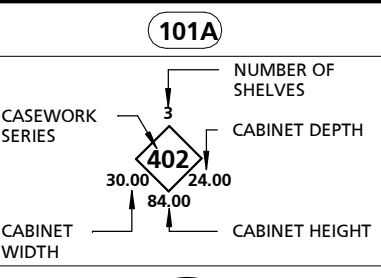
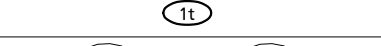
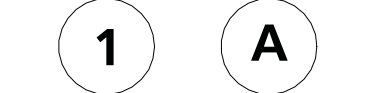
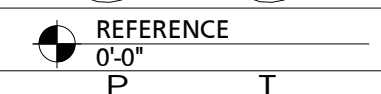
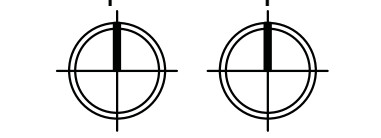
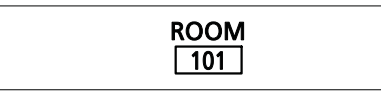


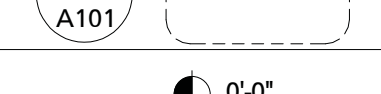
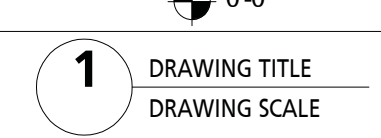
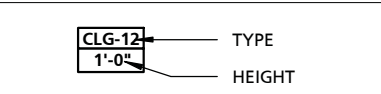
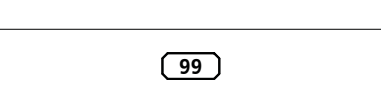
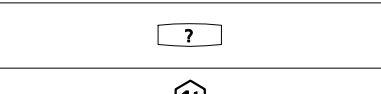







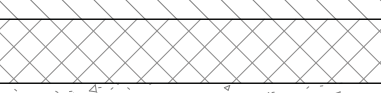
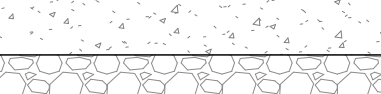

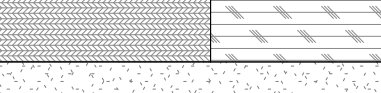
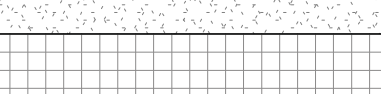
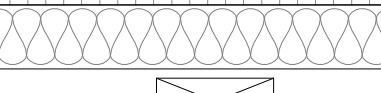
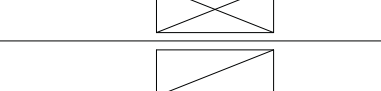

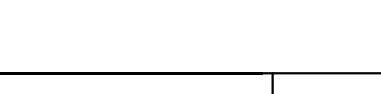


FULLERTON FIRE STATION #8 - RENOVATION & ADDITION

4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236

BID/PERMIT

03/01/25

SYMBOLS & TAGS LEGEND	
TAG	DESCRIPTION
	DOOR TAG CASEWORK TAG AS OUTLINED IN THE ARCHITECTURAL WOODWORK INSTITUTE (AWI) STANDARDS
	SPECIALTY EQUIPMENT TAG
	COLUMN LINE DESIGNATION TAG
	LEVEL ELEVATION TAG
	NORTH ARROW TAG T = TRUE NORTH P = PROJECT NORTH
	ROOM NAME & NUMBER TAG
	SECTION TAG
	CALLOUT / DETAIL
	SPOT ELEVATION TAG
	DETAIL / DRAWING TITLE TAG
	CEILING TAG
	PARTITION TAG
	MATERIAL TAG
	WINDOW TAG
	ROOF SLOPE ANNOTATION
	ELEVATION TAG
	SPECIFIC NOTE

PATTERN	DESCRIPTION
	BRICK
	CMU MASONRY
	CONCRETE SECTION
	POROUS FILL
	EARTH
	PLYWOOD
	GYPSUM BOARD SECTION
	RIGID INSULATION
	BATT INSULATION
	END GRAIN LUMBER
	WOOD BLOCK OR SHIM
	FINISH WOOD

COMMON ABBREVIATIONS			
SYMBOLS		FIN - FINISH	PSF - POUNDS PER SQUARE FOOT
& - AND		FIN FL - FINISHED FLOOR	PSI - POUNDS PER SQUARE INCH
@ - AT		FL - FLOOR	PT - PRESSURE TREATED
Ø - DIAMETER		FLEX - FLEXIBLE	PTD - PAINTED
□ - SQUARE		FLUOR - FLUORESCENT	PVC - POLYVINYL CHLORIDE
A		FND - FOUNDATION	PVMT - PAVEMENT
AB - ANCHOR BOLT		FSK - FEET PER MINUTE	PWT - PREFABRICATED WOOD TRUSS
ABV - ABOVE		FRT - FIRE RETARDANT TREATED	
AC - ACOUSTIC		FSK - FOIL SCRAM KRAFT	
ACT - ACOUSTIC CEILING TILE		FT - FEET, FOOT	
AFF - ABOVE FINISH FLOOR		FT - FLOOR TRANSITION	
AHJ - AUTHORITY HAVING JURISDICTION		FTG - FOOTING	
ALUM - ALUMINUM		G	
AP - ACCESS PANEL		GA - GAGE, GAUGE	
APPROX - APPROXIMATELY		GALV - GALVANIZED	
ARCH - ARCHITECTURAL		GL - GLASS, GLAZING	
B		GND - GROUND	
B.C. - BOTTOM CHORD		GRTG - GRATING	
BLK - BLOCK		GWB - GYPSUM WALL BOARD	
BLDG - BUILDING		H	
BLKG - BLOCKING		H - HIGH / HEIGHT	
BLKHD - BULKHEAD		HC - HANDICAPPED	
BM - BEAM		HD - HEAD	
B.O. - BOTTOM OF		HMI - HOLLOW METAL	
BOD - BASIS OF DESIGN		HORIZ - HORIZONTAL	
BOT - BOTTOM		HR - HOUR	
B.R. - BULLET RESISTANT		HT - HEIGHT	
BRNG - BEARING		I	
C		ID - INSIDE DIAMETER	
CL - CENTER LINE		IN - INCH	
CFI - CONTRACTOR FURNISHED, CONTRACTOR INSTALLED		INFO - INFORMATION	
CFOI - CONTRACTOR FURNISHED, OWNER INSTALLED		INSUL - INSULATION	
CFLS - COUNTER FLASHING		J	
CJ - CONTROL JOINT		J - JUNCTION BOX	
CL - CLOSET		JM - JAMB	
CLG - CEILING		JST - JOIST	
CMU - CONCRETE MASONRY UNIT		JT - JOINT	
CND - CONDUIT		L	
COL - COLUMN		LG - LONG	
COOR - COORDINATE		LL - LIVE LOAD	
CONC - CONCRETE		LSC - LIFE SAFETY CODE	
CONSTR - CONSTRUCTION		LTG - LIGHTING	
CONT - CONTINUOUS		M	
C.T. / CT - CERAMIC TILE		MACH - MACHINE	
CPT - CARPET / CARPET TILE		MATL - MATERIAL	
CTSK - COUNTERSUNK		MAX - MAXIMUM	
CU - CUBIC		MBT - MARBLE THRESHOLD	
CU FT - CUBIC FOOT		MECH - MECH	
CU YD - CUBIC YARD		MEP - MECHANICAL / ELECTRICAL / PLUMBING	
D		MFGR - MANUFACTURER	
D - DEEP / DEPTH		MH - MANHOLE	
DEG - DEGREE		MIN - MINIMUM	
DIA - DIAMETER		MO - MASONRY OPENING	
DIM - DIMENSION		MSNRY - MASONRY	
DL - DEAD LOAD		M.T. - METAL THRESHOLD	
DMPR - DAMPER		MTL - METAL	
DN - DOWN		MTD - MOUNTED	
DR - DOOR		N	
DS - DOWNSPOUT		NA - NOT APPLICABLE	
DTL - DETAIL		NIC - NOT IN CONTRACT	
DWG - DRAWING		NO - NUMBER	
E		NTS - NOT TO SCALE	
EA - EACH		O	
EIFS - EXTERIOR INSULATION AND FINISHING SYSTEM		O/C - ON CENTER	
ELEC - ELECTRICAL		OD - OUTSIDE DIAMETER	
EL - ELEVATION		OPIC - OWNER FURNISHED, CONTRACTOR INSTALLED	
ELEV - ELEVATION		OFOI - OWNER FURNISHED, OWNER INSTALLED	
ELMA - ELEVATOR MACHINE ROOM		OPNG - OPENING	
EL - EXPANSION JOINT		OPP - OPPOSITE	
ENT - ENTRANCE, ENTRY		OPP HND - OPPOSITE HAND	
EQ - EQUAL		OV - OVER	
EST - ESTIMATE		OVHD - OVERHEAD	
EW - EACH WAY		P	
EXT - EXISTING		PLAM - PLASTIC LAMINATE	
EXT - EXTERIOR		PLY - PLYWOOD	
EXP - EXPOSED		PLYWD - PLYWOOD	
EXP JT - EXPANSION JOINT		PNLBD - PANELBOARD	
F		PNT / PT - PAINT	
F - FAHRENHEIT		POLYISO - POLYISOCYANURATE	
FD - FLOOR DRAIN		PRESS - PRESSURE	
F.E. - FIRE EXTINGUISHER		PROJ - PROJECT	
F.E.C. - FIRE EXTINGUISHER CABINET		PROP - PROPERTY	
FF - FINISHED FLOOR		R	
FF EL - FINISHED FLOOR ELEVATION		R - RADIUS	
FG - FINISHED GRADE		RCF - REFLECTED CEILING PLAN	
FHY - FIRE HYDRANT		REIN - REINFORCING, REINFORCED	
FDC - FIRE DEPARTMENT CONNECTION		RES - RESINOUS	
		REQD - REQUIRED	
		REV - REVISION	
		RIGID - RIGID	
		RM - ROOM	
		RO - ROUGH OPENING	
		RST - REINFORCING STEEL	
		S	
		S - SMART BOARD	
		SCD - SEE CIVIL DRAWINGS	
		SCHED - SCHEDULE	
		SD - STORM DRAIN	
		SECT - SECTION	
		SF - SQUARE FOOT	
		SI - SQUARE INCH	
		SIM - SIMILAR	
		SLP - SLOPE	
		SMD - SEE MECHANICAL DRAWINGS	
		SPCL - SPECIAL	
		SPEC - SPECIFICATIONS	
		SPLY - SUPPLY	
		SQ - SQUARE	
		SS - STAINLESS STEEL	
		SSD - SEE STRUCTURAL DRAWINGS	
		ST - STREET	
		STD - STANDARD	
		STL - STEEL	
		STOR - STORAGE	
		STRUCT - STRUCTURAL	
		SURF - SURFACE	
		SUSP - SUSPENDED	
		SW - SWITCH	
		SYS - SYSTEM	
		T & B	
		T & B - TOP AND BOTTOM	
		T.B. - TACK BOARD	
		T.B.D. - TO BE DETERMINED	
		TEMP - TEMPERATURE	
		THK - THICK	
		THRES - THRESHOLD	
		T&G - TONGUE & GROOVE	
		TO - TOP OF	
		TOB - TOP OF BEARING POINT	
		TOC - TOP OF CONCRETE	
		TOF - TOP OF FOOTING	
		TOM - TOP OF MASONRY	
		TOP - TOP OF PAVEMENT, PARAPET	
		TOS - TOP OF STEEL	
		TRTD - TREATED	
		T.S. - TRANSITION STRIP	
		TYP - TYPICAL	
		U	
		UGND - UNDERGROUND	
		UL - UNDERWRITERS LAB	
		UNO - UNLESS NOTED OTHERWISE	
		UON - UNLESS OTHERWISE NOTED	
		V	
		V - VAPOR BARRIER	
		VCT - VINYL COMPOSITION TILE	
		VERT - VERTICAL	
		VIF - VERIFY IN FIELD	
		VOL - VOLUME	
		W	
		W - WIDE / WIDTH	
		W/ - WITH	
		W/O - WITHOUT	
		W.B. - WHITEBOARD	
		WD - WOOD	
		WR - WATER RESISTANT	
		WTRPRF - WATERPROOF	
		WWF - WELDED WIRE FABRIC	
		WWW - WELDED WIRE MESH	

CODE ANALYSIS - SUMMARY

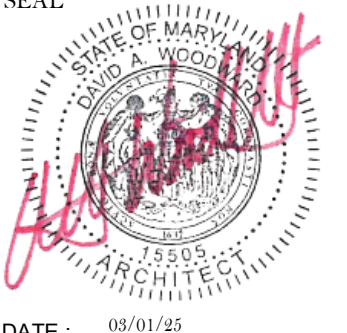
PROJECT	APPLICABLE CODES		SQUARE FOOTAGE TOTALS	
FULLERTON FIRE STATION #8 RENOVATION & ADDITION	NFPA 101: LIFE SAFETY	2018	EXISTING FOOTPRINT 7,749 GSF	
	INTERNATIONAL EXISTING BUILDING CODE	2015		
	INTERNATIONAL BUILDING CODE	2015	FIRST FLOOR	7,749 GSF
	INTERNATIONAL MECHANICAL CODE	2015	PARTIAL BASEMENT	1,120 NSF
	NATIONAL ELECTRIC CODE	2020	EXISTING BUILDING	8,869 GSF
	NATIONAL STANDARD PLUMBING CODE	2015		
	INTERNATIONAL ENERGY CODE	2015	PROPOSED ADDITION	194 GSF
PROJECT DESCRIPTION				
THE PROPOSED PROJECT IS A RENOVATION AND ADDITION TO THE EXISTING BALTIMORE COUNTY STATION 8 FIRE STATION. THE EXISTING BUILDING IS A SINGLE STORY STRUCTURE WITH PARIETAL BASEMENT. THE PROJECT PROPOSES AN INTERIOR RENOVATION TO THE CORE OF THE BUILDING BY DEMOLISHING THE EXISTING LOCKER ROOMS AND ADDING FIVE SINGLE OCCUPANT TOILET AND SHOWER ROOMS WITHIN THE EXISTING BUNK ROOM AND SHOWER LOCKER AREA. TO MAKE UP FOR THE REDUCED BUNK ROOM SPACE, THE PROJECT LOOKS TO ADD A SMALL 8'X24' (194 SF) ADDITION TO THE REMAINING BUNK ROOM AREA TO ACCOMMODATE FOR THE LOSS OF EXISTING BUNK ROOM SPACE. IN ADDITION TO THE ABOVE WORK THE PROJECT WILL ALSO UPDATE THE BUILDINGS EXISTING MECHANICAL SYSTEM WITHIN THE BUNK ROOM, KITCHEN, AND ADMINISTRATIVE AREAS OF THE BUILDING.				
STATION 8'S FIRST FLOOR IS APPROXIMATELY 7,749 GSF. THE TOTAL FIRST FLOOR WORK AREA IS 2,857 SF (EXCLUSIVE OF THE 194 SF ADDITION) AND CONSTITUTES 37% OF THE BUILDING FOOTPRINT. THE STRUCTURE IS AN ASSUMED TYPE IIB CONSTRUCTION TYPE THAT IS NON-SPRINKLERED. THE EXISTING USE AND EXISTING OCCUPANT LOAD WILL REMAIN AS IS AND WILL NOT CHANGE OR INCREASE.				

INTERNATIONAL EXISTING BUILDING CODE 2015

WORK AREA SF & PERCENTAGE - IEBC 501.2	COMPLIANCE METHOD - IEBC 301 & 504
LEVEL 1 ALTERATION - 1,212 SF OF 7,749 GSF TOTAL = 16% OF TOTAL BUILDING FOOTPRINT. LEVEL 2 ALTERATION - 1,645 SF OF 7,749 GSF TOTAL = 21% OF TOTAL BUILDING FOOTPRINT GSF. TOTAL WORK AREA = 37% OF TOTAL BUILDING FOOTPRINT AND THEREFORE THE WORK AREA IS LESS THAN 50% OF THE BUILDING AREA.	301.1.2 - WORK AREA COMPLIANCE METHOD. LEVEL 2 ALTERATION SHALL COMPLY WITH THE PROVISIONS OF CHAPTERS 7, 8, AND 9.
COMPLIANCE - IEBC 801.3	MEANS OF EGRESS - IEBC 805.1
ALL NEW CONSTRUCTION ELEMENTS, COMPONENTS, SYSTEMS, AND SPACES SHALL COMPLY WITH THE REQUIREMENTS OF THE IBC.	THIS SECTION DOES NOT APPLY TO THIS PROJECT BECAUSE THERE IS ONLY A SINGLE TENANT WITHIN THE WORK AREA.
ACCESSIBILITY - IEBC 806 & 705	STRUCTURE - IEBC 807.3
ALL NEW WORK SHALL COMPLY WITH THE ACCESSIBILITY REQUIREMENTS. ALL EXISTING ELEMENTS TO REMAIN CURRENTLY COMPLY.	THE MINIMUM DESIGN LOADS ON EXISTING ELEMENTS OF A STRUCTURE THAT DO NOT SUPPORT ADDITIONAL LOADS AS A RESULT OF AN ALTERATION SHALL BE THE LOADS APPLICABLE AT THE TIME THE BUILDING WAS CONSTRUCTED.
ELECTRICAL - IEBC 808	MECHANICAL - IEBC 809
ALL NEWLY INSTALLED ELECTRICAL EQUIPMENT & WIRING SHALL COMPLY WITH THE REQUIREMENTS OF NFPA 70.	ALL NEWLY INSTALLED MECHANICAL WORK SHALL COMPLY WITH THE INTERNATIONAL MECHANICAL CODE.
PLUMBING - IEBC 810	ENERGY CONSERVATION - IEBC 811 & 707
ALL NEWLY INSTALLED PLUMBING WORK SHALL COMPLY WITH THE INTERNATIONAL PLUMBING CODE.	THE ALTERATIONS SHALL COMPLY TO THE ENERGY REQUIREMENTS OF THE IECC AS THEY RELATE TO NEW CONSTRUCTION ONLY.
ADDITIONS - IEBC 1102	
NEW ADDITION SHALL NOT EXCEED THE HEIGHT AND AREA LIMITATIONS BEYOND THAT PERMITTED UNDER CHAPTER 5 OF THE IBC.	

INTERNATIONAL BUILDING CODE 2015

EXISTING USE CLASSIFICATIONS - CH. 3	MEANS OF EGRESS CAPACITY 1005.3.2
B - BUSINESS - FIRE DEPARTMENT ADMINISTRATION R2 - RESIDENTIAL - DORMITORY S-2 - STORAGE - APPARATUS BAY/ANCILLARY SPACES	FACTOR: 0.2 INCHES PER OCCUPANT
EXISTING USE CLASSIFICATIONS TO REMAIN UNALTERED.	NUMBER OF EXITS & ACCESS DOORWAYS - 1006 PER TABLE 1006.3.1 AN OCCUPANT LOAD OF 560 PER STORY REQUIRES A MINIMAL OF 3 EXITS FROM STORY.
CONSTRUCTION TYPE - CH.6	EXIT SEPARATION DISTANCE - 1016.2
IIB	MEANS OF EGRESS ARE NOT PROHIBITED THROUGH ADJOINING OR INTERVENING ROOMS OR SPACES THAT ARE OF A HIGHER HAZARD THAN THE ORIGINAL ROOM OF EGRESS.
BUILDING HEIGHT & AREA - CH.5	COMMON PATH OF EGRESS - TABLE 1006.2.1
EXISTING BUILDING HEIGHT WILL NOT BE INCREASED	ALLOWABLE 75 FEET ACTUAL 31 FEET
EXISTING STORY QUANTITY WILL NOT BE INCREASED	TRAVEL DISTANCE - TABLE 1017.2
BUILDING AREA SHALL BE INCREASED VIA 194 GSF PROPOSED ADDITION	ALLOWABLE 200 FEET ACTUAL 98 FEET
FIRE-RES. REQ.S FOR BLDG ELEMENTS - TABLE 601	DEAD-END CORRIDORS - 1020.4
PER TABLE 602 NO FIRE RATING IS REQUIRED FOR ANY BUILDING ELEMENT UNLESS NOTED OTHER WISE.	ALLOWABLE 20 FEET ACTUAL 15 FEET

<div>SEAL</div> <div></div> <div>DATE: 05/01/25</div>	PROFESSIONAL CERTIFICATION	AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHT	DRAWING SCALE			
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 15505 EXPIRATION DATE: 08-18-2026	BID/PERMIT			05/01/25	-	MSW	CHIEF	PLAN SCALE: 1/8"=1'-0"	APPROVED BY: <i>Mihai T. Petrisor</i>	DIRECTOR
						ROW NO.	-	-	PROFILE SCALE: 1/8"=1'-0"	DATE: 03/26/2025	
						-	-	-			
		ARCHITECT: DAVID WOODWARD, AIA PRINCIPAL ARCHITECT MANSON WOODWARD STUDIOS 1000-31 PHILLADELPHIA ROAD WHITE MARSH, MARYLAND 21102 (P) 301-586-1360	DGN BY: _____ DWN BY: _____ CHKD BY: _____	BUREAU OF ENGINEERING AND CONSTRUCTION	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	PROPERTY MANAGEMENT
		REVIEWED BY: _____							APPROVED BY: _____	CHIEF	
		DATE REVIEWED: _____							DATE: _____		

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT


FULLERTON FIRE STATION #8 - RENOVATION & ADDITION

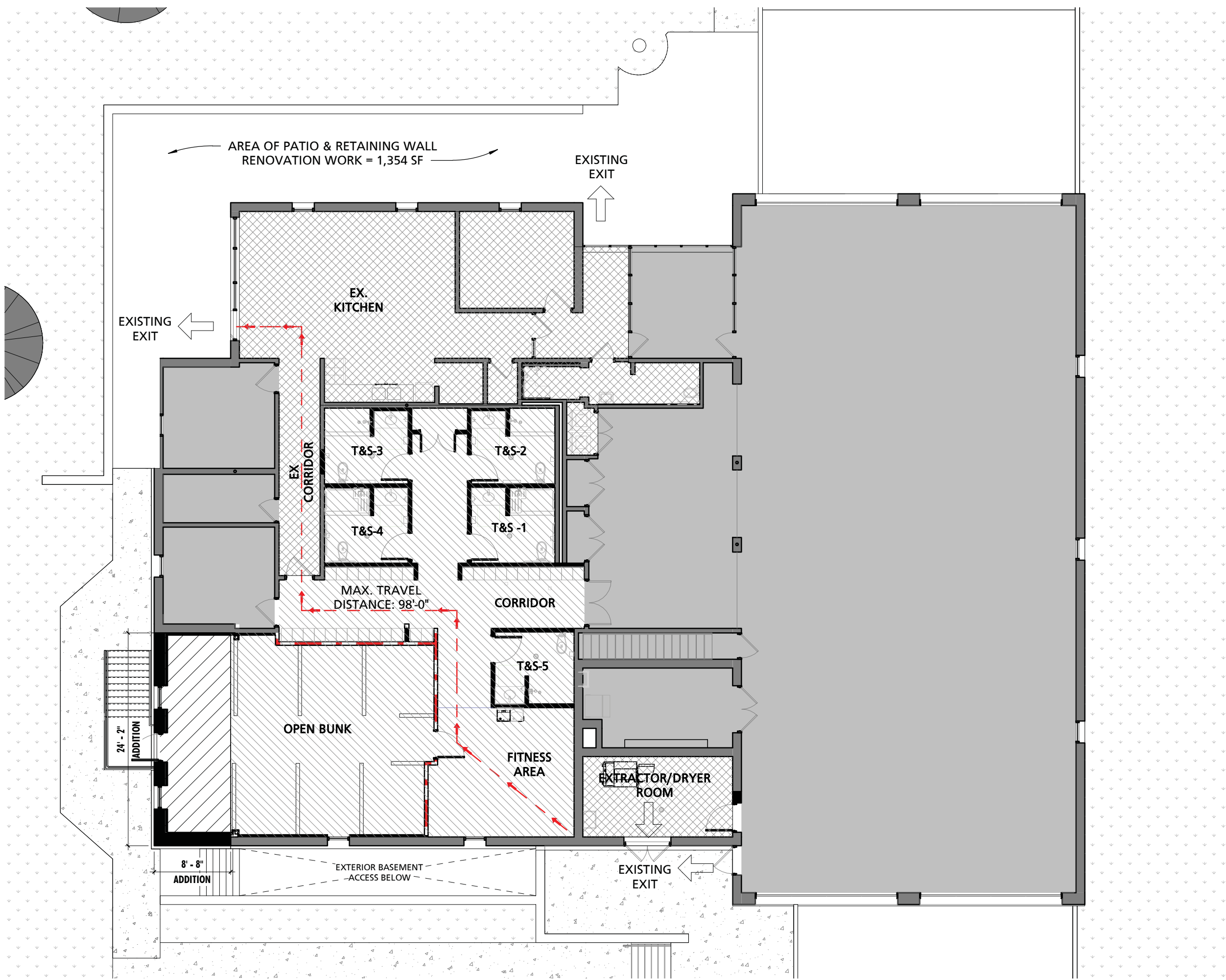
CODE ANALYSIS

SUBDIVISION: FULLERTON

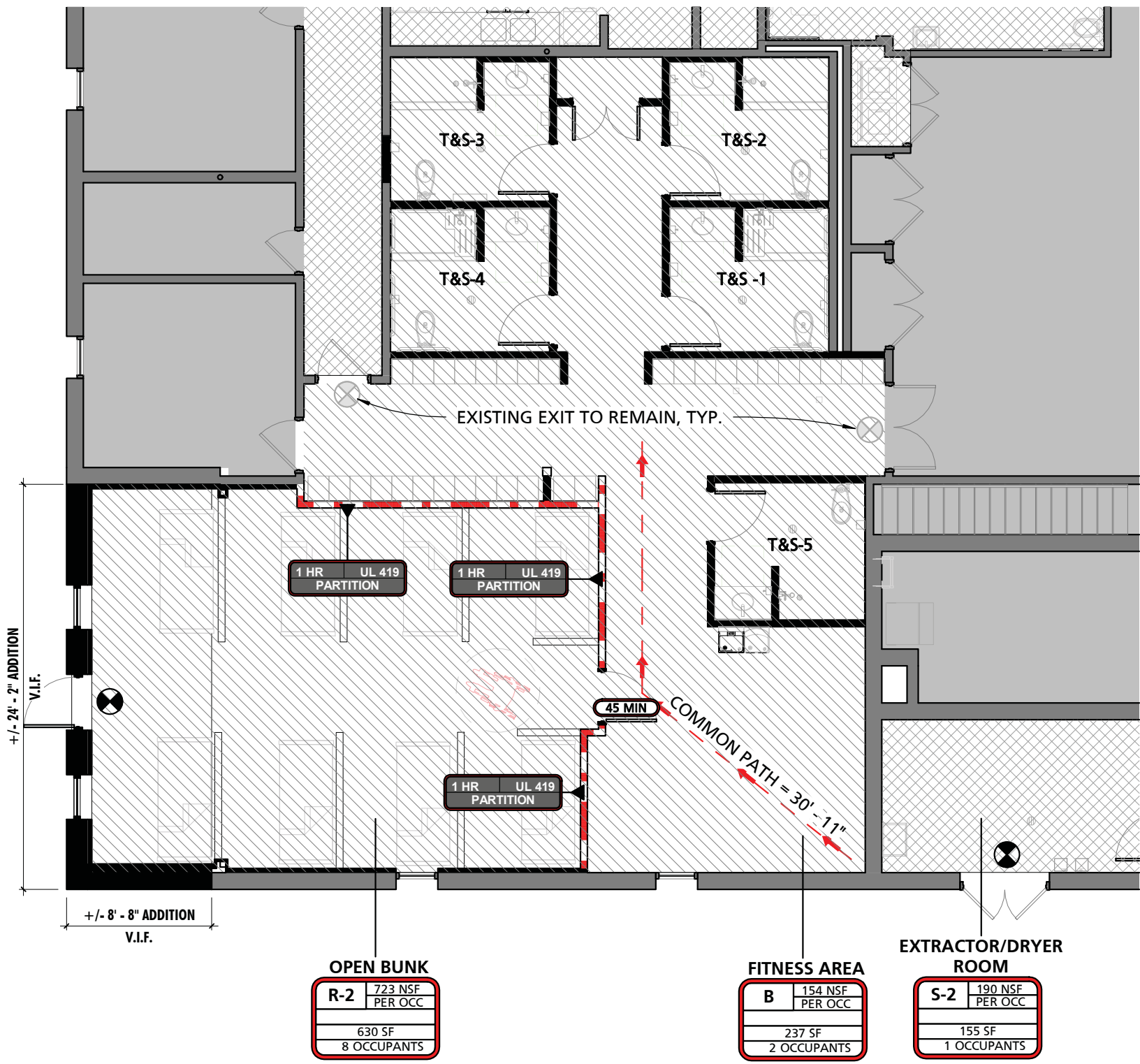
4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236

ELECTION DIST. NO.: 14C5

SHEET DESIGNATION	CONTRACT NUMBER
G001	25034 PF0 RE-BID
	JOB ORDER NUMBER 241-220-0054-0012
	SHEET 2 of 58
	DRAWING NUMBER 2022-2321
	FILE NO.: 8



1 CODE PLAN DIAGRAM
3/32" = 1'-0"

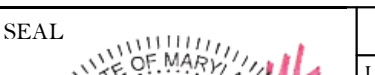


2 CODE PLAN
1/8" = 1'-0"

- AREA OF NEW WORK (1,212 GSF OR 16%)
- ALTERATION LEVEL 1
- AREA OF NEW WORK (1,645 GSF OR 21%)
- ALTERATION LEVEL 2
- AREA OF NEW WORK (194 GSF)
- ADDITION
- AREA TO REMAIN UNDISTURBED UNLESS
OTHERWISE NOTED (7,749 GSF)

CODE PLAN LEGEND	
	NEW DOOR
	EXISTING DOOR
	EXISTING WALL
	NEW WALL
	EXIT SIGN
	RATED WALL TAG
	1 HOUR RATED PARTITION
	COMMON PATH
	TRAVEL DISTANCE

LEGEND - CODE PLAN LEGEND
NOT TO SCALE

<div>SEAL</div> <div></div> <div>DATE: 03/01/25</div>	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHT	DRAWING SCALE		APPROVED BY: <i>Mihai T Petrisor</i> DIRECTOR DATE: 03/26/2025	
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.		BID/PERMIT			03/01/25		MSW	07NE1	PLAN SCALE: <u>As indicated</u>			
	LICENSE NO. 15505 EXPIRATION DATE: 08-18-2026							R.O.W. NO.	-	-	PROFILE SCALE: <u>-</u>		
	ARCHITECT: DAVID WOODWARD, AIA PRINCIPAL ARCHITECT MANSON WOODWARD STUDIOS 1000-23 PHILADELPHIA ROAD WHITE MARSH, MARYLAND 21102 (P) 301-588-1300				BUREAU OF ENGINEERING AND CONSTRUCTION	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER		PROPERTY MANAGEMENT
DGN BY: _____				REVIEWED BY: _____								APPROVED BY: _____ CHIEF DATE: _____	
CHKD BY: _____				DATE REVIEWED: _____									

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT		SHEET DESIGNATION	CONTRACT NUMBER
		G002	25034 PFO RE-BID
			JOB ORDER NUMBER
			241-220-0054-0012
			SHEET 3 of 58
			DRAWING NUMBER
			2022-2322
			FILE NO.: 8

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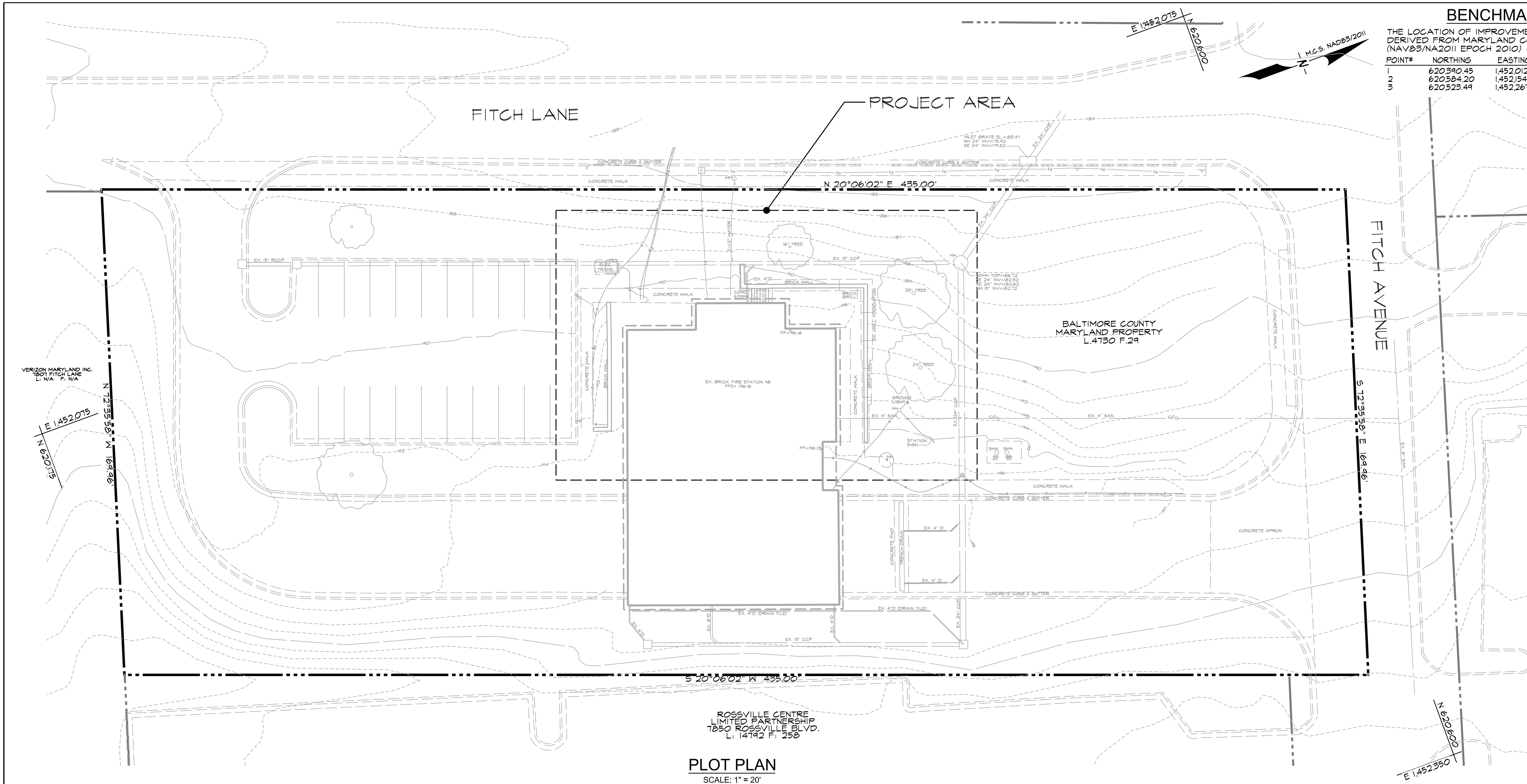
SUBDIVISION: FULLERTON

FULLERTON FIRE STATION #8 - RENOVATION & ADDITION

CODE PLANS

4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236

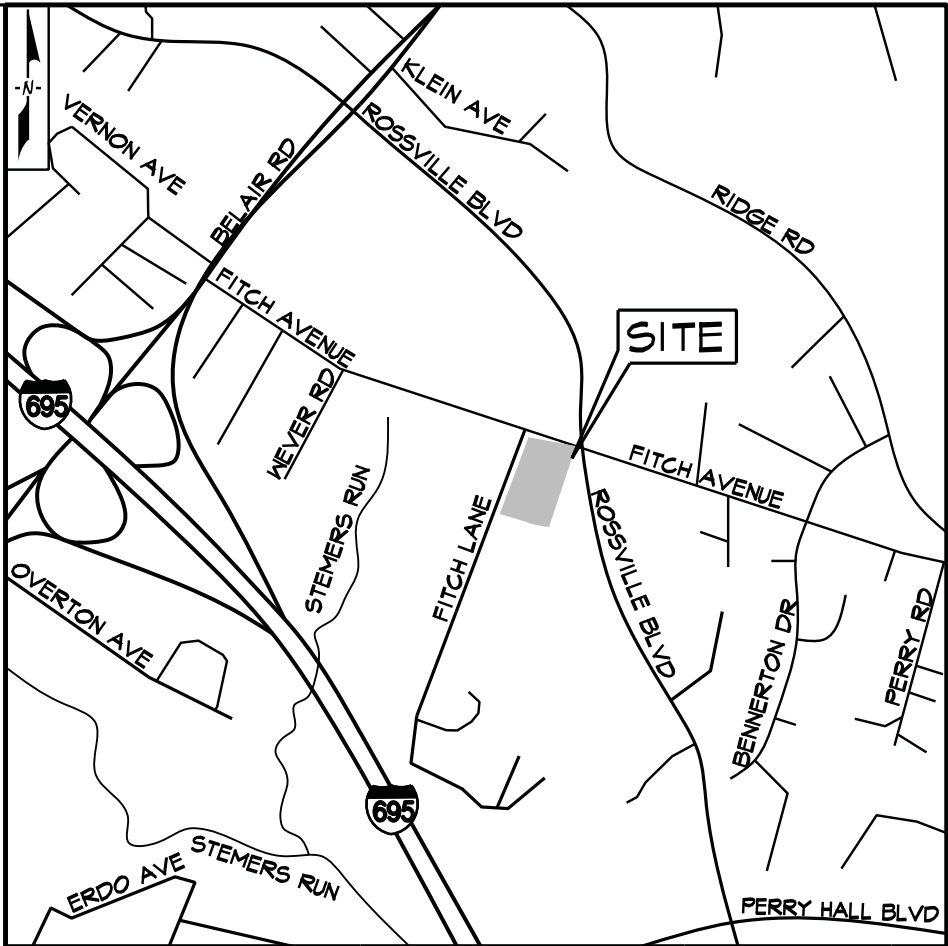
ELECTION DIST. NO.: 14C5



BENCHMARK DATA

THE LOCATION OF IMPROVEMENTS SHOWN HEREON ARE DERIVED FROM MARYLAND COORDINATE SYSTEM (NAV83/NA2011 EPOCH 2010) & NAV88 FOR VERTICAL:

POINT#	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	620390.45	1452012.71	105.98	REBAR AND CAP
2	620384.20	1452154.12	107.67	REBAR AND CAP
3	620323.44	1452267.77	198.43	REBAR AND CAP



SHEET INDEX

DWG#	SHEET#	SHEET NAME
1	C1.00	PLOT PLAN
2	C1.01	GENERAL NOTES
3	C2.00	EXISTING CONDITIONS & DEMOLITION PLAN
4	C3.00	SITE & GRADING PLAN
5	C3.01	SITE DETAILS
6	C3.02	UTILITY PLAN
7	C3.03	STORM DRAIN PROFILES

SITE DATA

SITE ADDRESS:	4401 FITCH AVENUE BALTIMORE, MD 21236
OWNER:	BALTIMORE COUNTY MARYLAND 20-G--130 COURT HOUSE BALTIMORE, MD 21204
DISTRICT NUMBER:	14
TAX ACCOUNT NUMBER:	1402000417
PROPERTY REFERENCE:	MAP 18 GRID II PARCEL 839 NEIGHBORHOOD 30000.04

TOTAL LOT/SITE AREA:	2.10 AC.
TOTAL LIMIT OF DISTURBANCE:	4,915 S.F. OR 0.11 AC.
COUNCILMANIC DISTRICT:	5TH DISTRICT
EXISTING / PROPOSED USE:	FIRE STATION
ZONING:	MLF / (MANUFACTURING, LIGHT, RESTRICTED)
MAX BUILDING HEIGHT:	60 FEET
SETBACKS:	FRONT 40 FEET SIDE 30 FEET REAR 40 FEET CORNER N/A

WATERSHED:	BACK RIVER
FLOODPLAIN INFORMATION:	THE SITE IS NOT LOCATED WITHIN THE 100 YEAR FLOODPLAIN AND DELINEATED ON FEMA FLOOD INSURANCE RATE MAP 2400100410F. THE SITE IS LOCATED IN ZONE X WHICH MEANS AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

A REVIEW OF THE MARYLAND DEPARTMENT OF NATURAL RESOURCES (DNR) MAPPING INDICATED THAT NO ONSITE WETLANDS OR STREAMS EXIST ON THE SITE.

