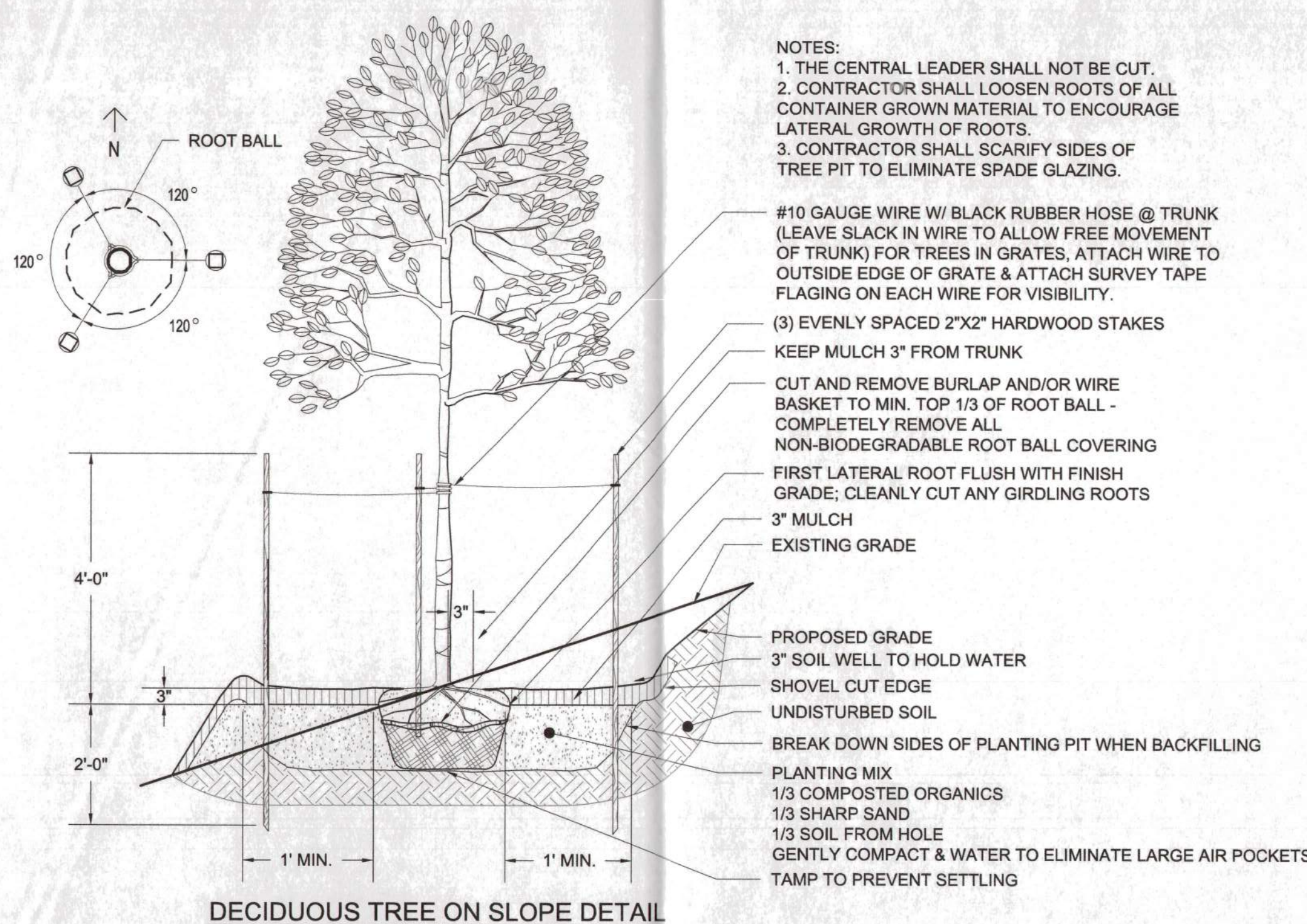
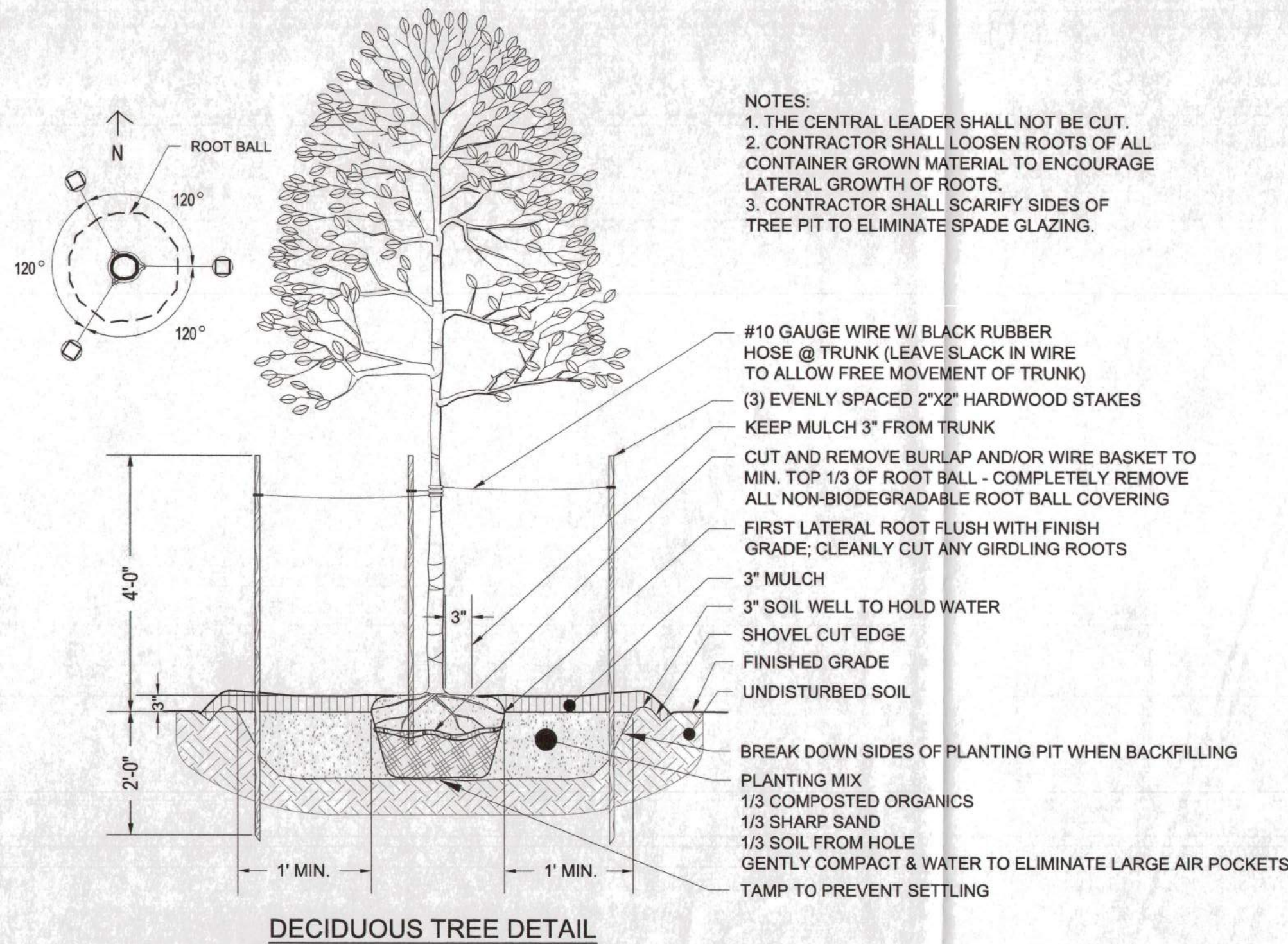
SUBDIVISION: SECTION-A GLENHAVEN

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT

PARKVILLE SENIOR CENTER PARKING
FINAL LANDSCAPE DETAILS I
PARKING RECONFIGURATION - 100% CONSTRUCTION DOCUMENTS
BALTIMORE COUNTY DEPARTMENT AGING
8601 HARFORD RD, PARKVILLE, MD 21234

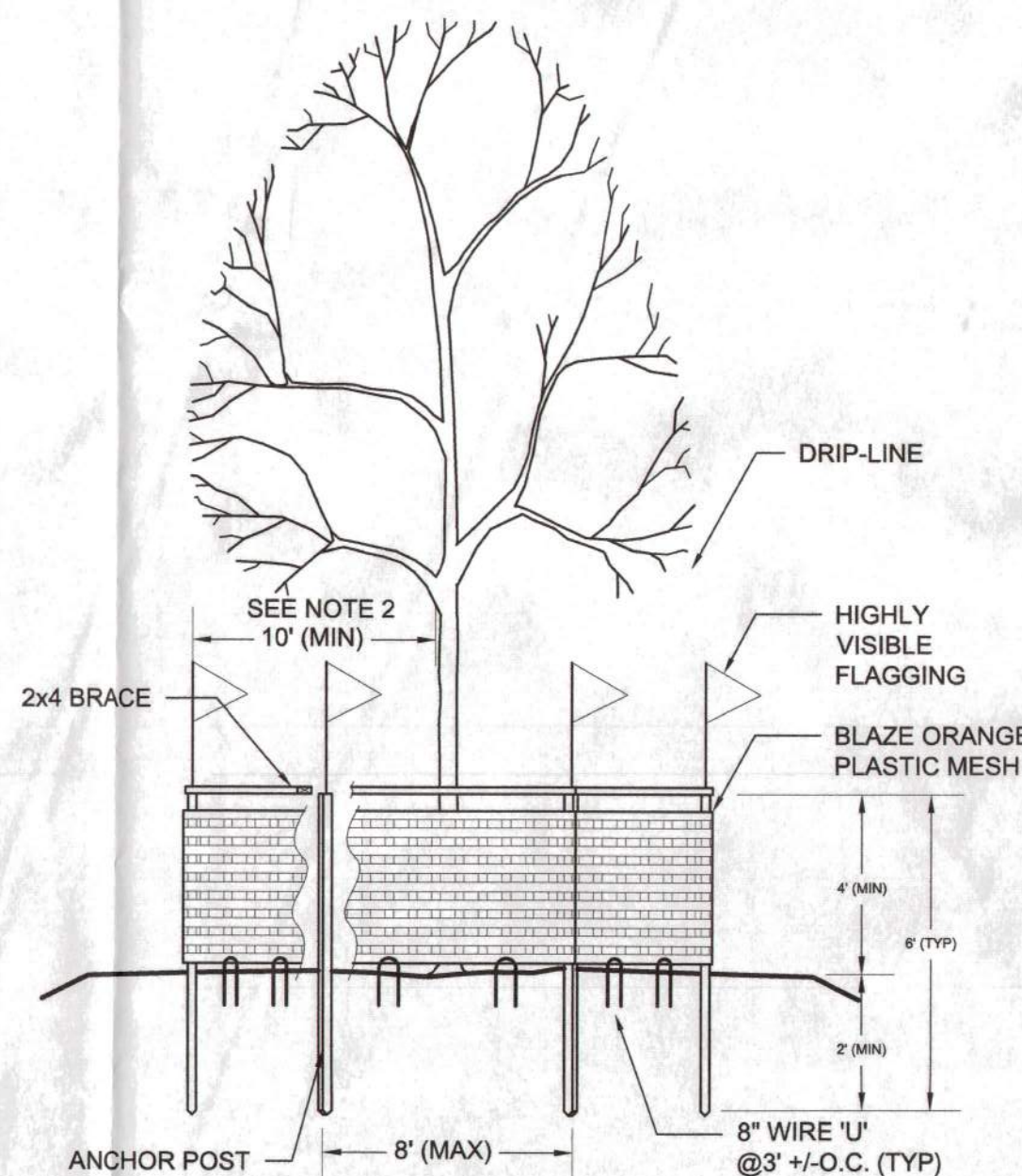
ELECTION DIST. NO.: 14C6

DWG. FILENAME: SITE_RESOURCES, INC. Z:\21\21039-Baco parkville sr ctr pl\04-DWG\2201 - Landscape Details.dwg - L202 Jun 10, 2024 10:14am efa