EARTHWORK:	CUT = 300 CY. FILL = 300 CY. CUT / FILL RATIO = 1:1
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EXCESS CUT MATERIAL SHALL BE DISPOSED OF OFFSITE AT A LOCATION WITH AN APPROVED SEDIMENT CONTROL PLAN.

NOTE:
ESTIMATES OF EARTHWORK QUANTITIES ARE PROVIDED SOLELY FOR THE PURPOSE OF DETERMINING PERMITTING REQUIREMENTS. SINCE FINAL EARTHWORK QUANTITIES ARE BASED ON MANY VARIABLE CONDITIONS OVER WHICH MK CONSULTING ENGINEERS, LLC. HAS NO CONTROL, INCLUDING VARIABILITY OF SOILS, ALLOWABLE SURVEY AND CONSTRUCTION TOLERANCES AND COMPACTION RATIOS, MK CONSULTING ENGINEERS, LLC. DOES NOT WARRANT OR GUARANTEE THE ACCURACY OF THE ESTIMATES FOR FINAL CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE THEIR OWN ESTIMATES OF THE EARTHWORK QUANTITIES.

	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHI	DRAWING SCALE	APPROVED BY: <i>Mihai T. Petrisor</i> DIRECTOR DATE: 03/26/2025
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.		BID / PERMIT		03/26/25				PLAN SCALE: 1"=20'	
	LICENSE NO. 25058 EXPIRATION DATE: 11-17-26					R.O.W NO.			PROFILE SCALE:	
	CIVIL ENGINEER MARSHALL CRAMPTON, PE PRINCIPAL MR CONSULTING ENGINEERS, LLC 1801 PORTER STREET, SUITE 401 BALTIMORE, MD 21202 (P) 410-508-6100 EMAIL: MCRAMPTON@MCEENGS.COM									
DGN BY: MC		BUREAU OF ENGINEERING AND CONSTRUCTION		HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FELD ENGINEER	PROPERTY MANAGEMENT CHIEF DATE:
DWN BY: SG		REVIEWED BY:								
CHRD BY: MC		DATE REVIEWED:								

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT

FULLERTON FIRE STATION #8 - RENOVATION & ADDITION

PLOT PLAN

SUBDIVISION: FULLERTON

4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236

ELECTION DIST. NO.: 14C5

SHEET DESIGNATION	CONTRACT NUMBER
CIVIL ENGINEER C1.00	25034 PF0 RE-BID
	JOB ORDER NUMBER 241-220-0054-0012
	SHEET 5 of 58
	DRAWING NUMBER 2022-2324
	FILE NO.: 8

GENERAL NOTES

1. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" (1-800-257-7777) AT LEAST FIVE (5) WORKING DAYS PRIOR TO STARTING ANY WORK.
2. EXISTING UTILITY INFORMATION SHOWN HEREON IS BASED ON THE BEST AVAILABLE INFORMATION, WHICH INCLUDES A FIELD SURVEY CONDUCTED BY PRECISION MAPPING AND SURVEYING, DURING APRIL, 2022. AS-BUILT WATER, WASTEWATER AND STORM DRAIN PLANS FROM BALTIMORE COUNTY DEPARTMENT OF PUBLIC WORKS AND BALTIMORE GAS AND ELECTRIC COMPANY PLANS.
3. OBSTRUCTIONS SHOWN ON THIS DRAWING ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. MK CONSULTING ENGINEERS, LLC, DOES NOT WARRANT OR GUARANTEE THE CORRECTNESS OR THE COMPLETENESS OF THE INFORMATION GIVEN. THE CONTRACTOR MUST VERIFY ALL SUCH INFORMATION TO HIS OWN SATISFACTION. IN THE EVENT THAT INFORMATION IS IN CONFLICT WITH INFORMATION OUTLINED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT PRIOR TO STARTING ANY WORK.
4. TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON AVAILABLE AS-BUILT PLANS PROVIDED BY BALTIMORE COUNTY DEPARTMENT OF PUBLIC WORKS AND BALTIMORE COUNTY DPW, A SUPPLEMENTAL SURVEY CONDUCTED BY PRECISION MAPPING AND SURVEYING DURING APRIL, 2022.
5. REMOVAL OF ANY SIDEWALK AND/OR CURB AND GUTTER SHALL BE TO THE NEAREST JOINT. NO PATCHING SHALL BE PERMITTED.
6. ADJUST TOP OF CURB GRADES TO PROVIDE SMOOTH TRANSITION.
7. SAWCUT EXISTING PAVING AS NEEDED TO INSTALL NEW CONSTRUCTION.
8. STRIP & RESURFACE EXISTING PAVING AS NEEDED TO PROVIDE SMOOTH TRANSITION TO EX. SURFACE.
9. IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THIS PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO COMPLETE SUCH WORK.
10. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER OF ANY DEVIATION FROM THIS PLAN PRIOR TO ANY CHANGE BEING MADE. ANY DEVIATION FROM THIS PLAN WITHOUT WRITTEN AUTHORIZATION FROM THE ENGINEER WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
11. SHOULD THE CONTRACTOR DISCOVER DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS, THE ENGINEER IS TO BE NOTIFIED IMMEDIATELY TO RESOLVE THE SITUATION. SHOULD THE CONTRACTOR MAKE FIELD CORRECTIONS OR ADJUSTMENTS WITHOUT NOTIFYING THE ENGINEER, THEN THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR THOSE CHANGES.
12. THE CONTRACTOR SHALL NOTE THAT IN CASE OF ANY DISCREPANCY BETWEEN THE SCALED AND FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSIONS SHALL GOVERN.
13. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL TIE-IN ELEVATIONS.
14. ALL EXCAVATION SHALL BE BACKFILLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. IN THE EVENT THAT A PORTION OF A UTILITY IS TO BE REMOVED THE CONTRACTOR SHALL TERMINATE AND CAP TO THE LIMITS INDICATED IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENTS.
15. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PROTECTION OF THE SUB-GRADE UNTIL IT RECEIVES FINAL SURFACE TREATMENT AND SHALL MAINTAIN THE SUB-GRADE AS SUITABLE AND ACCEPTABLE TO THE OWNER OR OWNER'S REPRESENTATIVE AT ALL TIMES. HE SHALL BE COMPLETELY RESPONSIBLE FOR THE RESTORATION OR REPLACEMENT OF THE SUB-GRADE DUE TO MOISTURE DAMAGE, CONSTRUCTION TRAFFIC, OR ANY OTHER CAUSE. REPAIR OR REPLACEMENT OF THE SUB-GRADE SHALL BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER.
16. UNLESS OTHERWISE NOTED, ALL CONSTRUCTION AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH:
 - A. BALTIMORE COUNTY DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS FOR CONSTRUCTION MATERIALS, DECEMBER 2007, ERRATA & APPEND A.
 - B. NATURAL RESOURCES CONSERVATION SERVICE OF MARYLAND STANDARDS AND SPECIFICATIONS, FOND, CODE 378, JANUARY 2000.
 - C. MARYLAND DEPARTMENT OF TRANSPORTATION STATE HIGHWAY ADMINISTRATION, JULY, 2022, STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS.
17. CONTRACTOR SHALL ADJUST ALL FRAMES, GRATES AND COVERS OF ALL EXISTING UTILITIES WITHIN THE LIMITS OF THE CONTRACT TO THE PROPOSED GRADES, AS REQUIRED.
18. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE TO SNALES AND/ OR STORM DRAIN SYSTEMS AT ALL TIMES.
19. PAVING REPAIR SHALL BE IN ACCORDANCE WITH BALTIMORE COUNTY STANDARD DETAIL R-38.
20. ALL NEW CONCRETE SHALL BE SHA MIX NO. 3, 3500 PSI (MIN.) AT 28 DAYS.
21. CONSTRUCTION OF THE PROPOSED ON-SITE UTILITIES WILL BE IN ACCORDANCE WITH THE BALTIMORE COUNTY PLUMBING CODE AND BY A CONTRACTOR PRE-QUALIFIED BY BALTIMORE COUNTY.
22. CONTRACTOR SHALL COORDINATE THE LOCATION OF THE UNDERGROUND ELECTRIC SERVICE WITH THE BALTIMORE GAS & ELECTRIC COMPANY. SEE ELECTRICAL PLANS FOR DETAILS.
23. UNLESS OTHERWISE NOTED, ALL SEWER PIPE SHALL BE PVC SDR-26 CONFORMING TO THE REQUIREMENTS OF A.S.T.M. SPECIFICATION D-3034.
24. SEE STRUCTURAL AND ARCHITECTURAL PLANS FOR SIZE AND LOCATIONS OF TURNED DOWN SLABS AT EXTERIOR DOORS.
25. ALL WORK IDENTIFIED AS PUBLIC AND PRIVATE ON THESE PLANS SHALL BE COMPLETED BY THE CONTRACTOR.
26. THE AREAS BETWEEN THE SIGHT LINE AND THE CURB LINE MUST BE CLEARED, GRADED AND KEPT FREE OF ANY OBSTRUCTIONS.
27. THE CONTRACTOR SHALL PROVIDE A PRIVATE UTILITY LOCATOR TO LOCATE ALL EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING ANY CONSTRUCTION.
28. TRENCH CRADLE AND ENCASEMENT SHALL BE PER BALTIMORE COUNTY STD. DETAIL G-B.

DEMOLITION NOTES

1. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" 1-800-257-7777 AT LEAST FIVE (5) WORKING DAYS PRIOR TO STARTING ANY WORK.
2. TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON AVAILABLE AS-BUILT PLANS PROVIDED BY BALTIMORE COUNTY DEPARTMENT OF PUBLIC WORKS AND BALTIMORE COUNTY DPW, A SUPPLEMENTAL SURVEY CONDUCTED BY PRECISION MAPPING AND SURVEYING DURING APRIL, 2022.
3. EXISTING UTILITY INFORMATION SHOWN HEREON IS BASED ON THE BEST AVAILABLE INFORMATION, WHICH INCLUDES A FIELD SURVEY CONDUCTED BY PRECISION MAPPING AND SURVEYING DURING APRIL, 2022. AS-BUILT WATER, WASTEWATER AND STORM DRAIN PLANS FROM BALTIMORE COUNTY DEPARTMENT OF PUBLIC WORKS AND BALTIMORE GAS AND ELECTRIC COMPANY PLANS.
4. OBSTRUCTIONS SHOWN ON THIS DRAWING ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. MK CONSULTING ENGINEERS, LLC, DOES NOT WARRANT OR GUARANTEE THE CORRECTNESS OR THE COMPLETENESS OF THE INFORMATION GIVEN. THE CONTRACTOR MUST VERIFY ALL SUCH INFORMATION TO HIS OWN SATISFACTION. IN THE EVENT THAT INFORMATION IS IN CONFLICT WITH INFORMATION OUTLINED, THE CONTRACTOR SHALL IMMEDIATELY BRING IT TO THE ATTENTION OF THE ARCHITECT PRIOR TO STARTING ANY WORK.
5. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES SHOWN HEREON BEFORE STARTING ANY WORK ON THESE PLANS. CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR THE COST OF ANY AND ALL DAMAGES WHICH OCCUR AS A RESULT OF A FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES INDICATED TO REMAIN.
6. ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
7. CONTRACTOR SHALL ADJUST ALL FRAMES, GRATES AND COVERS OF ALL EXISTING UTILITIES WITHIN THE LIMITS OF THE CONTRACT TO THE PROPOSED GRADES AS REQUIRED.
8. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES AT ALL TIMES.
9. CONTRACTOR SHALL COORDINATE ALL DISCONNECTIONS AND REMOVAL OF EXISTING GAS, ELECTRIC AND TELEPHONE SERVICES AND EQUIPMENT WITH BALTIMORE GAS & ELECTRIC, VERIZON.
10. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING MECHANICAL AND ELECTRICAL EQUIPMENT AND ACCESSORIES NOT REMOVED BY LOCAL UTILITY COMPANIES, OR SPECIFIED TO BE REMOVED BY OWNER.
11. ALL EXCAVATION SHALL BE BACKFILLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. IN THE EVENT THAT A PORTION OF A UTILITY IS TO BE REMOVED THE CONTRACTOR SHALL TERMINATE AND CAP TO THE LIMITS INDICATED IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENTS.
12. IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THIS PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO COMPLETE SUCH WORK.
13. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER OF ANY DEVIATION FROM THIS PLAN PRIOR TO ANY CHANGE BEING MADE. ANY DEVIATION FROM THIS PLAN WITHOUT WRITTEN AUTHORIZATION FROM THE ENGINEER WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
14. SHOULD THE CONTRACTOR DISCOVER DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS, THE ENGINEER IS TO BE NOTIFIED IMMEDIATELY TO RESOLVE THE SITUATION. SHOULD THE CONTRACTOR MAKE FIELD CORRECTIONS OR ADJUSTMENTS WITHOUT NOTIFYING THE ENGINEER, THEN THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR THOSE CHANGES.
15. CONTRACTOR SHALL SECURE THE CONSTRUCTION AREA AT THE END OF EACH WORKING DAY AND WILL INSPECT THE SECURITY FENCING TO INSURE ITS INTEGRITY.
16. ALL CONSTRUCTION DEBRIS WILL BE REMOVED FROM THE SITE AND TAKEN TO AN APPROVED, PERMITTED DISPOSAL FACILITY. NO RUBBLE IS TO BE LEFT ON SITE.
17. CONTRACTOR SHALL INSPECT AND TAKE PICTURES OF ADJACENT BUILDING WALLS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION ON THE SITE. EXISTING WALL CRACKS (IF ANY) WILL BE NOTED.
18. CONTRACTOR SHALL CONTINUALLY MONITOR THE WALLS OF THE ADJACENT BUILDINGS FOR ANY SIGNS OF STRUCTURAL DISTRESS. IF ANY DISTRESS IS NOTED, CONTRACTOR SHALL STOP WORK IMMEDIATELY AND NOTIFY OWNER.
19. CONTRACTOR SHALL NOT EXPOSE, UNDERMINE, OR IMPACT THE ZONE OF INFLUENCE FOR FOOTINGS AND FOUNDATIONS OF ADJACENT BUILDINGS. CONTRACTOR WILL BE RESPONSIBLE FOR THE COST TO REPAIR ADJACENT BUILDINGS THAT ARE DAMAGED DUE TO HIS OPERATION.
20. CONTRACTOR SHALL PROVIDE THE NECESSARY MEANS TO CONTROL DUST AND MAINTAIN BALTIMORE COUNTY AIR QUALITY STANDARDS DURING THE DEMOLITION AND REMOVAL OF SITE DEBRIS AND THE NEW CONSTRUCTION.
21. CONTRACTOR SHALL SAWCUT EXISTING PAVING TO MINIMIZE DAMAGE TO EXISTING PAVING REMAINING.
22. CONTRACTOR SHALL REMOVE EXISTING CURBS & CONCRETE WALKS TO THE NEAREST JOINT. NO PATCHING WILL BE PERMITTED.
23. THE DEMOLITION INFORMATION SHOWN ON THIS DRAWINGS IS FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE EXACT LIMITS OF DEMOLITION AND REMOVAL OF AFFECTED SITE ITEMS.
24. CONTRACTOR SHALL PROVIDE 8' HIGH TEMPORARY CONSTRUCTION FENCE AROUND THE LIMITS OF DISTURBANCE AS REQUIRED. REFER TO THE EROSION AND SEDIMENT CONTROL PLANS FOR LOCATIONS OF LOD DURING PHASES.
25. THE CONTRACTOR SHALL PROVIDE A PRIVATE UTILITY LOCATOR TO LOCATE ALL EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING ANY CONSTRUCTION.

SPECIAL DEMOLITION AND CONSTRUCTION NOTES

1. ALL EXISTING WALL, FOOTING, AND BUILDING INFORMATION IS TAKEN FROM RECORD DRAWINGS LABELED "FULLERTON FIRE STATION FOR BALTIMORE COUNTY," DATED 10/21/1971.
2. CONTRACTOR SHALL TAKE MEASURE TO PROTECT EXISTING BUILDING, INCLUDING BUT NOT LIMITED TO WALLS, WINDOWS, DOORS, AND BUILDING FOUNDATIONS. CONTRACTOR TO TAKE CARE AND USE MEASURES TO MINIMIZE VIBRATIONS TO NOT DAMAGE EXISTING BUILDING DURING DEMOLITION AND CONSTRUCTION.

UTILITY NOTES

1. CONTRACTOR SHOULD OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE MUST BE PLACED BELOW (DOWN SLOPE) THE TRENCH.
2. PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF THE TRENCH.
3. ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.
4. FIRE LINE CONSTRUCTION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH N.F.P.A. 24.
5. UNLESS OTHERWISE NOTED, PIPE ELEVATIONS FOR WATER MAINS REFER TO TOP OF PIPE AND SANITARY SEWER ELEVATIONS REFER TO THE INVERT.
6. ALL WATER PIPING, TUBING, FITTINGS AND JOINING METHODS SHALL BE ACCORDING TO THE FOLLOWING APPLICATIONS:
 - 4 INCHES (DN 100) TO 8 INCHES (DN 200): CLASS 250, DUCTILE IRON PIPE, DUCTILE IRON COMPACT FITTINGS AND MECHANICAL JOINTS WITH RETAINER GLANDS.
7. UNLESS OTHERWISE NOTED, ALL SEWER PIPE SHALL BE PVC SDR-26 CONFORMING TO THE REQUIREMENTS OF A.S.T.M. SPECIFICATION D-3034.
8. ALL UTILITY STRUCTURE DIMENSIONS SHALL REFER TO THE CENTERLINE OF THE "STRUCTURES".
9. ALL CLEANOUTS LOCATED IN PAVED AREAS SHALL HAVE COUNTERSUNK LIDS.
10. SEE MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR CONTINUATION OF UTILITY CONNECTIONS TO BUILDING AND SITE LIGHTING INFORMATION.
11. CONTRACTOR SHALL CONNECT ALL ON-SITE UTILITIES TO THE PROPOSED BUILDING CONNECTIONS AS REQUIRED.
12. SEE MECHANICAL, ELECTRICAL, PLUMBING PLANS FOR GAS, ELECTRIC AND UTILITIES LOCATED WITHIN 5' OF THE BUILDING FOOTPRINT.
13. OBSTRUCTIONS SHOWN ON THIS DRAWING ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. MK CONSULTING ENGINEERS, LLC, DOES NOT WARRANT OR GUARANTEE THE CORRECTNESS OR THE COMPLETENESS OF THE INFORMATION GIVEN.
14. THE CONTRACTOR MUST VERIFY ALL SUCH INFORMATION TO HIS OWN SATISFACTION.
15. CONTRACTOR SHALL CALL "MISS UTILITY" (800-257-7777) AT LEAST FIVE (5) WORKING DAYS PRIOR TO STARTING WORK.
16. CONSTRUCTION OF THE PROPOSED UTILITIES WILL BE IN ACCORDANCE WITH THE BALTIMORE COUNTY PLUMBING CODE AND BY A QUALIFIED CONTRACTOR.
17. NO WORK IS TO COMMENCE UNTIL ALL PERMITS HAVE BEEN OBTAINED.
18. CONTRACTOR SHALL TEST PIT FOR LOCATION OF EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
19. EXISTING CURB AND GUTTER & CONCRETE SIDEWALK SHALL BE REMOVED TO THE NEAREST JOINT. NO PATCHING SHALL BE PERMITTED.
20. SHOULD THE CONTRACTOR DISCOVER DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS THE ENGINEER IS TO BE NOTIFIED IMMEDIATELY TO RESOLVE THE SITUATION.
21. CONTRACTOR SHALL COORDINATE THE LOCATION OF THE UNDERGROUND ELECTRIC SERVICE AND THE UNDERGROUND GAS SERVICE WITH THE BALTIMORE GAS, ELECTRIC COMPANY. SEE ELECTRICAL PLANS FOR DETAILS.
22. CONTRACTOR SHALL ADJUST TOP OF EXISTING UTILITIES, I.E. MANHOLE FRAME AND COVER, INLET GRATES, ETC. TO FINISHED GRADE.
23. ON SITE FIRE HYDRANTS ARE TO BE PAINTED RED AND FIRE HYDRANTS STEAMER NOZZLE TO FACE DRIVE AISLES.
24. ALL EXCAVATION SHALL BE BACKFILLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. IN THE EVENT THAT A PORTION OF A UTILITY IS TO BE REMOVED, THE CONTRACTOR SHALL TERMINATE AND CAP TO THE LIMITS INDICATED IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENTS.
25. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ALL WORK SHOWN ON THESE DRAWINGS UNLESS OTHERWISE NOTED.
26. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER OF ANY DEVIATION FROM THE PLANS PRIOR TO ANY CHANGE BEING MADE. ANY DEVIATION FROM THIS PLAN WITHOUT WRITTEN AUTHORIZATION FROM THE ENGINEER WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
27. PRIOR TO BEGINNING ANY UTILITY CONSTRUCTION THE CONTRACTOR SHALL VERIFY THAT ALL EXISTING UTILITIES WILL TIE IN WITH PROPOSED UTILITIES AS SHOWN.
28. ALL VALVES SHALL BE IN STANDARD CONCRETE VAULTS IN ACCORDANCE WITH BALTIMORE COUNTY STANDARD DETAILS.
29. ALL PUBLIC WORK IDENTIFIED ON THESE PLANS IS SUBJECT TO A BALTIMORE COUNTY UTILITY AGREEMENT AND SHALL BE PERFORMED BY A BALTIMORE COUNTY PREQUALIFIED CONTRACTOR HAVING PREQUALIFICATIONS A1, A2, B, F1, F2, F3 AND E.
30. THE CONTRACTOR SHALL PROVIDE A PRIVATE UTILITY LOCATOR TO LOCATE ALL EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING ANY CONSTRUCTION.
31. TRENCH CRADLE AND ENCASEMENT SHALL BE PER BALTIMORE COUNTY STD. DETAIL G-B.

CONCRETE RETAINING WALL NOTES

1. SPECIFICATIONS TO BE PER MDOT SHA STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS.
2. CONCRETE SHALL BE SHA MIX NO. 3 (3500 PSI) EXCEPT AS NOTED.
3. REINFORCING STEEL SHALL CONFORM TO A 615, GRADE 60. ALL SPLICES, NOT SHOWN, SHALL BE LAPPED AS PER BAR LAP CHARTS. MINIMUM COVER FOR ANY BAR SHALL BE 2" UNLESS OTHERWISE NOTED. WITH THE EXCEPTION OF BARS AT THE BOTTOM AND SIDES OF ALL FOOTINGS WHICH SHALL HAVE 3" MINIMUM COVER.
4. ALL DIMENSIONS AFFECTED BY THE GEOMETRY AND/OR LOCATION OF THE EXISTING STRUCTURES, EXISTING STRUCTURES SHALL BE CHECKED IN THE FIELD BY THE CONTRACTOR BEFORE ANY MATERIAL IS ORDERED OR FABRICATED OR CONSTRUCTION BEGINS.
5. CONCRETE FORMLINER TO BE UTILIZED WHEN POURING RETAINING WALL. MODEL #206 ROYALITE STONE, HIGH STRENGTH URETHANE ELASTOMERIC REUSABLE FORMS, AS MANUFACTURED BY CUSTOM ROCK, ST. PAUL, MN 1-800-637-2447. PATTERN SHALL CONTINUOUSLY WRAP AROUND OUTSIDE AND INSIDE CORNERS, AND BE EXPOSED ON INTERIOR AND EXTERIOR FACE OF WALL ABOVE FINISHED GRADE. FINISHED STONE PATTERN SHALL BE STAINED FOR COLORIZATION ACCORDING TO THE SPECIFICATIONS.

<div><div><div>SEAL</div><div><div><div>STATE OF MARYLAND</div><div>MARIONNE K. CRAMPTON</div><div>PROFESSIONAL ENGINEER</div><div>NO. 25069</div></div><div>DATE: 2-20-25</div></div></div></div>	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SH	DRAWING SCALE		APPROVED BY: <i>Mihai T. Petrisor</i> DIRECTOR DATE: 03/26/2025
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 25069 EXPIRATION DATE: 11-17-26 CIVIL ENGINEER MARIAANNE CRAMPTON, PE PRINCIPAL MR CONSULTING ENGINEERS, LLC 1861 PORTER STREET, SUITE 401 BALTIMORE, MD 21202 (P) 410-5086610 EMAIL: MCRAMPTON@MRCENG.COM		BID / PERMIT			03/20/25	-	MSW	-	PLAN SCALE: _____		
							-	ROW NO.	-	PROFILE SCALE: _____		
							-		-			
							-		-			
		DGN BY: <u>MC</u>	BUREAU OF ENGINEERING AND CONSTRUCTION		HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	PROPERTY MANAGEMENT	
		DWN BY: <u>SG</u>	REVIEWED BY:								APPROVED BY: _____ CHIEF	
		CHRD BY: <u>MC</u>	DATE REVIEWED:								DATE: _____	

SUBDIVISION: FULLERTON


BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT

FULLERTON FIRE STATION #8 - RENOVATION & ADDITION

GENERAL NOTES

4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236

ELECTION DIST. NO.: 14C5

SHEET DESIGNATION	CONTRACT NUMBER
CIVIL ENGINEER C1.01	25034 PF0 RE-BID
	JOB ORDER NUMBER 241-220-0054-0012
	SHEET 6 of 58
	DRAWING NUMBER 2022-2325
	FILE NO.: 8

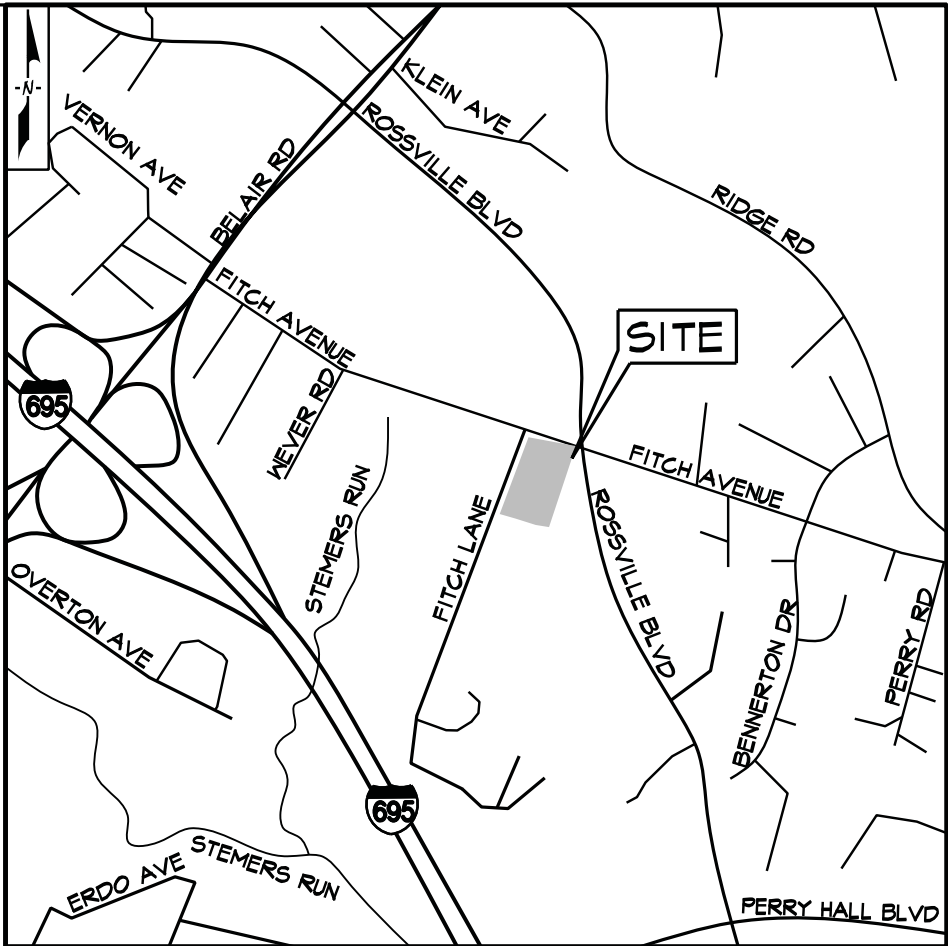
FITCH LANE
(60' RIGHT OF WAY)

BENCHMARK DATA

THE LOCATION OF IMPROVEMENTS SHOWN HEREON ARE DERIVED FROM MARYLAND COORDINATE SYSTEM (NAV83/NA2011 EPOCH 2010) & NAV88 FOR VERTICAL:

POINT#	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	620390.45	1452012.71	185.98	REBAR AND CAP
2	620384.20	1452154.12	181.67	REBAR AND CAP
3	620323.41	1452267.77	198.43	REBAR AND CAP

NOTE
1. FOR DEMOLITION NOTES SEE DRAWING C100



VICINITY MAP
SCALE: 1" = 1,000'

LEGEND

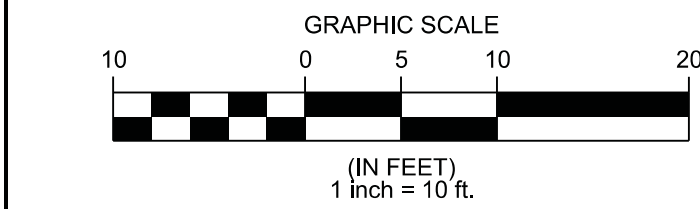
---	PROPERTY LINE
-185-	EX. INDEX CONTOUR
-186-	EX. INTERMEDIATE CONTOUR
==	EX. CURB AND GUTTER
G	EX. GAS MAIN
FO	EX. COMMUNICATION
E	EX. ELECTRIC
24" CCP	EX. STORM DRAIN
4" WATER	EX. WATER
MH	EX. WATER METER
WV	EX. WATER VALVE
FH	EX. FIRE HYDRANT
SMH	EX. SANITARY MANHOLE
SD	EX. STORM DRAIN MANHOLE
CO	EX. CLEANOUT
SV	EX. GAS VALVE
S	EX. SIGN
LP	EX. LIGHT POLE
T	EX. TREE
[Shaded Area]	APPROXIMATE LIMITS OF EXISTING PAVING/CONCRETE TO BE REMOVED

DEMOLITION KEY

- 1 EX. RETAINING WALL TO BE REMOVED & EXISTING FOUNDATION TO REMAIN. PRESERVE EXISTING FOOTING / WALL DOWEL REINFORCEMENT. SEE PROPOSED WALL SECTIONS SHEET C3.01
- 2 EX. CONCRETE SIDEWALK TO BE REMOVED
- 3 EX. STAIRS TO BE REMOVED
- 4 EX. BRICK GRILL TO BE REMOVED
- 5 EX. 4" ROOF DRAIN TO REMAIN
- 6 EX. 4" SANITARY SEWER TO BE REMOVED AND REPLACED IN KIND
- 7 EX. SEWER CLEANOUT TO BE REMOVED AND REPLACED IN KIND
- 8 EX. CONCRETE CURB AND GUTTER TO BE REPLACED IN KIND
- 9 EX. CONCRETE SIDEWALK TO BE REMOVED & REPLACED IN KIND

EXISTING CONDITION & DEMOLITION PLAN

SCALE: 1" = 10'



	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHF	DRAWING SCALE	APPROVED BY: <i>Mihai T. Petrisor</i>	
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.		BID / PERMIT		03/26/25				PLAN SCALE: 1"=10'	DIRECTOR	
	LICENSE NO. 25058 EXPIRATION DATE: 11-17-26					R.O.W. NO.			PROFILE SCALE:	DATE: 03/26/2025	
	CIVIL ENGINEER MARIANNE CRAMPTON, P.E. PRINCIPAL		DGN BY: MC	BUREAU OF ENGINEERING AND CONSTRUCTION	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	PROPERTY MANAGEMENT
	MR CONSULTING ENGINEERS, LLC 1801 PORTER STREET, SUITE 201 BALTIMORE, MD 21202 (P) 410-588-6100 EMAIL: MCRAMPTON@MCEFSO.COM		DWN BY: SG	REVIEWED BY:							CHIEF
		CHRD BY: MC	DATE REVIEWED:							DATE:	

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT

FULLERTON FIRE STATION #8 - RENOVATION & ADDITION

EXISTING CONDITIONS & DEMOLITION PLAN

SUBDIVISION: FULLERTON

4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236

ELECTION DIST. NO.: 14C5

SHEET DESIGNATION CIVIL ENGINEER C2.00	CONTRACT NUMBER 25034 PF0 RE-BID
	JOB ORDER NUMBER 241-220-0054-0012
	SHEET 7 of 58
	DRAWING NUMBER 2022-2326
	FILE NO.: 8

8/18/2020 4:02:03 PM

FITCH LANE
(60' RIGHT OF WAY)

REPLACE CURB AND GUTTER IN KIND MEET EX. CURB AND GUTTER FOR LINE & GRADE (TYP.)

CONTRACTOR TO USE EXTREME CAUTION NOT TO DAMAGE EXISTING FIBER OPTIC.

MEET EX. SIDEWALK FOR LINE & GRADE (TYP.)

MEET EX. SIDEWALK FOR LINE & GRADE (TYP.)

TEMPORARY STOCKPILE AREA APPROX. 34 C.Y. MAX HEIGHT 6' 2:1 SIDE SLOPES

NOTE: EXISTING ELECTRIC, FIBER OPTIC & WATER IN WORK AREA. CONTRACTOR SHALL USE EXTREME CAUTION NOT TO DAMAGE EXISTING UTILITIES.

PROP. STAIRS SEE ARCHITECTURAL PLANS FOR DETAILS

MEET EX. SIDEWALK FOR LINE & GRADE (TYP.)

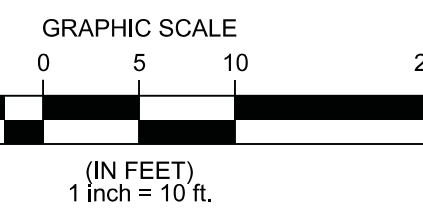
PROP. BUILDING ADDITION SEE ARCHITECTURAL PLANS FOR DETAILS

NOTE: CONTRACTOR TO STEP THE PROPOSED WALL FOOTINGS AT EXISTING STEP LOCATIONS (TYP.)

PROPOSED WALL FOUNDATION (TYP.)

EXISTING FOOTING STEPS

MEET EX. SIDEWALK FOR LINE & GRADE (TYP.)



SITE & GRADING PLAN
SCALE: 1" = 10'

SEAL STATE OF MARYLAND MARSHALL K. CRAMPTON PROFESSIONAL ENGINEER LICENSE NO. 25058 EXPIRATION DATE: 11-17-26	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE		APPROVED BY: <u>Mihai T Petrisor</u> DIRECTOR DATE: <u>03/26/2025</u>
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 25058 EXPIRATION DATE: 11-17-26 CIVIL ENGINEER MARSHALL CRAMPTON, PE 1801 PORTER STREET, SUITE 201 BALTIMORE, MD 21205 (P: 410-588-6100) EMAIL: MCRAMPTON@MCRCONS.COM				BID / PERMIT		03/26/2025	-	MSW	25058	PLAN SCALE: 1"=10'	
										R.O.W. NO.		
CIVIL ENGINEER MARSHALL CRAMPTON, PE 1801 PORTER STREET, SUITE 201 BALTIMORE, MD 21205 (P: 410-588-6100) EMAIL: MCRAMPTON@MCRCONS.COM		DGN BY: MC	BUREAU OF ENGINEERING AND CONSTRUCTION		HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	PROPERTY MANAGEMENT	APPROVED BY: _____ CHIEF
		DWN BY: SG	REVIEWED BY:									DATE: _____
		CHRD BY: MC	DATE REVIEWED:									

OWNER'S/DEVELOPER'S
CERTIFICATION - GRADING:

I/WE CERTIFY THAT ALL GRADING ON THIS SITE WILL BE DONE IN ACCORDANCE WITH THE CURRENT GRADING REQUIREMENTS AS SET FORTH BY THE BALTIMORE COUNTY DEPARTMENT OF ENVIRONMENTAL PROTECTION AND SUSTAINABILITY AND WITH THE REQUIREMENTS SPECIFIED IN ARTICLE 33, TITLE 5 OF THE BALTIMORE COUNTY CODE.

SIGNATURE OF OWNER/DEVELOPER TITLE DATE

PRINT NAME

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT

FULLERTON FIRE STATION #8 - RENOVATION & ADDITION

SITE & GRADING PLAN

4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236

ELECTION DIST. NO.: 14C5

BENCHMARK DATA

POINT#	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	620340.45	1452012.71	185.98	REBAR AND CAP
2	620384.20	1452154.12	187.67	REBAR AND CAP
3	620323.44	1452267.77	198.43	REBAR AND CAP

NOTE:
1. FOR GENERAL NOTES SEE DRAWING C100
2. FOR WALL DETAILS SHEET C3.01

LEGEND

---	PROPERTY LINE
-185-	EX. INDEX CONTOUR
-186-	EX. INTERMEDIATE CONTOUR
---	EX. CURB AND GUTTER
-9-	EX. GAS MAIN
-0-	EX. COMMUNICATION
---	EX. ELECTRIC
---	EX. STORM DRAIN
4" WATER	EX. WATER
0" PM	EX. WATER METER
2" V	EX. WATER VALVE
2" FH	EX. FIRE HYDRANT
2" SMH	EX. SANITARY MANHOLE
0" MH	EX. STORM DRAIN MANHOLE
0" CO	EX. CLEANOUT
0" SV	EX. GAS VALVE
0" S	EX. SIGN
0" L	EX. LIGHT POLE
0" T	EX. TREE
---	PROP. CONCRETE RETAINING WALL SEE DETAILS SHEET C3.01
---	PROP. CONTOUR
5.85	PROP. SPOT ELEVATIONS
LOD	PROP. LIMIT OF DISTURBANCE
SF	SILT FENCE
SFOP	SILT FENCE ON PAVEMENT
[Pattern]	STABILIZED CONSTRUCTION ENTRANCE
[Symbol]	TEMPORARY STOCKPILE AREA APPROX. 34 C.Y. MAX HEIGHT 6' 2:1 SIDE SLOPES

NOTES:

- THE PROPOSED GRADING SHOWN ON THIS PLAN MEETS THE REQUIREMENTS SET FORTH BY BALTIMORE COUNTY DEPARTMENT OF ENVIRONMENTAL PROTECTION AND SUSTAINABILITY AND COMPLIES WITH ARTICLE 33, TITLE 5 OF THE BALTIMORE COUNTY CODE. HOWEVER, DUE TO BUILDING TYPES AND LAYOUT, SOME FIELD ADJUSTMENTS MAY BE REQUIRED. ALL CHANGES MUST COMPLY WITH THE ABOVE MENTIONED REQUIREMENTS.
- ALL SWALES HAVE BEEN DESIGNED BY THE ENGINEER TO CONVEY RUNOFF ACCORDING TO BALTIMORE COUNTY DEPARTMENT OF PUBLIC WORKS DESIGN STANDARDS.
- THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION OR DISTURBANCE OF VEGETATION IN THE FOREST BUFFER EASEMENT OR OTHER FOREST RETENTION AREAS, EXCEPT AS PERMITTED BY THE BALTIMORE COUNTY DEPARTMENT OF ENVIRONMENTAL PROTECTION AND SUSTAINABILITY.
- THIS PROJECT IS EXEMPT FROM STORMWATER MANAGEMENT.
- FOR PROPOSED SPOT ELEVATIONS ADD 190' (19X.XX)
- PROFESSIONAL ARBORIST SHALL TRIM AND PRUNE THREE (3) EXISTING TREES ADJACENT TO LIMIT OF DISTURBANCE

SITE ANALYSIS

TOTAL LOT/SITE AREA:	2.10 AC.
TOTAL LIMIT OF DISTURBANCE:	4,915 S.F. OR 0.11 AC.
EARTHWORK:	CUT = 300 CY FILL = 300 CY CUT / FILL RATIO = 1:1

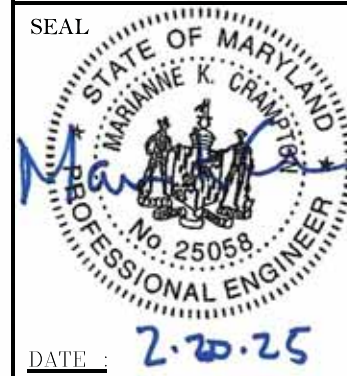
FILL MATERIAL SHALL BE FROM AN OFF-SITE LOCATION WITH AN APPROVED SEDIMENT CONTROL PLAN & ACTIVE GRADING PERMIT. FILL MATERIAL MAY NOT BE STORED ON-SITE.

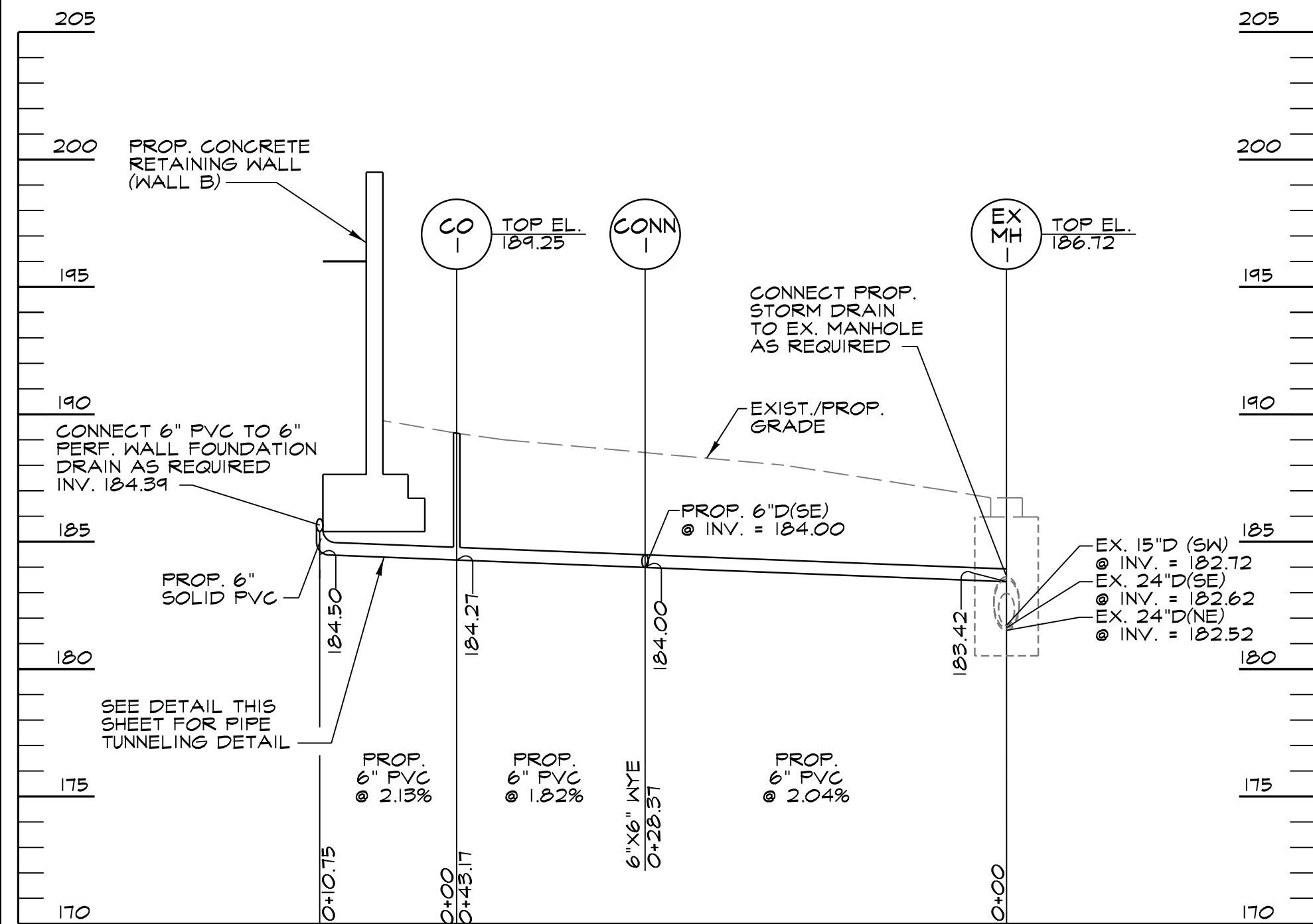
OWNER

BALTIMORE COUNTY
PROPERTY MANAGEMENT
12200 LONG GREEN PIKE
GLEN ARM, MD 21051
PHONE: 410-887-6595

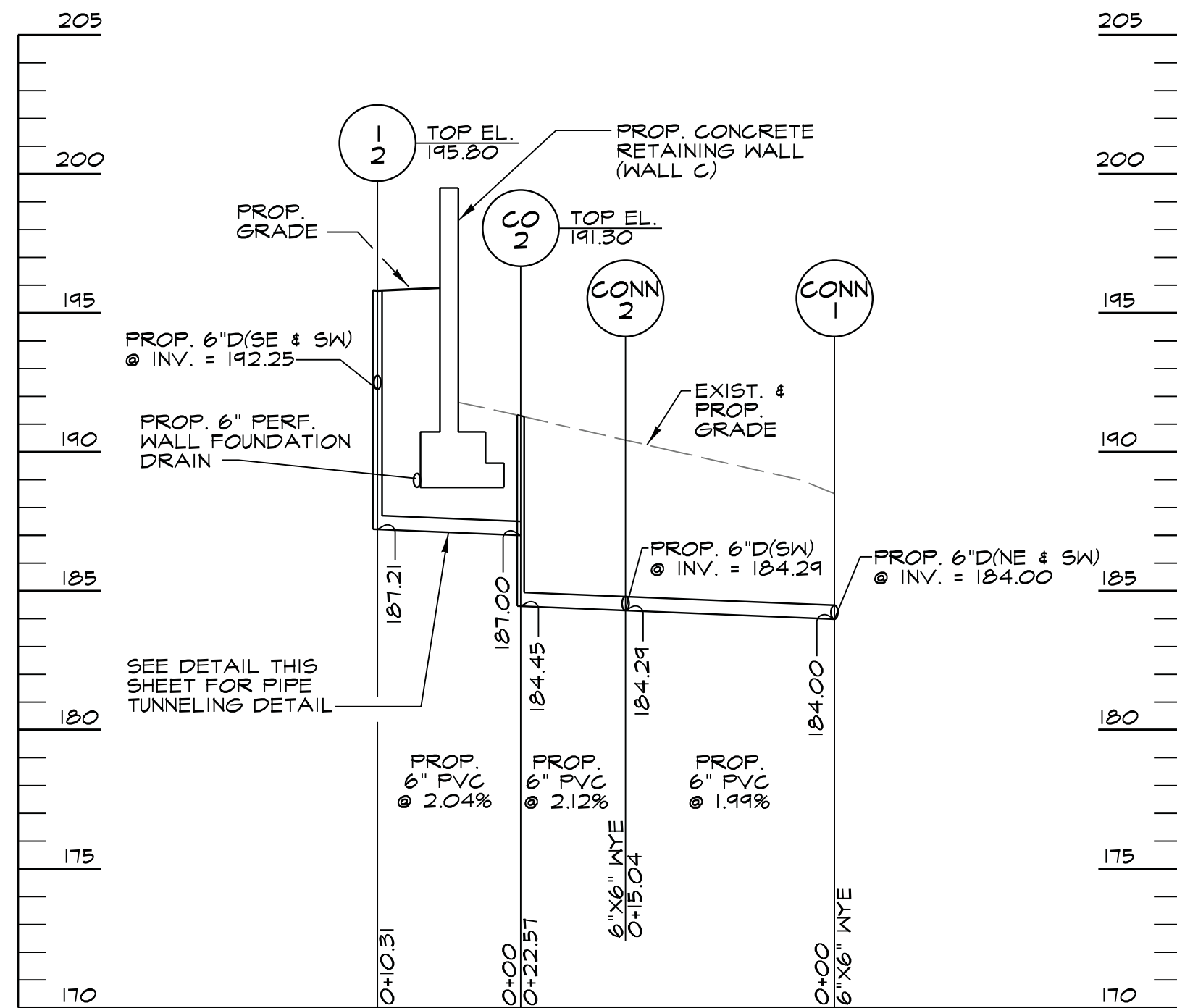
BALTIMORE COUNTY
DEPARTMENT OF ENVIRONMENTAL PROTECTION
AND SUSTAINABILITY
APPROVED FOR GRADING

DATE	
STORMWATER MANAGEMENT PERMIT NOT REQUIRED	
SHEET DESIGNATION	CONTRACT NUMBER
CIVIL ENGINEER C3.00	25034 PF0 RE-BID
JOB ORDER NUMBER	
241-220-0054-0012	
SHEET 8 of 58	
DRAWING NUMBER	
2022-2327	
FILE NO.: 8	

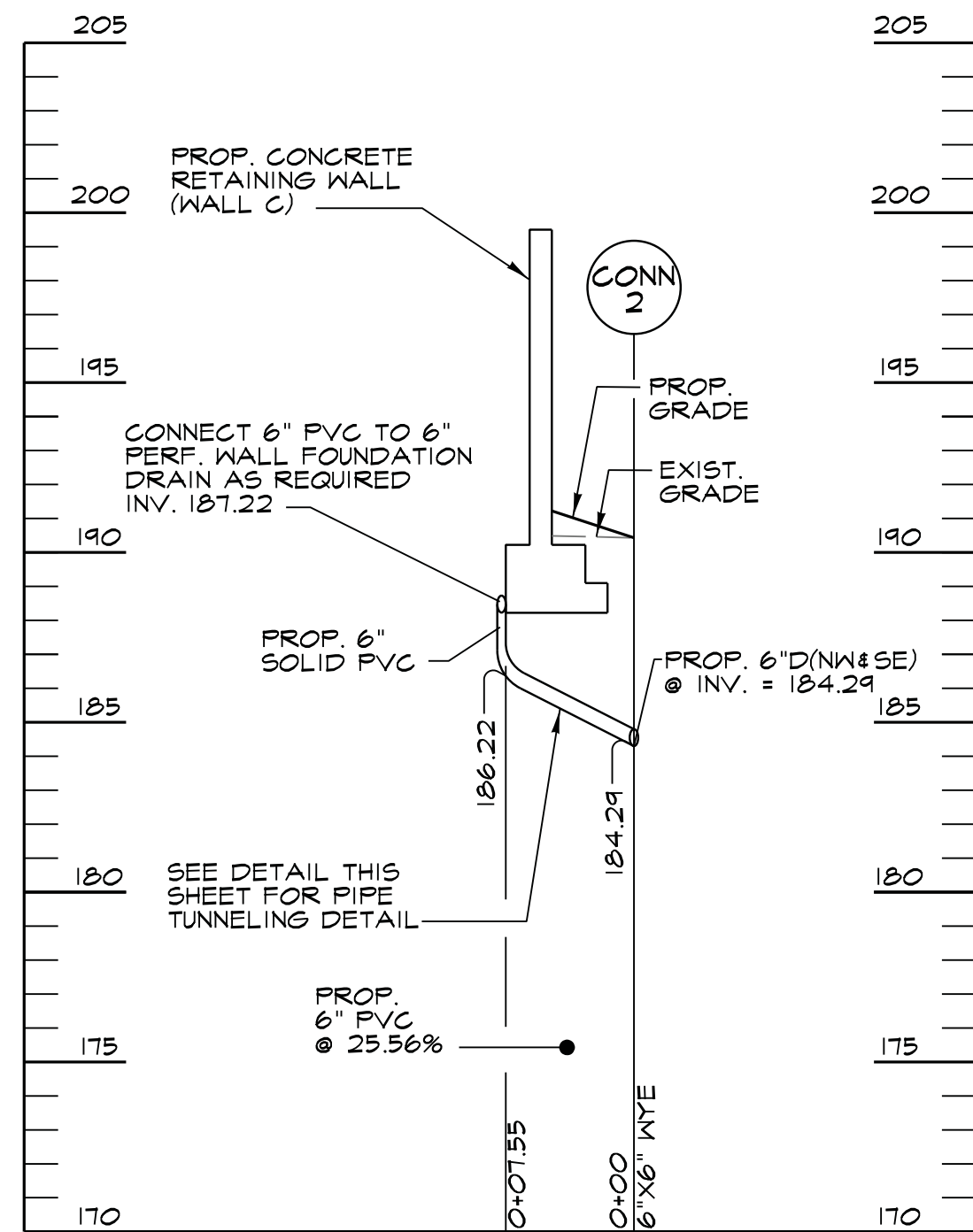




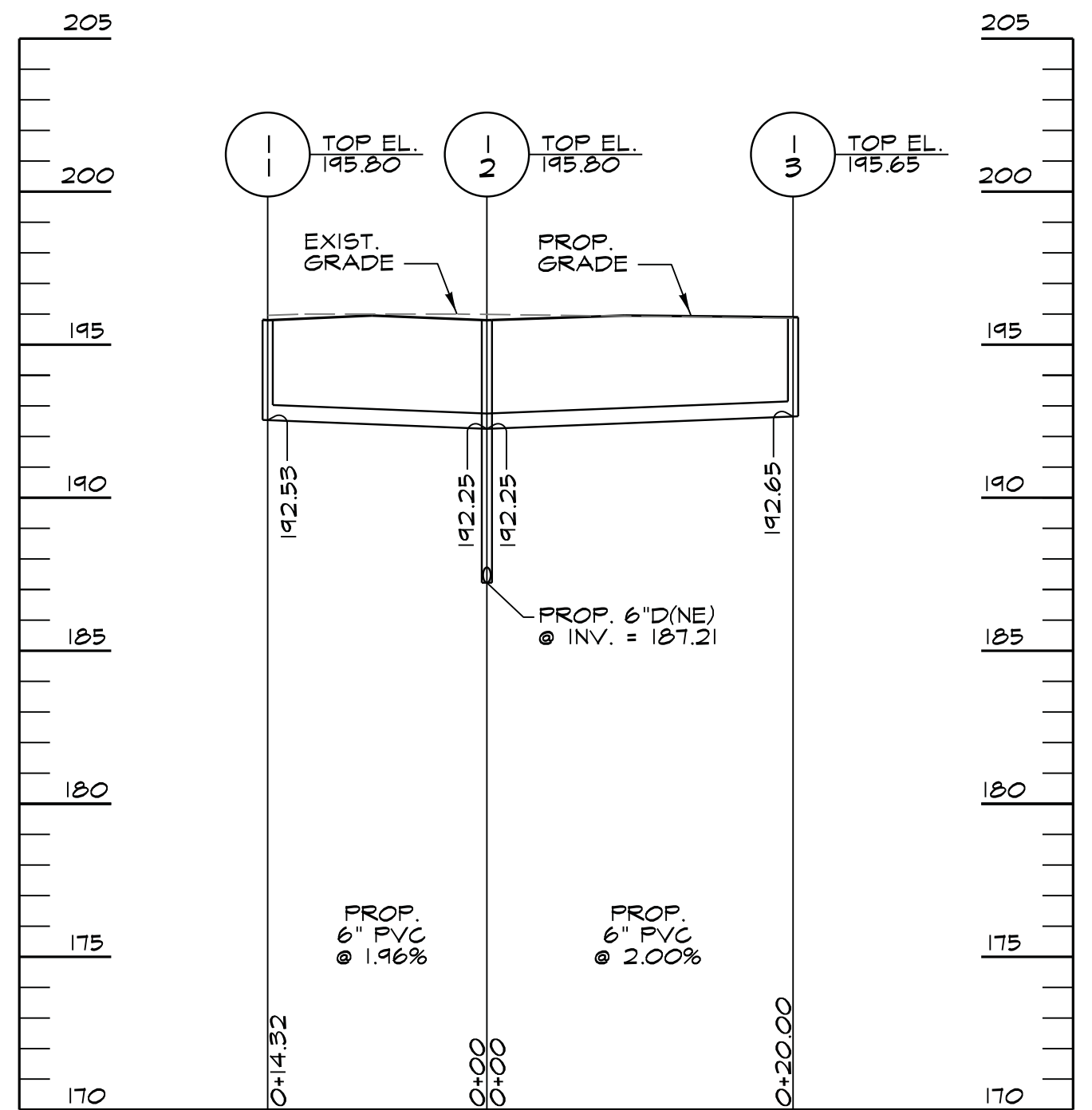
STORM DRAIN PROFILE
(WALL FOUNDATION DRAIN TO EX MH-1)
SCALE: HORIZ. 1" = 10'
VERT. 1" = 5'



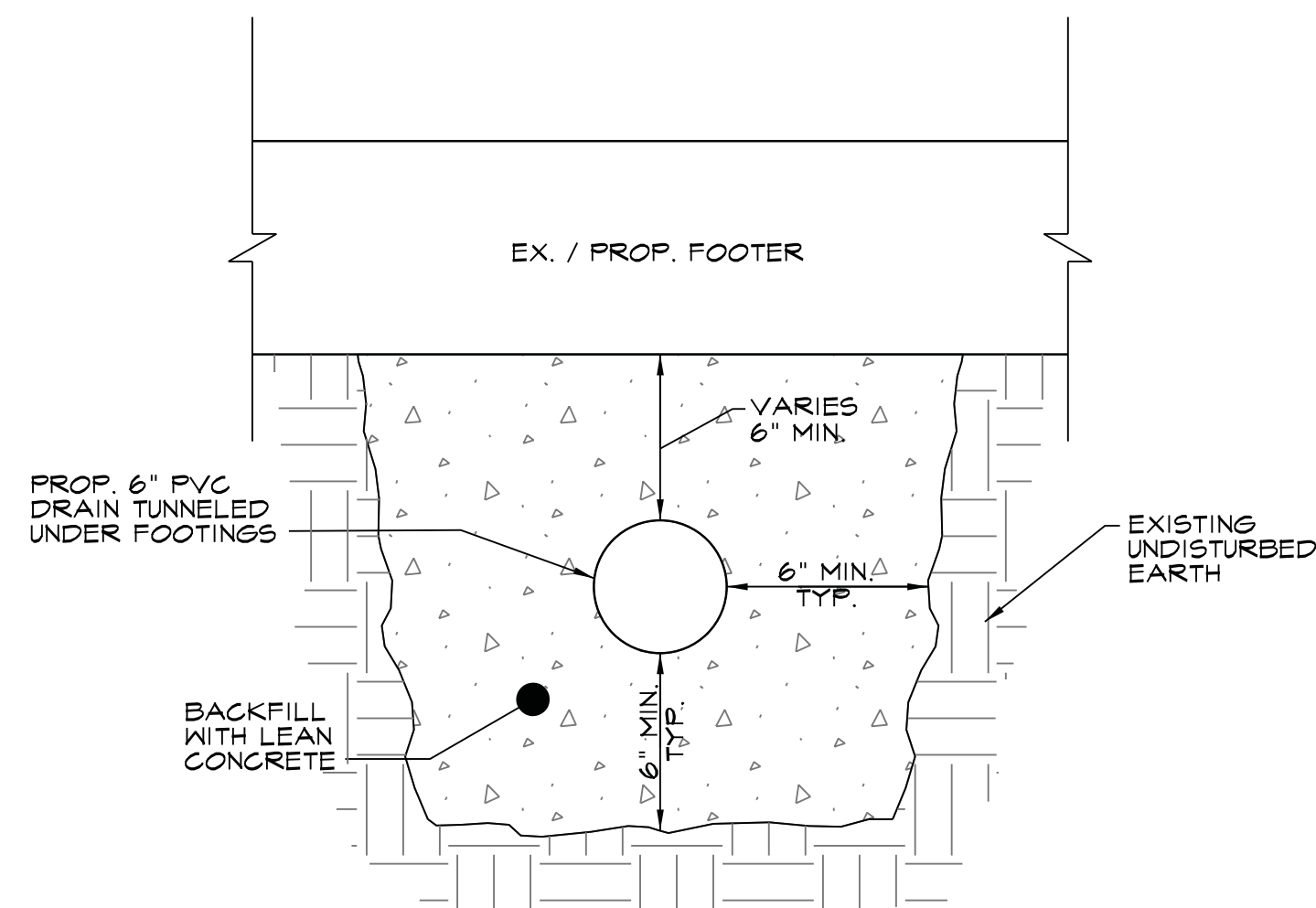
STORM DRAIN PROFILE
(I-2 TO CONN-1)
SCALE: HORIZ. 1" = 10'
VERT. 1" = 5'



STORM DRAIN PROFILE
(WALL FOUNDATION DRAIN TO CONN-2)
SCALE: HORIZ. 1" = 10'
VERT. 1" = 5'



STORM DRAIN PROFILE
(I-1 TO I-3)
SCALE: HORIZ. 1" = 10'
VERT. 1" = 5'



1
C3.03
TYPICAL SECTION AT PIPE UNDER FOOTINGS
NOT TO SCALE

<div>SEAL</div> <div></div> <div>DATE: 2.20.25</div>	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHFT	DRAWING SCALE	<div>APPROVED BY: <u>Mihai T. Petrisor</u></div> <div>DIRECTOR</div> <div>DATE: <u>03/26/2025</u></div> <div>APPROVED BY: _____</div> <div>CHIEF</div> <div>DATE: _____</div>
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.		BID / PERMIT		03/20/25	-	MSW	STORM	PLAN SCALE: _____	
	LICENSE NO. 25058 EXPIRATION DATE: 11-17-26					R.O.W. NO.	-	-	PROFILE SCALE: _____	
	CIVIL ENGINEER									
	MARIANNE CRAMPTON, P.E. PRINCIPAL		DGN BY: MC	BUREAU OF ENGINEERING AND CONSTRUCTION		HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT		SHEET DESIGNATION CIVIL ENGINEER C3.03	CONTRACT NUMBER 25034 PFO RE-BID
FULLERTON FIRE STATION #8 - RENOVATION & ADDITION			JOB ORDER NUMBER 241-220-0054-0012
STORM DRAIN PROFILES			SHEET 11 of 58
4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236			DRAWING NUMBER 2022-2330
ELECTION DIST. NO.: 14C5			FILE NO.: 8

SHEET DESIGNATION
CIVIL ENGINEER
C3.03

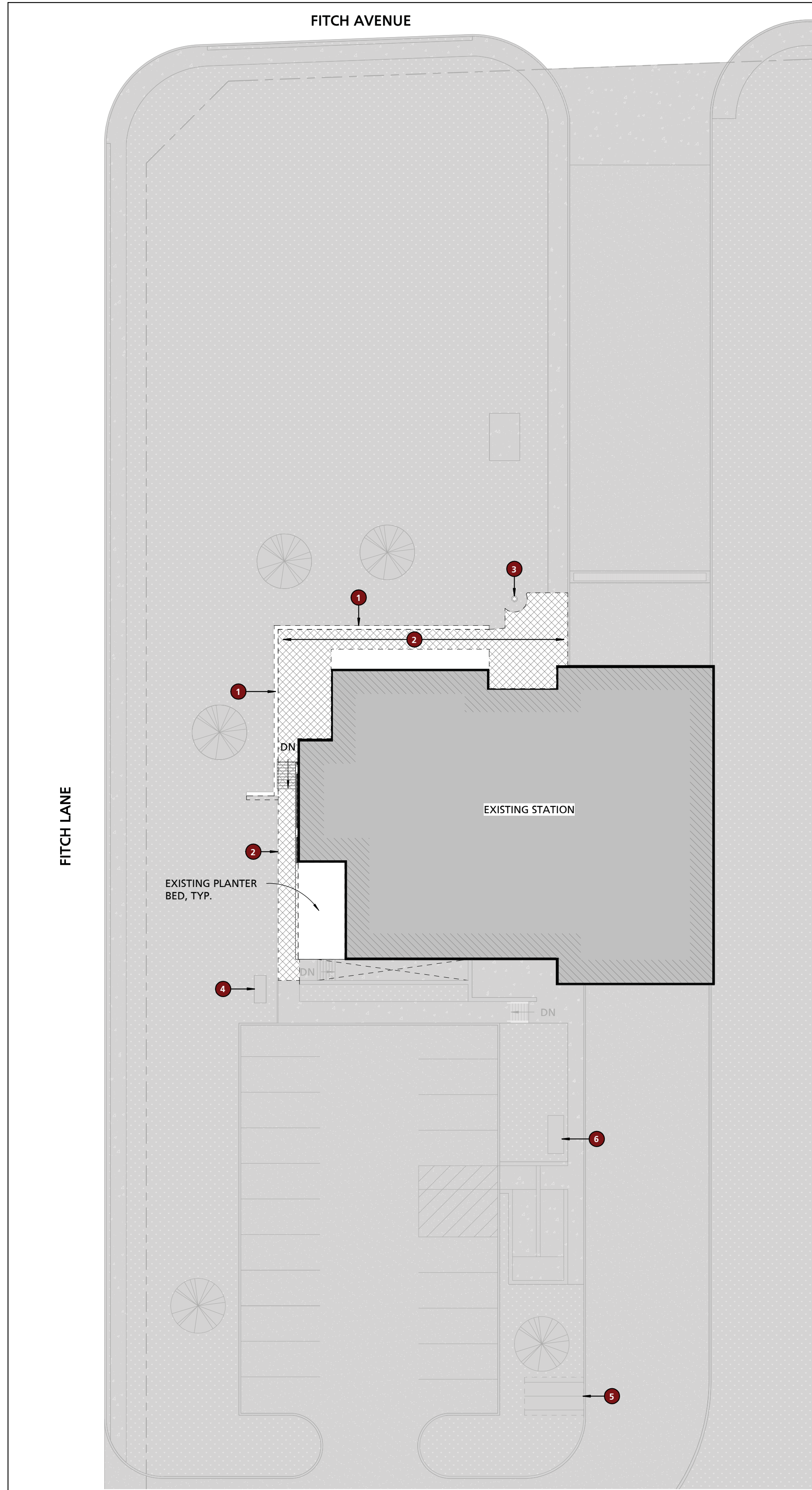
CONTRACT NUMBER
25034 PFO RE-BID

JOB ORDER NUMBER
241-220-0054-0012

SHEET 11 of 58

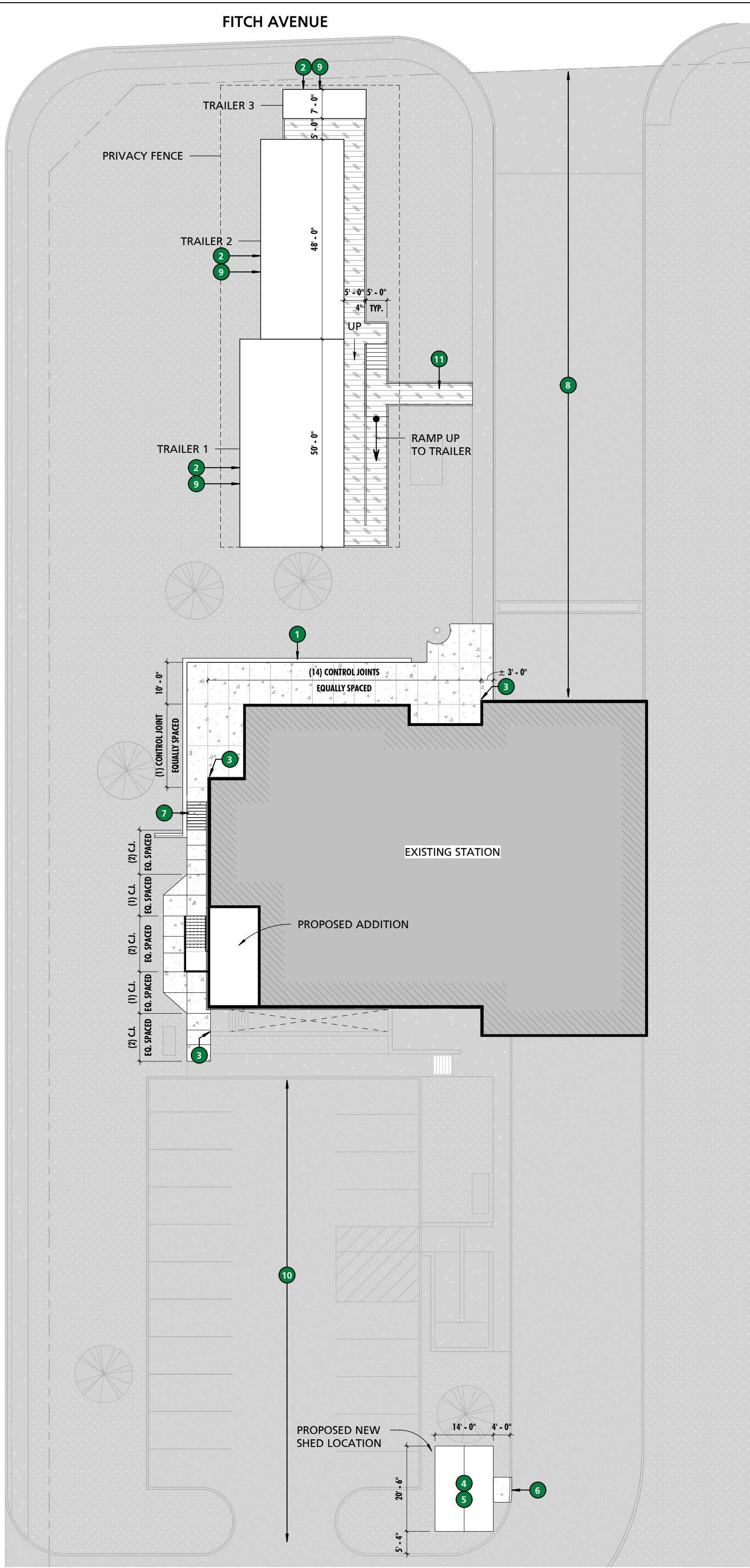
DRAWING NUMBER
2022-2330

FILE NO.: 8



0	REFERENCED NOTES - SITE DEMOLITION
NO.	NOTE
1	EXISTING MASONRY RETAINING WALL TO BE REMOVED.
2	EXISTING CONCRETE PATIO, SIDEWALK, AND EXTERIOR STAIR TO BE REMOVED.
3	EXISTING FLAG POLE TO REMAIN.
4	EXISTING GENERATOR TO REMAIN.
5	EXISTING SHED TO BE DEMOLISHED. OWNER SHALL BE RESPONSIBLE FOR REMOVAL OF ITEMS WITHIN SHED PRIOR TO DEMOLITION.
6	EXISTING FUEL PUMP TO REMAIN.

LEGEND
EXISTING ELEMENTS TO REMAIN
CONCRETE PATIO TO BE REMOVED
MASONRY RETAINING WALL TO BE REMOVED



0	TYPICAL REFERENCE NOTES - SITE DIAGRAM
NO.	NOTE
1	CONCRETE PATIO & CAST-IN-PLACE CONCRETE RETAINING WALL.
2	LOCATION FOR TEMPORARY LIVING FACILITY TRAILERS. CONTRACTOR TO PROVIDE TRAILERS WITH TEMPORARY WATER, SANITARY, ELECTRIC, THROUGHOUT THE DURATION OF CONSTRUCTION.
3	ALIGN CONTROL JOINTS WITH BUILDING EDGE
4	GRAVEL PAD AREA FOR STORAGE SHED. GRAVEL PAD AREA SHALL BE MADE LEVEL AS NECESSARY WITH PRESSURE TREATED 6x6 KNEE WALL. GRAVEL TO BE COMPACTED #57 STONE OVER GEO-GRID FABRIC.
5	PRE-FABRICATED WOODEN STORAGE SHED PROVIDED BY CONTRACTOR. CONTRACTOR SHALL CONFIRM FINAL LAYOUT AND LOCATION OF SHED WITH COUNTY PRIOR TO INSTALLATION OF GRAVEL PAD/SHED.
6	CONTRACTOR TO DEMO 6' OF EXISTING CURB AND REPOUR CURB AS DEPRESSED CURB. DEPRESSED CURB LOCATION TO ALIGN WITH OPENING OF STORAGE SHED.
7	CAST IN PLACE CONCRETE STAIR
8	FRONT RESPONSE APRON MUST STAY CLEAR OF ALL CONSTRUCTION OPERATIONS DURING ENTIRE CONSTRUCTION PROCESS.
9	COUNTY TO PROVIDE TEMPORARY DATA, TELEPHONE, CABLE, AND FIREHOUSE ALERTING SYSTEM TO TEMPORARY LIVING FACILITIES.
10	EXISTING PARKING AREA MUST BE KEPT CLEAR OF ALL CONSTRUCTION ACTIVITIES TO ENSURE PARKING IS AVAILABLE TO FIRE DEPARTMENT PERSONNEL.
11	TEMPORARY WALKWAY TO BE DEMOLISHED AFTER CONSTRUCTION, REGRADED AND SEEDDED TO TURN BACK INTO LAWN

TRAILER BASIS OF DESIGN REQUIREMENTS AS PROVIDED BY CONTRACTOR

- TRAILER 1 - LOUNGE:**
- APPROX. 25'x50'
 - LOUNGE AREA FOR 11 RECLINERS
 - SMALL KITCHENETTE (4 BURNER STOVE W/ OVEN, ONCE COMPARTMENT EXTA DEEP SINK, (2) FULL REFRIGERATOR, FREEZER, (2) MICROWAVE.
 - 2 OFFICES TO FIT A DESK W/ COMPUTER AND PHONE, 2 CHAIRS, FILE CABINET AND BED
 - TEMPORARY CONDUIT W/ STRINGS, SIZED PER CODE, FROM EXISTING NETWORK TO TRAILER 1 TO ACCOMMODATE TELECOM REQUIREMENTS. CONTRACTOR TO COORDINATE WITH OIT.
 - TEMPORARY CONDUIT W/ STRINGS, SIZED PER CODE, FROM EXISTING COMMAND CENTER TO TRAILER 1 TO ACCOMMODATE EMERGENCY NOTIFICATION REQUIREMENTS. CONTRACTOR TO COORDINATE WITH OIT.
 - ALERTING AND DISPATCH
- TRAILER 2 - BUNK TRAILER:**
- APPROX. 20'x48'
 - TRAILER BUNK SLEEPS 11 TOTAL
 - 2 BUNK ROOMS WITH FLOOR TO CEILING WALLS
 - 9 BUNK ROOMS IN COMMON AREA
 - TEMPORARY CONDUIT W/ STRINGS, SIZED PER CODE, FROM EXISTING NETWORK TO TRAILER 1 TO ACCOMMODATE TELECOM REQUIREMENTS. CONTRACTOR TO COORDINATE WITH OIT.
 - TEMPORARY CONDUIT W/ STRINGS, SIZED PER CODE, FROM EXISTING COMMAND CENTER TO TRAILER 1 TO ACCOMMODATE EMERGENCY NOTIFICATION REQUIREMENTS. CONTRACTOR TO COORDINATE WITH OIT.
 - ALERTING AND DISPATCH
- TRAILER 3 - T&S:**
- APPROX. 7'x20'
 - 4 PERSONAL TOILET & SHOWER STALLS
 - 1 AUDIBLE ALARM
 - TEMPORARY CONDUIT W/ STRINGS, SIZED PER CODE, FROM EXISTING COMMAND CENTER TO TRAILER 1 TO ACCOMMODATE EMERGENCY NOTIFICATION REQUIREMENTS. CONTRACTOR TO COORDINATE WITH OIT.

CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY, INSTALLATION OF TEMPORARY LIVING FACILITIES IN ADDITION TO PROVIDING THE ASSOCIATED WALK WAYS, TEMPORARY UTILITIES, PRIVACY FENCE AND TEMPORARY FOUNDATION REQUIRED FOR SAID FACILITIES.

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PROVIDING ALL REQUIRED PERMITS AND ASSOCIATED REVIEW FEES RELATED TO PROVIDING THE TEMPORARY LIVING FACILITIES.

CONTRACTOR SHALL BE RESPONSIBLE FOR CABLES AND CABLE INSTALLATION TO THE TEMPORARY LIVING FACILITIES.