1 TREE PLANTING DETAILS

NOT TO SCALE



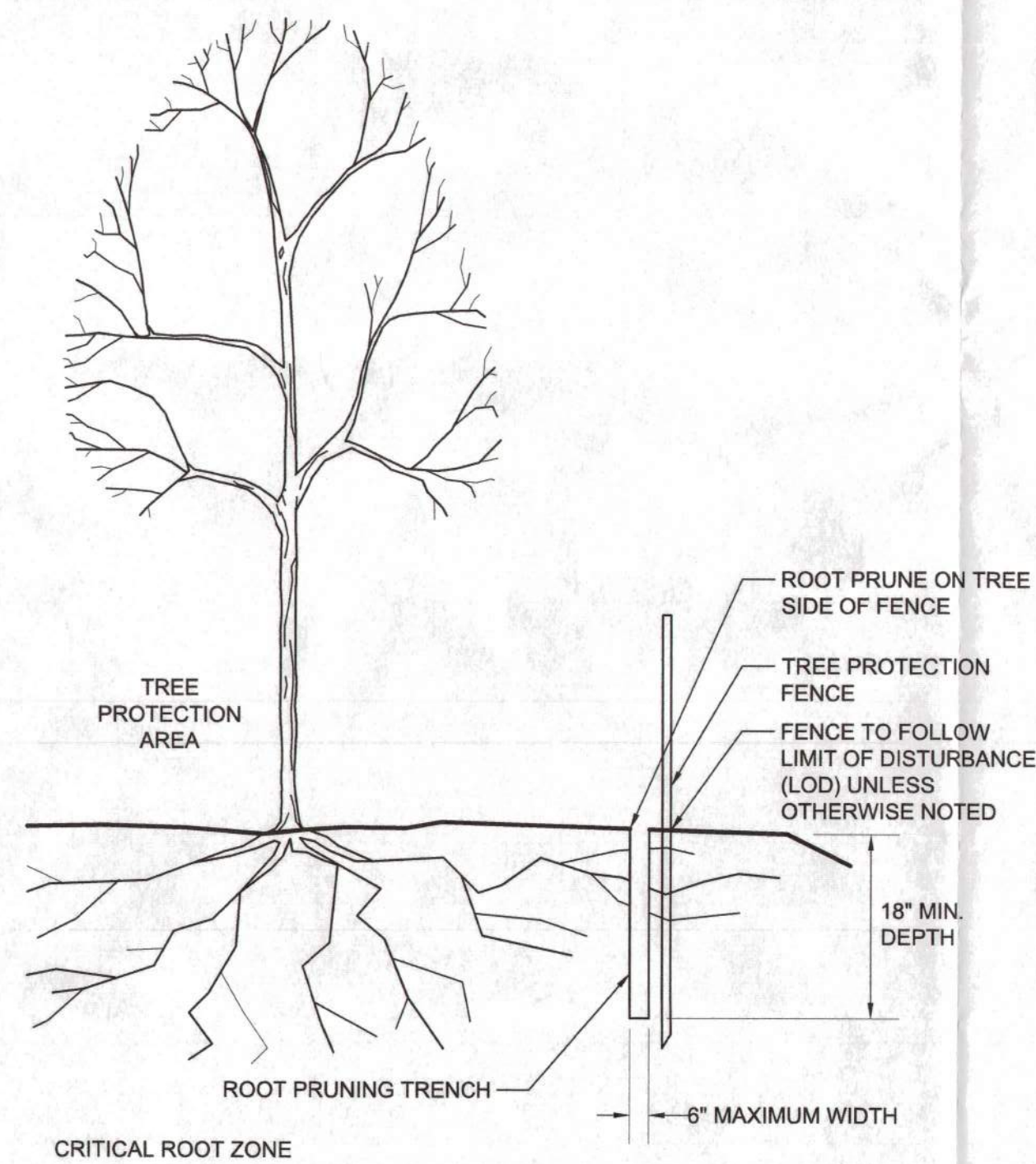
1. TREE PROTECTION FENCE SHALL BE BLAZE ORANGE PLASTIC MESH WITH ANCHOR POSTS. ANCHOR POSTS SHALL BE MINIMUM 2" STEEL 'U' CHANNEL OR 'T' POST, 6' IN LENGTH, SPACED 8' O.C. (MAXIMUM) MARKED WITH HIGHLY VISIBLE FLAGGING. ANCHOR POSTS MUST BE INSTALLED TO A DEPTH OF NO LESS THAN 1/3 OF THE TOTAL HEIGHT OF THE POST. USE 2" X 4" LUMBER FOR CROSS BRACING ALONG TOP OF FENCE. USE 8" WIRE 'U' TO SECURE FENCE BOTTOM.
2. PLACE FENCE AS SHOWN ON PLAN. AT DRIPLINE AROUND TREES WITH GREATER THAN 20' SPREAD. FOR SMALLER TREES, PLACE FENCE 10' (MINIMUM) FROM TRUNK.
3. ROOT DAMAGE SHOULD BE AVOIDED DURING INSTALLATION OF ANCHOR POSTS AND FENCE.
4. PLACE PROTECTION SIGNAGE IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
5. NO CONSTRUCTION EQUIPMENT, MATERIALS OR EXCAVATED EARTH PERMITTED INSIDE TREE PROTECTION FENCES.
6. MAINTAIN TREE PROTECTION DEVICES THROUGHOUT CONSTRUCTION.
7. THIS FENCE IS A TREE PROTECTION DEVICE ONLY.

2 TREE PROTECTION FENCE

TREE PROTECTION NOTES

1. THERE WILL BE NO CLEARING IN THE TREE PROTECTION AREAS SHOWN ON THE PLAN TO REMAIN SHALL HAVE BLAZE ORANGE PLASTIC MESH TREE PROTECTION FENCE INSTALLED TO TREES AS SHOWN ON THE PLAN.
2. STOCKPILE AREAS, EMPLOYEE PARKING, AND EQUIPMENT STAGING AREAS SHALL BE CONTAINED WITHIN THE LIMIT OF CLEARING AS SHOWN ON THE FOREST CONSERVATION PLAN OR SEDIMENT CONTROL PLAN.
3. TREE PROTECTION FENCING:
 - A. ALL TREE PROTECTION FENCING SHALL BE THE STANDARD ORANGE FENCE FABRIC.
 - B. ALL TREE PROTECTION FENCING SHALL BE SIX FEET ZERO INCHES (6'-0") HIGH MEASURED TO THE TOP OF THE FENCE FABRIC, AS INDICATED ON THE DRAWINGS.
 - C. FENCE MATERIALS SHALL MEET THE REQUIREMENTS AS STATED IN THE SPECIFICATIONS AND AS SHOWN ON THE DETAIL DRAWING.

NOT TO SCALE



NOTES:

1. TREE PROTECTION AREA WILL BE DETERMINED AS PART OF THE PLAN REVIEW PROCESS. EXACT LOCATION, DEPTH AND METHODS OF ROOT PRUNING TO BE DETERMINED IN THE FIELD BY PROJECT FORESTER.
2. EXACT LOCATION OF TREE PROTECTION AREAS SHALL BE STAKED OR FLAGGED PRIOR TO TRENCHING.
3. TRENCH SHOULD BE BACKFILLED IMMEDIATELY OR INCORPORATED WITH SILT FENCE INSTALLATION.
4. ROOTS SHOULD BE SEVERED BY TRENCHER, VIBRATORY PLOW OR APPROVED EQUIVALENT. ROOTS OVER 1.5" DIAMETER SHOULD BE CLEANLY CUT BY HAND. ROOT PRUNING ADJACENT TO SPECIMEN TREES MAY REQUIRE SOIL REMOVAL BY SUPERSONIC AIR TOOL TO MINIMIZE TREE AND ROOT IMPACTS.

3 ROOT PRUNING DETAIL

NOT TO SCALE

Final Landscape Plan Landscape Architect Certification Form

It is certified that this landscape plan is in compliance with all plans previously approved by Baltimore County and the Baltimore County comments attendant thereto.

Signature

REBEKAH WOLF

Print Name



06/10/2024

Date

Affix Seal

Final Landscape Plan Owner Certification Form

I certify that I have reviewed this Final Landscape Plan; that I am aware of the regulations presented in the Baltimore County Landscape Manual; and I agree to comply with these regulations and all applicable policy, guidelines and ordinances. I agree to certify the implementation of this approved Final Landscape Plan upon completion of the landscape installation prior to PWA closeout if applicable or not later than one (1) year from the date of approval of this plan to the Department of Permits and Development Management, Development Plans Review, Room 207, County Office Building, 111 W. Chesapeake Avenue, Towson, MD 21204.

Michael Goodyear 5.9.24 Michael Goodyear

12200 Long Green Pike

Glen Arm MD 21078

City State Zip

PGM # Permit #

APPROVED Final Landscape Plans
Baltimore County
Dept. of Permits, Approvals & Inspections

JUNE 10, 2024

SHEET DESIGNATION	CONTRACT NUMBER
L202	25021 POO
JOB ORDER NUMBER	861889
SHEET 28 OF 34	
DRAWING NUMBER	2024-0428
FILE NO.:	

OWNER/DEVELOPER: BALTIMORE COUNTY PROPERTY MANAGEMENT 12200A LONG GREEN PIKE GLEN ARM, MARYLAND 210057 CONTACT: STEVE GALLATIN 410-887-3827	DESIGN PROFESSIONAL: SITE RESOURCES, INC. 4 NORTH PARK DRIVE, SUITE 100 COCKEYSVILLE, MD 21030 410-683-3388 CONTACT: EMILY ANDERSON EMAIL: EANDERSON@SITERESOURCESINC.COM
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PROFESSIONAL CERTIFICATION	AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION	SHT	DRAWING SCALE	PROPERTY MANAGEMENT
LICENSE NO. _____ EXPIRATION DATE _____				N/A	VSE	61NW3	60NW3	PLAN SCALE: AS SHOWN	APPROVED BY: _____
	CONTRACT COMPLETION BOX			R.O.W. NO. _____				PROFILE SCALE: _____	DATE: _____
				N/A					PROPERTY MANAGER
DGN BY: EFA/AMK	BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER		WATER	FIELD ENGINEER
DWN BY: EFA/AMK	REVIEWED BY: _____								APPROVED BY: _____
CHKD BY: MJH	DATE REVIEWED: _____								DATE: _____
									CHIEF

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT

PARKVILLE SENIOR CENTER PARKING

FINAL LANDSCAPE DETAILS II

PARKING RECONFIGURATION - 100% CONSTRUCTION DOCUMENTS

BALTIMORE COUNTY DEPARTMENT AGING

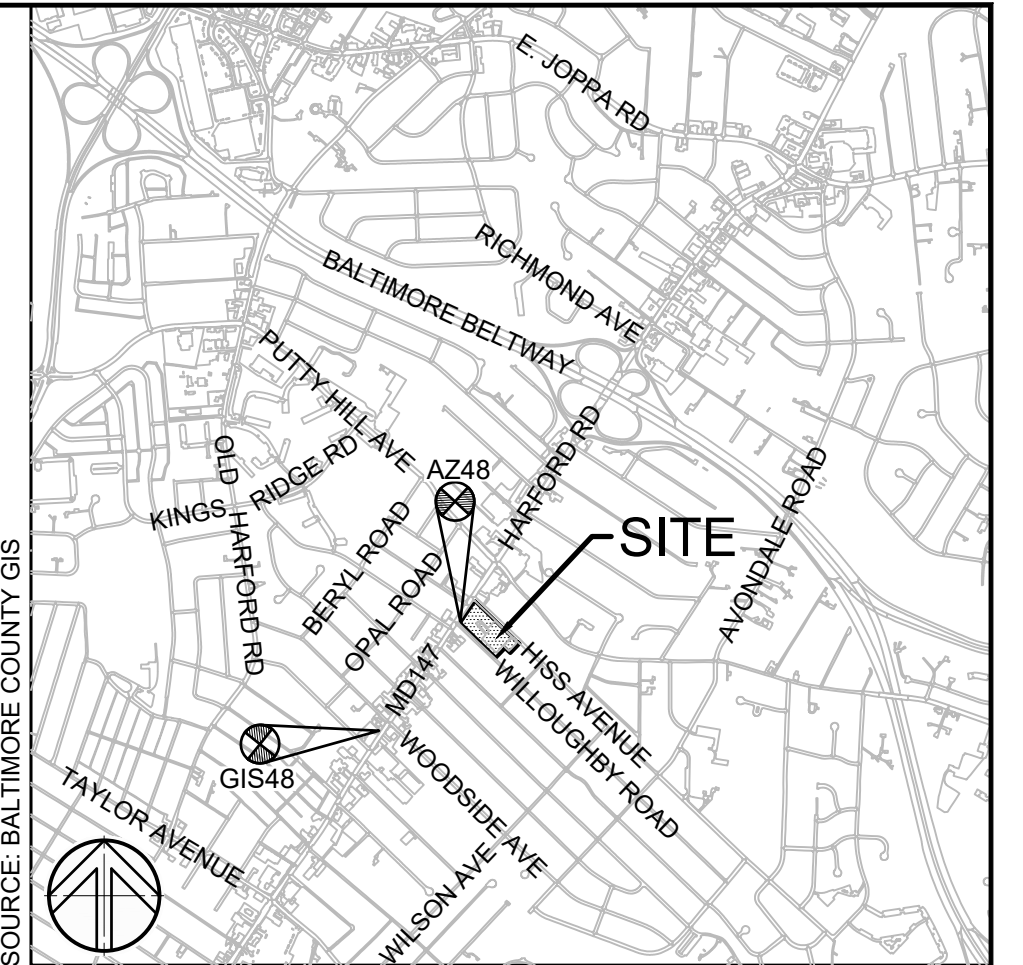
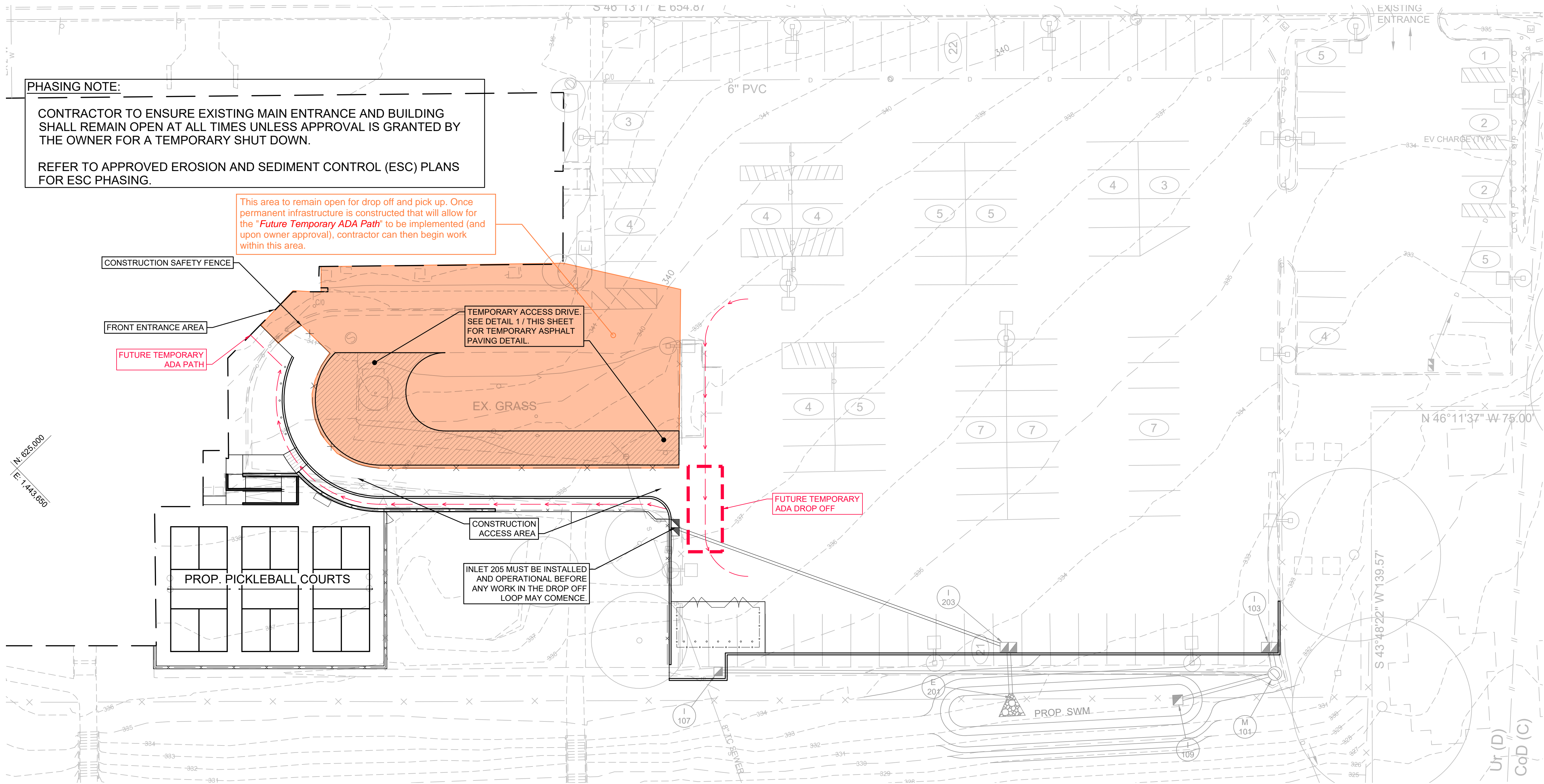
8601 HARFORD RD, PARKVILLE, MD 21234