LEGEND
EXISTING ELEMENTS TO REMAIN
P.T. WOOD RAMP/WALKWAY AREA
TEMPORARY TRAILERS

1 ARCHITECTURAL DEMOLITION SITE DIAGRAM
1" = 20'-0"

2 ARCHITECTURAL SITE DIAGRAM & TEMPORARY FACILITIES PLAN
1" = 20'-0"

<div>SEAL</div> <div></div>	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	APPROVED BY: <i>Mihai T Petrisor</i> <div>DIRECTOR</div> DATE: <u>03/26/2025</u>
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 15505 EXPIRATION DATE: 08-18-2026		BID/PERMIT			03/01/25	-	MSW	CHIEF	PLAN SCALE: <i>As indicated</i>	
						R.O.W. NO.	-	-	PROFILE SCALE: -		
						-	-	-	-		
ARCHITECT:	DGN BY: _____	BUREAU OF ENGINEERING AND CONSTRUCTION	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	PROPERTY MANAGEMENT		
DAVID WOODWARD, AIA PRINCIPAL ARCHITECT MANSON WOODWARD STUDIOS 10000-37 PHILLIPS RD. STE. 100 WHITE MARSH, MARYLAND 21104 (P) 301-980-1900	DWN BY: _____	REVIEWED BY: _____								APPROVED BY: _____ <div>CHIEF</div> DATE: _____	
DATE: 03/01/25	CHKD BY: _____	DATE REVIEWED: _____									

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT

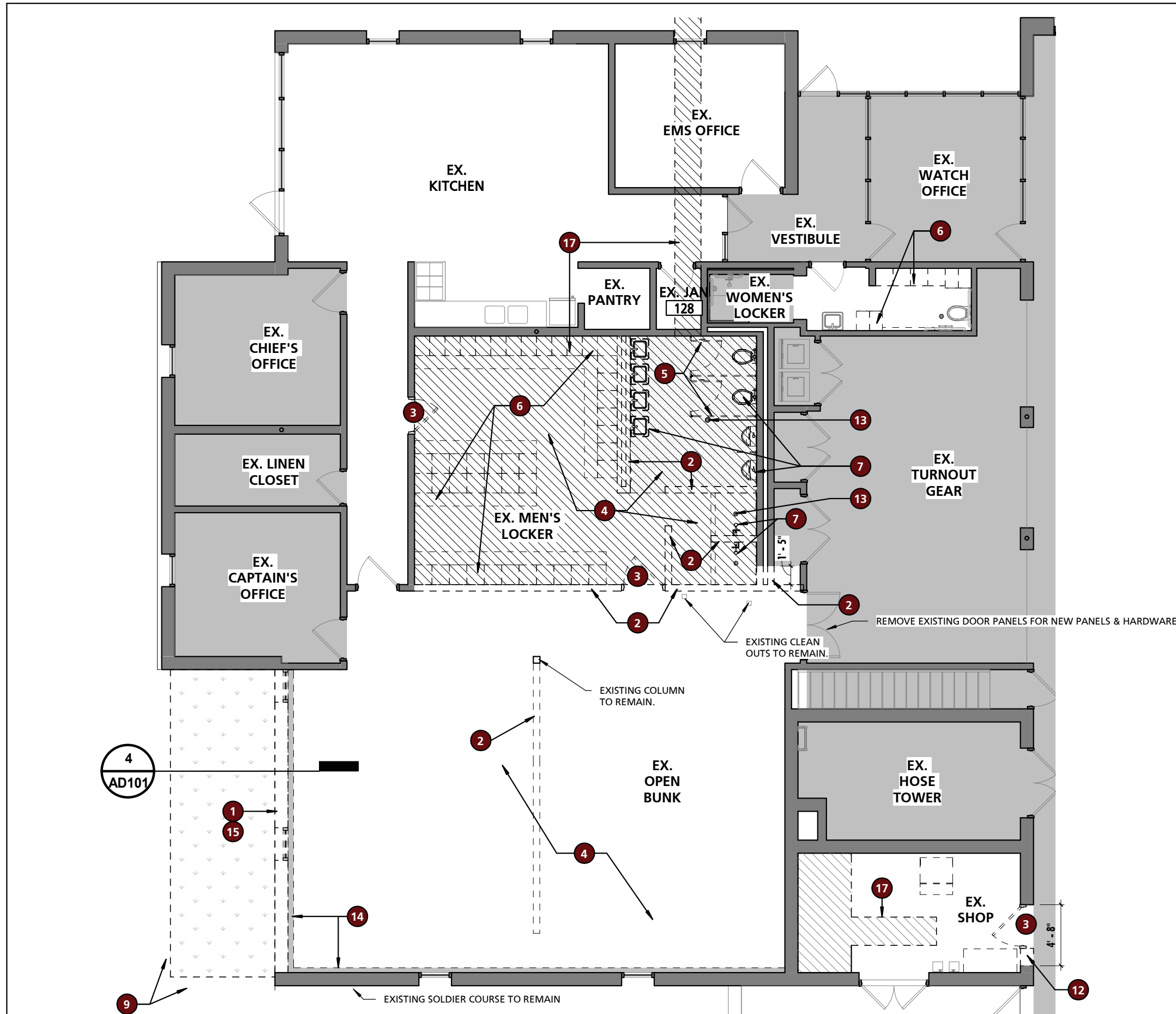
FULLERTON FIRE STATION #8 - RENOVATION & ADDITION

ARCHITECTURAL SITE DIAGRAMS

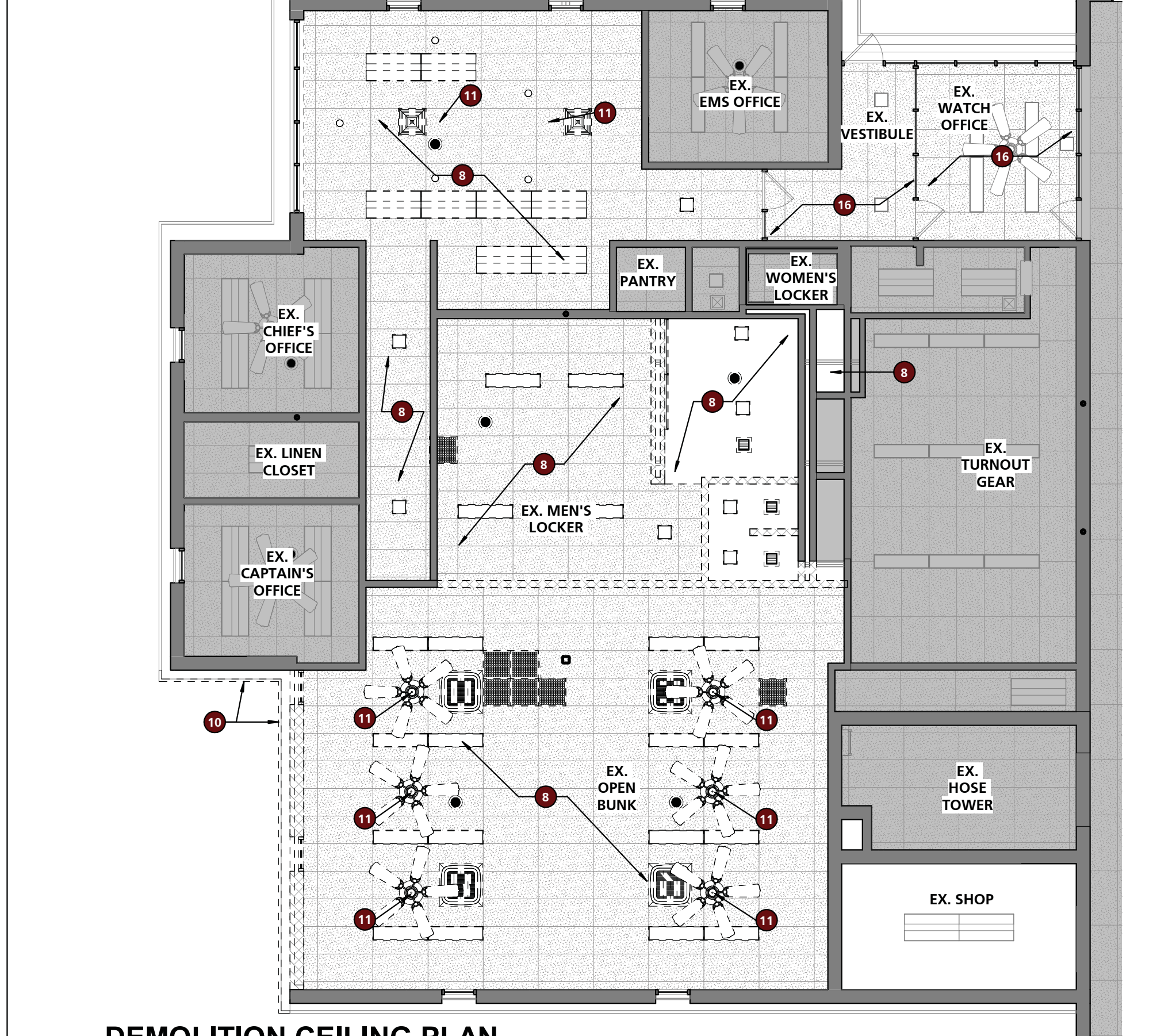
4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236

SUBDIVISION: FULLERTON

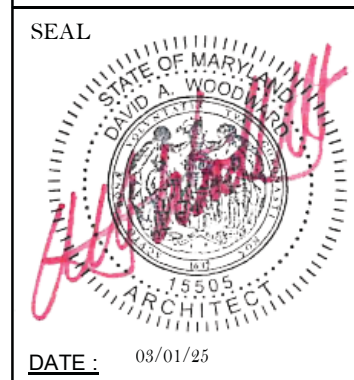
SHEET DESIGNATION	CONTRACT NUMBER
AD100	25034 PF0 RE-BID
	JOB ORDER NUMBER
	241-220-0054-0012
SHEET 12 of 58	
DRAWING NUMBER	
2022-2331	
FILE NO.: 8	

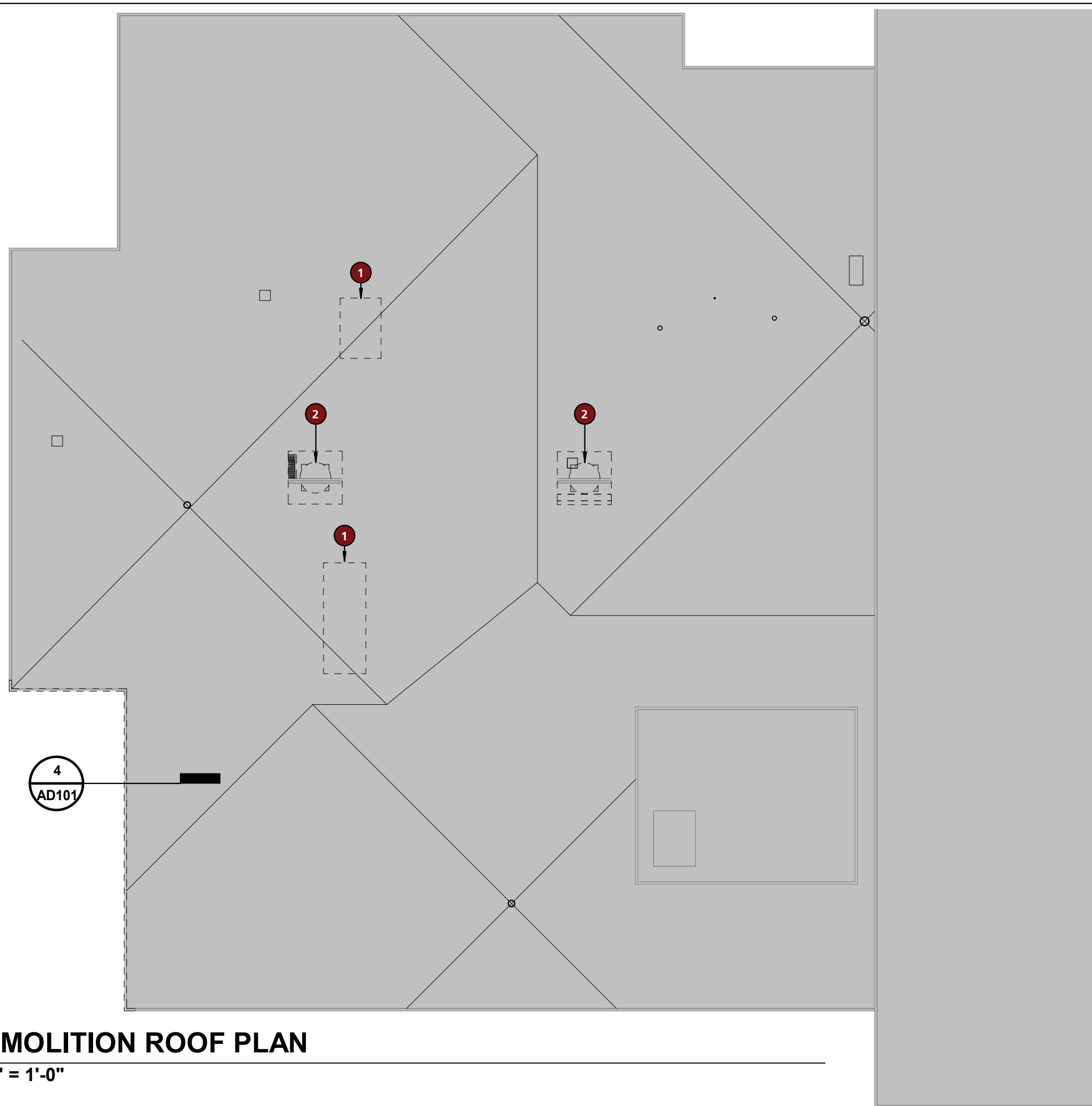


1 FIRST FLOOR DEMOLITION PLAN
1/8" = 1'-0"

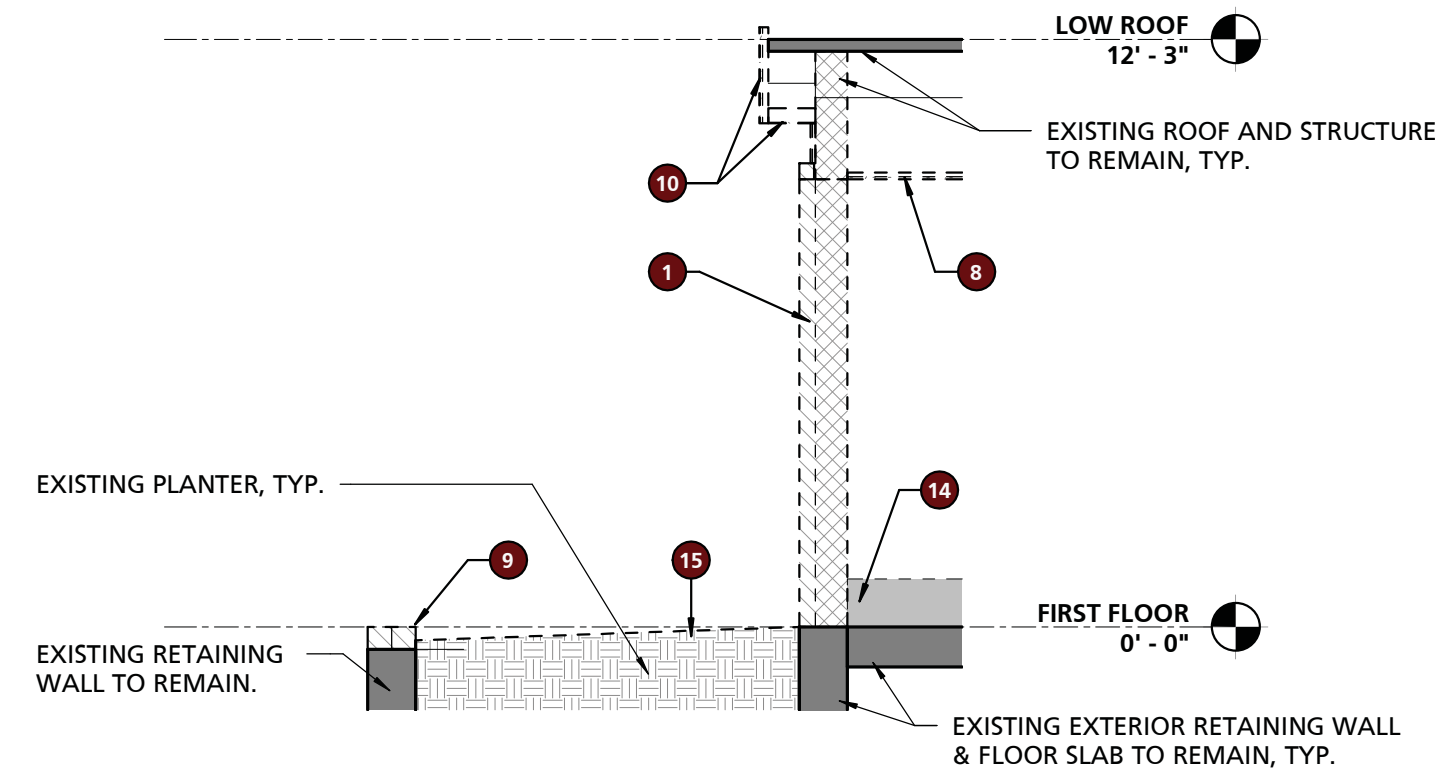


2 DEMOLITION CEILING PLAN
1/8" = 1'-0"

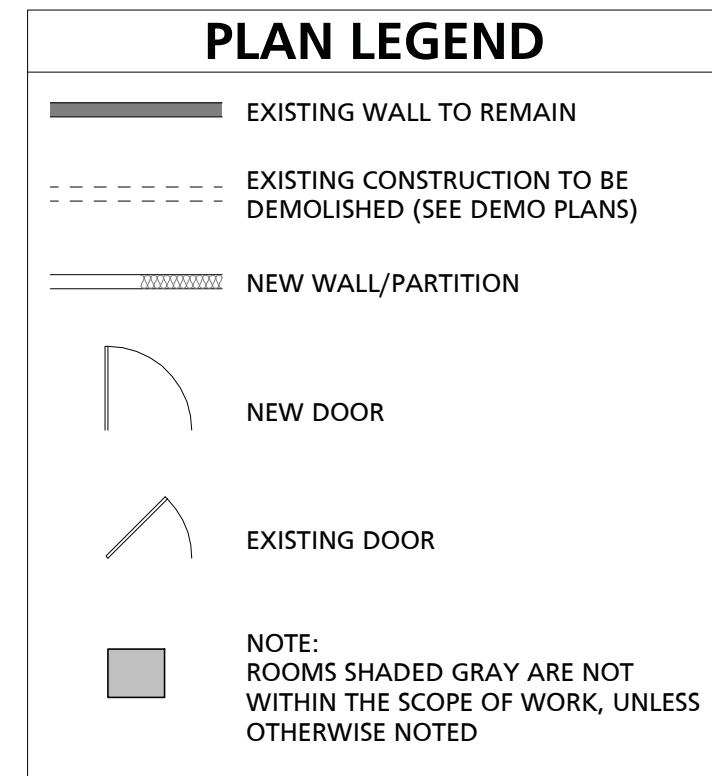
SEAL 	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE		APPROVED BY: <i>Mihai T. Petrisor</i> 03/26/2025 DIRECTOR PROPERTY MANAGEMENT CHIEF
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.		BID/PERMIT			03/01/25	-	MSW	-	PLAN SCALE: As indicated		
	LICENSE NO. 15505 EXPIRATION DATE: 08-18-2026						ROW NO.	-	-	PROFILE SCALE: -		
	ARCHITECT: DAVID WOODWARD, AIA PRINCIPAL ARCHITECT MANSON WOODWARD STUDIOS 1000-23 PHILLIPS PARK ROAD WHITE MARSH, MARYLAND 21150 (P) 301-588-1300		BUREAU OF ENGINEERING AND CONSTRUCTION				HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	
	DGN BY: _____ DWN BY: _____ CHKD BY: _____		REVIEWED BY: _____ DATE REVIEWED: _____									



3 DEMOLITION ROOF PLAN
1/8" = 1'-0"



4 DEMOLITION WALL SECTION
1/4" = 1'-0"



GENERAL DEMOLITION NOTES

- ALL BIDDERS SHALL MAKE THEMSELVES FAMILIAR WITH THE EXISTING PROJECT CONDITIONS PRIOR TO SUBMITTING A BID. THIS IS INCLUSIVE OF CONDITIONS ABOVE ACCESSIBLE CEILINGS TO DETERMINE WORKING CONDITIONS.
- PRIOR TO THE PERFORMANCE OF ANY DEMOLITION WORK THE CONTRACTOR SHALL MAKE THEMSELVES FAMILIAR WITH THE EXISTING CONDITIONS OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGNING, PROVIDING, INSTALLING, AND MAINTAINING ALL TEMPORARY SUPPORT AND BRACING REQUIRED TO COMPLETE THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS, DIMENSIONS, CONSTRUCTION ASSEMBLIES AND THE LIKE PRIOR TO FABRICATING, INSTALLING, OR PURCHASING ANY NEW WORK. DETAILS INDICATING EXISTING MATERIALS OF CONDITIONS MAY BE SHOWN WITHIN THE DOCUMENTS BUT ARE NOT INTENDED TO FULLY DEFINE EXISTING CONDITIONS.
- DEMOLITION WORK MAY BE INDICATED THROUGHOUT THE CONTRACT DOCUMENTS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DOCUMENTS FOR ADDITIONAL DEMOLITION WORK.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN SAFE WORKING CONDITIONS THROUGHOUT THE CONSTRUCTION SITE. THE CONTRACTOR SHALL PROVIDE TEMPORARY BARRIERS AS REQUIRED TO PROTECT PERSONS AND PROPERTY AND OTHERWISE MAINTAIN SAFE WORKING CONDITIONS.
- THE CONTRACTOR SHALL MAINTAIN A CLEAR, CLEAN, USEABLE CONSTRUCTION SITE THROUGH DAILY CLEANUP OF WORK AREAS.
- THE OWNER SHALL BE MAINTAINING OCCUPANCY OF THE SITE AND PORTIONS OF THE BUILDING DURING THE CONSTRUCTION PROCESS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND THE OWNER'S PERSONNEL THROUGHOUT THE CONSTRUCTION TO MINIMIZE, TO THE GREATEST EXTENT POSSIBLE, ANY DISRUPTIONS IN THE OWNER'S WORKING PROCEDURES. THE PHASING OF THE PROJECT SHALL BE DETERMINED BY MWS, BCPM AND AGENCY. ADDITIONALLY, THE CONTRACTOR SHALL COORDINATE WITH THE OWNER A MINIMUM OF 72 HOURS PRIOR TO ANY DISRUPTION OF SERVICES/UTILITIES REQUIRED TO COMPLETE THE WORK.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY DUST AND DEBRIS BARRIERS BETWEEN AREAS TO REMAIN IN OPERATION AND WORK AREAS. BARRIERS SHALL BE PROVIDED AT, BUT NOT LIMITED TO, HVAC SUPPLY AND RETURN OPENINGS, TRANSFER VENTS, EXHAUST VENTS, AND OTHER SUCH OPENINGS. BARRIERS SHALL BE A MINIMUM OF 10 MIL PLASTIC SHEETING SECURED AND SEALED TO EXISTING CONSTRUCTION AND/OR TEMPORARY FRAMING. PLASTIC SHEETING SHALL BE OVERLAPPED A MINIMUM OF 12" AND TAPED BOTH SIDES.
- THE CONTRACTOR SHALL PROVIDE PROTECTION FROM THE WEATHER FOR PORTIONS OF EXISTING CONSTRUCTION THAT ARE TO REMAIN OCCUPIED OR USEABLE BY THE OWNER OR TO AREAS THAT CONTAIN ITEMS TO REMAIN THAT WILL BE DAMAGED BY WEATHER.
- ALL ITEMS INDICATED TO BE REMOVED AND/OR DEMOLISHED SHALL REMAIN THE PROPERTY OF THE OWNER. THE CONTRACTOR SHALL REVIEW WITH THE OWNER IF ANY ITEMS TO BE REMOVED AND/OR DEMOLISHED ARE TO BE RETAINED BY THE OWNER PRIOR TO ANY DEMOLITION WORK BEING PERFORMED. ALL ITEMS TO BE RETAINED BY THE OWNER SHALL BE REMOVED BY THE CONTRACTOR AND DELIVERED TO THE OWNER IN THE CONDITION FOUND PRIOR TO ANY WORK BEING PERFORMED. ALL OTHER ITEMS INDICATED TO BE REMOVED AND/OR DEMOLISHED SHALL BE DISPOSED OF OFF SITE BY THE CONTRACTOR IN A LAWFUL MANNER.
- THE CONTRACTOR SHALL REPLACE OR REPAIR ANY ITEMS DAMAGED BY THE CONTRACTOR OR ANY OF ITS AGENTS TO A MINIMUM CONDITION MATCHING THE ITEMS' CONDITION AT THE START OF CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL REPAIR ANY MATERIALS, SYSTEMS, OR FINISHES WITHIN OR OUTSIDE OF THE GENERAL WORK AREA THAT ARE REQUIRED TO BE DISTURBED TO COMPLETE THE ENTIRE SCOPE OF WORK ASSOCIATED WITH BUILDING SYSTEM CONNECTIVITY.
- THE CONTRACTOR SHALL PREPARE ALL SURFACES AFFECTED BY DEMOLITION OPERATIONS TO RECEIVE NEW WORK AS BOTH INDICATED WITHIN THESE DRAWINGS AND SPECIFICATIONS/PROJECT MANUAL AND AS RECOMMENDED BY THE MANUFACTURERS' WRITTEN INSTRUCTIONS FOR THE INSTALLATION OF EACH RESPECTIVE PRODUCT.
- THE CONTRACTOR SHALL REMOVE EXISTING FINISHES AS INDICATED THROUGHOUT THE CONTRACT DOCUMENTS AND ENSURE THAT SUBSTRATE CONDITIONS ARE SMOOTH AND IN SATISFACTORY CONDITION TO RECEIVE NEW WORK.
- THE CONTRACTOR SHALL REMOVE ALL ANCHORS, FASTENERS, WALL HANGERS, AND MISCELLANEOUS EXTRUSIONS AND APPURTENANCES OF ITEMS BOTH NO LONGER INSTALLED AND ITEMS REMOVED THROUGH DEMOLITION PROCEDURES. PATCH AND PAINT ALL SURFACES TOUCHED, CORNER TO CORNER, TOP TO BOTTOM AND WITH SQUARE AND STRAIGHT LINES.
- THE CONTRACTOR SHALL COORDINATE ANY SAW CUTS WITHIN THE EXISTING SLABS WITHIN THE NEW WORK AREA AS REQUIRED TO INSTALL NEW ELECTRICAL CONDUIT, PLUMBING, AND/OR STRUCTURAL ELEMENTS. CONTRACTOR SHALL COORDINATE SIZE, LOCATION, AND DEPTH WITH THE FULL SET OF DOCUMENTS. REPLACE AND REPAIR CONCRETE AND FLASH AS REQUIRED TO CREATE A FLUSH SUBSTRATE AFTER COMPLETION OF WORK TASKS. CONTRACTOR TO LOCATE ANY IN-SLAB SERVICES. IF DAMAGED DURING DEMOLITION, CONTRACTOR TO REPLACE AT THEIR EXPENSE.

REFERENCED NOTES - ROOF DEMOLITION

NO.	NOTE
1	CONTRACTOR TO DISCONNECT AND REMOVE EXISTING ROOF TOP UNIT, EQUIPMENT CURB AND ALL ASSOCIATED APPURTENANCES IN THEIR ENTIRETY. PREPARE OPENING TO RECEIVE NEW WORK.
2	CONTRACTOR TO DISCONNECT AND REMOVE EXISTING ROOF TOP EXHAUST FAN, EQUIPMENT CURB AND ALL ASSOCIATED APPURTENANCES IN THEIR ENTIRETY. PREPARE OPENING TO RECEIVE NEW WORK.

REFERENCED NOTES - DEMOLITION

NO.	NOTE
1	DEMOLISH EXTERIOR WALL AS REQUIRED TO MAKE WAY FOR NEW WORK. DEMOLITION INCLUDES BUT IS NOT LIMITED TO ALL ASSOCIATED WINDOW OPENINGS. SEE OTHER NOTES AND DRAWINGS FOR ADDITIONAL INFORMATION.
2	REMOVE EXISTING INTERIOR WALL AND ALL ASSOCIATED APPURTENANCES IN THEIR ENTIRETY.
3	REMOVE EXISTING DOOR, FRAME AND HARDWARE.
4	REMOVE EXISTING FLOOR FINISHES, ASSOCIATED FASTENERS AND ADHESIVES. PATCH & GRIND SMOOTH EXISTING CONCRETE SLAB UNDERLAYMENT.
5	REMOVE EXISTING TOILET PARTITIONS.
6	LOCKERS, BENCHES AND OTHER ITEMS SHALL BE REMOVED WITH CARE AND STORED IN A LOCATION ON PROJECT SITE DESIGNATED BY THE OWNER.
7	REMOVE EXISTING SINKS, TOILETS, URINALS, SHOWER HEADS AND ALL ASSOCIATED APPURTENANCES. SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION.
8	REMOVE EXISTING FINISHED CEILING AND ALL ASSOCIATED APPURTENANCES. SEE MEP DEMO PLANS FOR ADDITIONAL INFORMATION REGARDING REMOVAL OF LIGHTS, HVAC REGISTERS, A/V AND ALERTING EQUIPMENT.
9	REMOVE EXISTING PLANTER BED SOLDIER COURSE
10	EXISTING SOFFIT, FASCIA & ASSOCIATED ROOF EDGE BLOCKING TO BE REMOVED AND PREPARED FOR NEW WORK.
11	REMOVE EXISTING CEILING FANS WITH CARE AND STORE IN A LOCATION ON PROJECT SITE DESIGNATED BY THE OWNER.
12	SAWCUT PORTIONS OF EXISTING WALL TO ACCOMMODATE NEW OPENINGS. COORDINATE ROUGH OPENING REQUIREMENTS WITH BOTH MANUFACTURERS OF PRODUCT TO BE USED AND NEW WORK INDICATED WITHIN CONTRACT DOCUMENTS.
13	SAW CUT PORTION OF CONCRETE SLAB TO ACCOMMODATE REMOVAL OF EXISTING FLOOR DRAINS AND REMEDIATE SLOPED PORTION OF FLOOR SLAB. CONTRACTOR SHALL PREPARE SURFACE FOR NEW WORK.
14	DISCONNECT AND REMOVE BASEBOARD HEATER(S). SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION.
15	REMOVE LAYER OF ORGANIC SOIL AS REQUIRED TO BACKFILL STONE FILL BASE FOR NEW SLAB.
16	TEMPORARILY REMOVE CEILING FOR ASSOCIATED MEP WORK WITHIN THIS AREA. UPON COMPLETION OF WORK EXISTING CEILING TO BE REINSTALLED.
17	SAW CUT PORTIONS OF EXISTING SLAB AS REQUIRED TO ACCOMMODATE NEW WORK.
18	EXISTING BRICK RETAINING WALL, CONCRETE PATIO AND STAIR TO BE DEMOLISHED.
19	PROTECT EXISTING CONDUITS AS REQUIRED DURING DURATION OF CONSTRUCTION.