SUBDIVISION: SECTION-A GLENHAVEN

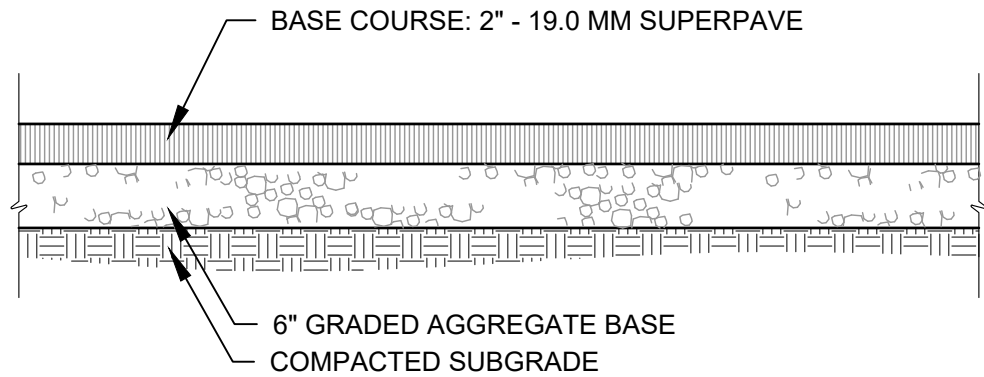
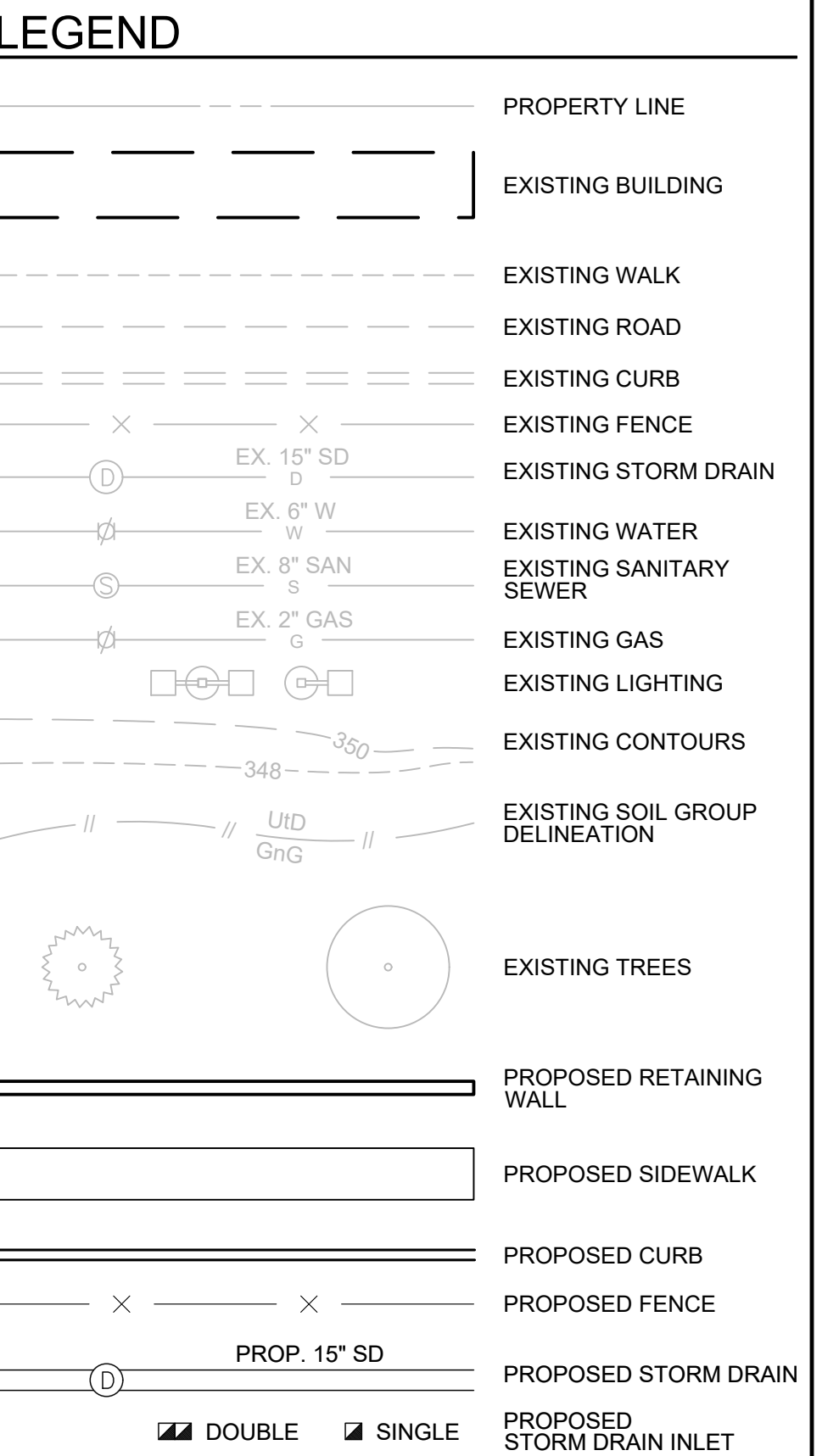
Name _____ Date 6/10/24

ELECTION DIST. NO.: 14C6

DWG. FILENAME: © SITE RESOURCES, INC. Z:\21\21039-baco parkville sr ctr p\04-DWG-Z_ADA-Exhibit.dwg-ADA100 Oct 17, 2024 03:45pm amk





VICINITY MAP 1"=1000'



NOTES:
1. A REPRESENTATIVE FROM THE ON-SITE GEO-TECHNICAL ENGINEER SHALL OBSERVE AND TEST ANY COMPACTED FILL TO BE USED FOR PAVEMENT SUPPORT, AND OBSERVE ANY PROOFROLLING OPERATIONS OF PAVEMENT SUBGRADES.

1 TEMPORARY ASPHALT PAVING

NOT TO SCALE

<div><div>SEAL</div><div><div>6/6/25</div></div></div>	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION	SHT	DRAWING SCALE	PROPERTY MANAGEMENT		
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.						N/A		YSE	61NW3	PLAN SCALE: AS SHOWN	APPROVED BY: PROPERTY MANAGER		
	LICENSE NO. 41978 EXPIRATION DATE 12/20/2025				CONTRACT COMPLETION BOX		N/A		SNE	60NW3	PROFILE SCALE:	DATE:		
	ENGINEER: MARK HADLEY													
<div><div></div><div><div>DATE : 6/6/25</div><div>4 North Park Drive, Suite 100, Cockeysville, MD 21030 410.883.3388 www.siteresourcesinc.com</div></div></div>	DGN BY: EFA/AMK	BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	PROPERTY MANAGEMENT				
	DWN BY: EFA/AMK	REVIEWED BY:								APPROVED BY: CHIEF				
	CHKD BY: MJH	DATE REVIEWED:									DATE:			

MARYLAND COORDINATE SYSTEM NAD83/2011 & NAVD88		SHEET DESIGNATION	CONTRACT NUMBER
BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE – PROPERTY MANAGEMENT		ADA100	25021 P00
PARKVILLE SENIOR CENTER PARKING		JOB ORDER NUMBER	
TEMPORARY PEDESTRIAN ACCESS PLAN		861889	
PARKING RECONFIGURATION – 100% CONSTRUCTION DOCUMENTS		SHEET 29 OF 34	
BALTIMORE COUNTY DEPARTMENT AGING		DRAWING NUMBER	
8601 HARFORD RD, PARKVILLE, MD 21234		2024-0429	
SUBDIVISION: SECTION-A GLENHAVEN		ELECTION DIST. NO.: 14C6	
		FILE NO.:	

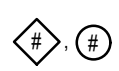
GENERAL DEMOLITION NOTES (APPLIES TO ALL WORK)