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT

FULLERTON FIRE STATION #8 - RENOVATION & ADDITION

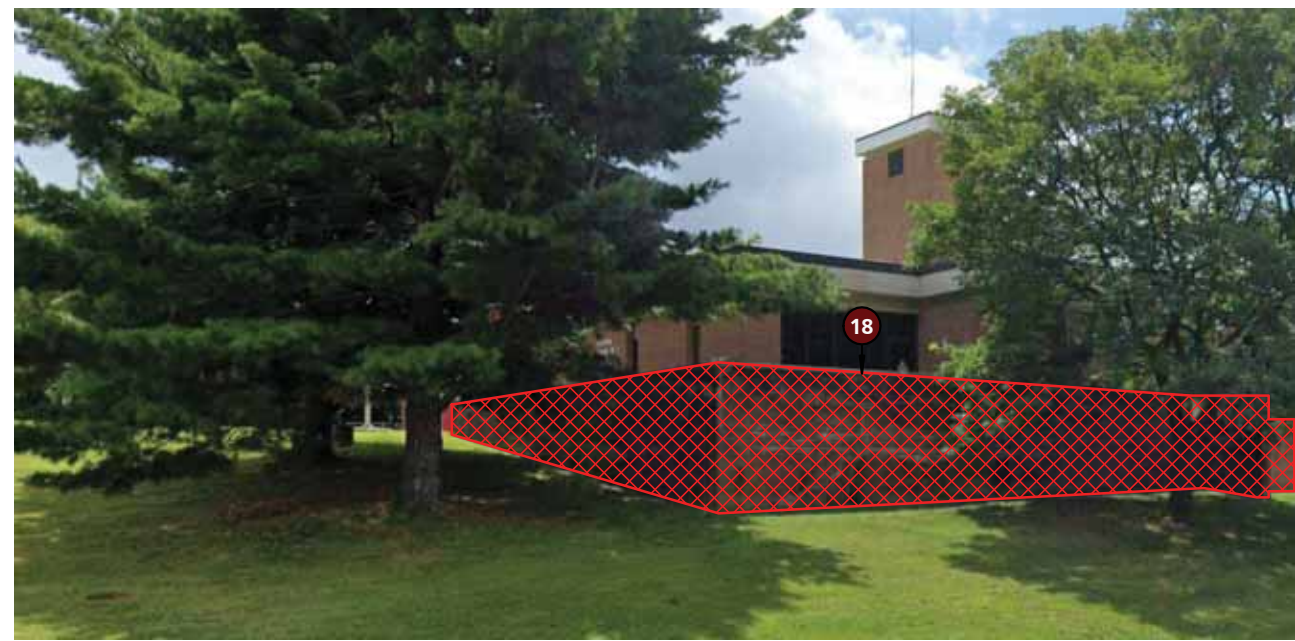
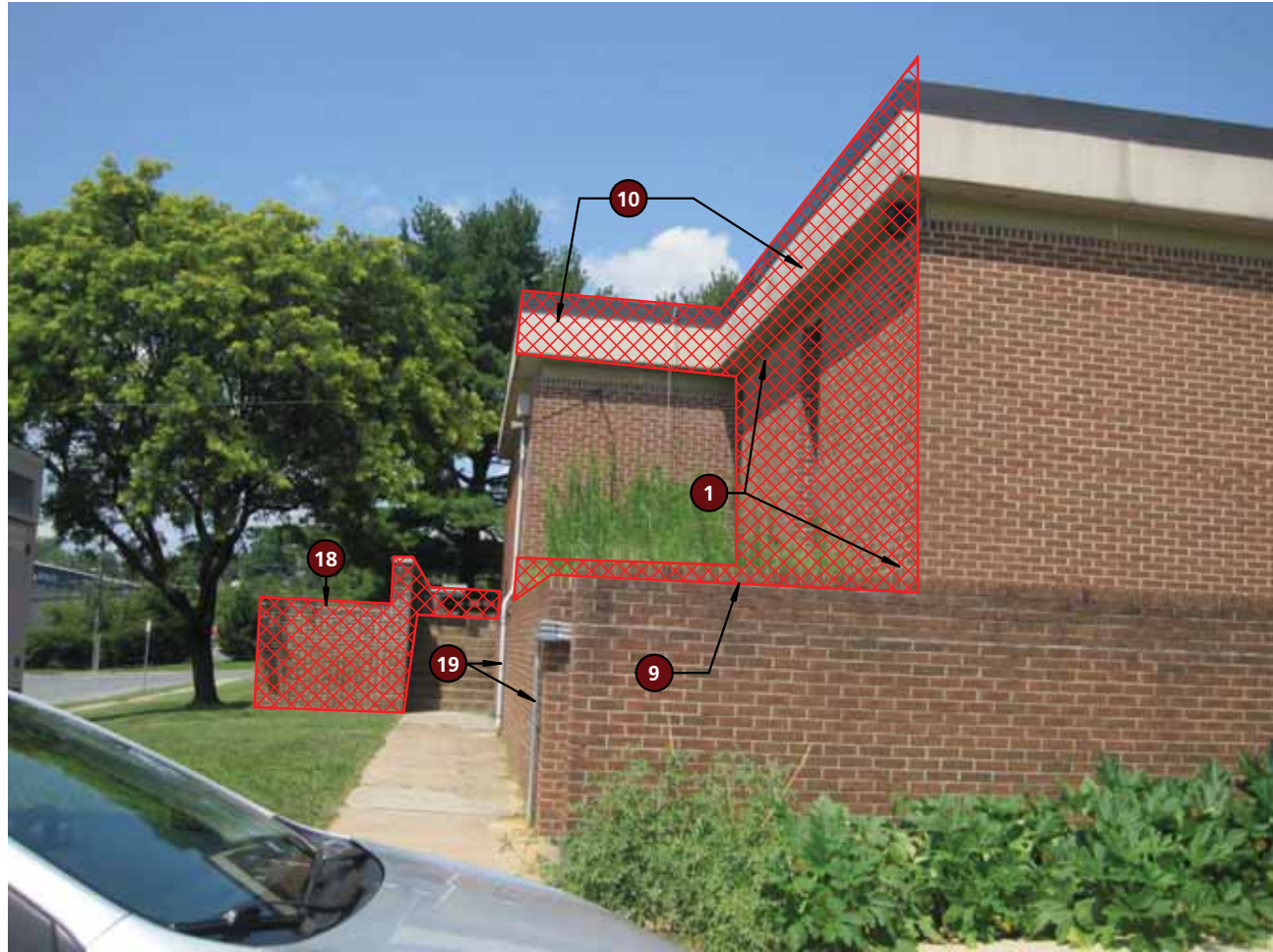
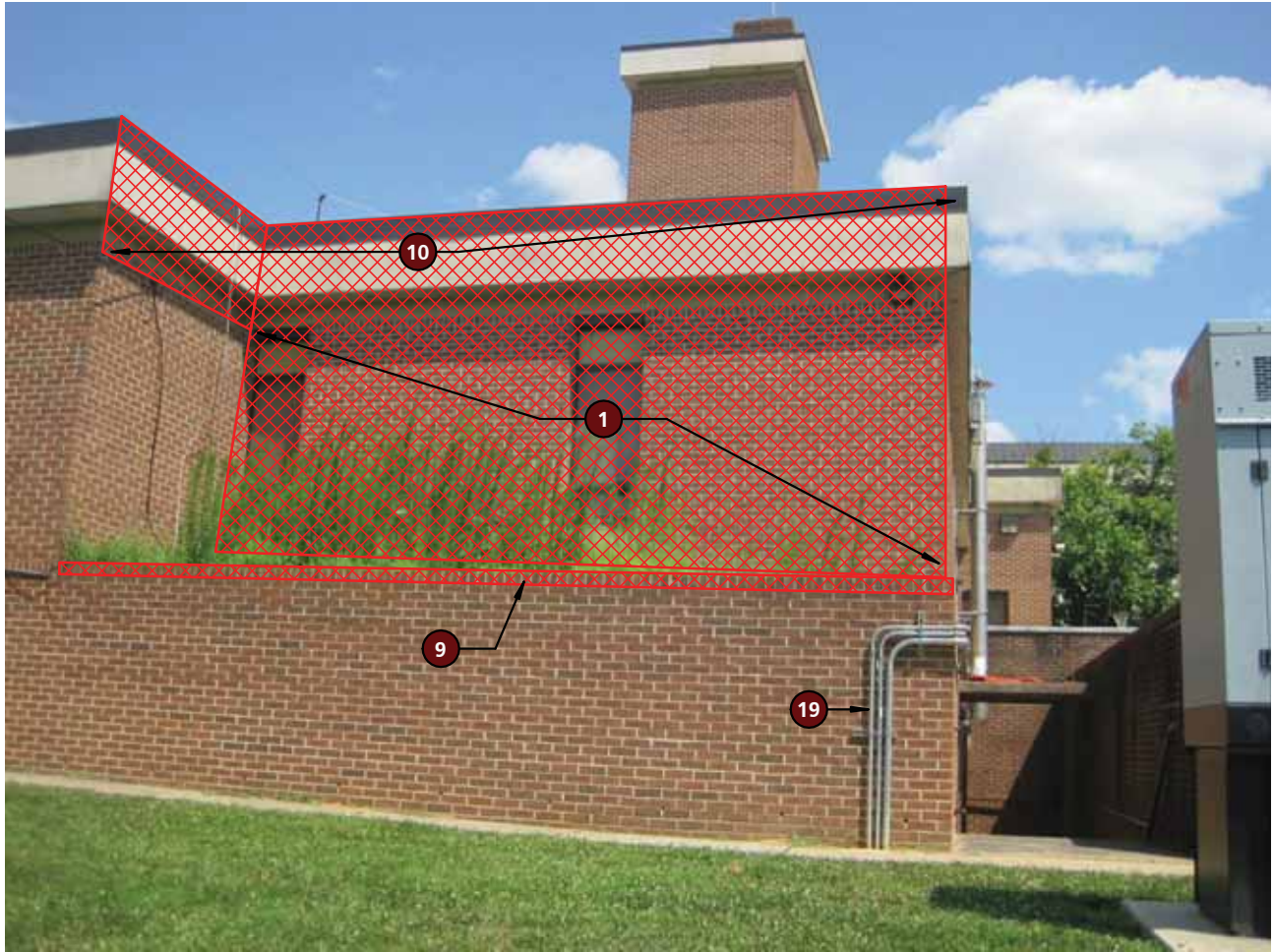
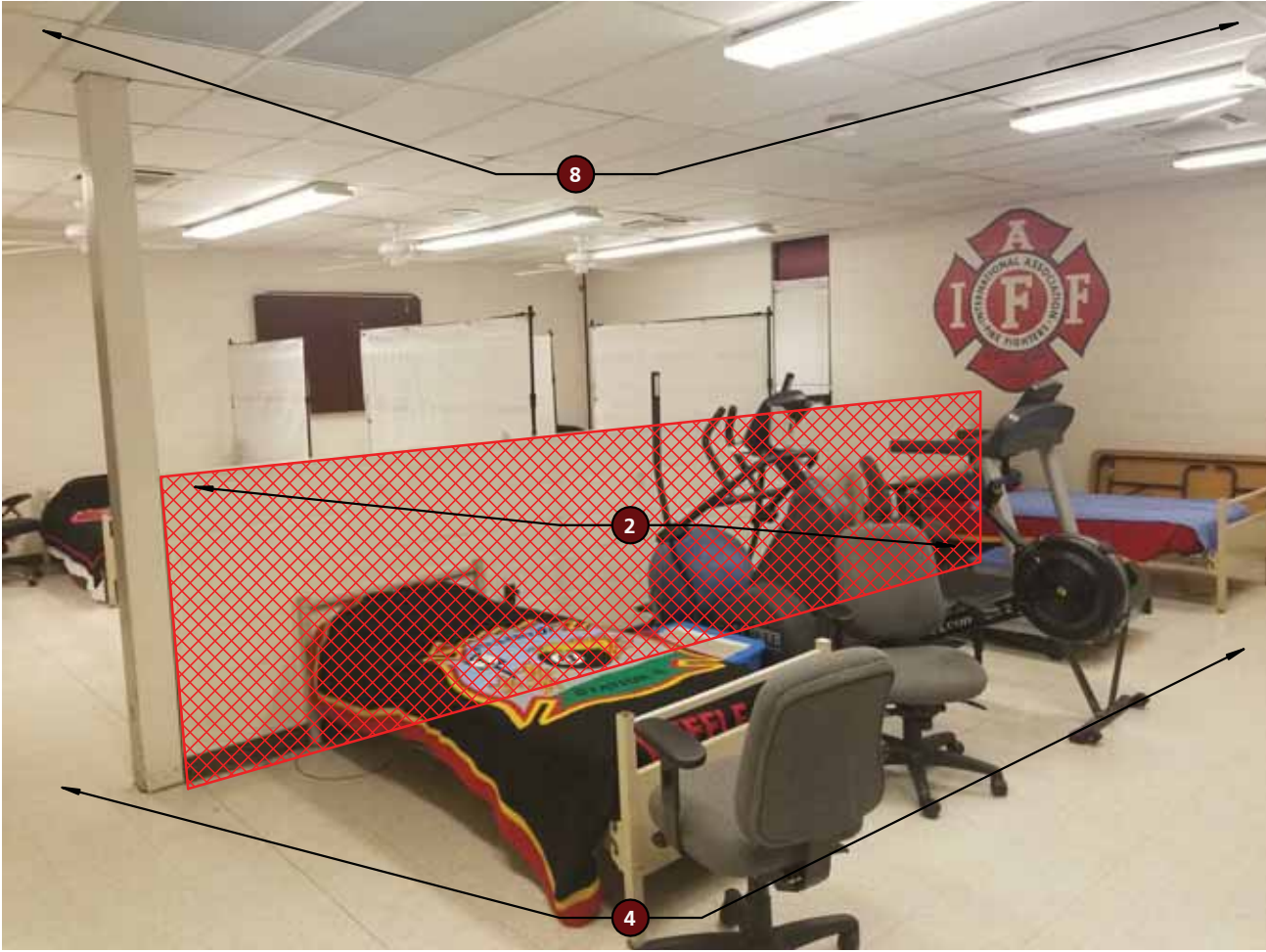
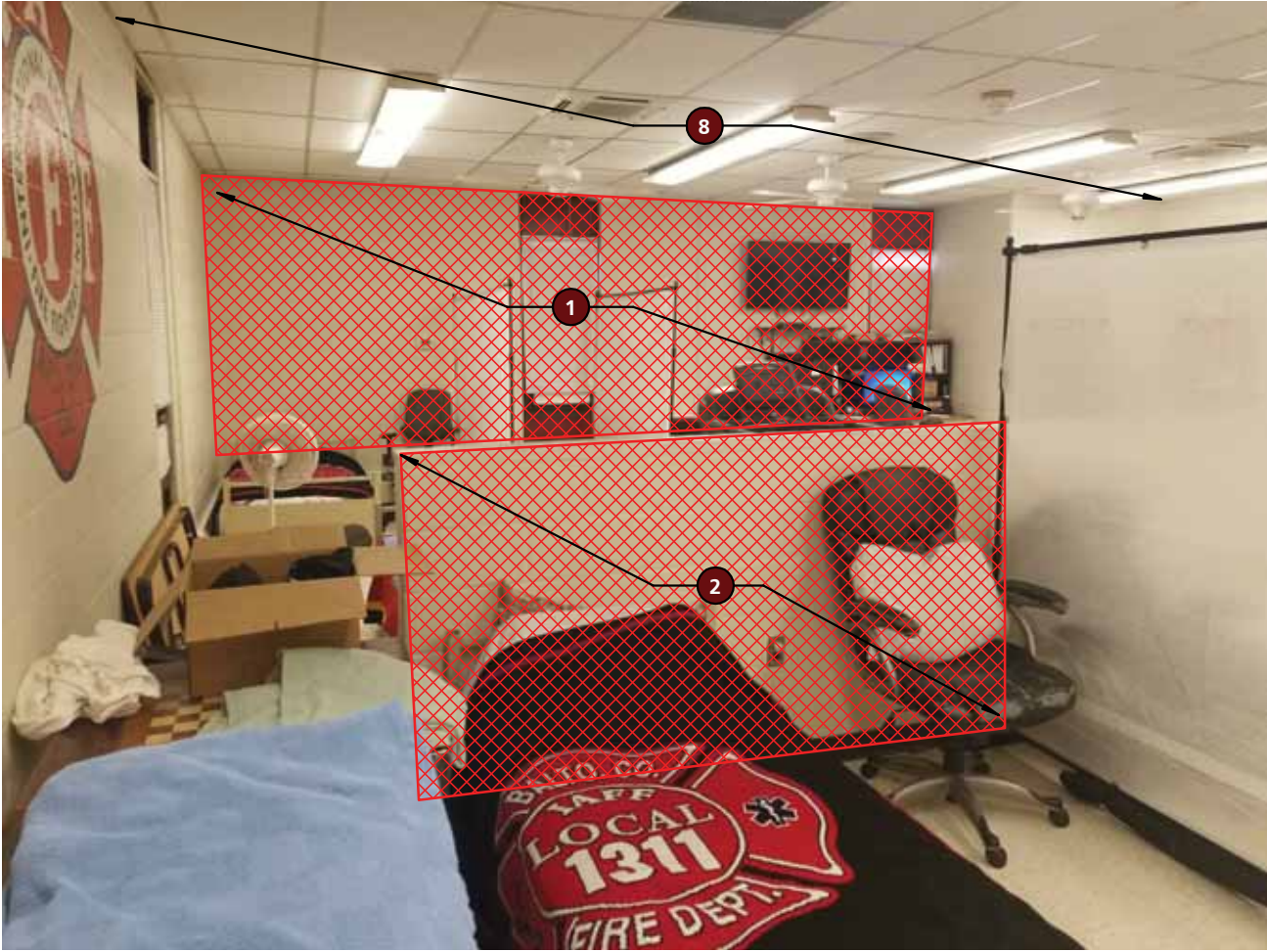
DEMOLITION PLANS

4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236

ELECTION DIST. NO.: 14C5

SHEET DESIGNATION	CONTRACT NUMBER
AD101	25034 PF0 RE-BID
JOB ORDER NUMBER	241-220-0054-0012
SHEET	13 of 58
DRAWING NUMBER	2022-2332
FILE NO.:	8





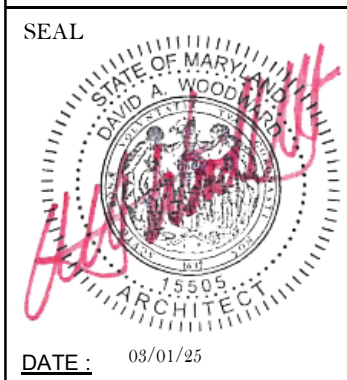
AREA OF DEMO WORK

GENERAL DEMOLITION NOTES

1	ALL BIDDERS SHALL MAKE THEMSELVES FAMILIAR WITH THE EXISTING PROJECT CONDITIONS PRIOR TO SUBMITTING A BID. THIS IS INCLUSIVE OF CONDITIONS ABOVE ACCESSIBLE CEILINGS TO DETERMINE WORKING CONDITIONS.
2	PRIOR TO THE PERFORMANCE OF ANY DEMOLITION WORK THE CONTRACTOR SHALL MAKE THEMSELVES FAMILIAR WITH THE EXISTING CONDITIONS OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGNING, PROVIDING, INSTALLING, AND MAINTAINING ALL TEMPORARY SUPPORT AND BRACING REQUIRED TO COMPLETE THE WORK.
3	THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS, DIMENSIONS, CONSTRUCTION ASSEMBLIES AND THE LIKE PRIOR TO FABRICATING, INSTALLING, OR PURCHASING ANY NEW WORK. DETAILS INDICATING EXISTING MATERIALS OF CONDITIONS MAY BE SHOWN WITHIN THE DOCUMENTS BUT ARE NOT INTENDED TO FULLY DEFINE EXISTING CONDITIONS.
4	DEMOLITION WORK MAY BE INDICATED THROUGHOUT THE CONTRACT DOCUMENTS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DOCUMENTS FOR ADDITIONAL DEMOLITION WORK.
5	IT IS THE CONTRACTORS RESPONSIBILITY TO MAINTAIN SAFE WORKING CONDITIONS THROUGHOUT THE CONSTRUCTION SITE. THE CONTRACTOR SHALL PROVIDE TEMPORARY BARRIERS AS REQUIRED TO PROTECT PERSONS AND PROPERTY AND OTHERWISE MAINTAIN SAFE WORKING CONDITIONS.
6	THE CONTRACTOR SHALL MAINTAIN A CLEAR, CLEAN, USEABLE CONSTRUCTION SITE THROUGH DAILY CLEANUP OF WORK AREAS.
7	THE OWNER SHALL BE MAINTAINING OCCUPANCY OF THE SITE AND PORTIONS OF THE BUILDING DURING THE CONSTRUCTION PROCESS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND THE OWNER'S PERSONNEL THROUGHOUT THE CONSTRUCTION TO MINIMIZE, TO THE GREATEST EXTENT POSSIBLE, ANY DISRUPTIONS IN THE OWNER'S WORKING PROCEDURES. THE PHASING OF THE PROJECT SHALL BE DETERMINED BY MWs, BCPM AND AGENCY. ADDITIONALLY, THE CONTRACTOR SHALL COORDINATE WITH THE OWNER A MINIMUM OF 72 HOURS PRIOR TO ANY DISRUPTION OF SERVICES/UTILITIES REQUIRED TO COMPLETE THE WORK.
8	THE CONTRACTOR SHALL PROVIDE TEMPORARY DUST AND DEBRIS BARRIERS BETWEEN AREAS TO REMAIN IN OPERATION AND WORK AREAS. BARRIERS SHALL BE PROVIDED AT, BUT NOT LIMITED TO, HVAC SUPPLY AND RETURN OPENINGS, TRANSFER VENTS, EXHAUST VENTS, AND OTHER SUCH OPENINGS. BARRIERS SHALL BE A MINIMUM OF 10 MIL PLASTIC SHEETING SECURED AND SEALED TO EXISTING CONSTRUCTION AND/OR TEMPORARY FRAMING. PLASTIC SHEETING SHALL BE OVERLAPPED A MINIMUM OF 12" AND TAPED BOTH SIDES.
9	THE CONTRACTOR SHALL PROVIDE PROTECTION FROM THE WEATHER FOR PORTIONS OF EXISTING CONSTRUCTION THAT ARE TO REMAIN OCCUPIED OR USEABLE BY THE OWNER OR TO AREAS THAT CONTAIN ITEMS TO REMAIN THAT WILL BE DAMAGED BY WEATHER.
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14	THE CONTRACTOR SHALL REMOVE EXISTING FINISHES AS INDICATED THROUGHOUT THE CONTRACT DOCUMENTS AND ENSURE THAT SUBSTRATE CONDITIONS ARE SMOOTH AND IN SATISFACTORY CONDITION TO RECEIVE NEW WORK.
15	THE CONTRACTOR SHALL REMOVE ALL ANCHORS, FASTENERS, WALL HANGERS, AND MISCELLANEOUS EXTRUSIONS AND APPURTENANCES OF ITEMS BOTH NO LONGER INSTALLED AND ITEMS REMOVED THROUGH DEMOLITION PROCEDURES. PATCH AND PAINT ALL SURFACES TOUCHED, CORNER TO CORNER, TOP TO BOTTOM AND WITH SQUARE AND STRAIGHT LINES.
16	THE CONTRACTOR SHALL COORDINATE ANY SAW CUTS WITHIN THE EXISTING SLABS WITHIN THE NEW WORK AREA AS REQUIRED TO INSTALL NEW ELECTRICAL CONDUIT, PLUMBING, AND/OR STRUCTURAL ELEMENTS. CONTRACTOR SHALL COORDINATE SIZE, LOCATION, AND DEPTH WITH THE FULL SET OF DOCUMENTS. REPLACE AND REPAIR CONCRETE AND FLASH AS REQUIRED TO CREATE A FLUSH SUBSTRATE AFTER COMPLETION OF WORK TASKS. CONTRACTOR TO LOCATE ANY IN-SLAB SERVICES. IF DAMAGED DURING DEMOLITION, CONTRACTOR TO REPLACE AT THEIR EXPENSE.

REFERENCED NOTES - DEMOLITION

NO.	NOTE
1	DEMOLISH EXTERIOR WALL AS REQUIRED TO MAKE WAY FOR NEW WORK. DEMOLITION INCLUDES BUT IS NOT LIMITED TO ALL ASSOCIATED WINDOW OPENINGS. SEE OTHER NOTES AND DRAWINGS FOR ADDITIONAL INFORMATION.
2	REMOVE EXISTING INTERIOR WALL AND ALL ASSOCIATED APPURTENANCES IN THEIR ENTIRETY.
3	REMOVE EXISTING DOOR, FRAME AND HARDWARE.
4	REMOVE EXISTING FLOOR FINISHES, ASSOCIATED FASTENERS AND ADHESIVES. PATCH & GRIND SMOOTH EXISTING CONCRETE SLAB UNDERLAYMENT.
5	REMOVE EXISTING TOILET PARTITIONS.
6	LOCKERS, BENCHES AND OTHER ITEMS SHALL BE REMOVED WITH CARE AND STORED IN A LOCATION ON PROJECT SITE DESIGNATED BY THE OWNER.
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9	REMOVE EXISTING PLANTER BED SOLDIER COURSE
10	EXISTING SOFFIT, FASCIA & ASSOCIATED ROOF EDGE BLOCKING TO BE REMOVED AND PREPARED FOR NEW WORK.
11	REMOVE EXISTING CEILING FANS WITH CARE AND STORE IN A LOCATION ON PROJECT SITE DESIGNATED BY THE OWNER.
12	SAW/CUT PORTIONS OF EXISTING WALL TO ACCOMMODATE NEW OPENINGS. COORDINATE ROUGH OPENING REQUIREMENTS WITH BOTH MANUFACTURERS OF PRODUCT TO BE USED AND NEW WORK INDICATED WITHIN CONTRACT DOCUMENTS.
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15	REMOVE LAYER OF ORGANIC SOIL AS REQUIRED TO BACKFILL STONE FILL BASE FOR NEW SLAB.
16	TEMPORARILY REMOVE CEILING FOR ASSOCIATED MEP WORK WITHIN THIS AREA. UPON COMPLETION OF WORK EXISTING CEILING TO BE REINSTALLED.
17	SAW CUT PORTIONS OF EXISTING SLAB AS REQUIRED TO ACCOMMODATE NEW WORK.
18	EXISTING BRICK RETAINING WALL, CONCRETE PATIO AND STAIR TO BE DEMOLISHED.
19	PROTECT EXISTING CONDUITS AS REQUIRED DURING DURATION OF CONSTRUCTION.

SEAL 	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SH	DRAWING SCALE		APPROVED BY: <u>Mihai T. Petrisor</u> DIRECTOR DATE: <u>03/26/2025</u>
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.		BID/PERMIT							PLAN SCALE: <u>3/8" = 1'-0"</u>		
	LICENSE NO. <u>15505</u> EXPIRATION DATE: <u>08-18-2026</u>									PROFILE SCALE: <u></u>		
	ARCHITECT: <u>DAVID WOODWARD, AIA</u> PRINCIPAL ARCHITECT MANSON WOODWARD STUDIOS 10000-31 PHILLIPS PIKE ROAD WHITE MARSH, MARYLAND 21152 (P) 410-586-1360		BUREAU OF ENGINEERING AND CONSTRUCTION									
	DGN BY: <u></u> DWN BY: <u></u> CHKD BY: <u></u>		REVIEWED BY: <u></u> DATE REVIEWED: <u></u>									

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT

FULLERTON FIRE STATION #8 - RENOVATION & ADDITION

DEMOLITION - AREA OF WORK

4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236

ELECTION DIST. NO.: 14C5

SUBDIVISION: FULLERTON

SHEET DESIGNATION	CONTRACT NUMBER
AD102	25034 PFO RE-BID
JOB ORDER NUMBER 241-220-0054-0012	
SHEET 14 of 58	
DRAWING NUMBER 2022-2333	
FILE NO.: 8	

SCHEDULE - EQUIPMENT							
MARK	DESCRIPTION	BOD MANUFACTURER	BOD MODEL	O.P.O.I.	O.P.C.I.	C.P.C.I.	COMMENTS
EQ-1	15"W x 18"D x 72"H TWO-TIER SOLID PLASTIC LOCKER	BRADLEY CORPORATION	LENOX "Z" LOCKER			●	PROVIDED WITH SLOPED TOP
EQ-2	MANUAL ROLLER SHADE	HUNTER DOUGLAS	RB-500 ROLLER SHADES			●	PROVIDE BLACK-OUT BLINDS

SCHEDULE ABBREVIATIONS:
O.P.O.I. - OWNER PROVIDED; OWNER INSTALLED
O.P.C.I. - OWNER PROVIDED; CONTRACTOR INSTALLED
C.P.C.I. - CONTRACTOR PROVIDED; CONTRACTOR INSTALLED

PLAN LEGEND

EXISTING WALL TO REMAIN

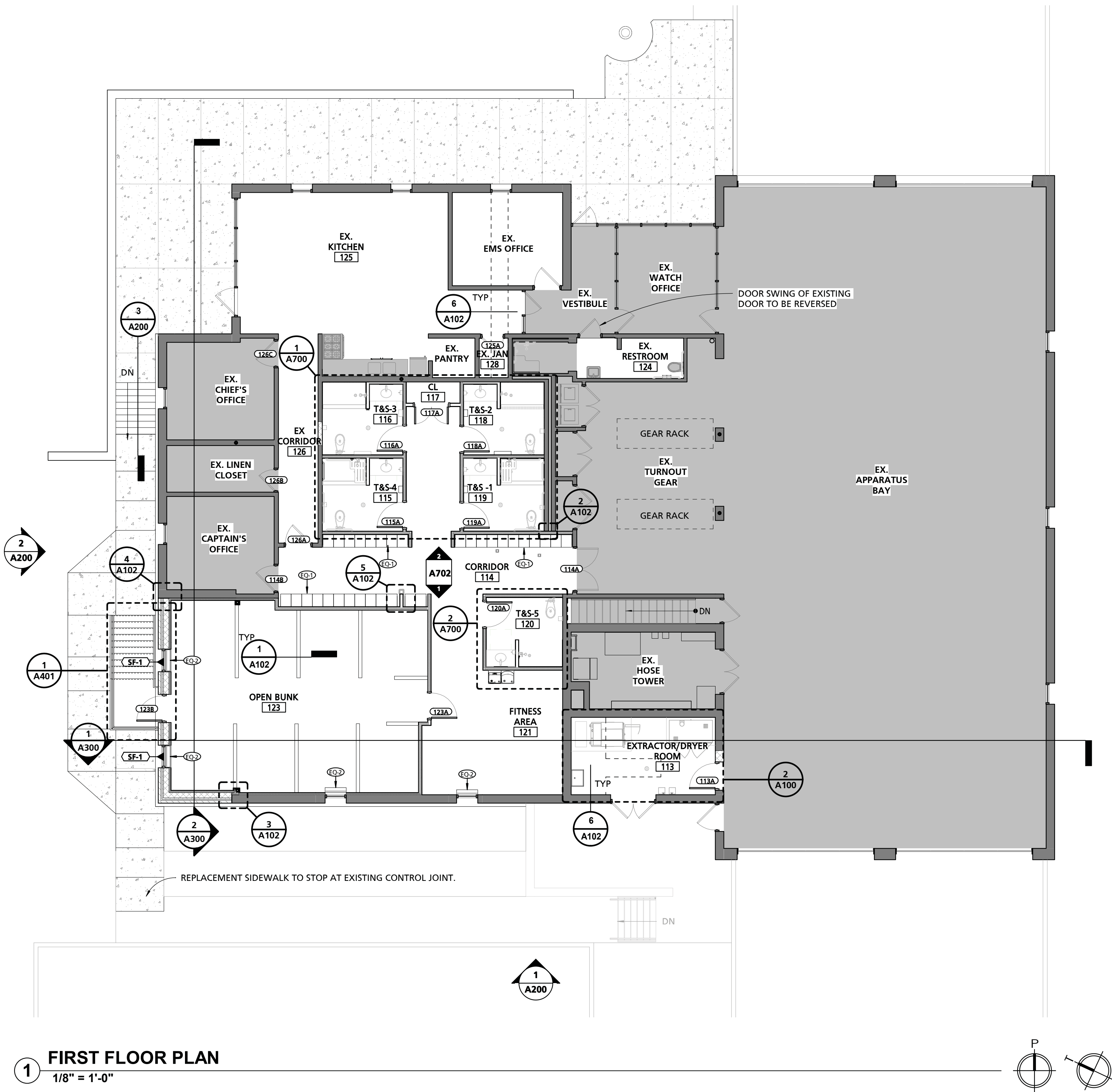
EXISTING CONSTRUCTION TO BE DEMOLISHED (SEE DEMO PLANS)

NEW WALL/PARTITION

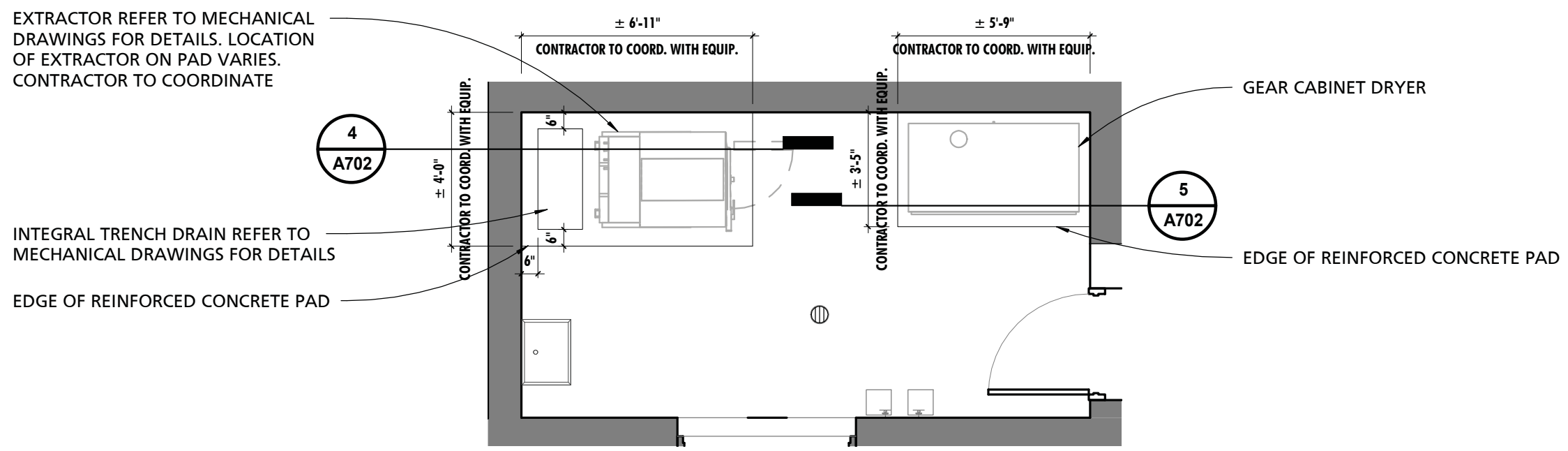
NEW DOOR

EXISTING DOOR

NOTE:
ROOMS SHADED GRAY ARE NOT
WITHIN THE SCOPE OF WORK, UNLESS
OTHERWISE NOTED



1 FIRST FLOOR PLAN
1/8" = 1'-0"



2 ENLARGED EXTRACTOR/DRYER ROOM PLAN
1/4" = 1'-0"

SEAL	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION	SHT	DRAWING SCALE		APPROVED BY: <i>Mihai T. Petrisor</i> DIRECTOR DATE: 03/26/2025
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 15505 EXPIRATION DATE: 08-18-2026		BID/PERMIT			03/01/25		MSW	CTNE1		PLAN SCALE: As indicated		
	ARCHITECT: DAVID WOODWARD, AIA PRINCIPAL ARCHITECT MANNS WOODWARD STUDIOS 1000-33 PHILLIPS PIKE ROAD WHITE MARSH, MARYLAND 21152 (P) 301-988-1300		BUREAU OF ENGINEERING AND CONSTRUCTION					STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	
	DGN BY: _____ DWN BY: _____ CHKD BY: _____		REVIEWED BY: _____ DATE REVIEWED: _____										

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT

FULLERTON FIRE STATION #8 - RENOVATION & ADDITION

REFERENCE PLAN

4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236

ELECTION DIST. NO.: 14C5

SUBDIVISION: FULLERTON

SHEET DESIGNATION
A100

CONTRACT NUMBER
25034 PFO RE-BID

JOB ORDER NUMBER
241-220-0054-0012

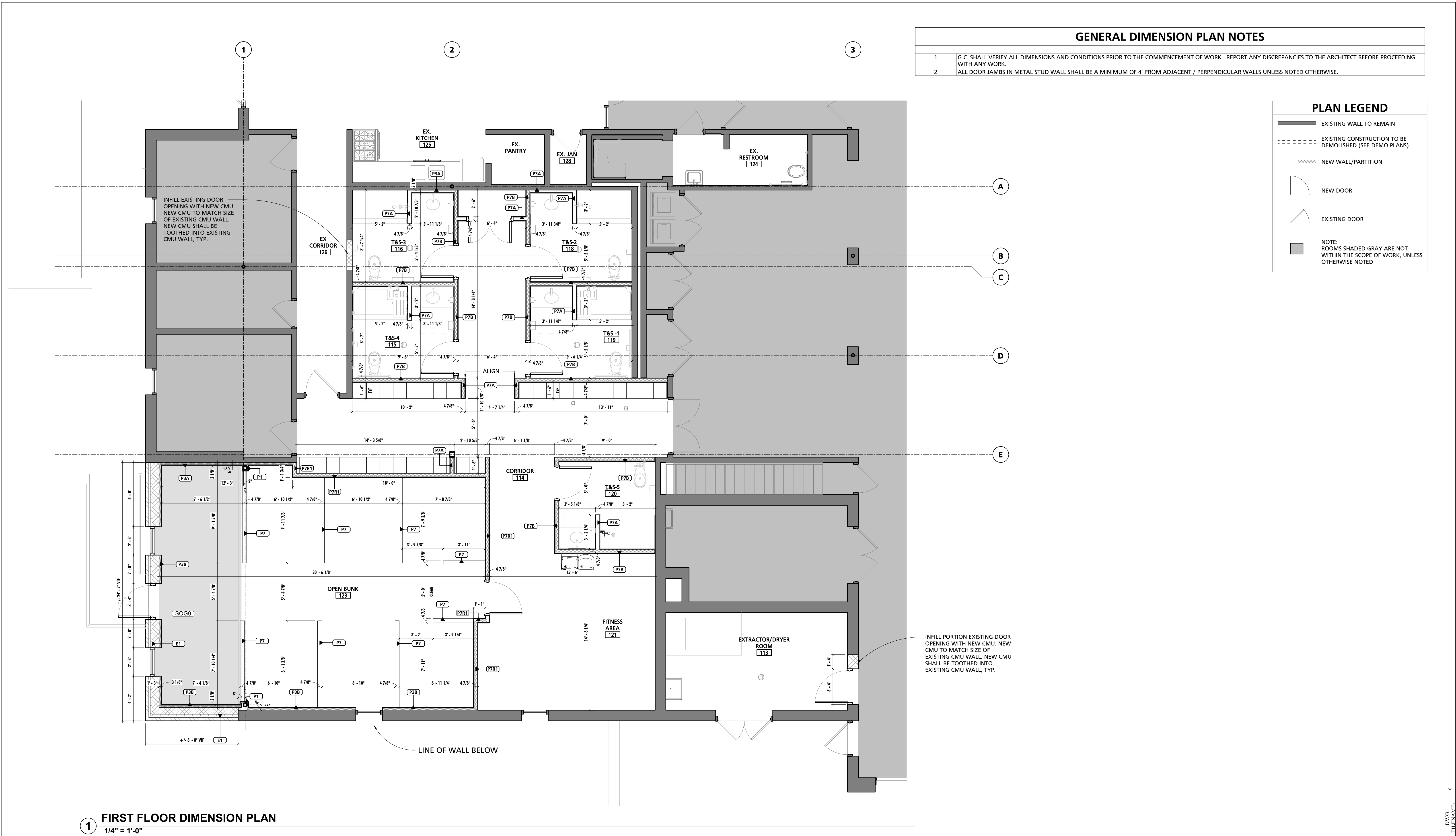
SHEET 15 of 58

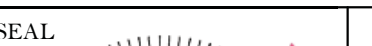
DRAWING NUMBER
2022-2334

FILE NO.: 8

2/18/2025 3:04:44 PM

DWG. FILENAME: 8



<div><div>DATE: 03/01/25</div></div>	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHT	DRAWING SCALE		APPROVED BY: <u>Mihai T. Petrisor</u> DIRECTOR DATE: <u>03/26/2025</u>
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 15505 EXPIRATION DATE: 08-18-2026		BID/PERMIT			03/01/25	-	MSW	27N21	PLAN SCALE: <u>As indicated</u>		
							R.O.W. NO.	-	-	-	PROFILE SCALE: <u>-</u>	
							-	-	-	-	-	
	ARCHITECT: DAVID WOODWARD, AIA PRINCIPAL ARCHITECT MANSON WOODWARD STUDIOS 1000-33 HILLGATE PIKE ROAD WHITE MARSH, MARYLAND 21102 (P) 301-986-1900		BUREAU OF ENGINEERING AND CONSTRUCTION			HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	PROPERTY MANAGEMENT
	DGN BY: _____		REVIEWED BY: _____									APPROVED BY: _____ CHIEF
	CHKD BY: _____		DATE REVIEWED: _____									DATE: _____

SUBDIVISION: FULLERTON

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT

FULLERTON FIRE STATION #8 - RENOVATION & ADDITION

DIMENSION PLAN

4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236

ELECTION DIST. NO.: 14C5

SHEET DESIGNATION	CONTRACT NUMBER
A101	25034 PF0 RE-BID
	JOB ORDER NUMBER
	241-220-0054-0012
SHEET 16 of 58	
DRAWING NUMBER	
2022-2335	
FILE NO.: 8	

DWG. FILENAME: 8

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GENERAL PARTITION NOTES			
1	OPEN BUNK 123, FITNESS AREA 121, AND CORRIDOR 114 TO RECEIVE IMPACT RESISTANT GYPSUM WALL BOARD, U.N.O.		
2	PROVIDE FIBERGLASS REINFORCED MOISTURE RESISTANT GYPSUM WALL BOARD IN ALL EQUIPMENT ROOMS, JANITOR'S CLOSETS, RESTROOMS, KITCHENS AND OTHER WET AREAS. PROVIDE FIBERGLASS REINFORCED MOISTURE RESISTANT WALL BOARD IN ALL OTHER AREAS WITHIN 8'-0" OF WATER SOURCE.		
3	CONTRACTOR SHALL PROVIDE BLOCKING AND NAILERS AS REQUIRED TO SUPPORT ALL NEW WORK, INCLUDING ITEMS TO BE PROVIDED AND/OR INSTALLED BY OWNER.		
4	ALL CORRIDOR AND FIRE-RATED PARTITIONS SHALL BE EXTENDED TO THE UNDERSIDE OF THE DECK ABOVE, U.N.O. THE PERIMETER WALLS OF ANY SPACE NOT PROVIDED WITH A CEILING SHALL EXTEND TO THE UNDERSIDE OF DECK ABOVE.		
5	PROVIDE DEFLECTION TRACKS AT TOP OF ALL NON-LOAD BEARING STUD WALLS EXTENDING TO THE UNDERSIDE OF STRUCTURE ABOVE, U.N.O.		
6	ALL FIRE WALLS SHALL BE PLACARDED OR STENCILED ON BOTH SIDES WITH THE PHRASE "FIRE WALL" PER IBC SECTION 703.7.1. THE LETTERS SHALL BE RED IN COLOR, 6" INCHES HIGH AND A MIN. OF 3/4" WIDE. THE PHRASE SHALL BE WRITTEN ONCE FOR EACH 15 FEET OF HORIZONTAL WALL LENGTH. THIS SIGNAGE MAY BE LOCATED IN THE CONCEALED SPACE ABOVE A CEILING.		
7	MOISTURE RESISTANT GYPSUM WALL BOARD SHALL BE UTILIZED IN ALL AREAS WHERE GYPSUM WALL BOARD IS TO BE DIRECTLY ADHERED TO CONCRETE OR MASONRY SURFACES IN INTERIOR APPLICATIONS. SUBSTRATE SHALL BE CLEANED AS REQUIRED AND FREE OF DUST, DEBRIS, AND MOISTURE PRIOR TO ADHESION AND FINISHING.		
8	CONSTRUCTION OF RATED WALL ASSEMBLIES SHALL BE STRICTLY ADHERED TO IN ACCORDANCE WITH UL AND/OR GYPSUM ASSEMBLY SPECIFICATIONS. REFER TO CODE PLANS FOR ADDITIONAL INFORMATION.		
9	PROVIDE A BULLNOSE CMU AT ALL OUTSIDE CORNERS OF INTERIOR MASONRY WALLS & SILLS.		