- KEEP EXISTING CIRCUITS CONTINUOUS FOR EXISTING EQUIPMENT TO REMAIN, SPICE, EXTEND, AND PROVIDE WIRING AND CONDUIT AS REQUIRED. WIRING AND CONDUIT SHALL EQUAL TO EXISTING, BUT NOT LESS THAN WHAT IS REQUIRED BY NEC. PROVIDE JUNCTION BOXES AS REQUIRED. SIZE/TYPE PER THE NEC AND THE CONTRACT DOCUMENTS.
- FOR EXISTING EQUIPMENT TO BE REMOVED, REMOVE DISCONNECTS, COMBINATION STARTERS, MANUAL STARTERS, AND WIRING/CONDUIT ASSOCIATED WITH THE REMOVED EQUIPMENT ALL THE WAY UP TO THE SOURCE. PANELBOARD, SWITCHBOARD, SWITCHGEAR, OR MOTOR CONTROL CENTER, UNLESS OTHERWISE NOTED. WHERE THE WIRING/CONDUIT ASSOCIATED WITH THE REMOVED EQUIPMENT ALSO FEEDS EXISTING-TO-REMAIN EQUIPMENT, ONLY THAT PORTION OF THE WIRING/CONDUIT THAT FEEDS THE EXISTING-TO-REMAIN EQUIPMENT SHALL REMAIN. SEAL ALL OPENINGS IN THE CONDUIT, JUNCTION BOXES, AND ENCLOSURES.
- WHERE EXISTING EQUIPMENT ARE REMOVED AND THE ASSOCIATED WIRING/CONDUIT ARE NOT BEING REUSED, BREAKERS WHICH ARE ASSOCIATED WITH THE REMOVED EQUIPMENT AND ARE NOT FEEDING EXISTING-TO-REMAIN LOADS, SHALL BE TURNED OFF AND LABELED AS SPARE, UNLESS OTHERWISE NOTED. WHERE ADDITIONAL SPACE IS NEEDED FOR A NEW BREAKER AT THE PANELBOARD, SWITCHBOARD, MOTOR CONTROL CENTER, OR SWITCHGEAR ASSOCIATED WITH THE SPARE BREAKER, THE SPARE BREAKER SHALL BE REMOVED TO CREATE SPACE FOR A NEW BREAKER AS REQUIRED. PROVIDE BREAKER FILLER PLATES IN UNUSED SPACES AS REQUIRED.
- WHERE EXISTING CONDUIT STUBBED UP ABOVE THE FLOOR ARE ASSOCIATED WITH REMOVED EQUIPMENT, AND THE WIRING/CONDUIT ASSOCIATED WITH THE REMOVED EQUIPMENT ARE NOT BEING REUSED, THE EXISTING CONDUIT THAT IS STUBBED ABOVE THE FLOOR SHALL BE CUT OFF FLUSH WITH THE FLOOR, UNLESS OTHERWISE NOTED. CONDUIT OPENING SHALL BE SEALED. THE SEALING MATERIAL SHALL BE FLUSH WITH THE FLOOR.
- SEAL ALL OPENINGS IN CEILING/WALLS/FLOORS/ROOFS, WHERE SUCH OPENINGS WERE CAUSED BY REMOVAL OF EXISTING WIRING, CONDUIT, OR OTHER EQUIPMENT. PROVIDE FIRESTOPPING TO MAINTAIN THE FIRE RESISTANCE RATING OF THE CEILING/WALLS/FLOORS/ROOFS. ALL EXTERIOR PENETRATIONS SHALL BE MADE WATERTIGHT.
- MAINTAIN AND RESTORE, IF INTERRUPTED BY REMOVALS, OR IN THE PATH OF NEW CONSTRUCTION, ALL CIRCUITS, WIRING, CONDUIT, AND FEEDERS PASSING THROUGH AND SERVING UNDISTURBED AREAS, WHETHER INDICATED ON THE DRAWINGS OR NOT.
- EXISTING FIRE ALARM SYSTEM SHALL BE KEPT OPERATIONAL DURING THE CONSTRUCTION PERIOD.
- PROVIDE COVERS ON ALL OPEN JUNCTION BOXES ASSOCIATED WITH EXISTING CIRCUITS THAT ARE BEING USED FOR NEW EQUIPMENT.
- RE-INSTALL EXISTING PANELBOARD COVERS, AND PROVIDE SCREWS AS REQUIRED, FOR EXISTING PANELBOARDS THAT ARE BEING USED FOR NEW EQUIPMENT.
- WHERE A DEVICE, EQUIPMENT, OR RACEWAY IS REMOVED, AND ITS REMOVAL CREATES AN OPENING OR HOLE IN AN EXISTING JUNCTION BOX OR ENCLOSURE, PROVIDE A COVER FOR THE OPENING OR HOLE. COVER SHALL BE GROUNDING IN ACCORDANCE WITH THE NEC.
- REMOVE ELECTRICAL CONNECTIONS AND POWER/CONTROL WIRING/CONDUIT ASSOCIATED WITH REMOVED EQUIPMENT, WHETHER OR NOT THE REMOVED EQUIPMENT ARE SHOWN IN THE ELECTRICAL DRAWINGS, UNLESS OTHERWISE NOTED. COORDINATE WITH ALL OTHER TRADES/DISCIPLINES (INCLUDING, BUT NOT LIMITED TO, MECHANICAL, PLUMBING AND ARCHITECTURAL DISCIPLINES); FIELD SURVEY AND VERIFY EXACT LOCATION OF ALL CONNECTIONS, WIRING, CONDUIT, AND EQUIPMENT.
- WHERE EXISTING EQUIPMENT ARE REMOVED AND THE ASSOCIATED WIRING/CONDUIT ARE BEING REMOVED UP TO THE SOURCE, THIS SHALL MEAN THAT THE WIRING/CONDUIT SHALL BE REMOVED UP TO A POINT WHERE THE CIRCUIT BRANCHES OFF AND FEEDS AN EXISTING-TO-REMAIN EQUIPMENT. THE PURPOSE OF THIS IS SO THAT UNUSED WIRING/CONDUIT IS REMOVED, BUT THE WIRING/CONDUIT FEEDING EXISTING-TO-REMAIN EQUIPMENT REMAINS CONTINUOUS. IF THERE IS NO EXISTING-TO-REMAIN EQUIPMENT ON THE CIRCUIT, THEN THE WIRING/CONDUIT FOR THE ENTIRE CIRCUIT SHALL BE REMOVED, AND THE ASSOCIATED BREAKER SHALL BE TURNED OFF AND LABELED AS "SPARE", UNLESS OTHERWISE NOTED. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NEC.
- WIRING/CONDUIT ASSOCIATED WITH REMOVED EQUIPMENT SHALL BE REMOVED UP TO THE SOURCE, UNLESS OTHERWISE NOTED.
- AFTER REMOVING AN EXISTING EQUIPMENT THAT IS MOUNTED TO A WALL/FLOOR/CEILING, THE WALL/FLOOR/CEILING SHALL BE REPAIRED AND PAINTED TO MATCH ADJACENT SURFACES.
- AT THE TRANSITION POINT BETWEEN WIRING/CONDUIT THAT IS EXISTING-TO-REMAIN, AND WIRING/CONDUIT THAT IS TO BE REMOVED, PROPERLY TERMINATE ALL WIRING/CONDUIT IN ACCORDANCE WITH THE NEC AND THE CONTRACT DOCUMENTS. EXPOSED WIRING AND OPENINGS AT THE ENDS OF CONDUIT SHALL NOT BE ALLOWED. ENDS OF WIRING SHALL BE PROPERLY COVERED AND INSULATED. OPENINGS AT THE ENDS OF CONDUIT SHALL BE PROVIDED WITH JUNCTION BOXES. PROVIDE JUNCTION BOXES AS REQUIRED. SIZE PER NEC.
- AN EXISTING-TO-REMAIN CIRCUIT BREAKER, STARTER, OR SWITCH WHICH IS ASSOCIATED WITH A REMOVED EQUIPMENT, AND WHICH FEEDS NO OTHER LOADS, SHALL BE TURNED OFF AND LABELED "SPARE", UNLESS OTHERWISE NOTED.
- WHERE EXISTING CIRCUIT BREAKERS ARE REMOVED AT EXISTING PANELBOARDS, SWITCHBOARDS, MOTOR CONTROL CENTERS, OR SWITCHGEAR, PROVIDE CIRCUIT BREAKER FILLER PLATES IN THE UNUSED CIRCUIT BREAKER SPACES.
- DEDICATED SUPPORTS, WHICH ARE ASSOCIATED WITH REMOVED EQUIPMENT, AND ARE NO LONGER USED BY ANY OTHER EQUIPMENT, SHALL BE REMOVED, UNLESS OTHERWISE NOTED.
- EXISTING EQUIPMENT AND ASSOCIATED WIRING/CONDUIT SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION. EXISTING EQUIPMENT AND ASSOCIATED WIRING/CONDUIT THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- ELECTRICAL CONNECTIONS AT LIGHTING CONTACTORS, LIGHTING TIME CLOCKS, OR OTHER LIGHTING CONTROL EQUIPMENT, THAT ARE ASSOCIATED WITH LIGHTING CIRCUITS THAT NO LONGER FEED ANY LIGHTING FIXTURES OR OTHER EQUIPMENT, SHALL BE REMOVED. WHERE THE LIGHTING CONTROL EQUIPMENT NO LONGER CONTROL/FEED ANY LIGHTING FIXTURE OR OTHER EQUIPMENT, THE LIGHTING CONTROL EQUIPMENT SHALL BE REMOVED, AND THE ASSOCIATED WIRING/CONDUIT SHALL BE REMOVED UP TO THE SOURCE, UNLESS OTHERWISE NOTED.
- WHERE THE CONTRACT DOCUMENTS REQUIRE THAT EXISTING ELECTRICAL CONDUIT BE REMOVED, AND PORTIONS OF THE EXISTING ELECTRICAL CONDUIT ARE INACCESSIBLE, THE INACCESSIBLE PORTIONS OF THE EXISTING ELECTRICAL CONDUIT MAY BE ABANDONED IN PLACE, WHERE ALL OF THE FOLLOWING CONDITIONS ARE MET:
 - ALL THE WIRING INSIDE THE ABANDONED CONDUIT ARE REMOVED.
 - ONLY THE INACCESSIBLE PORTIONS OF THE CONDUIT ARE BEING ABANDONED IN PLACE.
 - ACCESSIBLE PORTIONS OF THE CONDUIT ARE REMOVED.
 - THE CONDUIT ARE LOCATED INSIDE INACCESSIBLE EXISTING-TO-REMAIN WALLS/FLOORS/CEILINGS, AND CANNOT BE REMOVED WITHOUT DAMAGING THE EXISTING-TO-REMAIN WALLS/FLOORS/CEILINGS.
 - THE INACCESSIBLE CONDUIT IS NOT MARKED FOR REMOVAL BY ANY DRAWING NOTE, SHEET KEY NOTE, OR OTHER DRAWING/SHEET SPECIFIC NOTE.
 - THE INACCESSIBLE CONDUIT IS NOT IN THE PATH OF NEW CONSTRUCTION, AND DOES NOT NEED TO BE REMOVED SO THAT CONSTRUCTION WORK CAN TAKE PLACE.
 - ALL OPENINGS, GAPS, AND PENETRATIONS ARE SEALED AND FIRESTOPPED.
 - ALL WORK COMPLIES WITH THE NEC, AND IS INSPECTED/APPROVED BY THE AHI.

GENERAL ELECTRICAL NOTES (APPLIES TO ALL WORK)

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE FEDERAL/STATE/LOCAL CODES, INTERNATIONAL BUILDING CODE, NFPA 72, NFPA 70, AND THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.
- ELECTRICAL DRAWINGS ARE DIAGRAMMATIC ONLY. FURNISH AND INSTALL ALL REQUIRED JUNCTION BOXES, PULL BOXES, SURFACE/RECESSED DEVICE BOXES, FITTINGS, CONDUIT BODIES, SUPPORTS, ACCESS DOORS, HARDWARE, ACCESSORIES, ETC. REQUIRED FOR A COMPLETE AND WORKING ELECTRICAL SYSTEM, WHETHER OR NOT SUCH EQUIPMENT IS INDICATED ON THE DRAWINGS.
- CONTRACTOR SHALL PERFORM SITE VISITS AND SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH THE PLANS, SPECIFICATIONS AND FIELD CONDITIONS, BEFORE SUBMITTING A BID OR BEFORE SUBMITTING A PRICE PROPOSAL. FIELD VERIFY ALL IMPORTANT DIMENSIONS.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, AND SHALL PAY ALL FEES RELATIVE TO THE INSTALLATION OF HIS WORK.
- PROVIDE ALL EQUIPMENT, COMPONENTS AND DEVICES SHOWN ON THE POWER RISER DIAGRAMS, POWER ONE-LINE DIAGRAMS, BLOCK DIAGRAMS, AND SPECIAL SYSTEMS (INCLUDING, BUT NOT LIMITED TO: FIRE ALARM, SECURITY, TELEPHONE, DATA, CATV) RISER OR BLOCK DIAGRAMS WHETHER OR NOT SUCH EQUIPMENT, COMPONENTS AND DEVICES ARE INDICATED ON THE FLOOR PLANS.
- CONTRACTOR SHALL EXTEND WIRING AND CONDUIT TO ALL EQUIPMENT REQUIRING ELECTRICAL CONNECTIONS, BEFORE "ROUGH-IN" OF OUTLETS, THE LOCATION AND TYPE OF CONNECTIONS/OUTLET SHALL BE VERIFIED FROM SHOP DRAWINGS OF THE EQUIPMENT.
- WHERE JUNCTION BOXES OR ELECTRICAL EQUIPMENT ARE REQUIRED TO BE INSTALLED ABOVE NON-ACCESSIBLE CEILINGS OR CONCEALED INSIDE WALLS, THE CONTRACTOR SHALL FURNISH AND INSTALL ACCESS DOORS TO MAKE THE JUNCTION BOXES OR ELECTRICAL EQUIPMENT ACCESSIBLE.
- ALL ELECTRICAL EQUIPMENT SHALL BE UNDERWRITERS' LABORATORY (UL) LISTED AND LABELED. ALL EQUIPMENT SHALL BE NEW U.O.N.
- EXACT LOCATION OF ALL EQUIPMENT AND ACCESSORIES SHALL BE VERIFIED IN THE FIELD AND COORDINATED WITH OTHER TRADES. ADJUST LOCATIONS TO SUIT FIELD CONDITIONS. COMPLY WITH CLEARANCES AS REQUIRED BY THE NEC, THE MANUFACTURER, AND APPLICABLE CODES.
- ELECTRICAL WIRING, CONDUIT AND CIRCUIT BREAKERS FOR ELECTRICAL EQUIPMENT, MECHANICAL EQUIPMENT, ARCHITECTURAL EQUIPMENT, AND OTHER EQUIPMENT ARE BASED ON EQUIPMENT SPECIFIED IN THE CONTRACT DOCUMENTS. ANY CHANGES IN THE EQUIPMENT SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER. IF THE CONTRACTOR PROVIDES EQUIPMENT OTHER THAN WHAT IS SPECIFIED IN THE CONTRACT DOCUMENTS, AND CHANGES ARE REQUIRED IN THE WIRING, CONDUIT AND CIRCUIT BREAKERS, THEN HE SHALL PROVIDE THE REQUIRED WIRING, CONDUIT AND CIRCUIT BREAKERS AT NO ADDITIONAL COST.
- COMPLY WITH ALL SAFETY REGULATIONS INCLUDING BUT NOT LIMITED TO OSHA, MSHA AND ALL ELECTRICAL SAFETY REGULATIONS.
- CONTRACTOR SHALL FIELD VERIFY THE SWITCH AND/OR CIRCUIT BREAKER SOURCE OF EACH BRANCH OR FEEDER CIRCUIT BEFORE PERFORMING ANY WORK.
- UNLESS OTHERWISE NOTED AS "EXISTING" OR "BY OTHERS" OR "N/C", ALL WORK, DEVICES AND EQUIPMENT ARE NEW AND SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR.
- WHERE THE WORD "PROVIDE" IS USED, THIS SHALL MEAN "FURNISH AND INSTALL".
- PROVIDE DEDICATED NEUTRAL WIRES FOR ALL BRANCH CIRCUITS.
- ALL RACEWAY SHALL BE CONCEALED WHEREVER POSSIBLE. WHERE RACEWAY CANNOT BE CONCEALED, THE RACEWAY AND ASSOCIATED SUPPORTS SHALL BE PAINTED TO MATCH SURROUNDING WALLS OR CEILING.
- CABLES AND RACEWAY SHALL RUN PARALLEL OR PERPENDICULAR TO WALL AND CEILING STRUCTURES (COLUMNS, JOISTS, SUPPORT BEAMS, ETC.) FOR A NEAT APPEARANCE.
- PROVIDE FIRESTOPPING AROUND PENETRATIONS OF FLOORS AND FIRE RATED WALLS. MAINTAIN THE FIRE RESISTANCE RATING OF THE FLOORS AND WALLS. INSTALL UL LISTED FIRESTOPPING MATERIAL IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, AND UL'S REQUIREMENTS.
- WHEREVER NEW CIRCUIT BREAKERS ARE BEING INSTALLED INSIDE EXISTING PANELBOARDS, SWITCHBOARDS, MCCs, OR SIMILAR EQUIPMENT, THE CIRCUIT BREAKER SHALL COME FROM THE SAME MANUFACTURER AS THE EXISTING EQUIPMENT.
- WHEREVER, NEW CIRCUIT BREAKERS ARE BEING PROVIDED AT EXISTING PANELBOARDS, SWITCHBOARDS, MCCs, OR SIMILAR EQUIPMENT, OR WHEREVER EXISTING BREAKERS ARE BEING REUSED TO FEED NEW LOADS, THE SCHEDULES/LABELS ON THE EQUIPMENT SHALL BE REVISED TO REFLECT THE LOADS.
- DO NOT COMBINE SEPARATE BRANCH CIRCUITS IN THE SAME CONDUIT UNLESS OTHERWISE NOTED.
- PROVIDE LABELS FOR ALL ELECTRICAL EQUIPMENT.
- JUNCTION BOXES AND CONDUIT BODIES SHOWN ON THE DRAWINGS ARE MINIMUM QUANTITY ONLY. PROVIDE ADDITIONAL JUNCTION BOXES AND CONDUIT BODIES AS REQUIRED BY THE NEC OR AS RECOMMENDED BY THE WIRE OR CABLE MANUFACTURER. DO NOT EXCEED THE MAXIMUM PULLING TENSIONS OF THE WIRE OR CABLE.
- CONDUIT ROUTING IS SHOWN ONLY FOR SOME CONDUIT. THE CONTRACTOR SHALL PROVIDE ALL CONDUIT SHOWN ON THE POWER RISER DIAGRAMS, POWER ONE-LINE DIAGRAMS AND PANEL SCHEDULES WHETHER OR NOT SUCH CONDUIT IS INDICATED ON THE FLOOR PLANS.
- CONTRACTOR SHALL FIELD VERIFY SIZES OF ALL EXISTING FEEDERS, AND BRANCH CIRCUITS THAT ARE BEING RE-USED. CONTACT ENGINEER IMMEDIATELY IF THERE ARE ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS.
- PROVIDE GROUNDING AND BONDING OF ALL METALLIC RACEWAY, BOXES, TROUGH, WIREWAY, DEVICES AND EQUIPMENT IN ACCORDANCE WITH THE NEC.
- PROVIDE OPERATIONS AND MAINTENANCE MANUALS FOR ALL EQUIPMENT.
- INSTALL ALL DEVICES AND EQUIPMENT ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS AND UL'S REQUIREMENTS.
- CONNECTORS AND TERMINATIONS FOR CONDUCTORS SHALL BE COMPATIBLE WITH THE CONDUCTOR SIZE AND MATERIAL, AND SHALL BE UL LISTED AND NEC COMPLIANT.
- WHERE THE SIZE OF A JUNCTION BOX, PULL BOX OR WIREWAY IS NOT INDICATED ON THE DRAWINGS, THE SIZE SHALL BE SELECTED IN ACCORDANCE WITH THE NEC. WHERE THE ENCLOSURE TYPE OF THE JUNCTION BOX, PULL BOX OR WIREWAY IS NOT INDICATED ON THE DRAWINGS, THE ENCLOSURE TYPE SHALL BE SUITABLE FOR THE ENVIRONMENT WHERE IT IS BEING INSTALLED IN ACCORDANCE WITH THE NEC AND OTHER APPLICABLE CODES.
- ALL SWITCHES SHALL BE LABELED TO INDICATE WHETHER IT IS IN THE ON OR OFF POSITION.
- THE CONTRACTOR SHALL PROVIDE ALL LABOR, PROGRAMMING, MATERIALS, EQUIPMENT, HARDWARE, MOUNTING, WIRING, CONDUIT, JUNCTION BOXES, POWER SUPPLIES, AND ACCESSORIES AS REQUIRED FOR A COMPLETE AND FULLY OPERATIONAL LIGHTING CONTROL SYSTEM. THE CONTRACTOR SHALL PROVIDE ALL STARTUP AND TESTING AS REQUIRED, IN ORDER TO CONFIRM THAT THE LIGHTING CONTROL SYSTEM OPERATES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE LIGHTING CONTROL SYSTEM SHALL COMPLY WITH ALL APPLICABLE CODES, THE MANUFACTURER'S RECOMMENDATIONS, AND THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL CORE DRILL HOLES IN EXISTING CONCRETE WALLS, CEILINGS, AND FLOORS AS REQUIRED FOR THE INSTALLATION OF WIRING/CONDUIT. THE CONTRACTOR SHALL USE GROUND PENETRATING RADAR TO SCAN THE CONCRETE FOR ANY OBSTRUCTIONS OR STRUCTURAL ELEMENTS/COMPONENTS PRIOR TO CORE DRILLING. CORE DRILLING SHALL BE MADE ONLY AT LOCATIONS WHICH ARE FREE OF OBSTRUCTIONS OR STRUCTURAL ELEMENTS/COMPONENTS. DO NOT DRILL, CUT, OR DAMAGE BEAMS, JOISTS, TRUSSES, AND OTHER LOAD BEARING STRUCTURES. ALL WORK SHALL BE REVIEWED AND APPROVED BY THE OWNER, THE ARCHITECT, THE STRUCTURAL ENGINEER, AND THE AHI.

SYMBOL LIST - NEW WORK



DRAWING NOTES, "P" IS DRAWING NOTE NUMBER OR LETTER

ELECTRICAL WIRING AND CONDUIT HOMERUN TO PANEL, SWITCHBOARD OR MCC. LETTER DENOTES PANEL, SWITCHBOARD OR MCC DESIGNATION, NUMBER DENOTES CIRCUIT NUMBER. FOR WIRING AND CONDUIT INFORMATION, REFER TO PANEL/SWITCHBOARD/MCC SCHEDULE, ONE-LINE DIAGRAM, OR DRAWING NOTES. WIRING AND CONDUIT INFORMATION SHALL APPLY TO THE ENTIRE LENGTH OF THE CIRCUIT, THROUGH SWITCHES, DISCONNECTS, CONTROLLERS, STARTERS, JUNCTION BOXES OR OTHER INTERMEDIATE POINTS, ALL THE WAY UP TO THE FINAL LOAD AT THE END OF THE CIRCUIT. U.O.N. IF MORE THAN ONE ARROW IS INDICATED, THE NUMBER OF ARROWS INDICATE THE NUMBER OF CIRCUITS IN THE SAME CONDUIT.



ELECTRICAL WIRING AND CONDUIT U.O.N. REFER TO PANEL/SWITCHBOARD/MCC SCHEDULE, ONE-LINE DIAGRAM, OR DRAWING NOTES FOR WIRING AND CONDUIT INFORMATION. WIRING AND CONDUIT INFORMATION SHALL APPLY TO THE ENTIRE LENGTH OF THE CIRCUIT, THROUGH SWITCHES, DISCONNECTS, CONTROLLERS, STARTERS, JUNCTION BOXES OR OTHER INTERMEDIATE POINTS, ALL THE WAY UP TO THE FINAL LOAD AT THE END OF THE CIRCUIT, U.O.N.



LIGHTING FIXTURE, "XX" IS THE LIGHTING FIXTURE TYPE. SEE "LIGHTING FIXTURE SCHEDULE" FOR ADDITIONAL DETAILS, SYMBOLS AND FIXTURE TYPES.

ABBREVIATIONS

A, AMP	AMPERE
ASHTO	AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS
ADA	AMERICANS WITH DISABILITIES ACT
AF	AMPERE FRAME
AFCI	ARC FAULT CIRCUIT INTERRUPTER
AFF	ABOVE FINISHED FLOOR
AHI	AUTHORITY HAVING JURISDICTION
AHU	AIR HANDLING UNIT
AIC	AMPERE INTERRUPTING CAPACITY
AL	ALUMINUM
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE
B/G	BARE GROUND CONDUCTOR
BLDG	BUILDING
CAT	CATEGORY
CB, C.B.	CIRCUIT BREAKER
CD	CANDIEA
CL	COMPACT FLUORESCENT
CKT	CIRCUIT
CO	CARBON MONOXIDE
CT, CT	CURRENT TRANSFORMER
CU	COPPER
DETAIL X/Y	DETAIL "X" ON DRAWING "Y"
DIA, Ø	DIAMETER
DWG	DRAWING
ECB	ENCLOSED CIRCUIT BREAKER
EF	EXHAUST FAN
ECB	ELECTRICAL GROUND BAR
EMT	ELECTRICAL METALLIC TUBING
EX, EXIST	EXISTING
FACP	FIRE ALARM CONTROL PANEL
PARAP	FIRE ALARM REMOTE ANNUNCIATOR PANEL
FLA	FULL LOAD AMPERES
FCU	FAN COIL UNIT
FR	FRAME
FT	FEET, FOOT
FVNR	FULL VOLTAGE NON-REVERSING
FVR	FULL VOLTAGE REVERSING
G, GND	GROUND
GA	GAUGE
GFCI	GROUND FAULT CIRCUIT INTERRUPTER
HP	HORSEPOWER
HZ	HERTZ
IBC	INTERNATIONAL BUILDING CODE
IEEE	INSTITUTE OF ELECTRICAL AND ELECTRONICS ENGINEER
I/G	INSULATED GROUND CONDUCTOR
INT	INTERIOR
JB	JUNCTION BOX
KA	THOUSAND AMPERES
KAIC	THOUSAND AMPERE INTERRUPTING CAPACITY
KCMIL	THOUSAND CIRCULAR MIL
KW	KILOWATT
LTG	LIGHTING
MC	METAL CLAD
MCA	MINIMUM CIRCUIT AMPACITY
MCB	MAIN CIRCUIT BREAKER
MECH	MECHANICAL
MH	METAL HALIDE
MI	MINERAL INSULATED
MLO	MAIN LUGS ONLY
MOCP	MAXIMUM OVERCURRENT PROTECTION
MOSHA	MARYLAND OCCUPATIONAL SAFETY AND HEALTH ACT
MTD	MOUNTED
MTG	MOUNTING
N/C	NORMALLY CLOSED
NEC	NATIONAL ELECTRICAL CODE
NEMA	NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION
NEUT	NEUTRAL
NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
NIC	NOT IN CONTRACT
NICET	NATIONAL INSTITUTE FOR CERTIFICATION IN ENGINEERING TECHNOLOGIES
NO	NUMBER
NTS	NOT TO SCALE
OC	OVERCURRENT DEVICE
OH	OVERHEAD
OSHA	OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
P	POLE
Ø, PH	PHASE
RECEP	RECEPTACLE
RGS	RIGID GALVANIZED STEEL
RM	ROOM
RTU	ROOF TOP UNIT
SN	SOLID NEUTRAL
S/S	STAINLESS STEEL
TEL, TELE	TELEPHONE
TGB	TELECOMMUNICATIONS GROUND BAR
TRIP	TRIP
TTB	TELEPHONE TERMINAL BOARD
TVSS	TRANSIENT VOLTAGE SURGE SUPPRESSOR
TYP	TYPICAL
UPS	UNINTERRUPTIBLE POWER SUPPLY
UL	UNDERWRITER'S LABORATORIES
U/G	UNDERGROUND
U.O.N.	UNLESS OTHERWISE NOTED
UV	UNIT VENTILATOR
V	VOLTS
VA	VOLT AMPERE
W	WATTS
WP	WEATHERPROOF
XFMR	TRANSFORMER



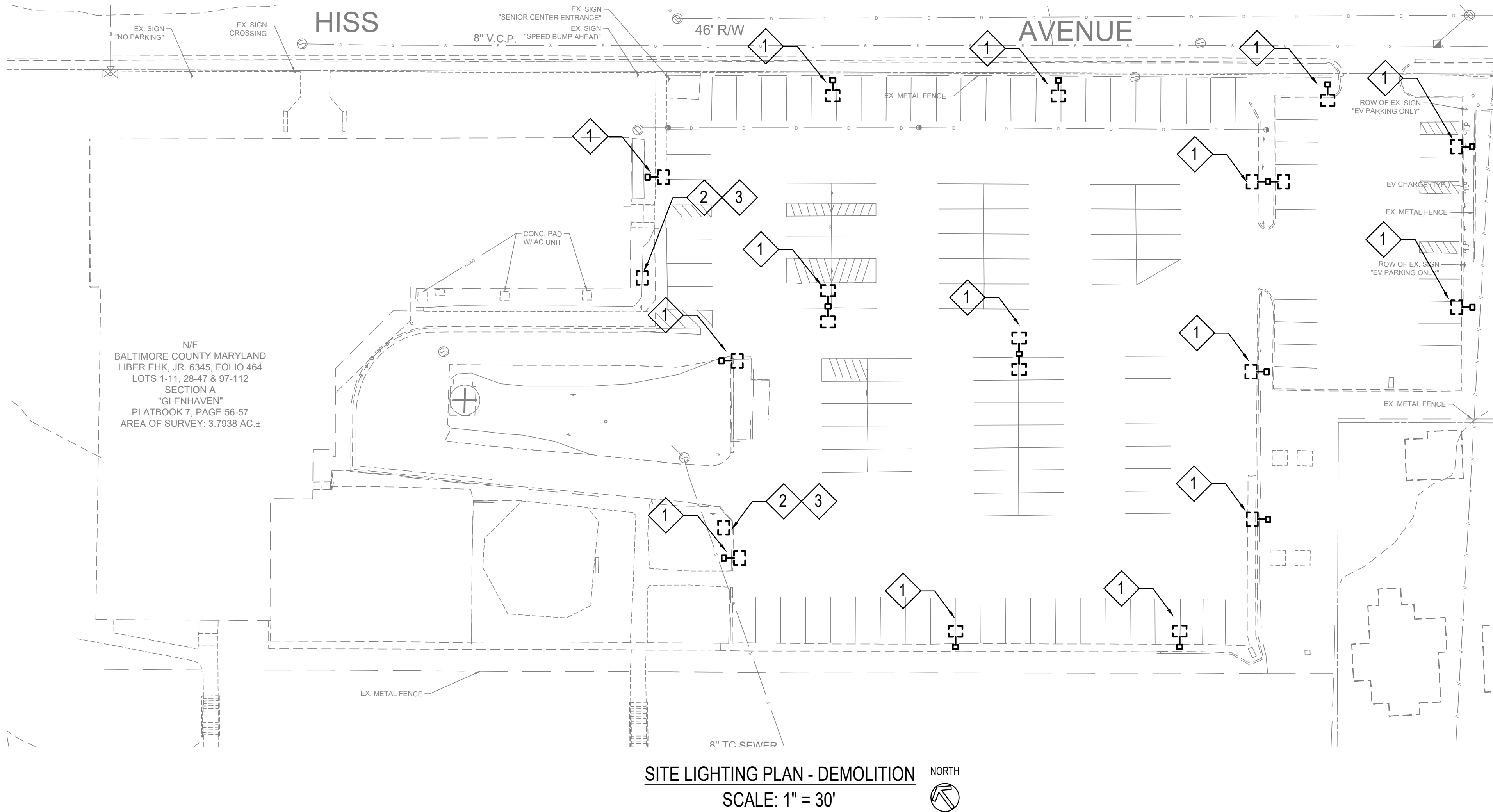
PROFESSIONAL CERTIFICATION				AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SH	DRAWING SCALE	PROPERTY MANAGEMENT	
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 31729 EXPIRATION DATE 07/09/2027				CONTRACT COMPLETION BOX				R.O.W NO.			PLAN SCALE: AS SHOWN	APPROVED BY:	PROPERTY MANAGER
											PROFILE SCALE:	DATE:	
DGN BY: RD/ZQ				BUREAU OF ENGINEERING AND CONSTRUCTION		TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	PROPERTY MANAGEMENT
DWN BY: RD/ZQ				REVIEWED BY:									APPROVED BY:
CHKD BY: RD				DATE REVIEWED:									CHIEF
													DATE:

MIN ENGINEERING, INC.
Consulting Engineers

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE – PROPERTY MANAGEMENT
PARKVILLE SENIOR CENTER PARKING
GENERAL NOTES, SYMBOL LIST, AND ABBREVIATIONS
PARKING RECONFIGURATION – 100% CONSTRUCTION DOCUMENTS
BALTIMORE COUNTY DEPARTMENT OF PARKS AND RECREATION
SUBDIVISION: SECTION--A GLENHAVEN 8601 HARFORD RD, PARKVILLE, MD 21234 ELECTION DIST. NO.: 14C6

SHEET DESIGNATION	CONTRACT NUMBER
E-001	25021 POO
	JOB ORDER NUMBER
	861889
	SHEET 30 OF 34
	DRAWING NUMBER
	2024-0430
	FILE NO.:

DWG. FILENAME © SITE RESOURCES, INC. L:\2023\23011 - BALT CO ON-CALL - SRF\23011A - PARKVILLE SENIOR CENTER\Drawings\Elec\ED-100.dwg-ED-100 Jun 10, 2025 05:33pm Ryan



GENERAL NOTES:

1. ALL EXISTING LIGHTING FIXTURES THAT ARE INDICATED TO BE REMOVED, SHALL BE KEPT FULLY OPERATIONAL UNTIL AFTER ALL THE NEW LIGHTING FIXTURES ARE INSTALLED AND FULLY OPERATIONAL. THE EXISTING LIGHTING FIXTURES SHALL ONLY BE REMOVED AFTER THE NEW LIGHTING FIXTURES ARE INSTALLED AND FULLY OPERATIONAL.