SCHEDULE - INTERIOR PARTITION & WALL TYPE					
MARK	WIDTH	DESCRIPTION	FIRE RATING		
			RATING	ASSEMBLY REF	
P1	1 1/2"	7/8" METAL FURRING W/ 5/8" GWB			
P3A	3 1/8"	2 1/2" METAL STUD W/ 5/8" GWB ONE SIDE TO TO EXTEND 6" MIN ABOVE FINISH CEILING			
P3B	3 1/8"	2 1/2" METAL STUD W/ 5/8" GWB ONE SIDE TO EXTEND TO UNDERSIDE OF METAL DECK.			
P7	4 7/8"	3-5/8" METAL STUD W/ 5/8" GYPSUM WALL BOARD EACH SIDE TO EXTEND 48" ABOVE FINISH FLOOR			
P7A	4 7/8"	3-5/8" METAL STUD W/ 5/8" GYPSUM WALL BOARD EACH SIDE TO EXTEND 6" MIN ABOVE FINISH CEILING			
P7B	4 7/8"	3-5/8" METAL STUD W/ 5/8" GYPSUM WALL BOARD EACH SIDE TO EXTEND TO UNDERSIDE OF ROOF DECK			
P7R1	4 7/8"	3-5/8" METAL STUD W/ 5/8" TYPE X GWB EACH SIDE TO EXTEND TO UNDERSIDE OF ROOF DECK - 1 HR RATED	1		UL 419

SCHEDULE - EXTERIOR PARTITION & WALL TYPE					
MARK	WIDTH	DESCRIPTION	FIRE RATING		
			RATING	ASSEMBLY REF	STC RATING
E1	15"	7 5/8" CMU WITH LIQUID APPLIED AIR BARRIER, 2" RIGID INSULATION, 1 3/4" AIR SPACE AND 3 5/8" BRICK VENEER			

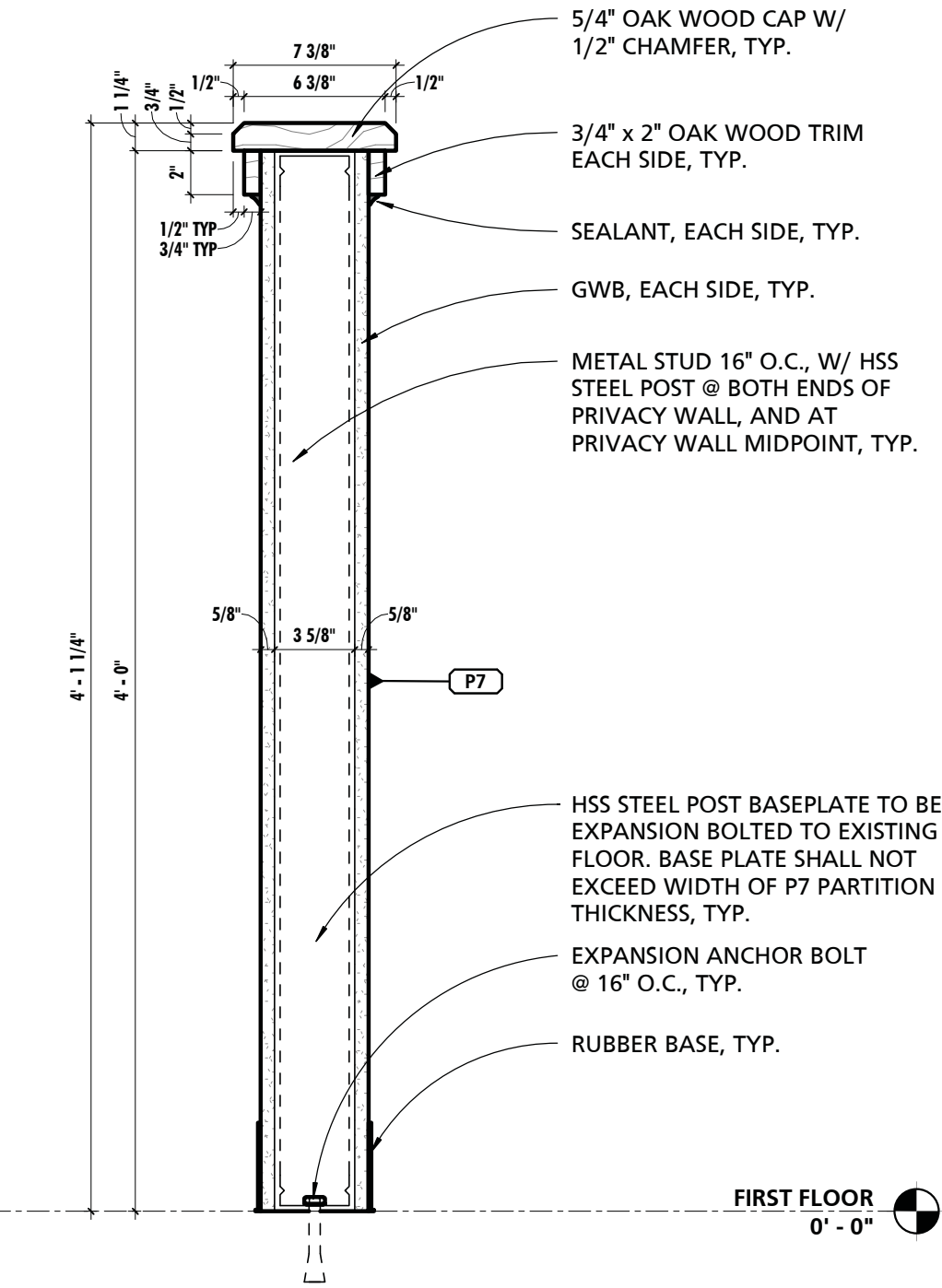
SCHEDULE - ROOFING TYPES		
MARK	DESCRIPTION	COMMENTS
RA1	(2) PLY SBS MODIFIED MEMBRANE OVER 1/2 COVER BOARD, MIN 5 1/2" SLOPED RIGID INSULATION AND 1 1/2" METAL DECK	
RA2	(2) PLY SBS MODIFIED MEMBRANE OVER 1/2 COVER BOARD, SLOPED RIGID INSULATION AND EXISTING ROOF TILE	MATCH EXISTING ROOF SLOPE AND THICKNESS

SCHEDULE - FLOOR ASSEMBLY TYPES		
MARK	DESCRIPTION	COMMENTS
SOG9	9" CONCRETE SLAB ON GRADE OVER VAPOR BARRIER, 2" RIGID INSULATION AND 8" POROUS FILL	

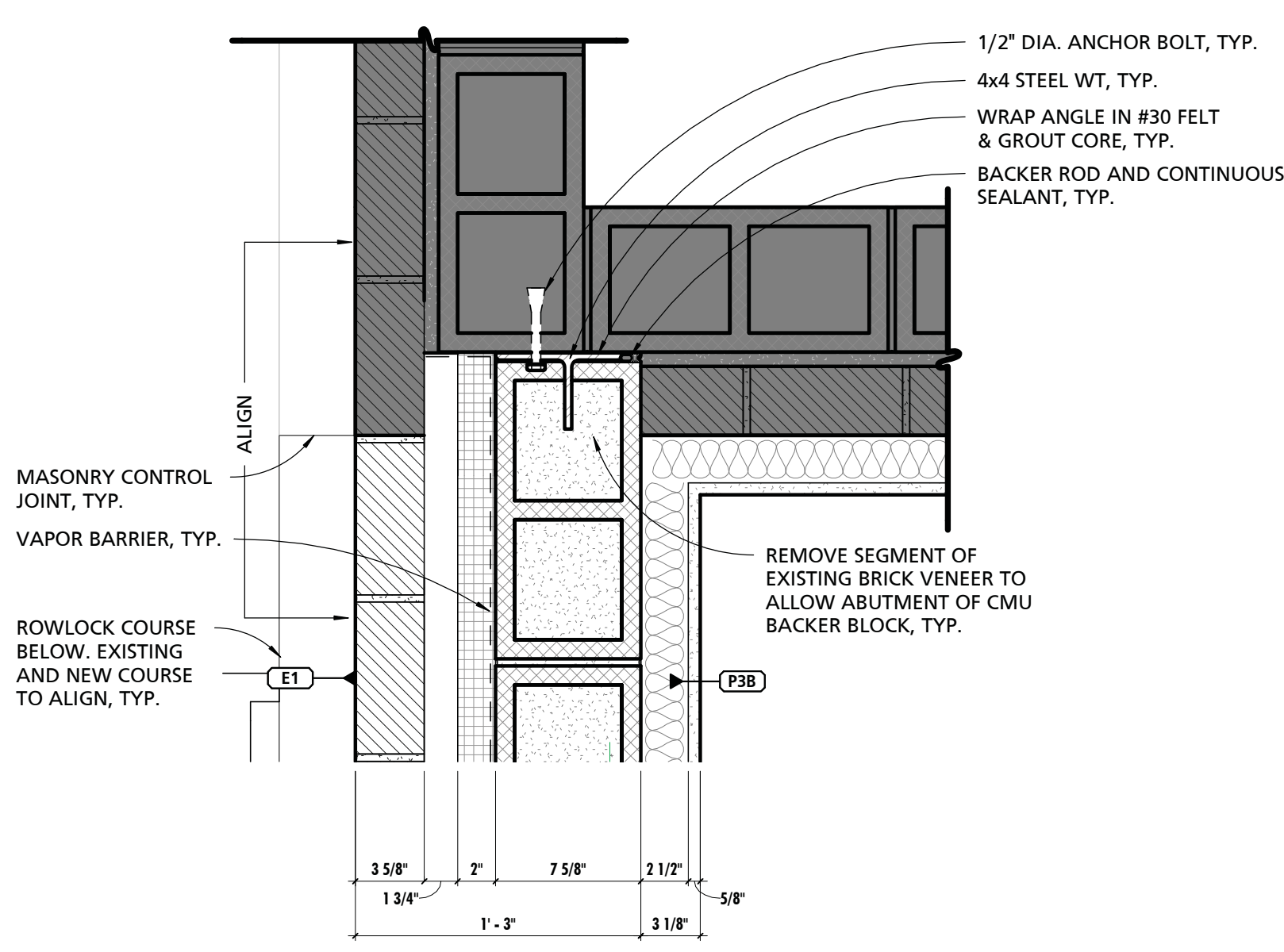
ROOF ASSEMBLIES	
RA1	
RA2	

SLAB ASSEMBLIES	
SOG9	

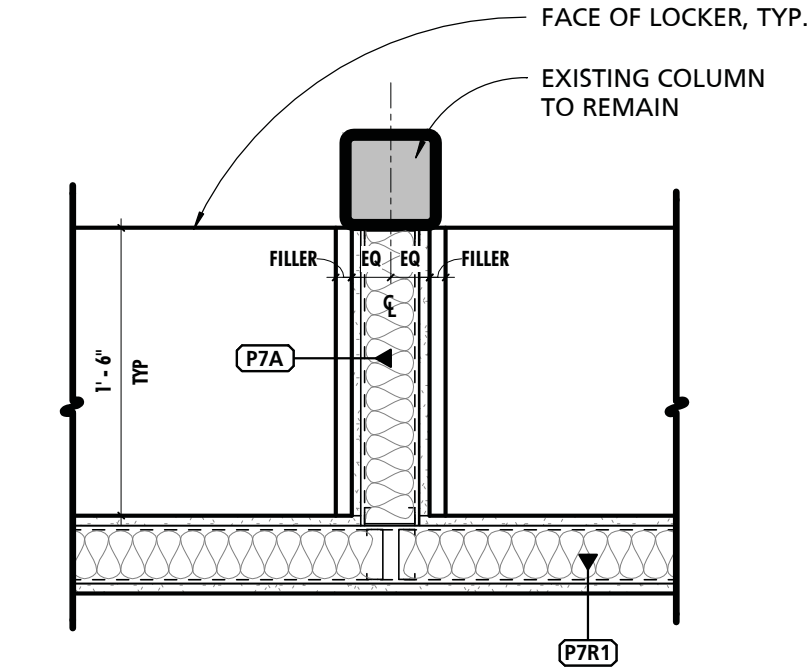
WALL ASSEMBLIES	
E1	
P7/P7A/P7B	
P3A/P3B	
P7R1	
P1	



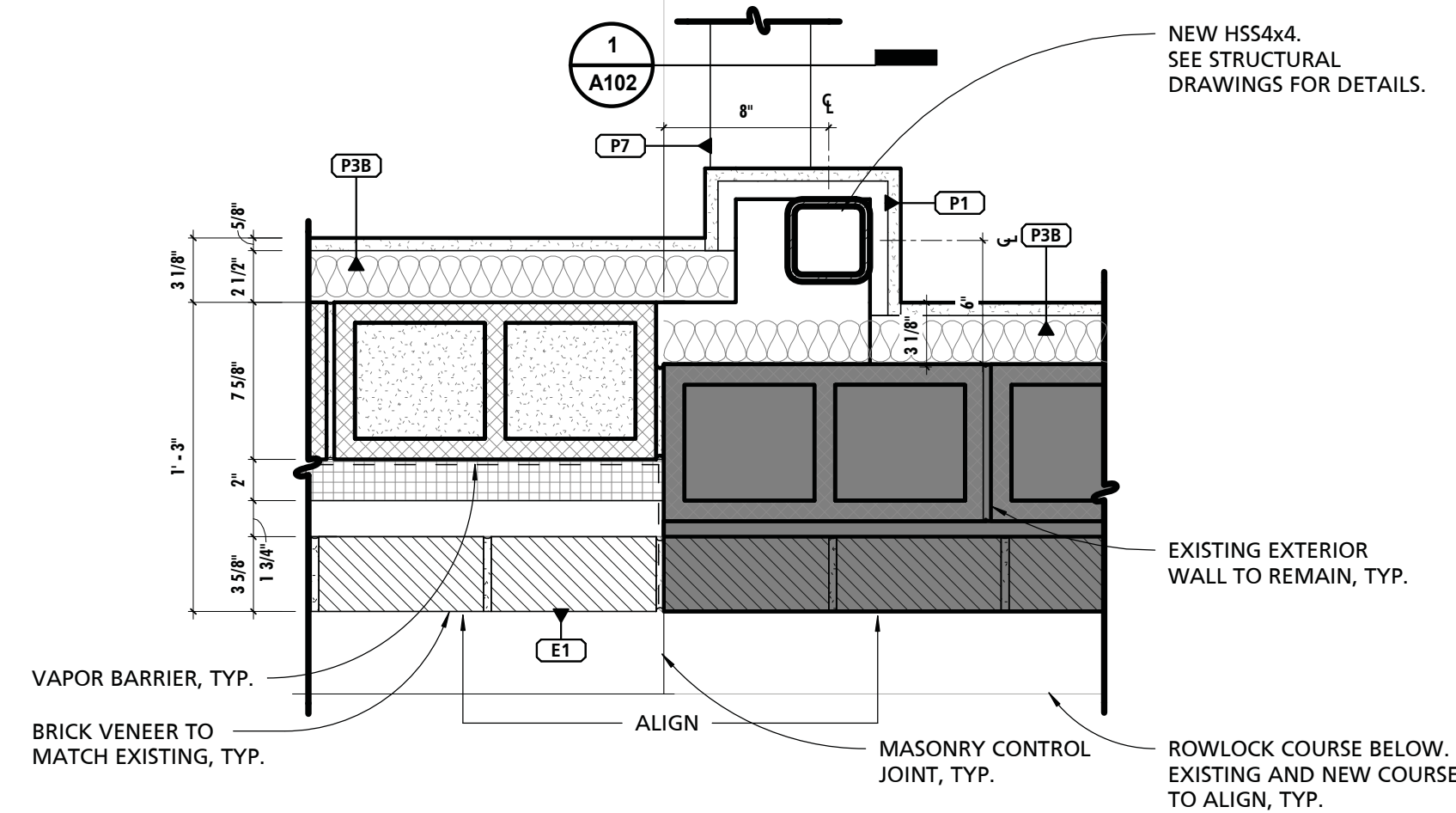
1 PRIVACY WALL DETAIL
1 1/2" = 1'-0"



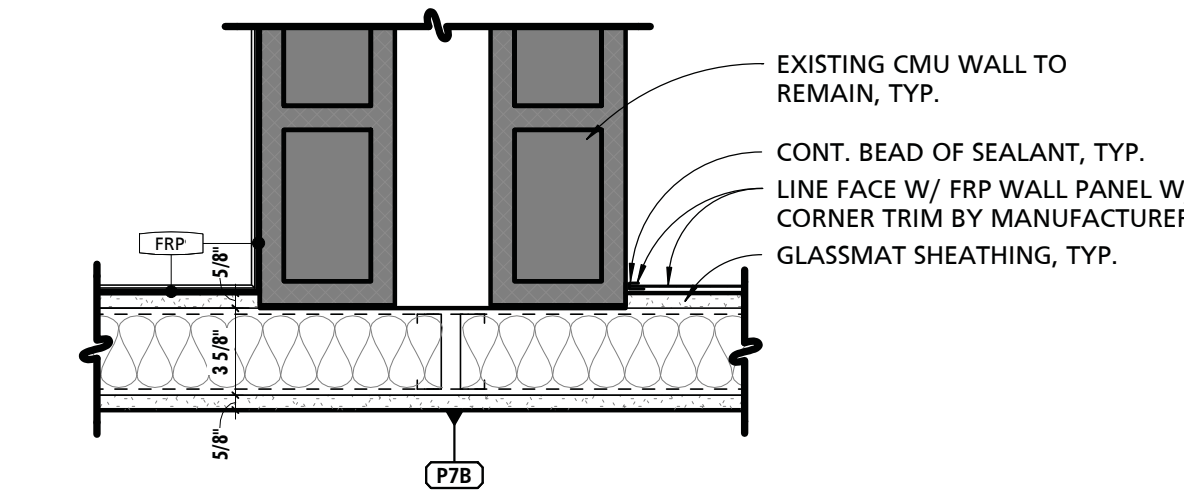
4 NEW EXTERIOR WALL CONNECTION - WEST
1 1/2" = 1'-0"



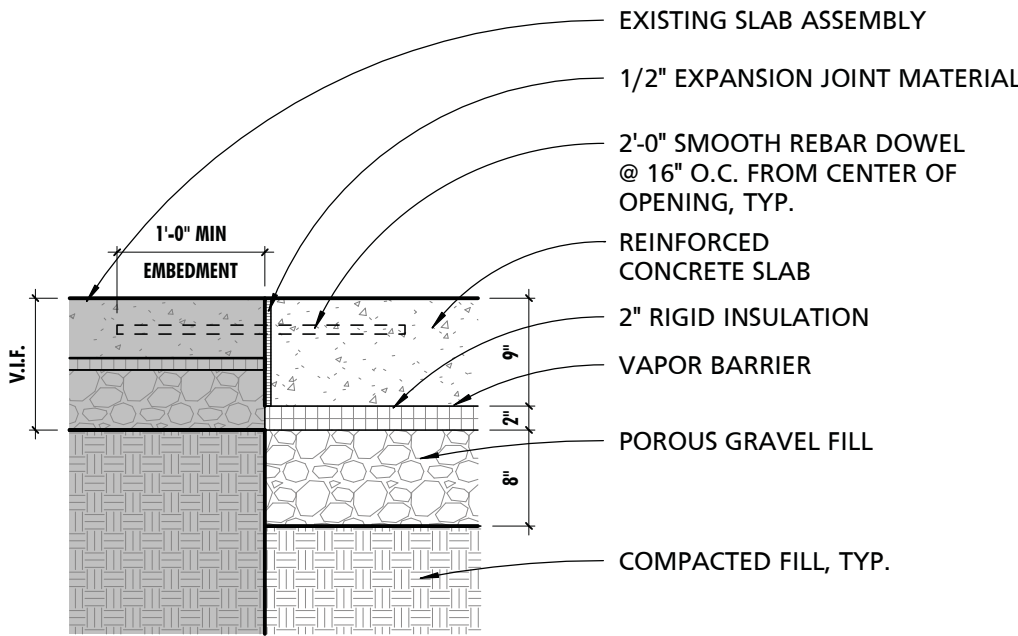
5 EXISTING COLUMN DETAIL
1" = 1'-0"



3 NEW EXTERIOR WALL CONNECTION - SOUTH
1 1/2" = 1'-0"



2 EXISTING & NEW WALL CONNECTION DETAIL
1 1/2" = 1'-0"



6 TYPICAL TIE-IN DETAIL @ SAW CUT
3/4" = 1'-0"

<div><div>SEAL</div><div><div>DATE: 05/01/25</div></div></div>	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHT	DRAWING SCALE		APPROVED BY: <i>Mihai T Petrisor</i> DIRECTOR DATE: 03/26/2025
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.		BID/PERMIT			05/01/25	-	MSW	1	PLAN SCALE: As indicated		
	LICENSE NO. 15505 EXPIRATION DATE: 08-18-2026						ROW NO.	-	-	PROFILE SCALE: -		
							-	-	-			
<div>ARCHITECT: DAVID WOODWARD, AIA PRINCIPAL ARCHITECT MANSON WOODWARD STUDIOS 10005-43 PHILLIPS PIKE ROAD WHITE MARSH, MARYLAND 21102 (P) 410-594-1300</div>	DGN BY: _____	BUREAU OF ENGINEERING AND CONSTRUCTION		HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	PROPERTY MANAGEMENT		
	DWN BY: _____	REVIEWED BY: _____								APPROVED BY: _____ CHIEF		
	CHKD BY: _____	DATE REVIEWED: _____								DATE: _____		

SUBDIVISION: FULLERTON

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT

FULLERTON FIRE STATION #8 - RENOVATION & ADDITION

BUILDING ASSEMBLY TYPES & DETAILS

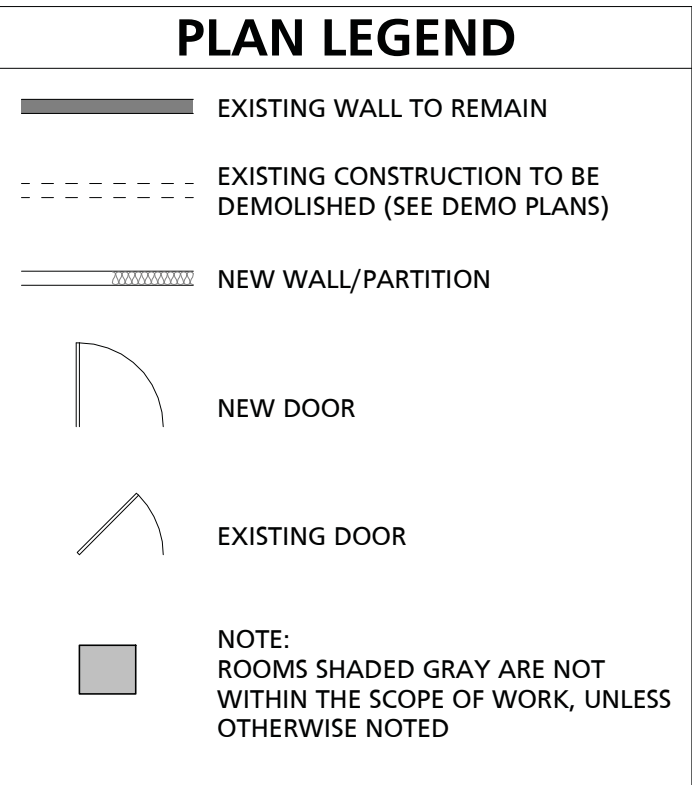
4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236

ELECTION DIST. NO.: 14C5

SHEET DESIGNATION	CONTRACT NUMBER
A102	25034 PF0 RE-BID
JOB ORDER NUMBER	241-220-0054-0012
SHEET 17 of 58	
DRAWING NUMBER	2022-2336
FILE NO.: 8	

DWG. FILENAME:

2/18/2025 3:04:49 PM



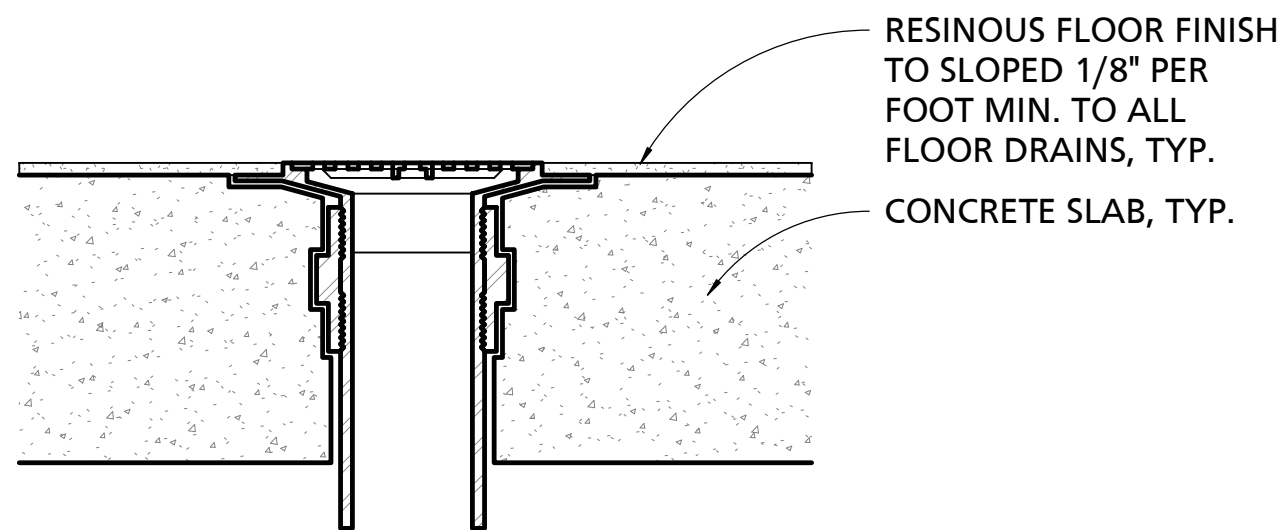
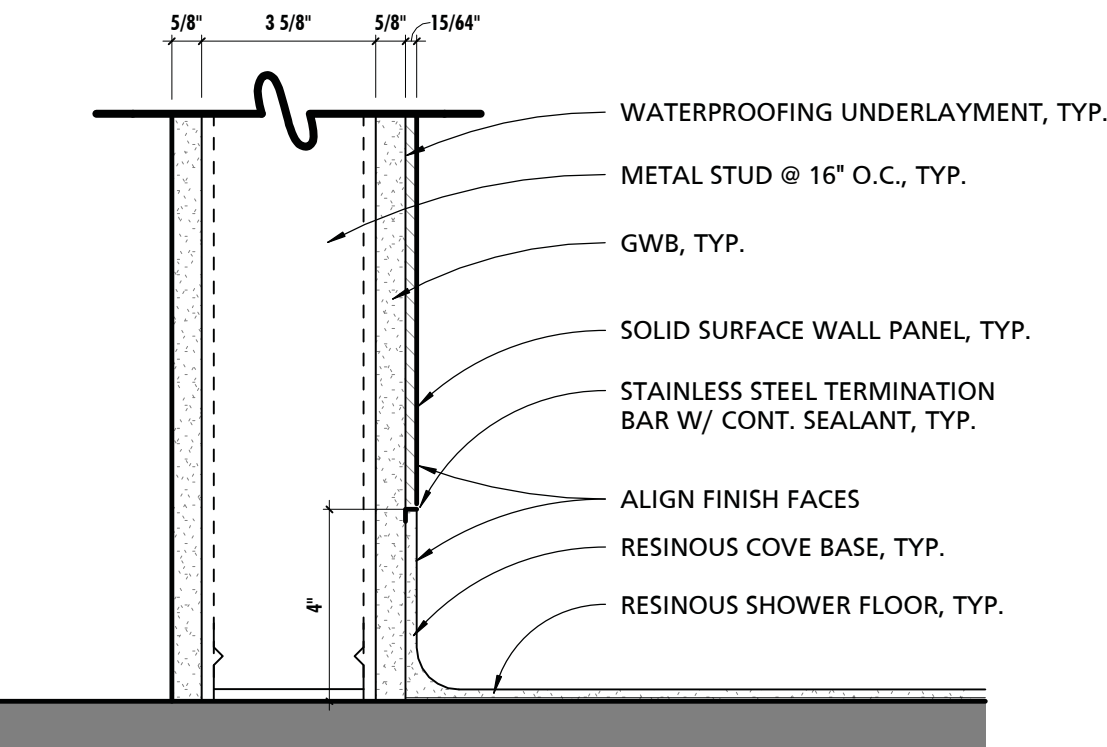
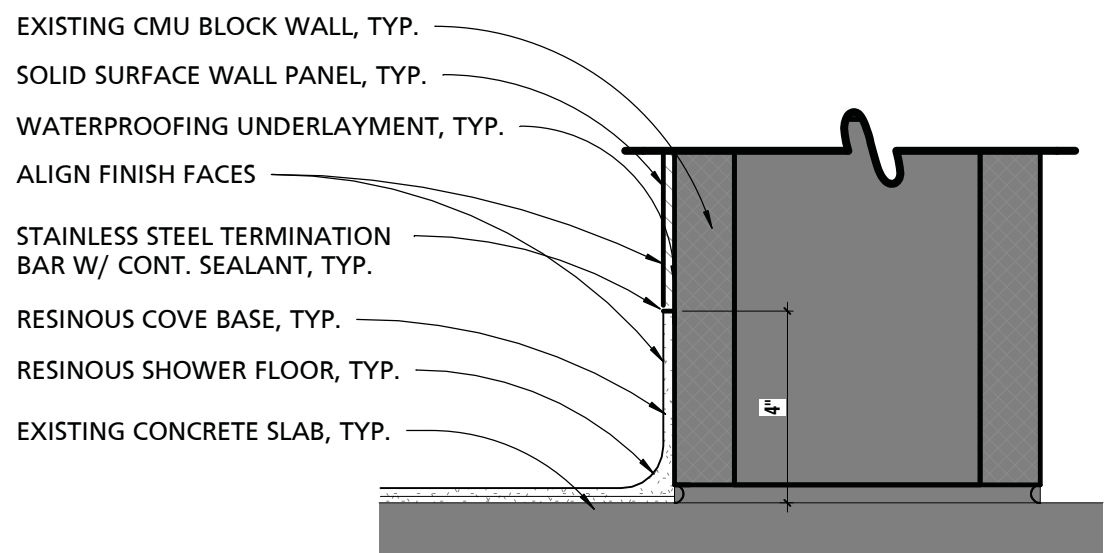
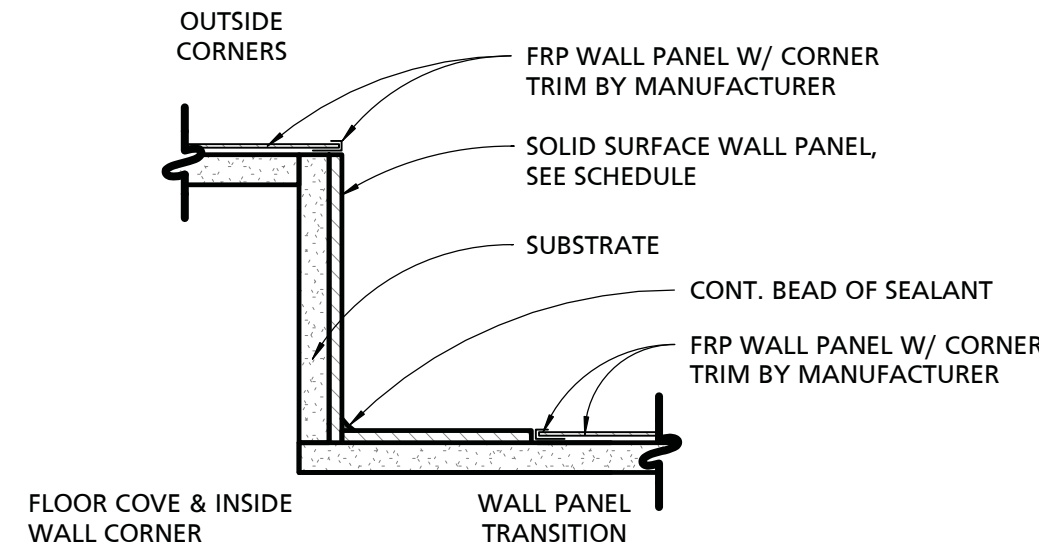
SCHEDULE - FINISHES									
ROOM INFORMATION		FLOOR FINISH	BASE	WALL FINISH				CEILING FINISH	REMARKS
RM #	ROOM NAME			NORTH	SOUTH	EAST	WEST		
114	CORRIDOR	RES-1	B-1	PT-1	PT-1	PT-1	PT-1	CLG-3	
115	T&S-4	RES-1	B-1	FRP	FRP	FRP	FRP	CLG-2/CLG-1	SHOWER STALL WALLS SHALL BE SSWP W/ B-1 COVE BASE. CLG-1 TO RECEIVE PT-2
116	T&S-3	RES-1	B-1	FRP	FRP	FRP	FRP	CLG-2/CLG-1	SHOWER STALL WALLS SHALL BE SSWP W/ B-1 COVE BASE. CLG-1 TO RECEIVE PT-2
117	CL	RES-1	B-1	PT-1	PT-1	PT-1	PT-1	CLG-1	
118	T&S-2	RES-1	B-1	FRP	FRP	FRP	FRP	CLG-2/CLG-1	SHOWER STALL WALLS SHALL BE SSWP W/ B-1 COVE BASE. CLG-1 TO RECEIVE PT-2
119	T&S-1	RES-1	B-1	FRP	FRP	FRP	FRP	CLG-2/CLG-1	SHOWER STALL WALLS SHALL BE SSWP W/ B-1 COVE BASE. CLG-1 TO RECEIVE PT-2
120	T&S-5	RES-1	B-1	FRP	FRP	FRP	FRP	CLG-2/CLG-1	SHOWER STALL WALLS SHALL BE SSWP W/ B-1 COVE BASE. CLG-1 TO RECEIVE PT-2
121	FITNESS AREA	RES-1	B-1	PT-1	PT-1	PT-1	PT-1	CLG-3	
123	OPEN BUNK	RES-1	B-1	PT-1	PT-1	PT-1	PT-1	CLG-3	
124	EX. RESTROOM	RES-1	B-1	PT-1	PT-1	PT-1	PT-1	EXISTING	
125	EX. KITCHEN	RES-1	B-1	PT-1	PT-1	PT-1	PT-1	CLG-3	TEMPORARILY REMOVE APPLIANCES AS NEEDED TO INSTALL FLOOR. PROVIDE NEW TOE KICK AT KITCHEN BASE CABINETS AFTER RESINOUS FLOOR HAS BEEN INSTALLED
126	EX CORRIDOR	RES-1	B-1	PT-1	PT-1	PT-1	PT-1	CLG-3	
127	EX. EMS OFFICE	RES-1	B-1	PT-1	PT-1	PT-1	PT-1	EXISTING	
128	EX. JAN	RES-1	B-1	PT-1	PT-1	PT-1	PT-1	EXISTING	

NOTE: CONTRACTOR TO PROVIDE ADEQUATE FLOOR COVERINGS TO PROTECT EXISTING FLOOR FINISHES IN ROOMS WHERE EXISTING FLOOR FINISHES ARE TO REMAIN.