DRAWING NOTES:

1. REMOVE EXISTING LIGHTING FIXTURE (INCLUDES ALL LUMINAIRES AND LIGHT POLES). ASSOCIATED CONCRETE POLE FOUNDATION SHALL BE REMOVED DOWN TO 36" (MINIMUM) BELOW GRADE. ASSOCIATED WIRING AND CONDUIT SHALL BE REMOVED UP TO THE SOURCE, EXCEPT AS FOLLOWS:
- 1.1. UNDERGROUND CONDUIT MAY BE ABANDONED IN PLACE, AS LONG AS ALL OF THE FOLLOWING CONDITIONS ARE MET:
- 1.1.1. EXISTING WIRING INSIDE THE ABANDONED UNDERGROUND CONDUIT ARE REMOVED.
- 1.1.2. AT THE LOCATION WHERE CONDUIT STUBS UP ABOVE GRADE, THE CONDUIT ARE REMOVED DOWN TO AT LEAST 36" BELOW GRADE, AND UP TO 36" HORIZONTAL DISTANCE FROM THE STUB UP LOCATION.
- 1.1.3. UNDERGROUND CONDUIT THAT ARE IN THE PATH OF NEW CONSTRUCTION, OR THAT NEED TO BE REMOVED SO THAT CONSTRUCTION WORK CAN TAKE PLACE, ARE REMOVED.
- 1.1.4. THERE IS NO EARTHWORK (EXCAVATION, BACKFILL, ETC.) IN THE AREAS WHERE THE UNDERGROUND CONDUIT ARE BEING ABANDONED.
2. REMOVE EXISTING HANDHOLE. ASSOCIATED WIRING AND CONDUIT SHALL REMAIN WHERE IT FEEDS/SERVES EXISTING-TO-REMAIN EQUIPMENT. ASSOCIATED WIRING AND CONDUIT WHICH FEED/SERVE ONLY REMOVED EQUIPMENT SHALL BE REMOVED UP TO THE SOURCE, EXCEPT AS FOLLOWS:
- 2.1. UNDERGROUND CONDUIT MAY BE ABANDONED IN PLACE, AS LONG AS ALL OF THE FOLLOWING CONDITIONS ARE MET:
- 2.1.1. EXISTING WIRING INSIDE THE ABANDONED UNDERGROUND CONDUIT ARE REMOVED.
- 2.1.2. AT THE LOCATION WHERE CONDUIT CONNECTS TO THE HANDHOLE, THE CONDUIT ARE REMOVED UP TO 36" HORIZONTAL DISTANCE FROM THE HANDHOLE.
- 2.1.3. UNDERGROUND CONDUIT THAT ARE IN THE PATH OF NEW CONSTRUCTION, OR THAT NEED TO BE REMOVED SO THAT CONSTRUCTION WORK CAN TAKE PLACE, ARE REMOVED.
- 2.1.4. THERE IS NO EARTHWORK (EXCAVATION, BACKFILL, ETC.) IN THE AREAS WHERE THE UNDERGROUND CONDUIT ARE BEING ABANDONED.
3. EXISTING-TO-REMAIN WIRING SHALL BE DISCONNECTED FROM ALL EQUIPMENT, AND CAREFULLY PULLED OUT OF EXISTING-TO-REMAIN CONDUIT TO ALLOW FOR DEMOLITION WORK TO TAKE PLACE. PRIOR TO PULLING THE WIRING OUT OF THE EXISTING-TO-REMAIN CONDUIT, TEST THE WIRING FOR CONTINUITY AND RUN/OPERATE THE ASSOCIATED EQUIPMENT TO ENSURE THAT THE WIRING IS OPERATIONAL. WIRING THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST.



PROFESSIONAL CERTIFICATION				AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SH	DRAWING SCALE		PROPERTY MANAGEMENT	
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				CONTRACT COMPLETION BOX							PROFILE SCALE: _____		DATE: _____	
				DGN BY: RD/ZQ	BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	PROPERTY MANAGEMENT	
MIN ENGINEERING, INC. Consulting Engineers				REVIEWED BY: _____									APPROVED BY: _____	CHIEF
				CHKD BY: RD	DATE REVIEWED: _____								DATE: _____	

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE – PROPERTY MANAGEMENT

PARKVILLE SENIOR CENTER PARKING

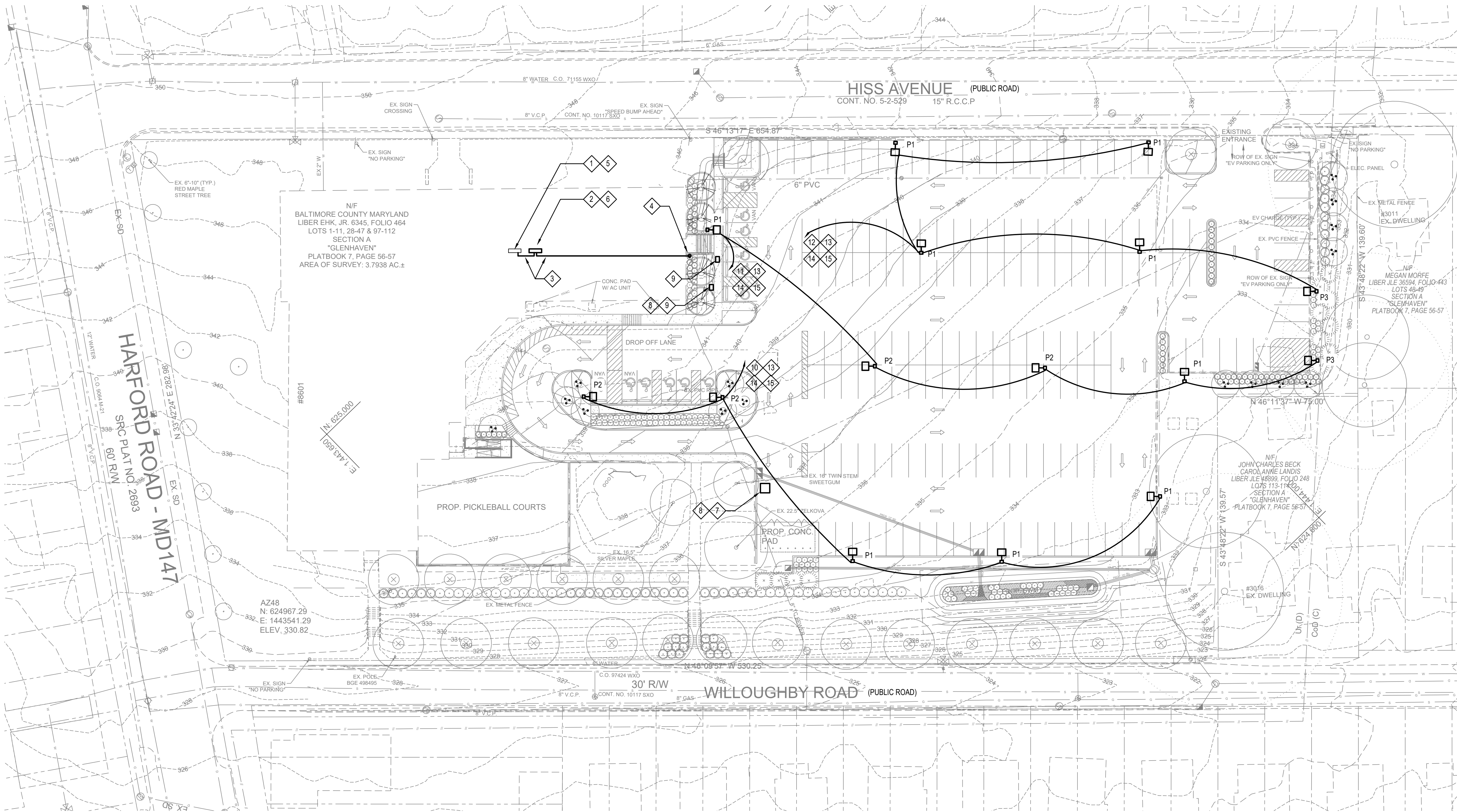
SITE LIGHTING PLAN - DEMOLITION

PARKING RECONFIGURATION – 100% CONSTRUCTION DOCUMENTS

BALTIMORE COUNTY DEPARTMENT OF PARKS AND RECREATION

SUBDIVISION: SECTION-A GLENHAVEN 8601 HARFORD RD, PARKVILLE, MD 21234 ELECTION DIST. NO.: 14C6

SHEET DESIGNATION	CONTRACT NUMBER
ED-100	25021 POO
	JOB ORDER NUMBER
	861889
	SHEET 31 OF 34
	DRAWING NUMBER
	2024-0431
	FILE NO.: _____



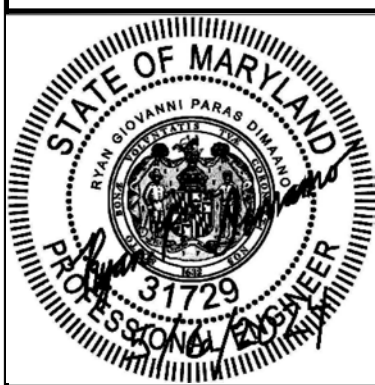
SITE LIGHTING PLAN - NEW WORK
SCALE: 1" = 30'

GENERAL NOTES:

1. U/G WARNING TAPE SHALL BE PROVIDED ABOVE ALL U/G CONDUIT. THE DEPTH OF THE U/G WARNING TAPE SHALL BE 12" BELOW FINISHED GRADE, U.O.N.
2. LIGHT POLES WHICH ARE ADJACENT TO 4 PARKING SPACES, SHALL BE LOCATED AT THE INTERSECTION OF THE 4 PARKING SPACES, SUCH THAT 1/4 OF THE LIGHT POLE BASE IS IN EACH PARKING SPACE.
3. LIGHT POLES WHICH ARE ADJACENT TO ONLY 2 PARKING SPACES, SHALL BE LOCATED AT THE INTERSECTION OF THE 2 PARKING SPACES, SUCH THAT 1/2 OF THE LIGHT POLE BASE IS IN EACH PARKING SPACE.
4. EXACT LOCATION OF ELECTRICAL EQUIPMENT (INCLUDING, BUT NOT LIMITED TO, LIGHT POLES, CONDUIT, AND HANDHOLES) SHALL BE ADJUSTED BASED ON THE EXACT LOCATION OF THE EXISTING UNDERGROUND UTILITIES/STRUCTURES (PER THE UTILITY SURVEY PERFORMED BY THE CONTRACTOR), AND THE PROPOSED CIVIL/LANDSCAPE UNDERGROUND UTILITIES/STRUCTURES (SEE CIVIL/LANDSCAPE DRAWINGS). EXACT LOCATIONS SHALL BE MARKED ON THE GROUND IN THE FIELD, MARKED UP ON THE DRAWINGS, AND SUBMITTED FOR REVIEW/APPROVAL TO THE OWNER/ENGINEER PRIOR TO STARTING ANY WORK.

DRAWING NOTES:

1. EXISTING PANEL HA, SECTION 2, PANEL 1 IS 208/120V, 3 PHASE, 4 WIRE, 225A, MANUFACTURED BY GENERAL ELECTRIC.
2. PROVIDE TIME CLOCK. TIME CLOCK SHALL BE POWERED FROM THE UNSWITCHED SIDE OF ONE OF THE 120V, 20A LIGHTING CIRCUITS WHICH RUNS THROUGH IT. THE WIRING/CONDUIT WHICH FEEDS THE TIME CLOCK, SHALL NOT BE LESS THAN THE WIRING/CONDUIT OF THE LIGHTING CIRCUIT.
3. LINE REPRESENTS THE ROUTING OF THE CONDUIT INSIDE THE BUILDING. THE CONDUIT SHALL BE ROUTED AS HIGH AS POSSIBLE, IN THE CEILING AREA OF THE 1ST FLOOR, IN THE ROOMS WHICH ARE LOCATED TOWARDS THE SOUTH OF THE CORRIDOR. EXPOSED CONDUIT SHALL PAINTED TO MATCH THE SURROUNDING WALLS/CEILING. REMOVE/REINSTALL/REPAIR EXISTING SUSPENDED CEILING/WALLS AS REQUIRED TO RUN THE CONDUIT.
4. CONDUIT SHALL RISE ABOVE GRADE AT THE EXTERIOR WALL, AND SHALL ENTER THE BUILDING AT THE CEILING HEIGHT OF THE 1ST FLOOR, AT THIS LOCATION, THIS LOCATION SHALL BE CALLED LOCATION "LOC1".
5. EXISTING PANELBOARD IS RECESSED INTO THE WALL. THE CONDUIT ENTERING THE PANELBOARD SHALL BE CONCEALED IN THE WALL. THE CONTRACTOR SHALL REMOVE PORTIONS OF THE EXISTING WALL (DRYWALL) AS REQUIRED IN ORDER TO INSTALL THE CONDUIT WITHIN. THE CONTRACTOR SHALL PATCH/PAINT THE WALL TO MATCH THE SURROUNDING WALL.
6. TIME CLOCK "TC1". THE TIME CLOCK SHALL BE SURFACE MOUNTED. THE EXPOSED CONDUIT ENTERING THE TIME CLOCK SHALL BE PAINTED TO MATCH THE SURROUNDING WALL.
7. PRECAST CONCRETE HANDHOLE "HB2" WITH 4" LONG X 4" WIDE X 4" DEEP INSIDE DIMENSIONS. SEE DETAIL C6001.
8. PULL EXISTING WIRING (EXISTING-TO-REMAIN WIRING WAS REMOVED DURING DEMOLITION) THROUGH THE HANDHOLE UP TO ALL ASSOCIATED EQUIPMENT. WHERE THE EXISTING WIRING IS TOO SHORT TO REACH THE HANDHOLE OR THE ASSOCIATED EQUIPMENT, PROVIDE WIRING AS REQUIRED. SPLICE, EXTEND, AND PROVIDE WIRING/CONDUIT AS REQUIRED. TO EXTEND THE WIRING/CONDUIT TO THE HANDHOLE, WIRING/CONDUIT SHALL BE EQUAL TO EXISTING. MAKE THE WIRING/CONDUIT AND ALL ASSOCIATED EQUIPMENT COMPLETE AND FULLY OPERATIONAL. RUN/OPERATE THE ASSOCIATED EQUIPMENT, AND CONFIRM THAT IT WORKS.
9. POLYMER CONCRETE HANDHOLE "HB1" WITH 36" LONG X 24" WIDE X 30" DEEP MINIMUM DIMENSIONS. SEE DETAIL B6001.
10. HOMERUN BRANCH CIRCUIT TO EXISTING PANEL HA SECTION 2, CIRCUIT 76.
11. HOMERUN BRANCH CIRCUIT TO EXISTING PANEL HA SECTION 2, CIRCUIT 83.
12. HOMERUN BRANCH CIRCUIT TO EXISTING PANEL HA SECTION 2, CIRCUIT 84.
13. PROVIDE A 120V, 1P, 20A, 10KAIC CIRCUIT BREAKER AT THE EXISTING SPACE OF THE EXISTING PANELBOARD.
14. BRANCH CIRCUIT WIRING/CONDUIT SHALL RUN FROM THE FARTHEST LOAD AT THE END OF THE BRANCH CIRCUIT TO THE EXISTING PANELBOARD, THROUGH HANDHOLE "HB1". LOCATION "LOC1". AND TIME CLOCK "TC1". THE WIRING FOR 3 BRANCH CIRCUITS SHALL COMBINE INTO ONE 1/4" CONDUIT. WHERE THE BRANCH CIRCUITS RUN FROM HANDHOLE "HB1" TO THE EXISTING PANELBOARD.
15. BRANCH CIRCUIT WIRING/CONDUIT SHALL BE 2#6 & #6G IN 1" IC, EXCEPT WHERE THE DRAWING NOTES INDICATE THAT A LARGER CONDUIT SIZE SHALL BE USED (INCLUDING, BUT NOT LIMITED TO, CASES WHERE MULTIPLE BRANCH CIRCUITS ARE RUN IN THE SAME CONDUIT). UNDERGROUND CONDUIT SHALL BE PVC SCHEDULE 40, DIRECT BURIED AT 30" BELOW GRADE MINIMUM.




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DWN BY: RD/ZQ				REVIEWED BY:																								FIELD ENGINEER			
CHKD BY: RD				DATE REVIEWED:																											
																												APPROVED BY: CHIEF			
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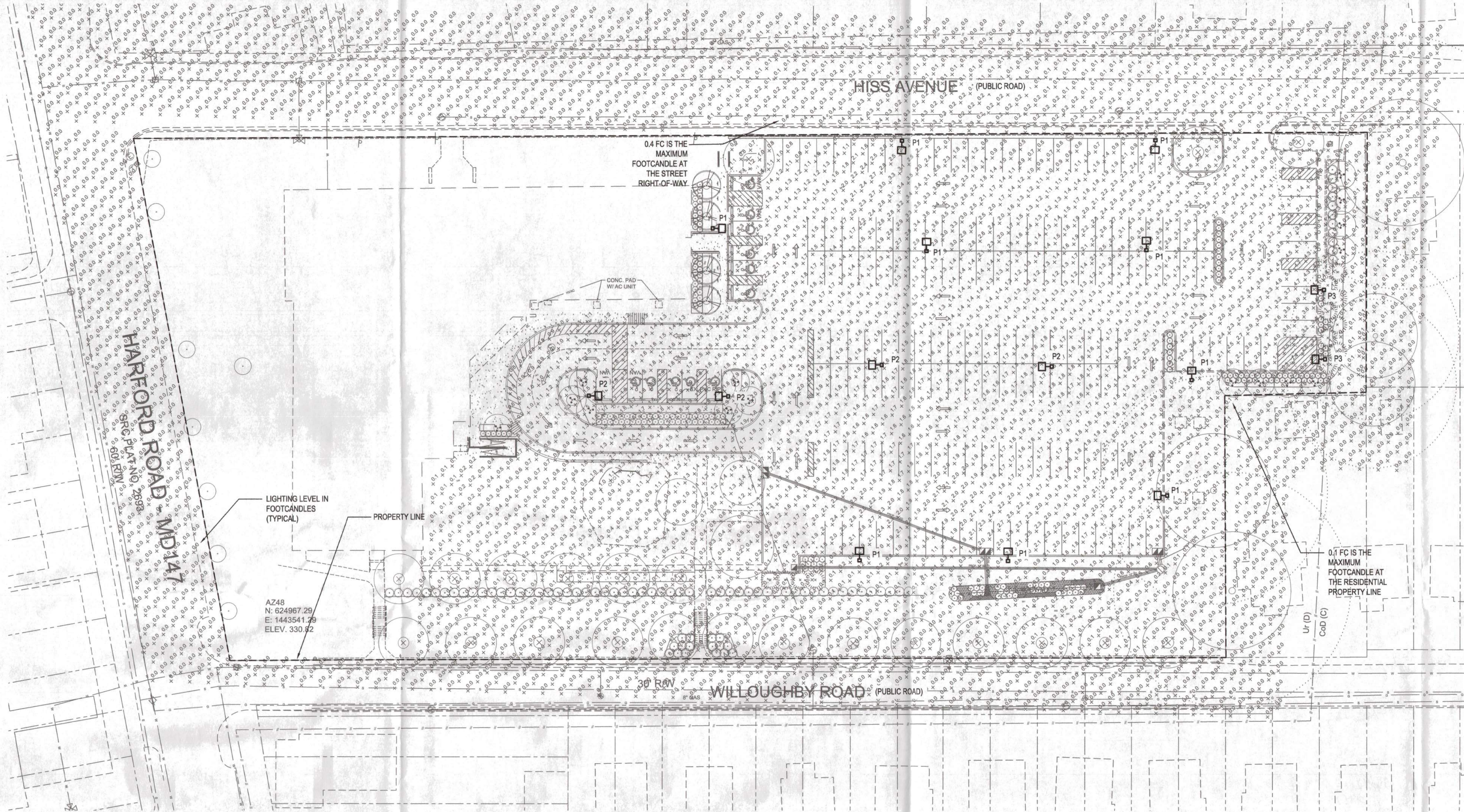
MIN ENGINEERING, INC.
Consulting Engineers

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT
PARKVILLE SENIOR CENTER PARKING
SITE LIGHTING PLAN - NEW WORK
PARKING RECONFIGURATION - 100% CONSTRUCTION DOCUMENTS
BALTIMORE COUNTY DEPARTMENT OF PARKS AND RECREATION
SUBDIVISION: SECTION-A GLENHAVEN 8601 HARFORD RD, PARKVILLE, MD 21234

ELECTION DIST. NO.: 14C6

SHEET DESIGNATION	CONTRACT NUMBER
E-100	25021 P00
	JOB ORDER NUMBER 861889
	SHEET 32 OF 34 DRAWING NUMBER 2024-0432
	FILE NO.: 2024-0432

DWG. FILENAME © SITE RESOURCES, INC. L:\2023\23011 - BALTO CO ON-CALL - SR\23011A - PARKVILLE SENIOR CENTER\Drawings\Elec\E-100.101.dwg - E-101 May 06, 2024 04:22pm Ryan



GENERAL NOTES:

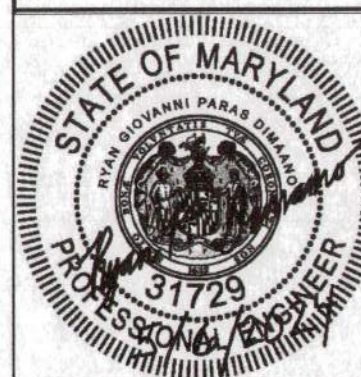
1. THE LIGHTING LEVEL AT THE RESIDENTIAL PROPERTY LINE DOES NOT EXCEED 0.5 FOOTCANDLES.
2. THE LIGHTING LEVEL AT THE STREET RIGHT-OF-WAY AND COMMERCIAL PROPERTY LINE DOES NOT EXCEED 1.0 FOOTCANDLES.
3. LIGHT POLE HEIGHT IS INDICATED IN THE LIGHTING FIXTURE SCHEDULE ON DRAWING E-801.
4. LIGHT POLE CUT SHEETS ARE SHOWN ON DRAWING E-801.
5. LUMINAIRES MOUNTED ON THE LIGHT POLES AND/OR WALLS SHALL BE ORIENTED 90 DEGREES TO THE LIGHT POLES AND/OR WALLS. DO NOT TILT THE LUMINAIRES ABOVE OR BELOW THE HORIZONTAL PLANE.

SITE LIGHTING CALCULATIONS
SCALE: 1" = 30'



APPROVED *Lighting Plans*
Baltimore County
Dept. of Permits, Approvals & Inspections

Name *Lighting Plans* Date *5/30/2024*



PROFESSIONAL CERTIFICATION				AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHT	DRAWING SCALE	PROPERTY MANAGEMENT
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 31729 EXPIRATION DATE 07/06/2025							R.O.W. NO.			PLAN SCALE: AS SHOWN	APPROVED BY: _____ PROPERTY MANAGER
				CONTRACT COMPLETION BOX						PROFILE SCALE: _____	DATE: _____
MIN ENGINEERING, INC. Consulting Engineers				BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER
				REVIEWED BY: _____							PROPERTY MANAGEMENT
CHD BY: RD				DATE REVIEWED: _____							APPROVED BY: _____ CHIEF
											DATE: _____




BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT
PARKVILLE SENIOR CENTER PARKING

SITE LIGHTING CALCULATIONS
PARKING RECONFIGURATION - 100% CONSTRUCTION DOCUMENTS
BALTIMORE COUNTY DEPARTMENT OF PARKS AND RECREATION
SUBDIVISION: SECTION-A GLENHAVEN 8601 HARFORD RD, PARKVILLE, MD 21234

ELECTION DIST. NO.: 14C6

SHEET DESIGNATION	CONTRACT NUMBER
E-101	25021 POO
	JOB ORDER NUMBER 861889
	SHEET 33 OF 34
	DRAWING NUMBER 2024-0433
	FILE NO.: _____

LIGHTING FIXTURE SCHEDULE

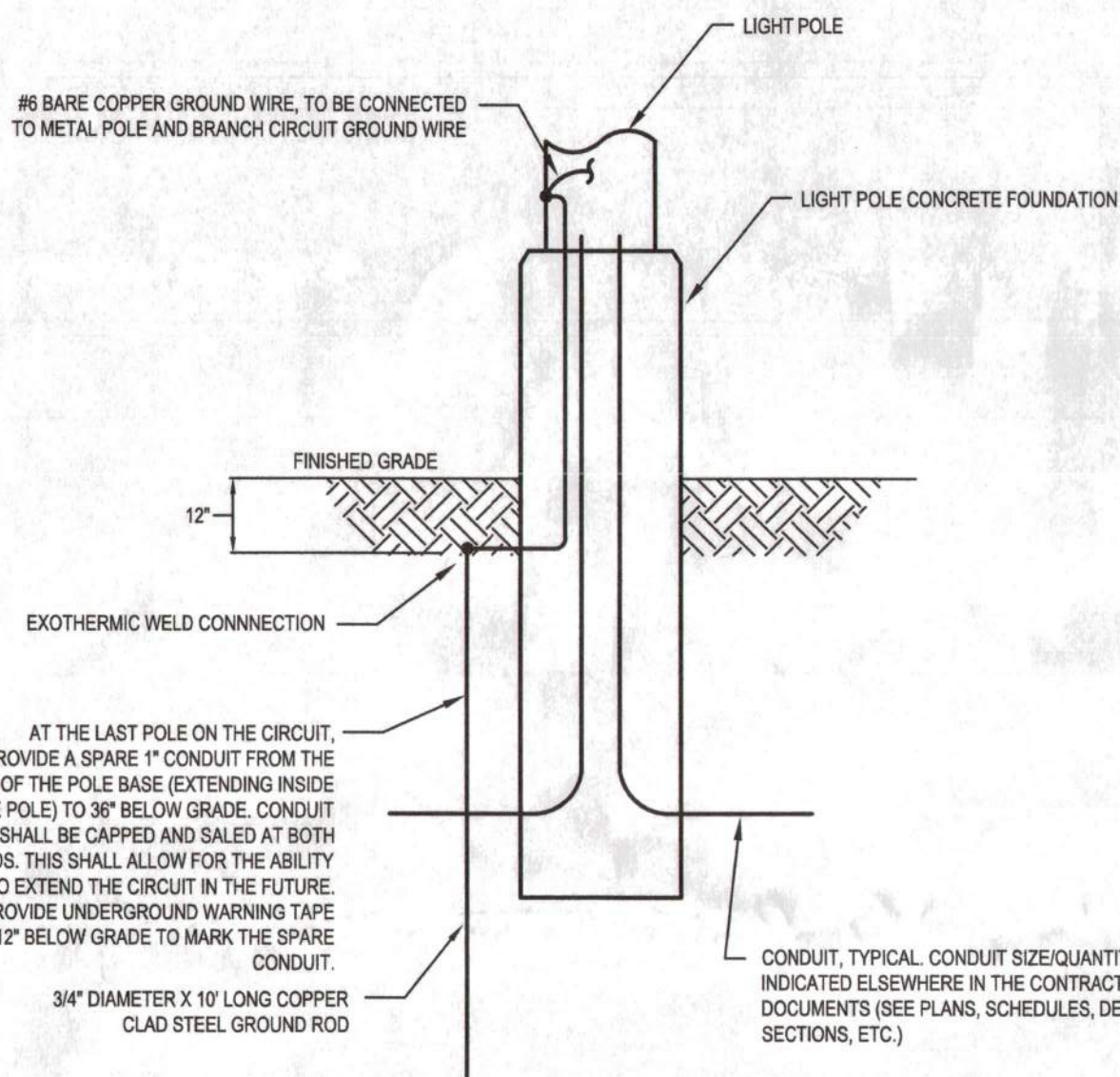
SYMBOL	FIXTURE DESCRIPTION	MANUFACTURER CATALOG #	LAMPS		VOLTS	VOLT AMPERES	LUMENS	MOUNTING	REMARKS
			NO.	TYPE					
 P1	LED LIGHT POLE, 4000K	LITHONIA LIGHTING MODEL #DSX0-LED-P5-40K-80CRI-BLC4-MVOLT-RPA-FAO-COLOR BY ARCHITECT (LUMINAIRE) #RSS-20-4-5B-DM19AS-COLOR BY ARCHITECT (POLE)	1	LED	120-277	91	9,083	20' HIGH POLE	
 P2	LED LIGHT POLE, 4000K	LITHONIA LIGHTING MODEL #DSX0-LED-P6-40K-80CRI-T5W-MVOLT-RPA-FAO-COLOR BY ARCHITECT (LUMINAIRE) #RSS-20-4-5B-DM19AS-COLOR BY ARCHITECT (POLE)	1	LED	120-277	137	18,183	20' HIGH POLE	
 P3	LED LIGHT POLE, 4000K	LITHONIA LIGHTING MODEL #DSX0-LED-P4-40K-80CRI-LCCO-MVOLT-RPA-FAO-COLOR BY ARCHITECT (LUMINAIRE) #RSS-20-4-5B-DM19AS-COLOR BY ARCHITECT (POLE)	1	LED	120-277	93	8,169	20' HIGH POLE	

LIGHTING NOTES:

- PROVIDE LIGHTING FIXTURES INDICATED ON THE LIGHTING FIXTURE SCHEDULE. LIGHTING FIXTURES SUBJECT TO APPROVAL BY THE OWNER, ENGINEER AND ARCHITECT.
- ALL LIGHTING FIXTURES INSTALLED OUTDOORS SHALL BE UL LISTED FOR WET LOCATIONS.
- WHERE "COLOR BY ARCHITECT" IS INDICATED IN THE MODEL NUMBER OF THE LIGHTING FIXTURE, THIS SHALL MEAN THAT THE COLOR SHALL BE SELECTED BY THE ARCHITECT AND/OR ENGINEER DURING THE SHOP DRAWING SUBMITTAL STAGE. SUBMIT COLOR CHART AND/OR COLOR SAMPLES FOR REVIEW.
- LUMINAIRE SHALL OPERATE ON ANY LINE VOLTAGE FROM 120-277V.