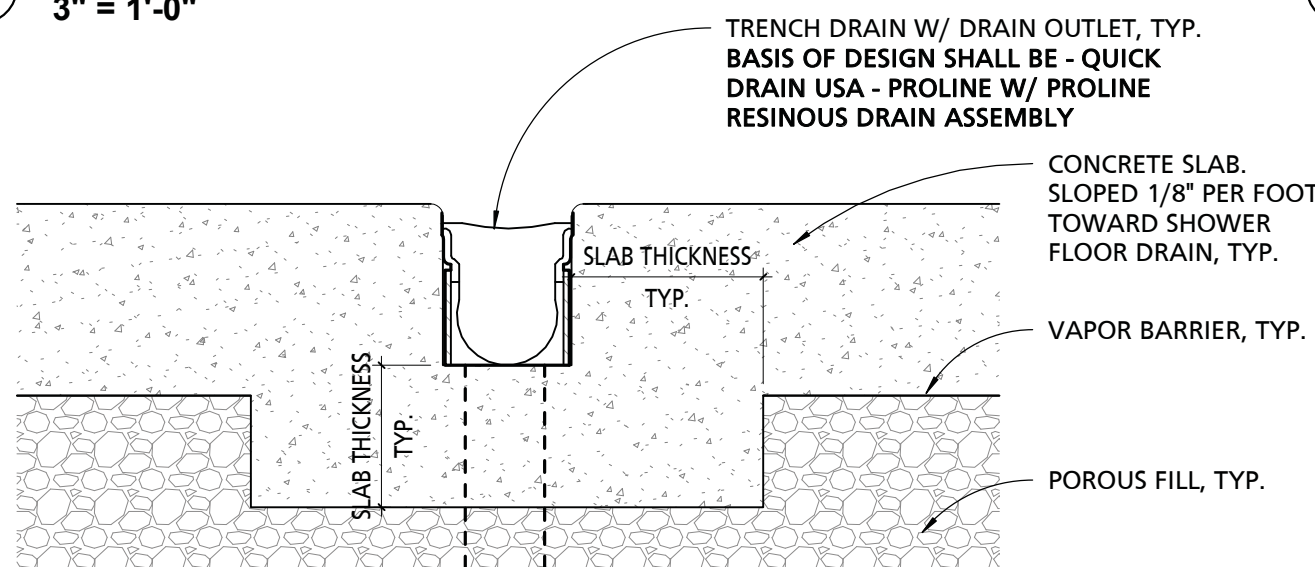
SCHEDULE - MATERIAL FINISH KEY				
FINISH MARK	DESCRIPTION	BOD MANUFACTURER	BOD PRODUCT LINE/COLOR	COMMENTS
		KEY RESIN CO.		
B-1	4" RESINOUS COVE BASE		KEY MMA CHIP 900	
FRP	FIBERGLASS REINFORCED PLASTIC WALL PANELING	CRANE COMPOSITES		
PT-1		SHERWIN WILLIAMS		
PT-2	WALL PAINT	SHERWIN WILLIAMS	#6224 SEMI-GLOSS	
RES-1	RESINOUS COVERING	KEY RESIN CO.	KEY MMA CHIP 900	
SS-1	SOLID SURFACE COUNTERTOP	FORMICA	EVERFORM SOLID SURFACE: COLOR TBD	
SSWP	36X62X84 SOLID SURFACE WALL KIT	SWANSTONE	WALL KIT: MODERN SUBWAY TILE, COLOR TBD	BOTTOM OF KIT @ 4" A.F.F., PROVIDE WITH SOAP SHELVES

SCHEDULE - CEILING TYPES				
MARK	DESCRIPTION	BOD MANUFACTURER	BOD MODEL	COMMENTS
CLG 1	5/8" GWB ON 1 1/2" DRYWALL GRID	ARMSTRONG	DRYWALL GRID SYSTEM	
CLG 2	2x2 WASHABLE CEILING TILE	ARMSTRONG	ULTIMA HEALTH ZONE	
CLG 3	2x4 ACOUSTICAL CEILING TILE	ARMSTRONG	FISSURED 895	

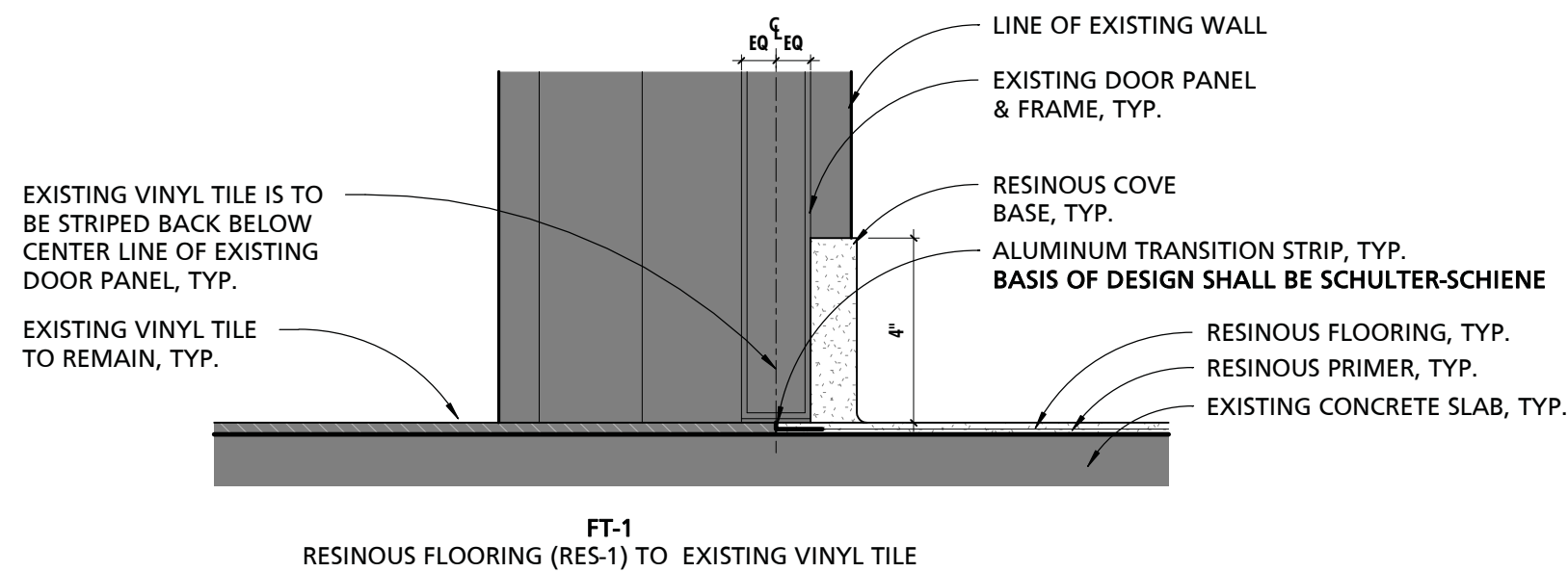
1 FIRST FLOOR FINISH PLAN
1/8" = 1'-0"



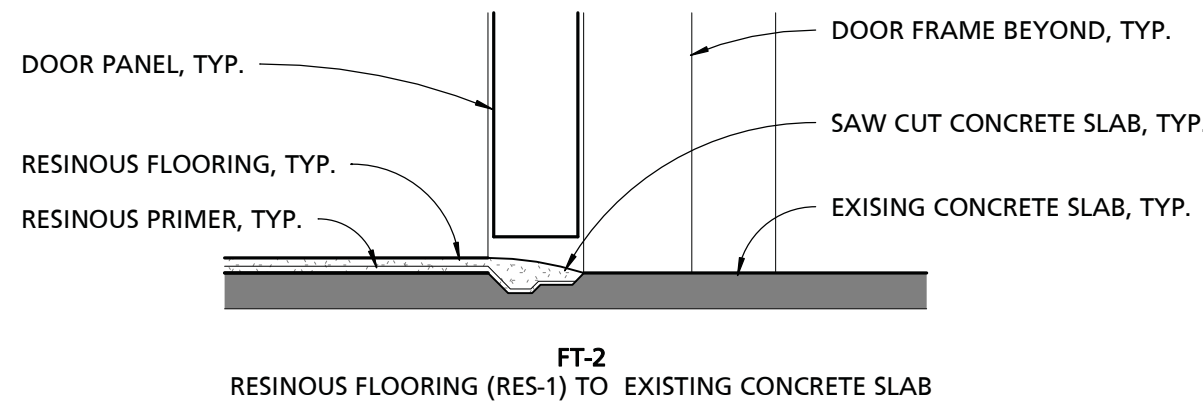
2 TYPICAL WALL PANEL EDGE DETAILS
3" = 1'-0"



3 RESINOUS COVE BASE @ MASONRY
3" = 1'-0"



4 EPOXY COVE BASE @ SHOWER
3" = 1'-0"



5 FLOOR DRAIN
3" = 1'-0"

6 TYPICAL SHOWER TRENCH DRAIN DETAIL
3" = 1'-0"

7 TRANSITION DETAIL
3" = 1'-0"

	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHT	DRAWING SCALE	APPROVED BY: <i>Mihai T. Petrisor</i> DIRECTOR DATE: 03/26/2025
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.		BID/PERMIT		03/01/25	-	MSW	-	PLAN SCALE: As indicated	
	LICENSE NO. 15505 EXPIRATION DATE: 08-18-2026					-	-	-	PROFILE SCALE: -	
	ARCHITECT: DAVID WOODWARD, AIA PRINCIPAL ARCHITECT MANSON WOODWARD STUDIOS 1000-23 PHILADELPHIA ROAD WHITE MARSH, MARYLAND 21102 (P) 410-596-1900		BUREAU OF ENGINEERING AND CONSTRUCTION			-	STRUCTURES	STORM DRAINS	SEWER	
DGN BY: _____										APPROVED BY: _____ CHIEF DATE: _____
DWN BY: _____			REVIEWED BY: _____							
CHKD BY: _____			DATE REVIEWED: _____							

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT

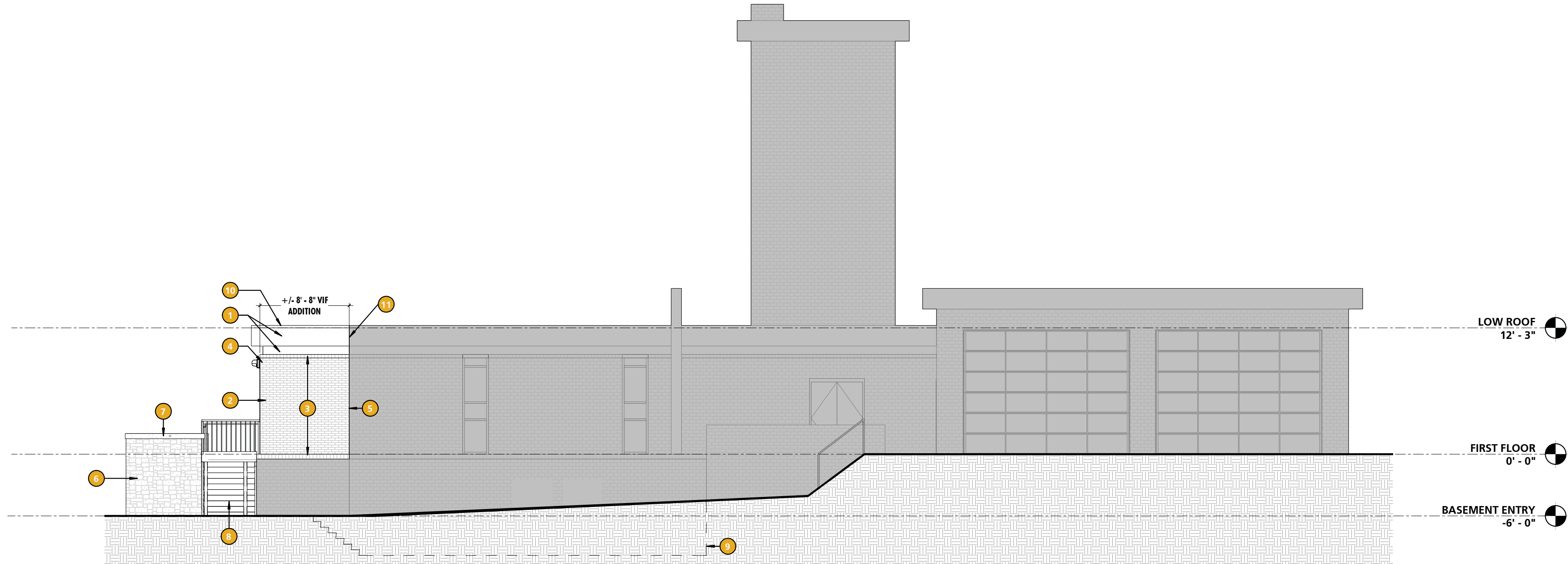
FULLERTON FIRE STATION #8 - RENOVATION & ADDITION

FINISH PLAN, SCHEDULE & DETAILS

4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236

SUBDIVISION: FULLERTON

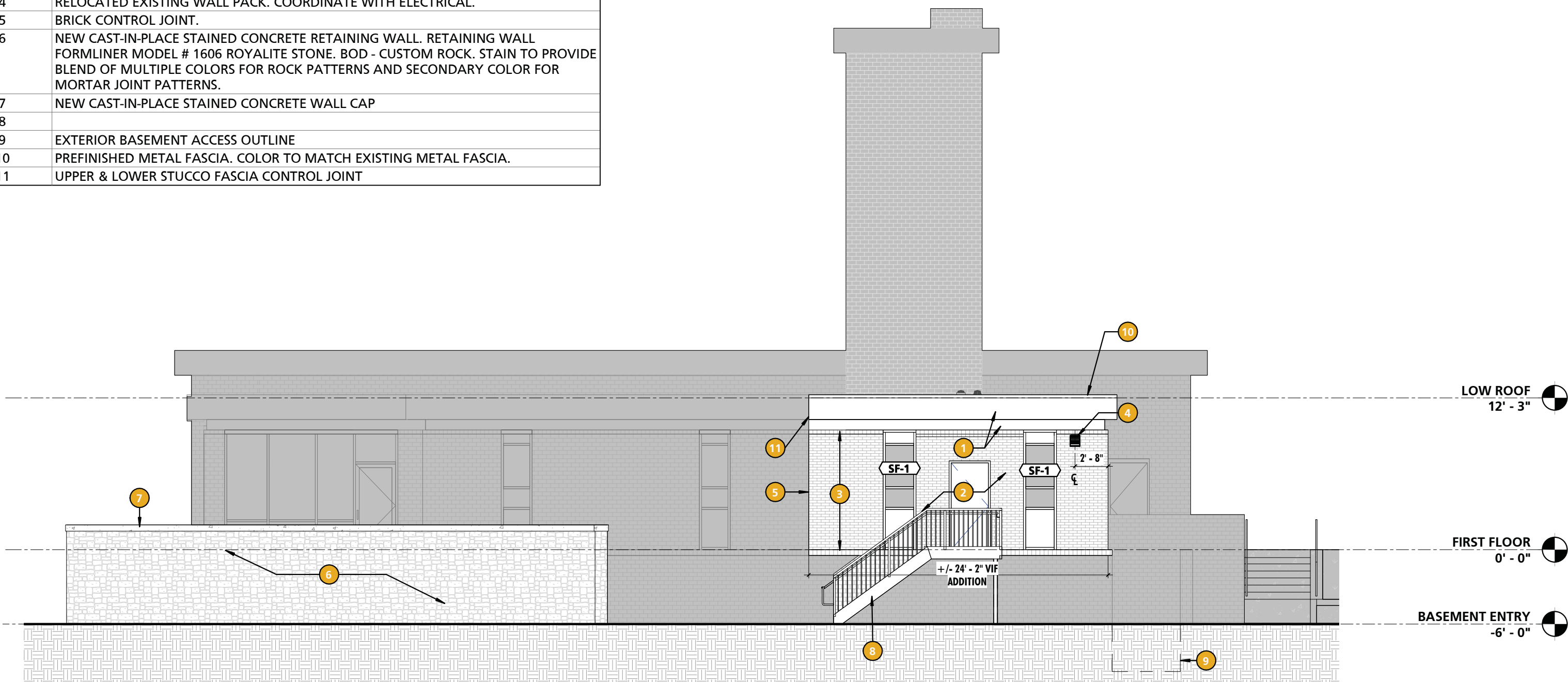
SHEET DESIGNATION	CONTRACT NUMBER
A103	25034 PF0 RE-BID
	JOB ORDER NUMBER
	241-220-0054-0012
SHEET 18 of 58	
DRAWING NUMBER	
2022-2337	
FILE NO.: 8	



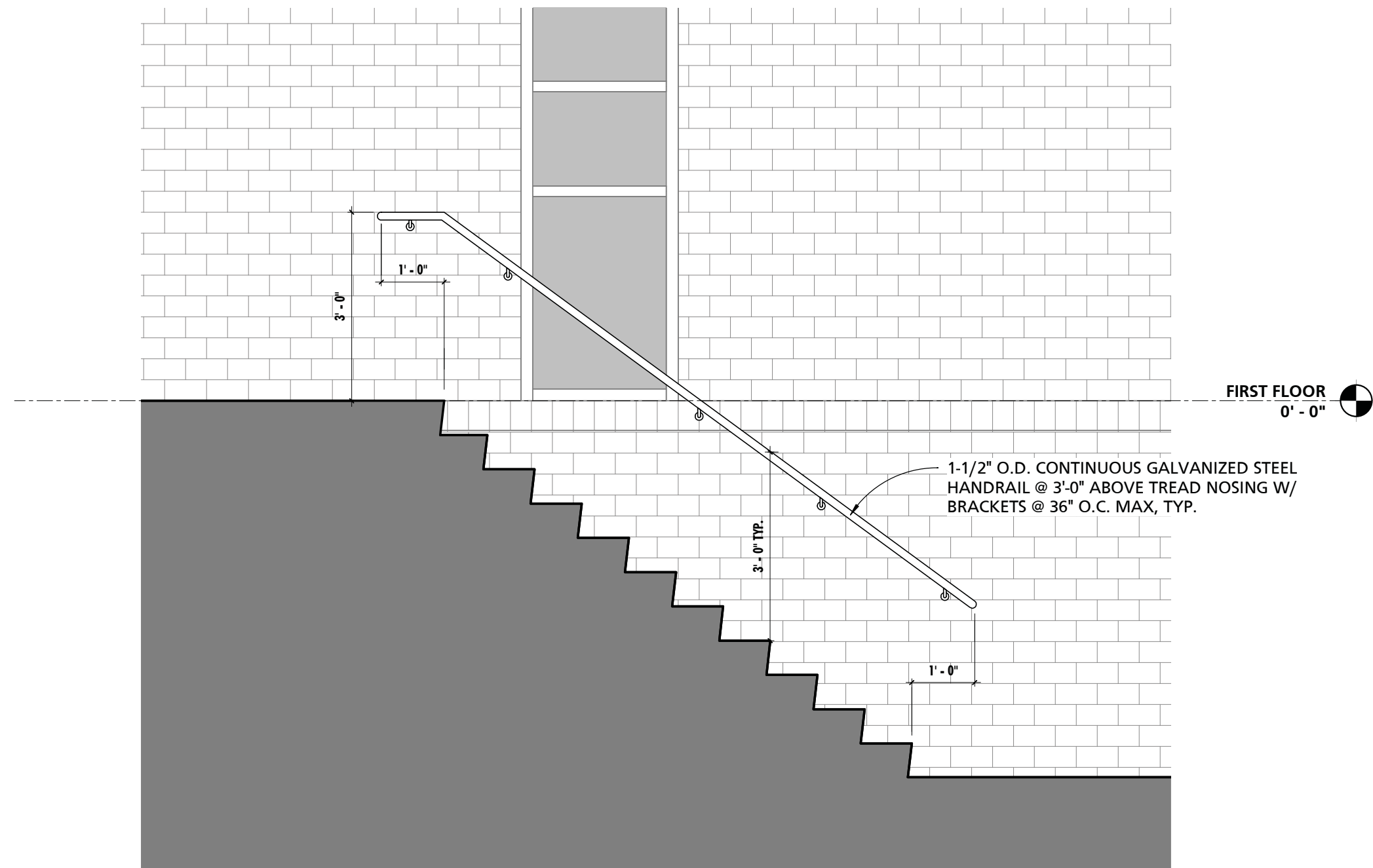
1 SOUTH ELEVATION
1/8" = 1'-0"

NO.	NOTE
1	UPPER & LOWER STUCCO FASCIA. COLOR TO MATCH EXISTING GLASWELD FASCIA COLOR
2	NEW BRICK VENEER TO MATCH EXISTING BRICK VENEER IN SIZE, SHAPE AND COLOR MIX. BRICK MORTAR TO MATCH EXISTING MORTAR.
3	NEW BRICK ROWLOCK COURSE TO MATCH EXISTING. ELEVATION OF ROWLOCK BANDING TO ALIGN WITH EXISTING ROWLOCK BANDING.
4	RELOCATED EXISTING WALL PACK. COORDINATE WITH ELECTRICAL.
5	BRICK CONTROL JOINT.
6	NEW CAST-IN-PLACE STAINED CONCRETE RETAINING WALL. RETAINING WALL FORMLINER MODEL # 1606 ROYALITE STONE. BOD - CUSTOM ROCK. STAIN TO PROVIDE BLEND OF MULTIPLE COLORS FOR ROCK PATTERNS AND SECONDARY COLOR FOR MORTAR JOINT PATTERNS.
7	NEW CAST-IN-PLACE STAINED CONCRETE WALL CAP
8	
9	EXTERIOR BASEMENT ACCESS OUTLINE
10	PREFINISHED METAL FASCIA. COLOR TO MATCH EXISTING METAL FASCIA.
11	UPPER & LOWER STUCCO FASCIA CONTROL JOINT

ELEVATION LEGEND	
	WALLS SHADED GRAY ARE NOT WITHIN THE SCOPE OF WORK, UNLESS OTHERWISE NOTED



2 WEST ELEVATION
1/8" = 1'-0"



3 EXTERIOR HANDRAIL ELEVATION
1/2" = 1'-0"

<div>SEAL</div> <div></div> <div>DATE: 05/01/25</div>	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHT	DRAWING SCALE		APPROVED BY: <i>Mihai T Petrisor</i> DIRECTOR DATE: 03/26/2025
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 15505 EXPIRATION DATE: 08-18-2026 ARCHITECT: DAVID WOODWARD, AIA PRINCIPAL ARCHITECT MANSS WOODWARD STUDIOS 1000-23 HILLDALE PIKE ROAD WHITE MARSH, MARYLAND 21102 (P) 301-586-1300		BID/PERMIT			05/01/25	-	MSW	-	PLAN SCALE: As indicated		
						-	R.O.W. NO.	-	PROFILE SCALE: -			
						-		-				
						-		-				
DGN BY: _____		BUREAU OF ENGINEERING AND CONSTRUCTION		HIGHWAYS		STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	PROPERTY MANAGEMENT	
DWN BY: _____		REVIEWED BY: _____									APPROVED BY: _____ CHIEF	
CHKD BY: _____		DATE REVIEWED: _____									DATE: _____	

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT

FULLERTON FIRE STATION #8 - RENOVATION & ADDITION

BUILDING ELEVATIONS

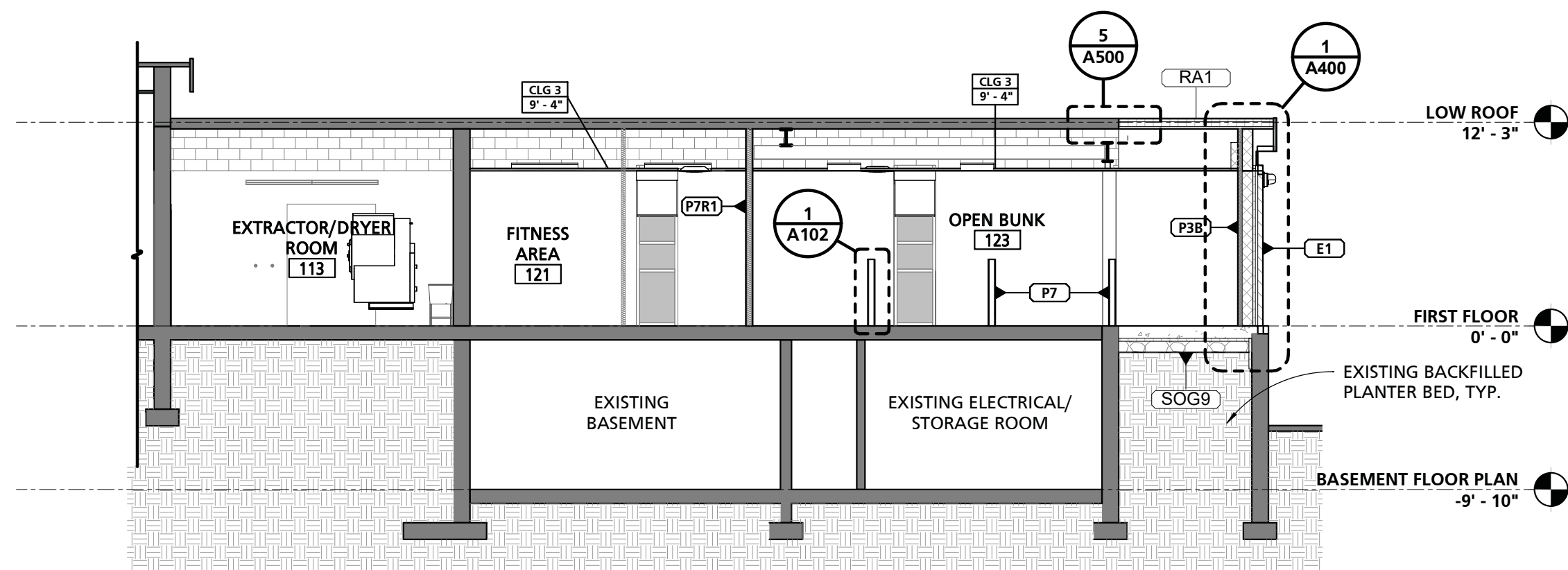
4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236

SUBDIVISION: FULLERTON

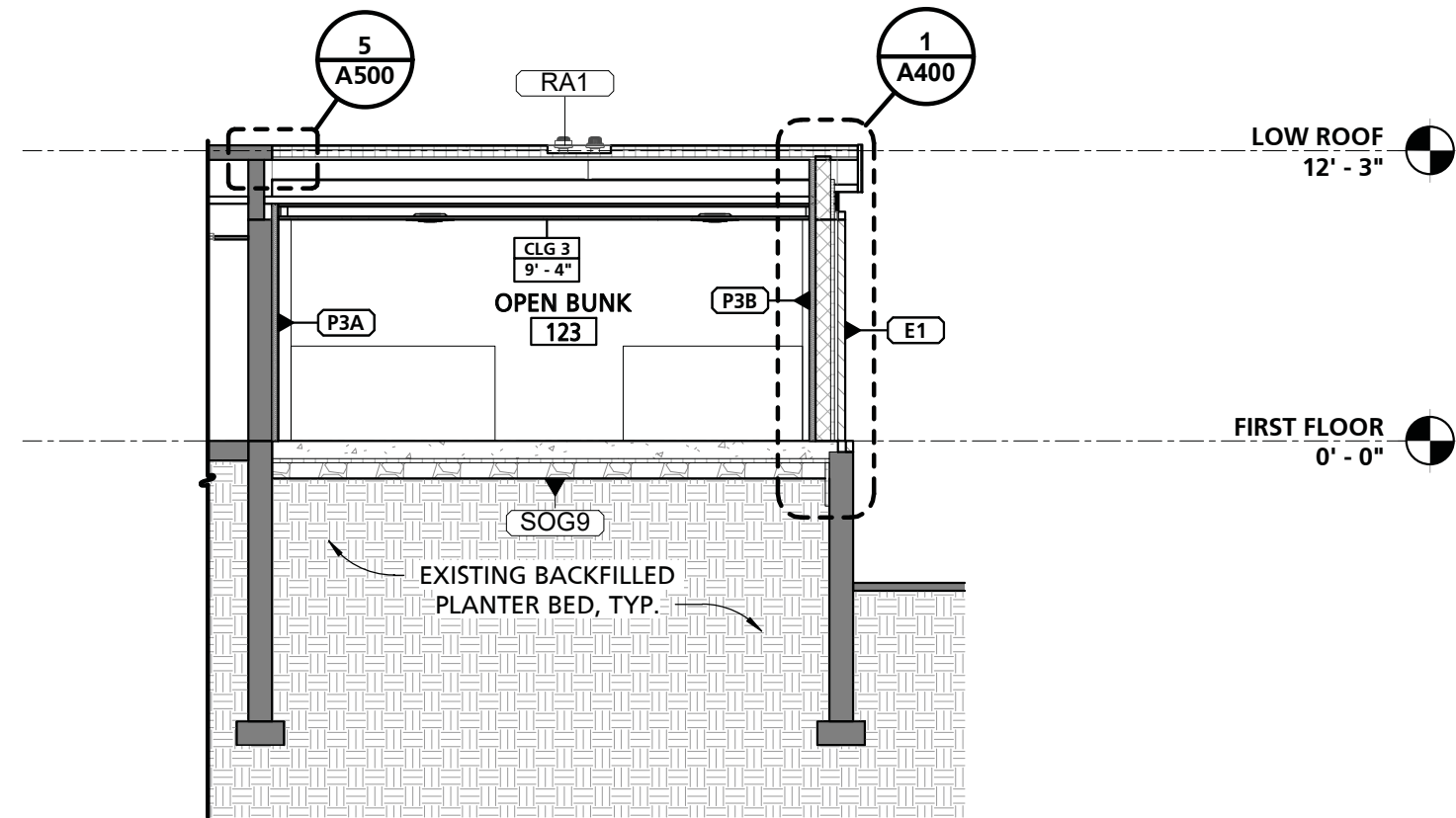
SHEET DESIGNATION	CONTRACT NUMBER
A200	25034 PFO RE-BID
	JOB ORDER NUMBER
	241-220-0054-0012
	SHEET 19 of 58
	DRAWING NUMBER
	2022-2338
	FILE NO.: 8




GENERAL BUILDING SECTION NOTES	
NOTE #	NOTE
1	BUILDING SECTIONS ARE INTENDED TO SHOW OVERALL RELATIONSHIPS OF SPACES, OVERALL ASSEMBLIES, AND THE GEOMETRY OF THE BUILDING. SEE REFERENCED WALL SECTIONS AND DETAILS FOR ADDITIONAL INFORMATION.



1 PARTIAL LONGITUDINAL BUILDING SECTION THROUGH OPEN BUNK
1/8" = 1'-0"



2 PARTIAL TRANSVERSE BUILDING SECTION THROUGH BUNK ROOM
1/8" = 1'-0"

<div><div>SEAL</div><div></div><div>DATE: 05/01/25</div></div>	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHT	DRAWING SCALE		APPROVED BY: <i>Mihai T Petrisor</i>
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	LICENSE NO. 15505		EXPIRATION DATE: 08-18-2026				R.O.W NO.	-	-	PROFILE SCALE: -	DATE: 03/26/2025	
	ARCHITECT: DAVID WOODWARD, AIA PRINCIPAL ARCHITECT MANSON WOODWARD STUDIOS 10005-21 PHILADELPHIA ROAD WHITE MARSH, MARYLAND 21102 (P) 301-586-1360		DGN BY: _____ DWN BY: _____ CHKD BY: _____		BUREAU OF ENGINEERING AND CONSTRUCTION		HIGHWAYS	STRUCTURES	SEWER	WATER	FIELD ENGINEER	PROPERTY MANAGEMENT
					REVIEWED BY: _____ DATE REVIEWED: _____							APPROVED BY: _____ CHIEF DATE: _____

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT


FULLERTON FIRE STATION #8 - RENOVATION & ADDITION

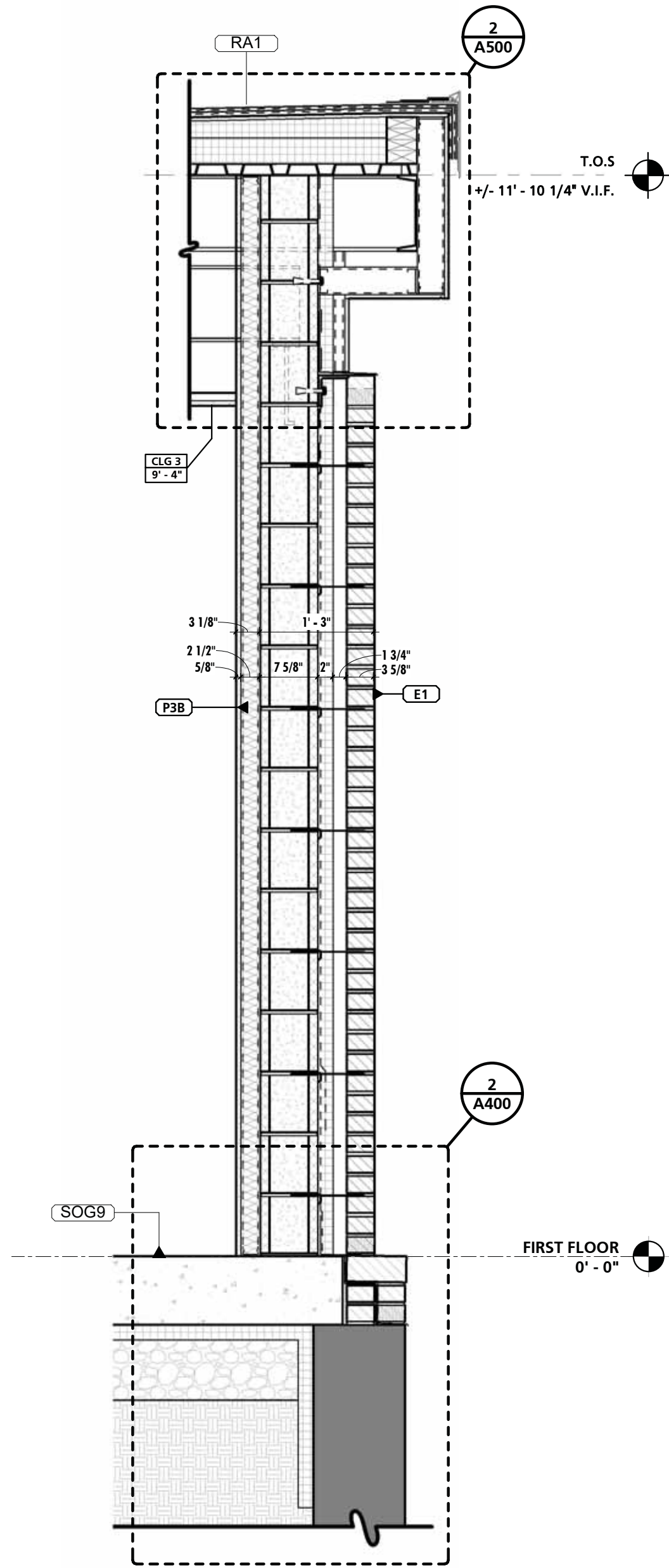
BUILDING SECTIONS

4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236

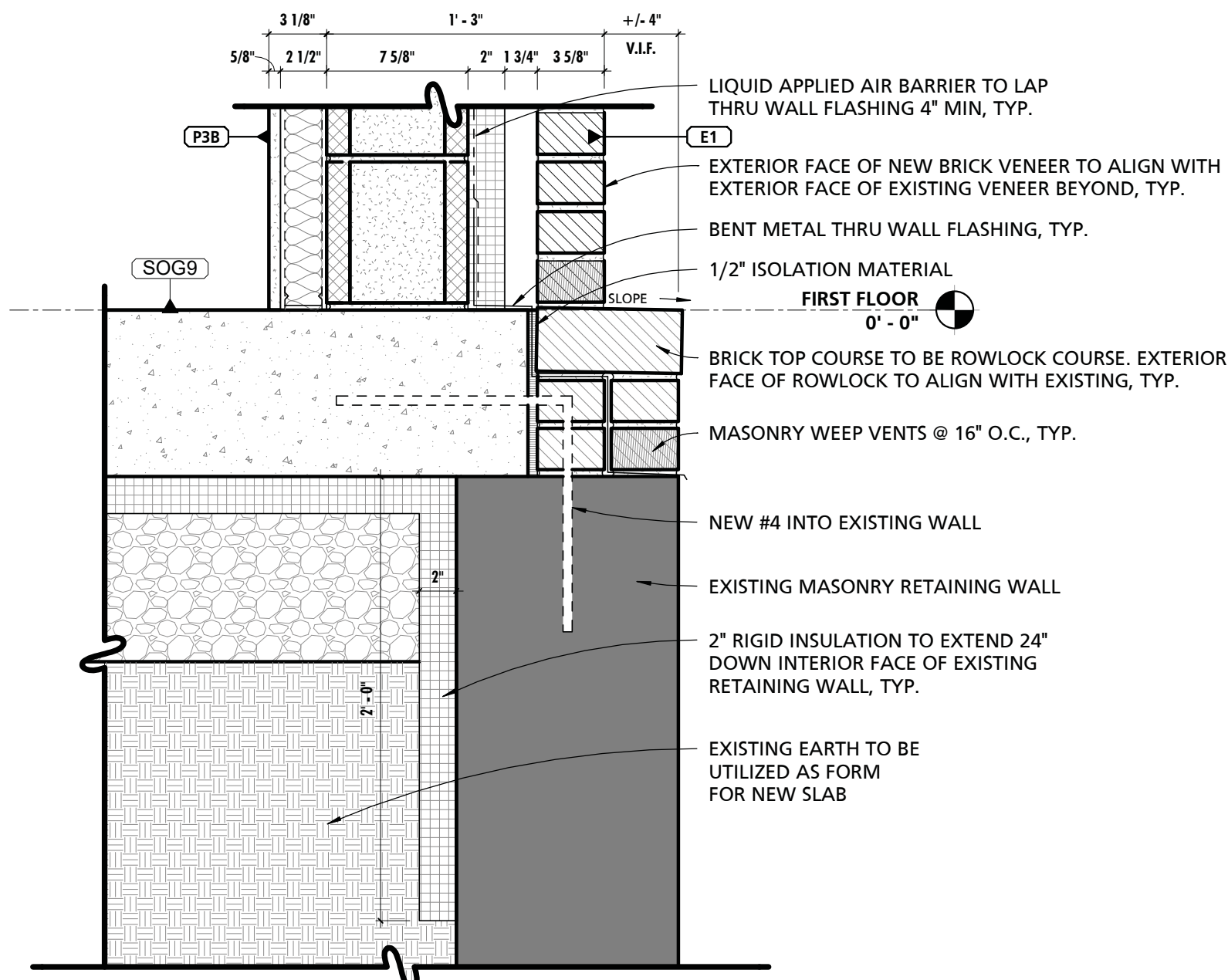
ELECTION DIST. NO.: 14C5

SUBDIVISION: FULLERTON


SHEET DESIGNATION	CONTRACT NUMBER
A300	25034 PFO RE-BID
	
JOB ORDER NUMBER	241-220-0054-0012
SHEET	20 of 58
DRAWING NUMBER	2022-2339
FILE NO.: 8	



1 TYPICAL ADDITION WALL SECTION
3/4" = 1'-0"



2 TYPICAL ADDITION FOUNDATION DETAIL
1 1/2" = 1'-0"

SEAL  DATE: 05/01/25	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SH1	DRAWING SCALE		APPROVED BY: <i>Mihai T. Petrisor</i> 03/26/2025 DIRECTOR PROPERTY MANAGEMENT CHIEF
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.		BID/PERMIT			05/01/25	-	MSW	17NE11	PLAN SCALE: As indicated		
	LICENSE NO. 15505 EXPIRATION DATE: 08-18-2026						R.O.W. NO.	-	-	PROFILE SCALE: -		
	ARCHITECT: DAVID WOODWARD, AIA PRINCIPAL ARCHITECT MANSON WOODWARD STUDIOS 10005-21 MILLAGE/PIKE ROAD WHITE MARSH, MARYLAND 21102 P: 301-586-1100		BUREAU OF ENGINEERING AND CONSTRUCTION		HIGHWAYS		STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	
	DGN BY: _____ DWN BY: _____ CHKD BY: _____		REVIEWED BY: _____ DATE REVIEWED: _____									


BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT

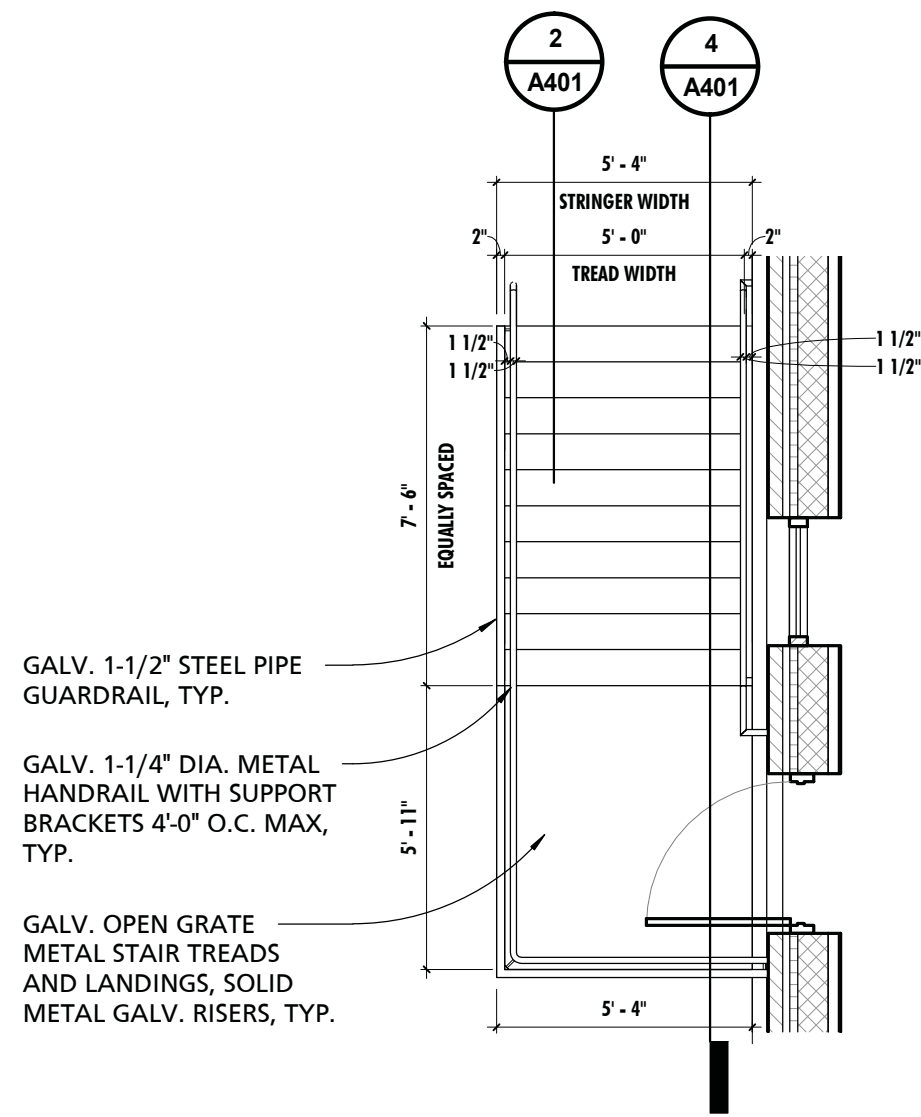
FULLERTON FIRE STATION #8 - RENOVATION & ADDITION

WALL SECTIONS

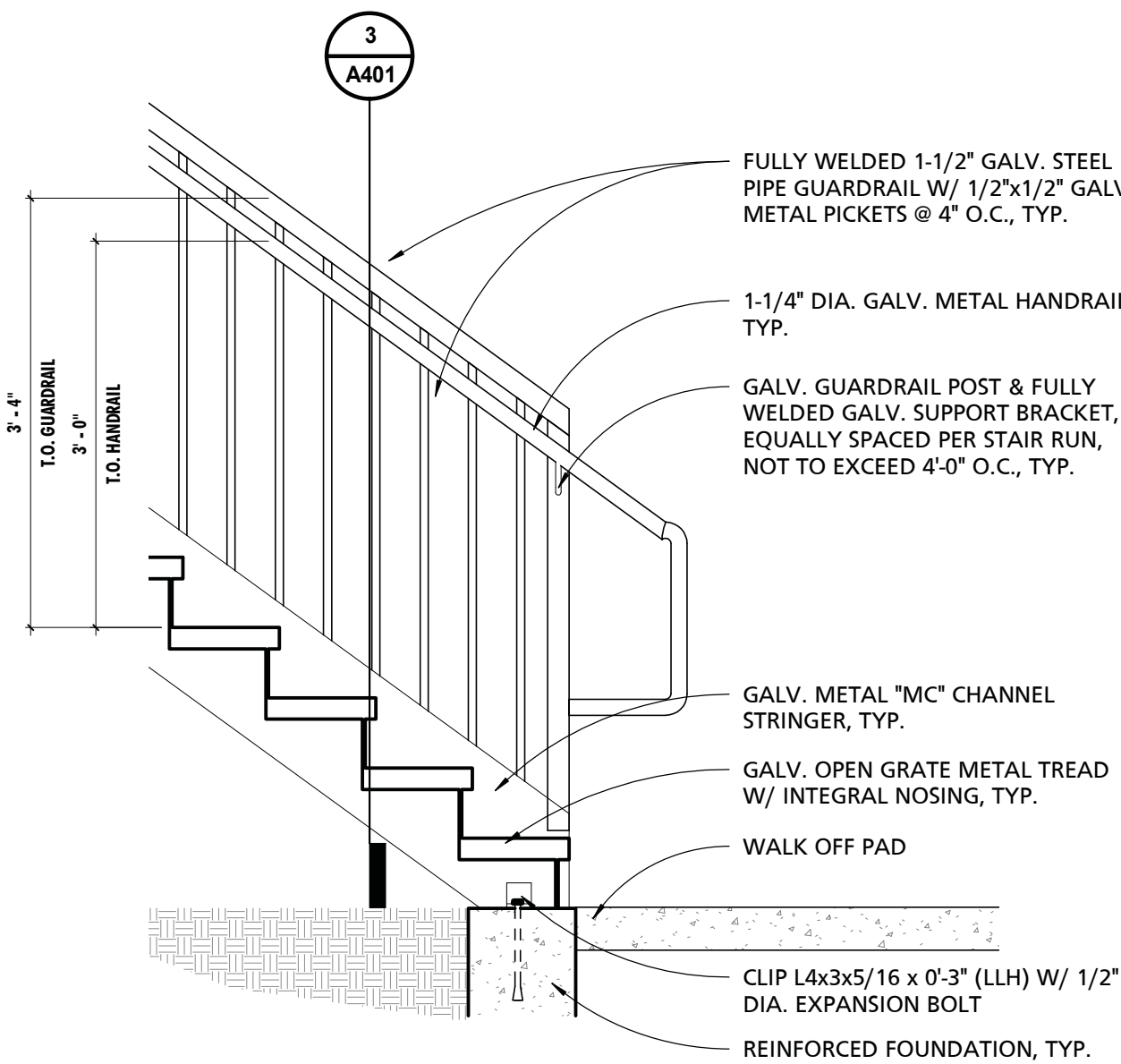
4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236

SUBDIVISION: FULLERTON

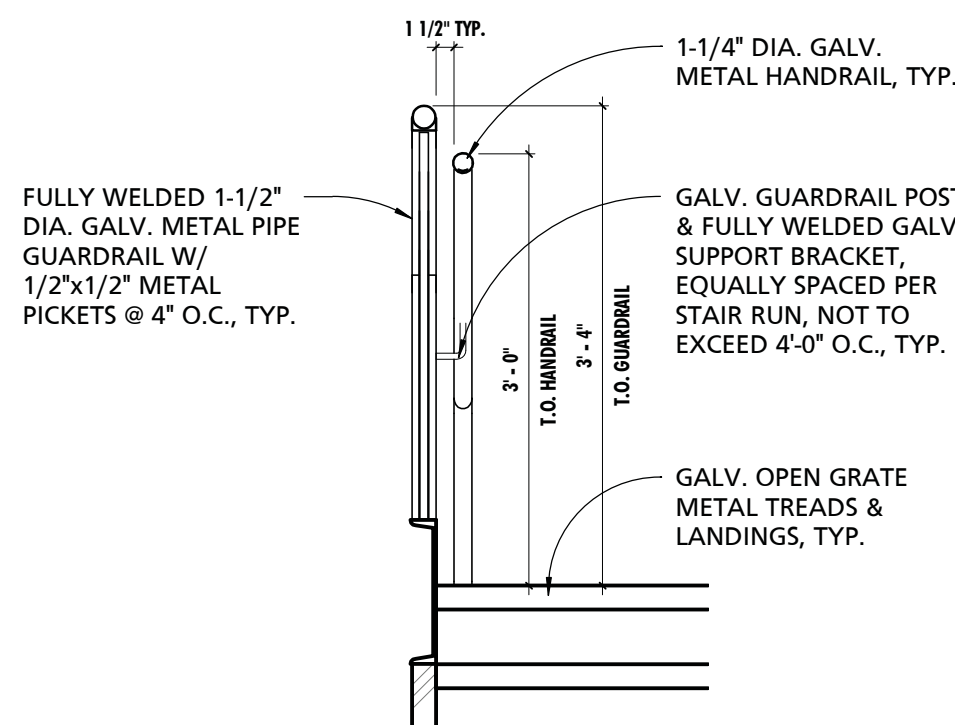
SHEET DESIGNATION	CONTRACT NUMBER
A-400	25034 PFO RE-BID
	
JOB ORDER NUMBER	
241-220-0054-0012	
SHEET 21 of 58	
DRAWING NUMBER	
2022-2340	
FILE NO.: 8	



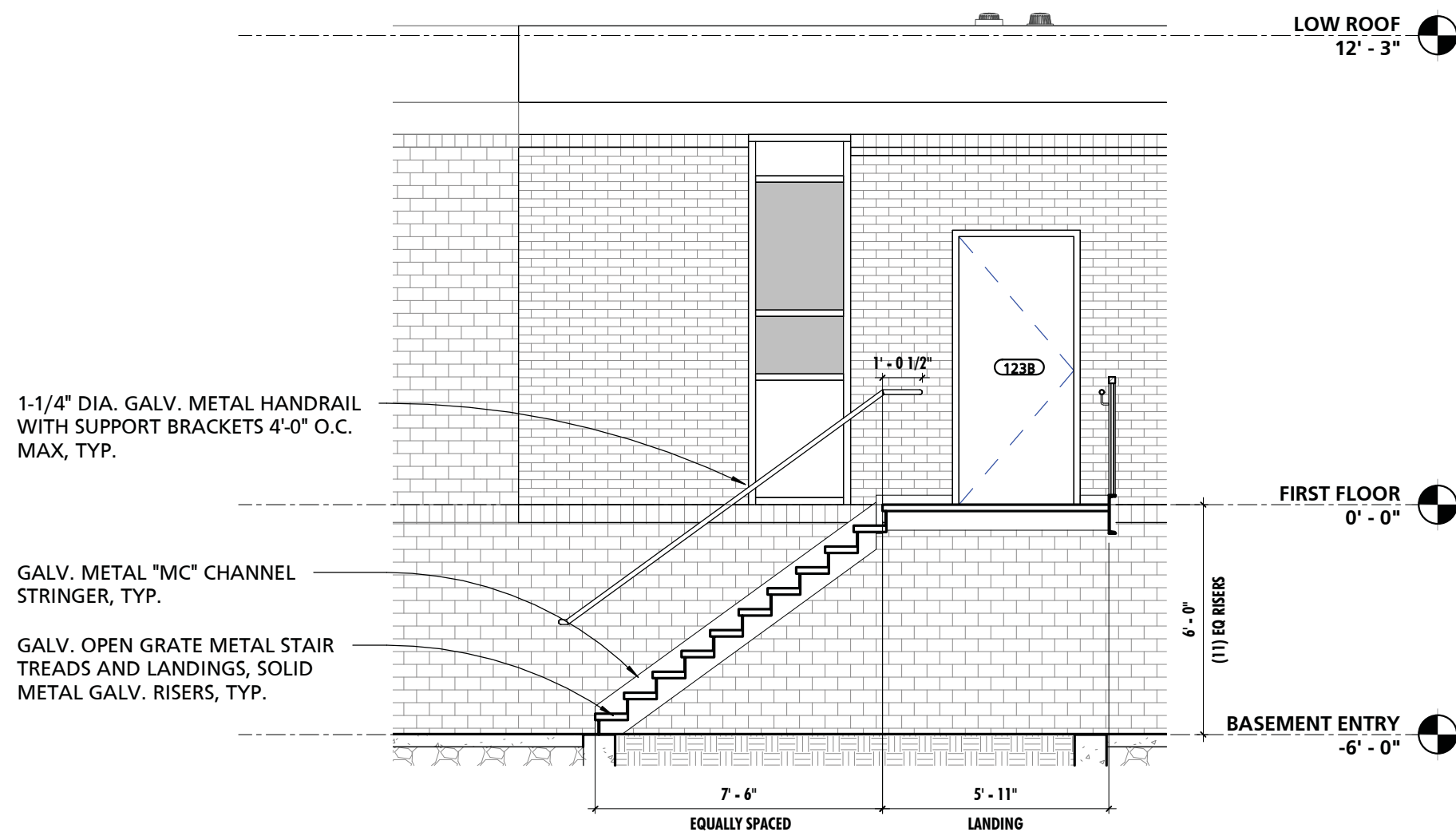
1 EXTERIOR STAIR - FIRST FLOOR LANDING
1/4" = 1'-0"



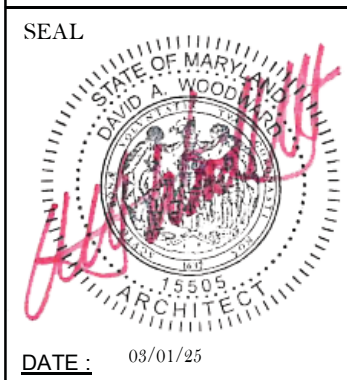
2 EXTERIOR STAIR DETAIL
3/4" = 1'-0"



3 TYPICAL EXTERIOR RAILING
3/4" = 1'-0"



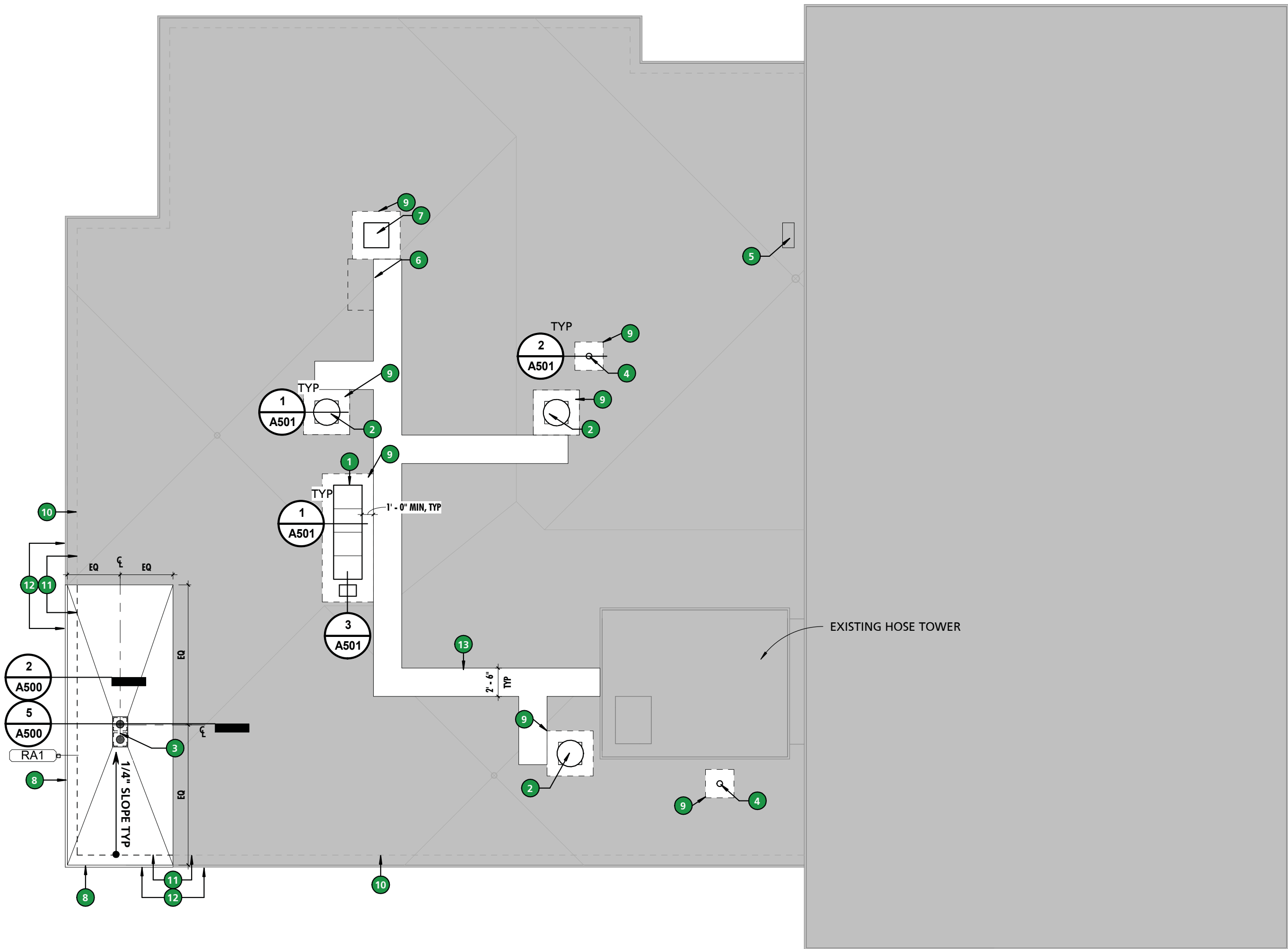
4 EXTERIOR STAIR SECTION
1/4" = 1'-0"

SEAL 	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION	SHT	DRAWING SCALE	APPROVED BY: <i>Mihail T. Petrisor</i> DIRECTOR DATE: 03/26/2025
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.		BID/PERMIT			03/01/25	-	MSW	-	-	PLAN SCALE: As indicated	
	LICENSE NO. 15505 EXPIRATION DATE: 08-18-2026						R.O.W. NO.	-	-	-	PROFILE SCALE: -	
	ARCHITECT: DAVID WOODWARD, AIA PRINCIPAL ARCHITECT MANSON WOODWARD STUDIOS 10000-21 MILLERSVILLE ROAD WHITE MARSH, MARYLAND 21154 (P) 301-984-1800		BUREAU OF ENGINEERING AND CONSTRUCTION		HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	PROPERTY MANAGEMENT	
	DGN BY: _____ DWN BY: _____ CHKD BY: _____		REVIEWED BY: _____ DATE REVIEWED: _____								APPROVED BY: _____ CHIEF DATE: _____	

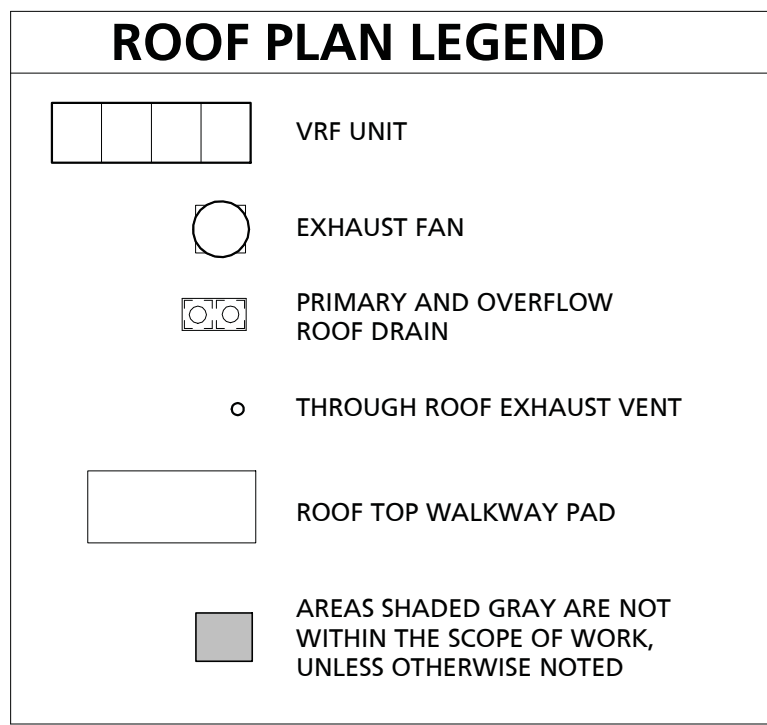
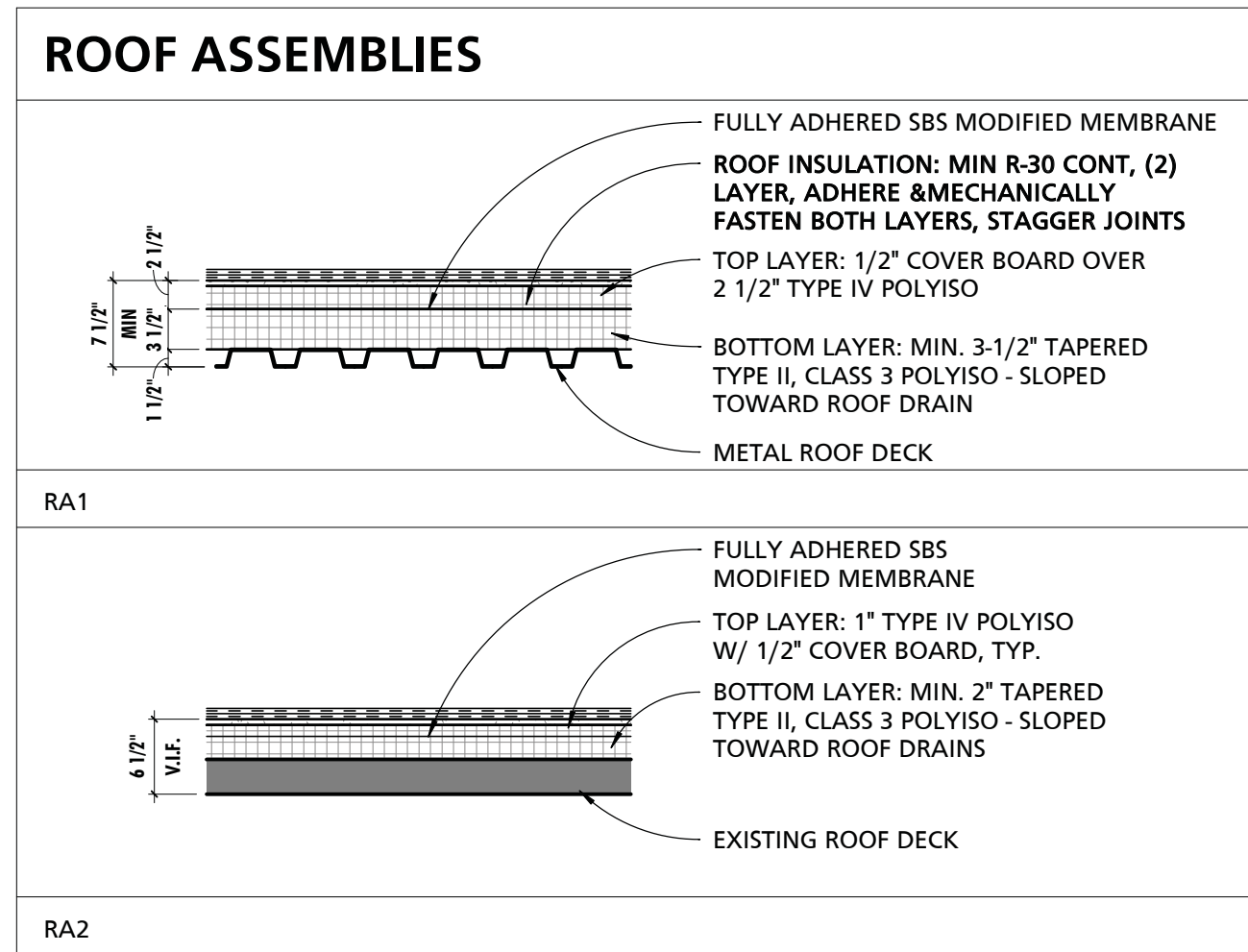
BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT
FULLERTON FIRE STATION #8 - RENOVATION & ADDITION
STAIR DETAILS
4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236
SUBDIVISION: FULLERTON

SHEET DESIGNATION	CONTRACT NUMBER
A401	25034 PFO RE-BID
JOB ORDER NUMBER	241-220-0054-0012
SHEET 22 of 58	DRAWING NUMBER
FILE NO.: 8	FILE NO.: 8





1 ROOF PLAN
1/8" = 1'-0"



GENERAL ROOFING NOTES

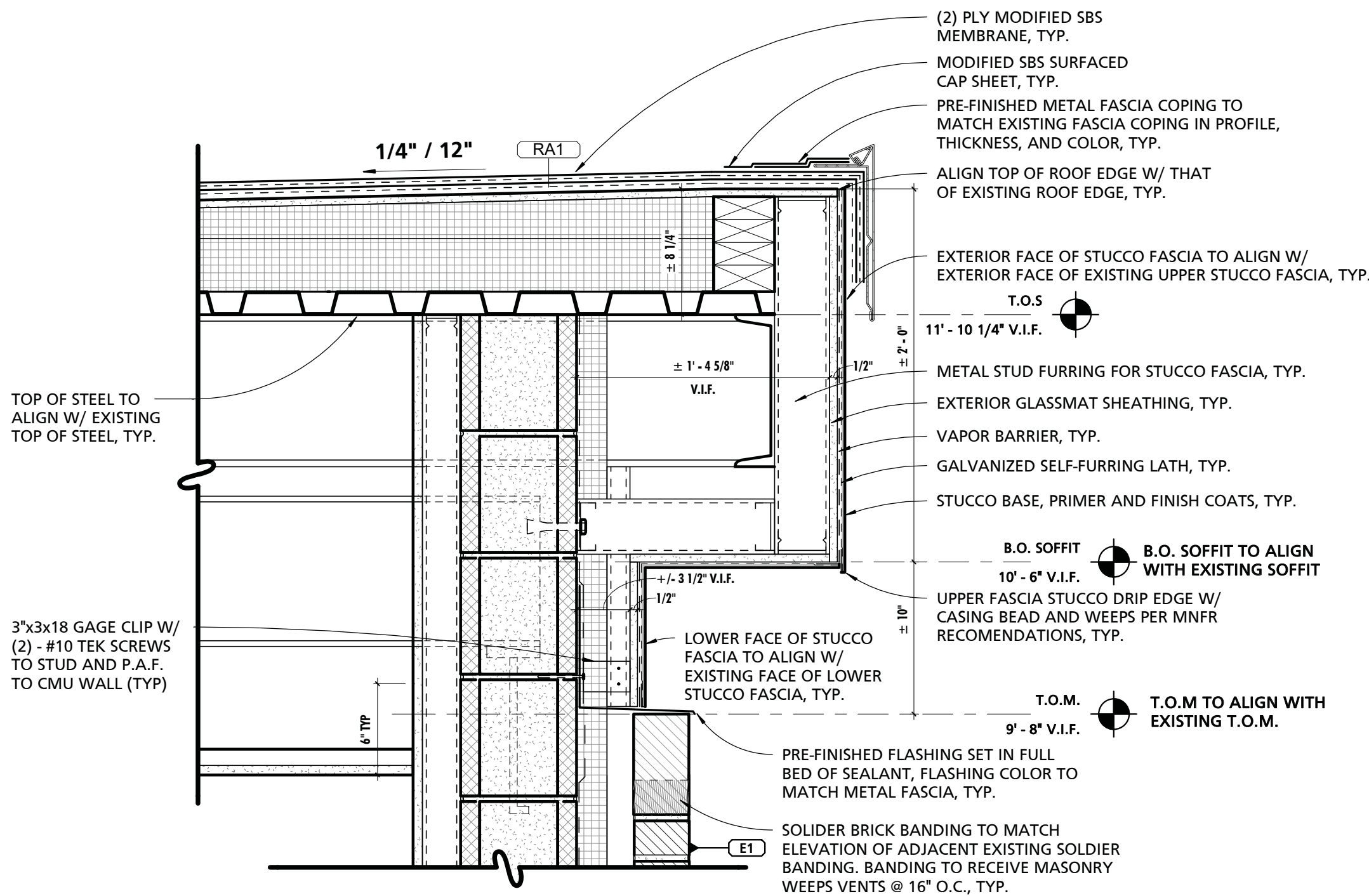
NOTE #	NOTE
1	BLOCKING/MISCELLANEOUS FRAMING INDICATED WITHIN THE DOCUMENTS IS SHOWN FOR THE PURPOSES OF DESIGN INTENT. IT SHALL BE THE CONTRACTORS RESPONSIBILITY, WHETHER SHOWN OR NOT SHOWN, TO PROVIDE BLOCKING/MISCELLANEOUS FRAMING AS REQUIRED TO PROPERLY SUPPORT ALL SUBSTRATES, FLASHINGS, COPINGS, BRAKE METAL, SOFFITS, INSULATIONS, CLIPS, STOPS, MISCELLANEOUS ITEMS, ROOFING MEMBRANES OR SYSTEMS AND SIMILAR ITEMS REQUIRED TO COMPLETE THE WORK. WHERE ADDITIONAL BLOCKING/MISCELLANEOUS FRAMING, INCLUDING BUT NOT LIMITED TO THE REPLACEMENT OF INDICATED SHEATHING/DECKING, IS RECOMMENDED BY ONE OF THE ASSEMBLY COMPONENTS MANUFACTURER, THE CONTRACTOR SHALL PROVIDE AND INSTALL SUCH BLOCKING/MISCELLANEOUS FRAMING TO COMPLY WITH THE MANUFACTURER'S RECOMMENDATIONS.
2	CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING FINAL ROOFING SUBSTRATE REQUIREMENTS TO ENSURE SUCCESSFUL INSTALLATION OF ROOFING MATERIALS IN A MANNER THAT MAINTAINS THE FULL PRODUCT WARRANTY AND COMPLIES WITH ALL APPLICABLE BUILDING CODES OF THE AHJ.
3	PENETRATION DETAILS ARE FOR REFERENCE ONLY. CONTRACTOR TO REVIEW FULL EXTENT OF PENETRATIONS AND ASSOCIATED LOCATIONS WITH ALL OTHER DRAWINGS WITHIN THE DOCUMENT SET.
4	AT ALL AREAS TO RECEIVE ROOF PATCHING, INFILLING AND NEW EQUIPMENT CURB WORK, CONTRACTOR TO ENSURE ADEQUATE SLOPE TO EXISTING ROOF DRAINAGE IS MAINTAINED.

SCHEDULE - ROOFING TYPES

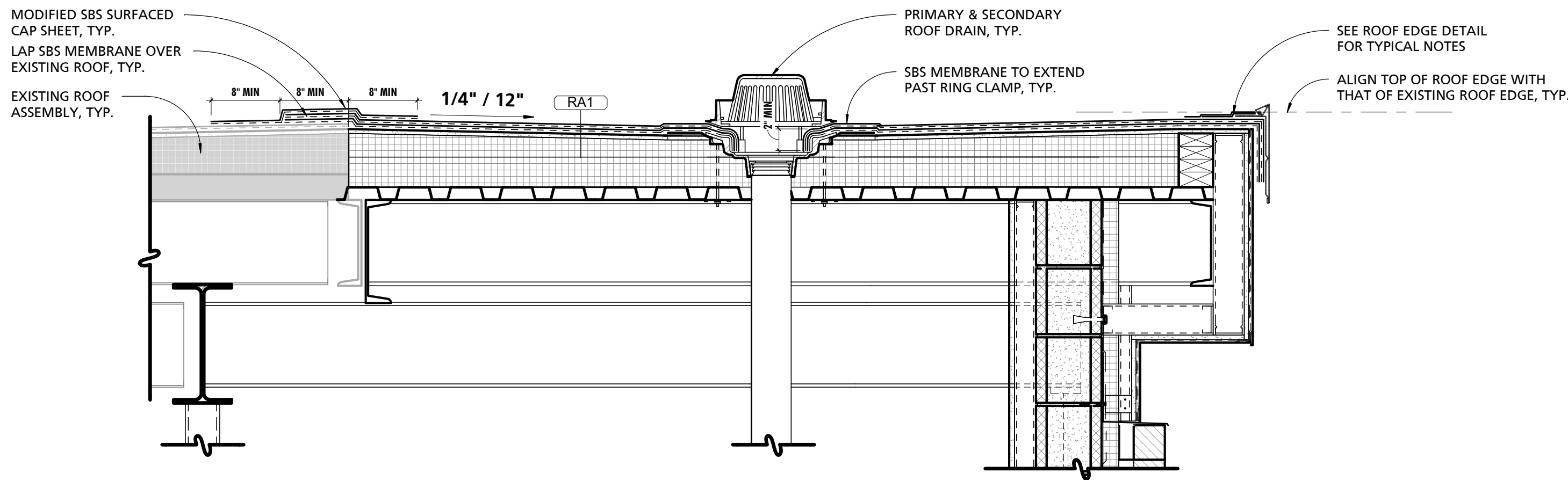
MARK	DESCRIPTION	COMMENTS
RA1	(2) PLY SBS MODIFIED MEMBRANE OVER 1/2 COVER BOARD, MIN 5 1/2" SLOPED RIGID INSULATION AND 1 1/2" METAL DECK	
RA2	(2) PLY SBS MODIFIED MEMBRANE OVER 1/2 COVER BOARD, SLOPED RIGID INSULATION AND EXISTING ROOF TILE	MATCH EXISTING ROOF SLOPE AND THICKNESS

REFERENCED NOTES - ROOF PLANS

NO.	NOTE
1	CURB MOUNTED VRF UNIT.
2	CURB MOUNTED EXHAUST FAN.
3	PRIMARY & OVERFLOW ROOF DRAIN W/ CAST IRON BODY & POLYETHYLENE STRAINER.
4	THRU ROOF EXHAUST VENT.
5	EXISTING SPLIT SYSTEM UNIT TO REMAIN.
6	CONTRACTOR TO DISCONNECT AND REMOVE ROOF TOP UNIT AND ALL ASSOCIATED APPURTENANCES IN THEIR ENTIRETY. PREPARE OPENING TO RECEIVE NEW DECKING, RIGID INSULATION, AND ROOF MEMBRANE TO MATCH EXISTING ROOF ASSEMBLY.
7	CURB MOUNTED INTAKE LOUVER.
8	PREFINISHED ALUMINUM FASCIA COPING TO MATCH EXISTING COPING IN PROFILE, THICKNESS, AND COLOR.
9	ROOF ASSEMBLY (RA2) TO MATCH EXISTING SLOPE AND THICKNESS.
10	DASHED LINE INDICATES EXTERIOR FACE OF LOWER STUCCO FASCIA.
11	EXTERIOR FACE OF LOWER STUCCO FASCIA TO ALIGN WITH EXTERIOR FACE OF EXISTING LOWER STUCCO FASCIA.
12	EXTERIOR FACE OF UPPER STUCCO FASCIA TO ALIGN WITH EXTERIOR FACE OF EXISTING UPPER STUCCO FASCIA.
13	ROOF TOP WALKWAY PAD.



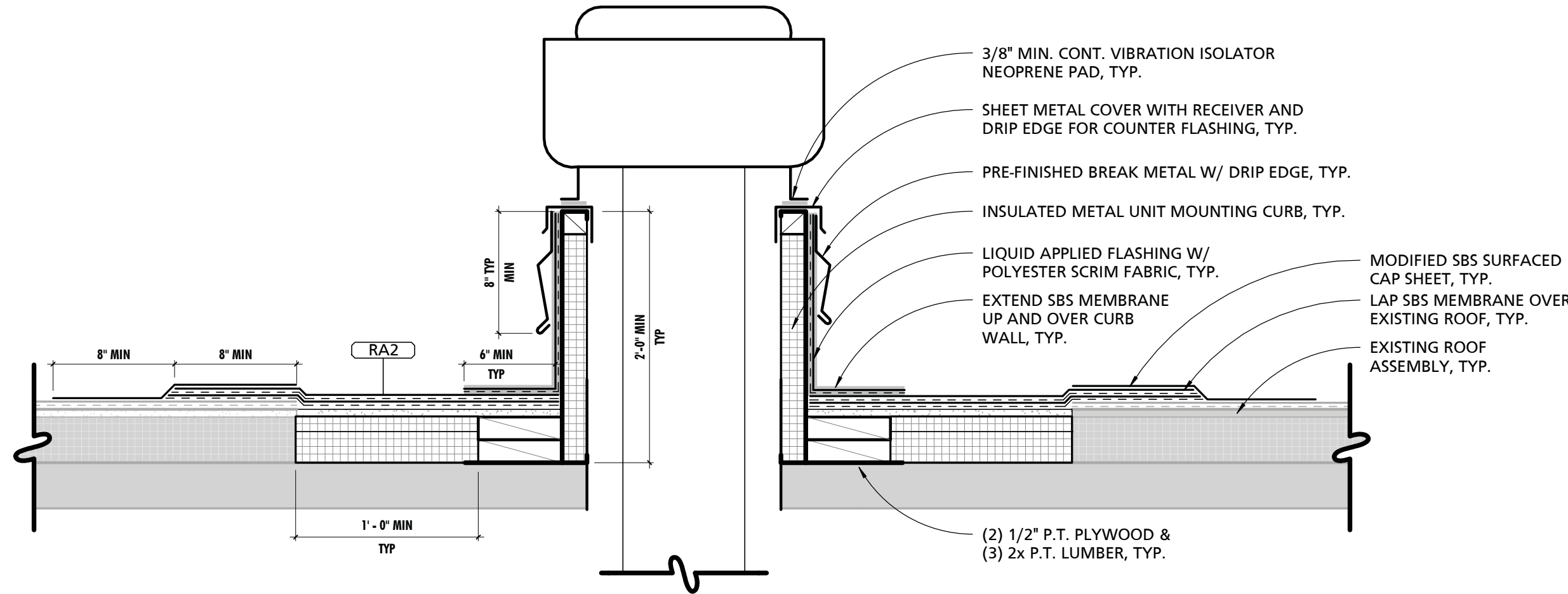
2 TYPICAL UPPER & LOWER ROOF EDGE FASCIA DETAIL
1 1/2" = 1'-0"



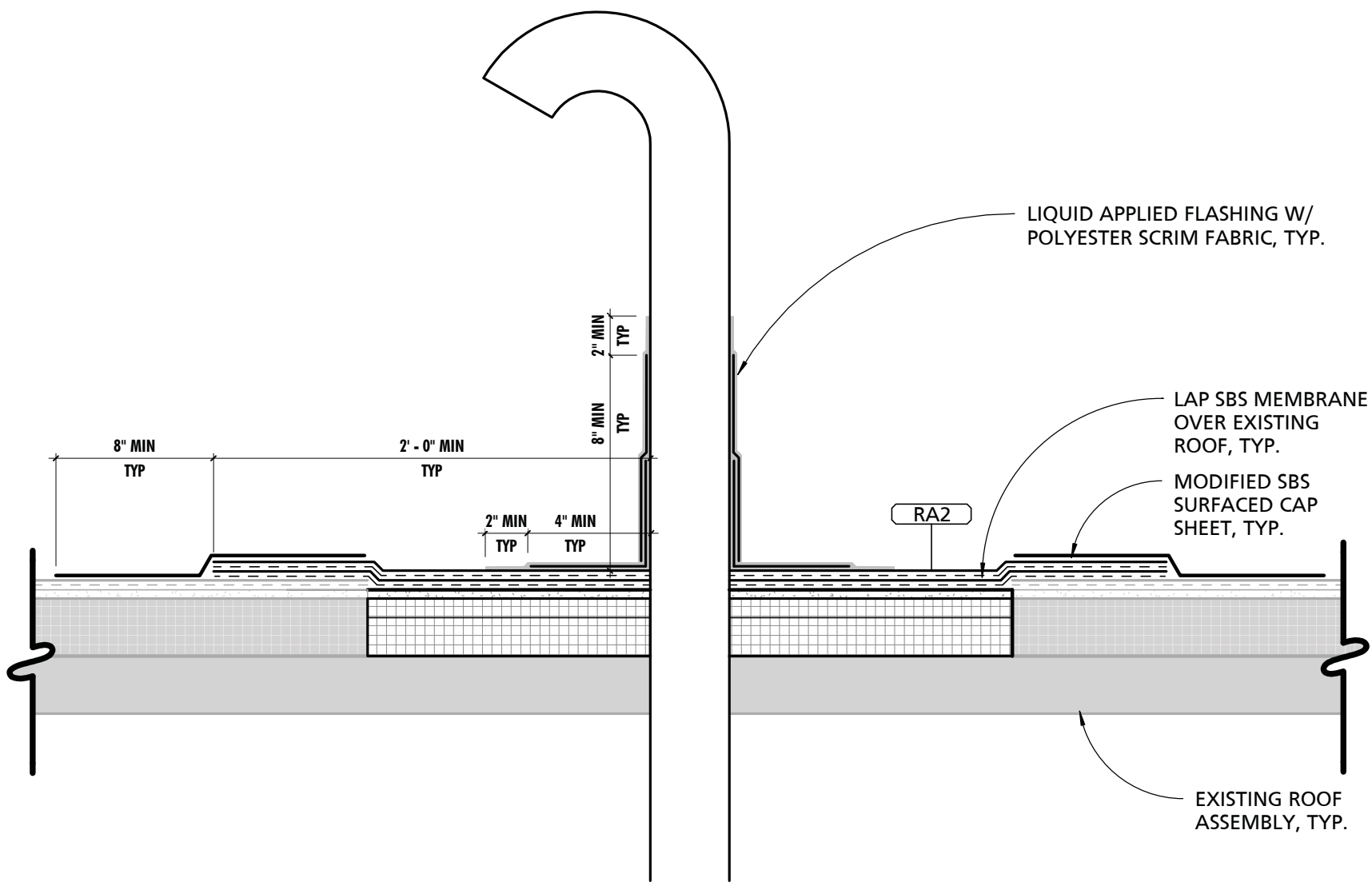
5 EXISTING TO NEW ROOF TRANSITION
1" = 1'-0"

SEAL	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION	SHT	DRAWING SCALE		APPROVED BY: <i>Mihai T. Petrisor</i>	
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							R.O.W. NO.	-	-	-	PROFILE SCALE: -	-	DATE: 03/26/2025	
		ARCHITECT: DAVID WOODWARD, AIA, PRINCIPAL ARCHITECT, MANNS WOODWARD STUDIOS, 10000-33 MILLERSVILLE PIKE, WHITE MARSH, MARYLAND 21102 (P) 301-986-1900		BUREAU OF ENGINEERING AND CONSTRUCTION			HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	PROPERTY MANAGEMENT	
		DGN BY: _____ DWN BY: _____ CHKD BY: _____		REVIEWED BY: _____ DATE REVIEWED: _____									APPROVED BY: _____ CHIEF	