LIGHTING NOTES:

1. PROVIDE LIGHTING FIXTURES INDICATED ON THE LIGHTING FIXTURE SCHEDULE. LIGHTING FIXTURES SUBJECT TO APPROVAL BY THE OWNER, ENGINEER AND ARCHITECT.
2. ALL LIGHTING FIXTURES INSTALLED OUTDOORS SHALL BE UL LISTED FOR WET LOCATIONS.
3. WHERE "COLOR BY ARCHITECT" IS INDICATED IN THE MODEL NUMBER OF THE LIGHTING FIXTURE, THIS SHALL MEAN THAT THE COLOR SHALL BE SELECTED BY THE ARCHITECT AND/OR ENGINEER DURING THE SHOP DRAWING SUBMITTAL STAGE. SUBMIT COLOR CHART AND/OR COLOR SAMPLES FOR REVIEW.
4. LUMINAIRE SHALL OPERATE ON ANY LINE VOLTAGE FROM 120-277V.



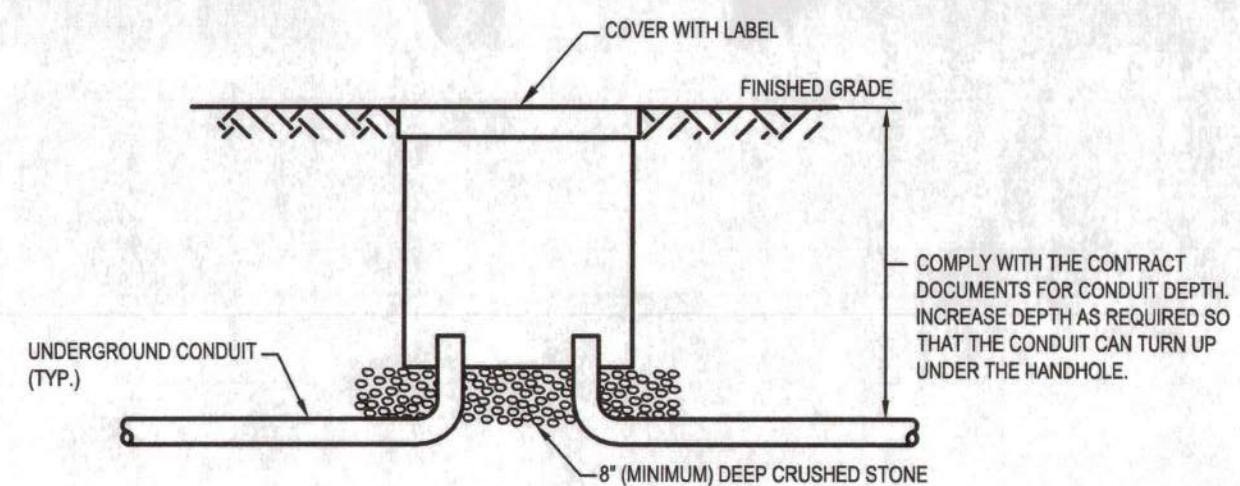
DETAIL NOTES:

1. COMPLY WITH THIS DETAIL FOR ALL LIGHT POLE CONCRETE FOUNDATIONS, U.O.N.
2. THE CONTRACTOR SHALL PROVIDE DELEGATED DESIGN SERVICES FOR THE DESIGN OF THE LIGHT POLE CONCRETE FOUNDATION. THE DELEGATED DESIGN DRAWINGS SHALL BE SEALED/SEIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF MARYLAND.
3. THE LIGHT POLE CONCRETE FOUNDATION SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
 - 3.1. TOP OF THE CONCRETE FOUNDATION SHALL BE 36" ABOVE FINISHED GRADE.
 - 3.2. TOP OF THE CONCRETE FOUNDATION SHALL HAVE A 1" CHAMFERED EDGE.
 - 3.3. CONCRETE FOUNDATION DIAMETER SHALL NOT BE LESS THAN 24".
 - 3.4. CONCRETE FOUNDATION SHALL BE COORDINATED WITH THE LIGHT POLE MOUNTING BOLTS.

A LIGHT POLE CONCRETE FOUNDATION DETAIL

E-601

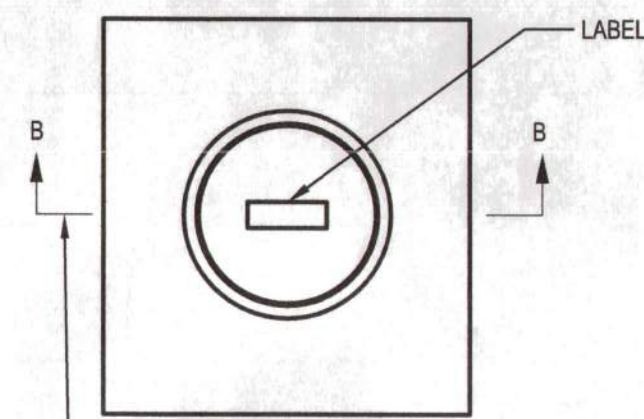
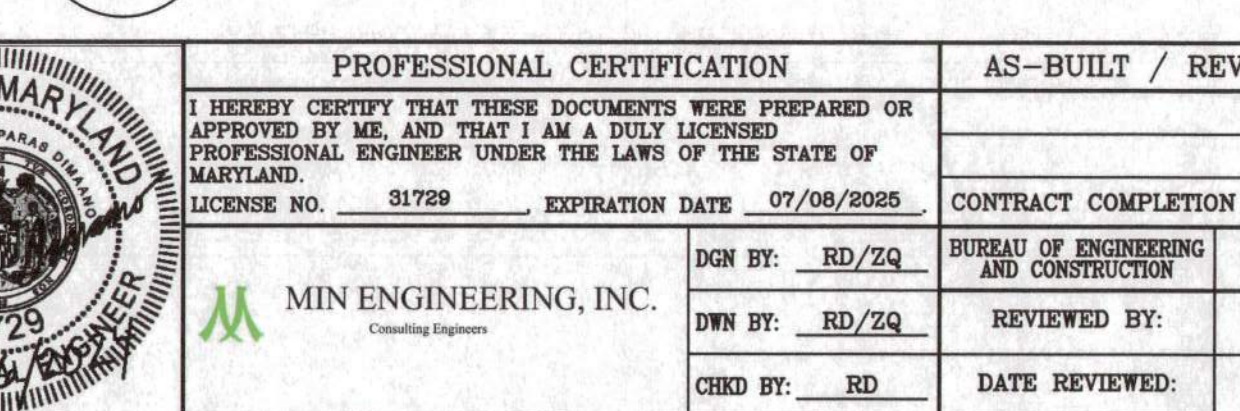
NOT TO SCALE



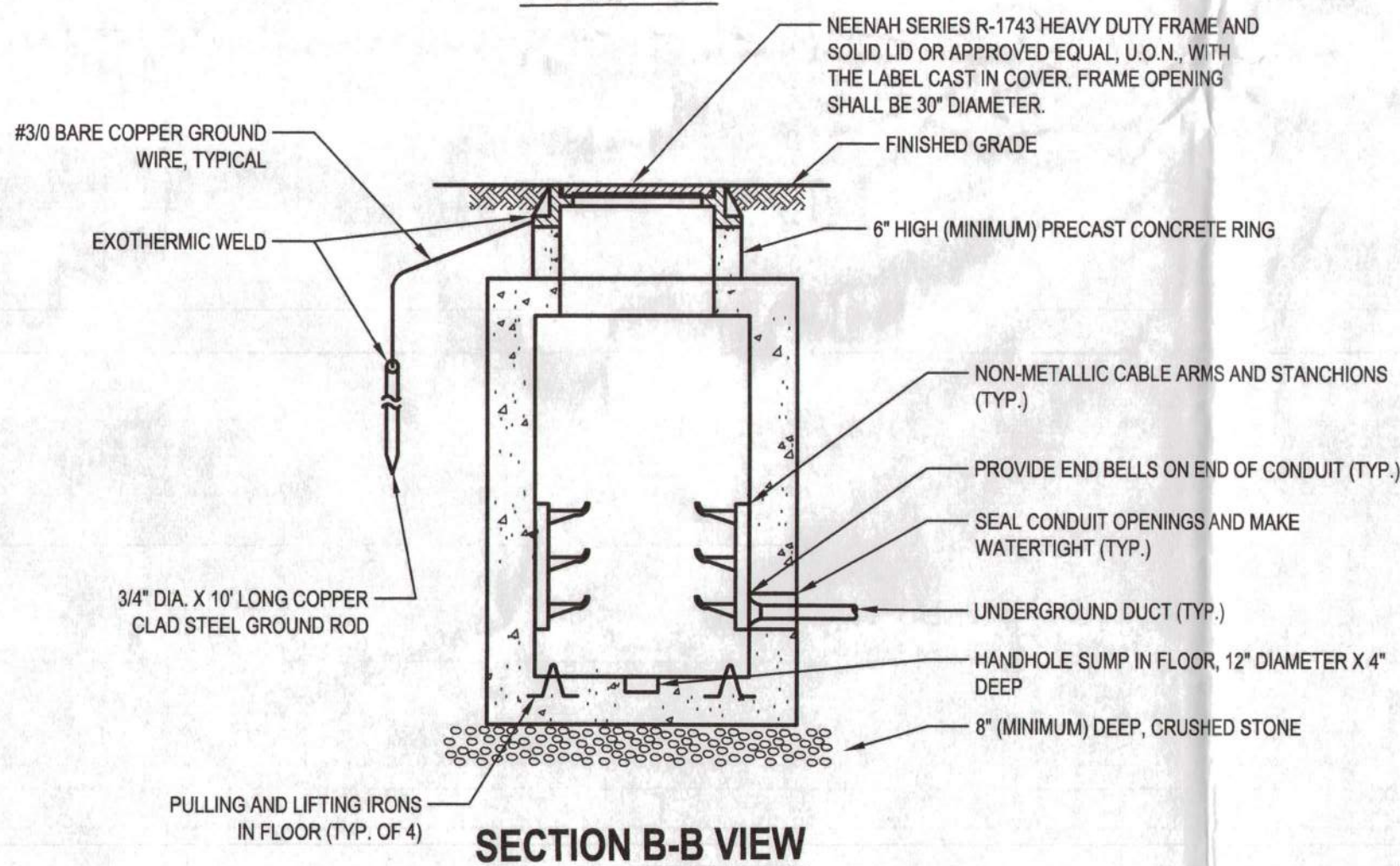
B POLYMER CONCRETE HANDHOLE DETAIL

E-601

NOT TO SCALE



PLAN VIEW



SECTION B-B VIEW

- ## NOTES

1. HANDHOLE SHALL BE CAPABLE OF AASHTO HS20 LOADING.
2. HANDHOLE INSIDE DIMENSIONS SHALL BE 48" X 48" X 48", UNLESS OTHERWISE NOTED.
3. FURNISH AND INSTALL DUCTS AS INDICATED ON THE PLANS OR SCHEDULES.
4. GROUT FRAME SECURELY TO PRECAST CONCRETE RING. GROUT PRECAST CONCRETE RING SECURELY TO HANDHOLE ROOF.
5. USE EXOTHERMIC WELDS TO CONNECT GROUND WIRE TO GROUND ROD.
6. LABEL OF HANDHOLES SHALL BE "ELECTRIC", UNLESS OTHERWISE NOTED.
7. UNDERGROUND DUCTS SHALL ENTER THE HANDHOLE ON THE SIDES.

C PRECAST CONCRETE HANDHOLE DETAIL

F-601

NOT TO SCALE

[illegible]

- NOTES:

1. SEE LIGHTING FIXTURE SCHEDULE FOR COMPLETE MODEL NUMBERS FOR THE LIGHT POLES. COMPLY WITH THE LIGHTING FIXTURE SCHEDULE.

D CUT SHEETS FOR LIGHT POLES

E-601

NOT TO SCALE

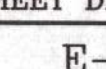
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- NOTES

- [illegible]

APPROVED Final Landscape Plans
Baltimore County
Dept. of Permits, Approvals & Inspections

Name _____ Date _____

SHEET DESIGNATION	CONTRACT NUMBER
E-601	25021 POO
	JOB ORDER NUMBER
	861889
	SHEET 34 OF 34
	DRAWING NUMBER
	2024-0434
	FILE NO.: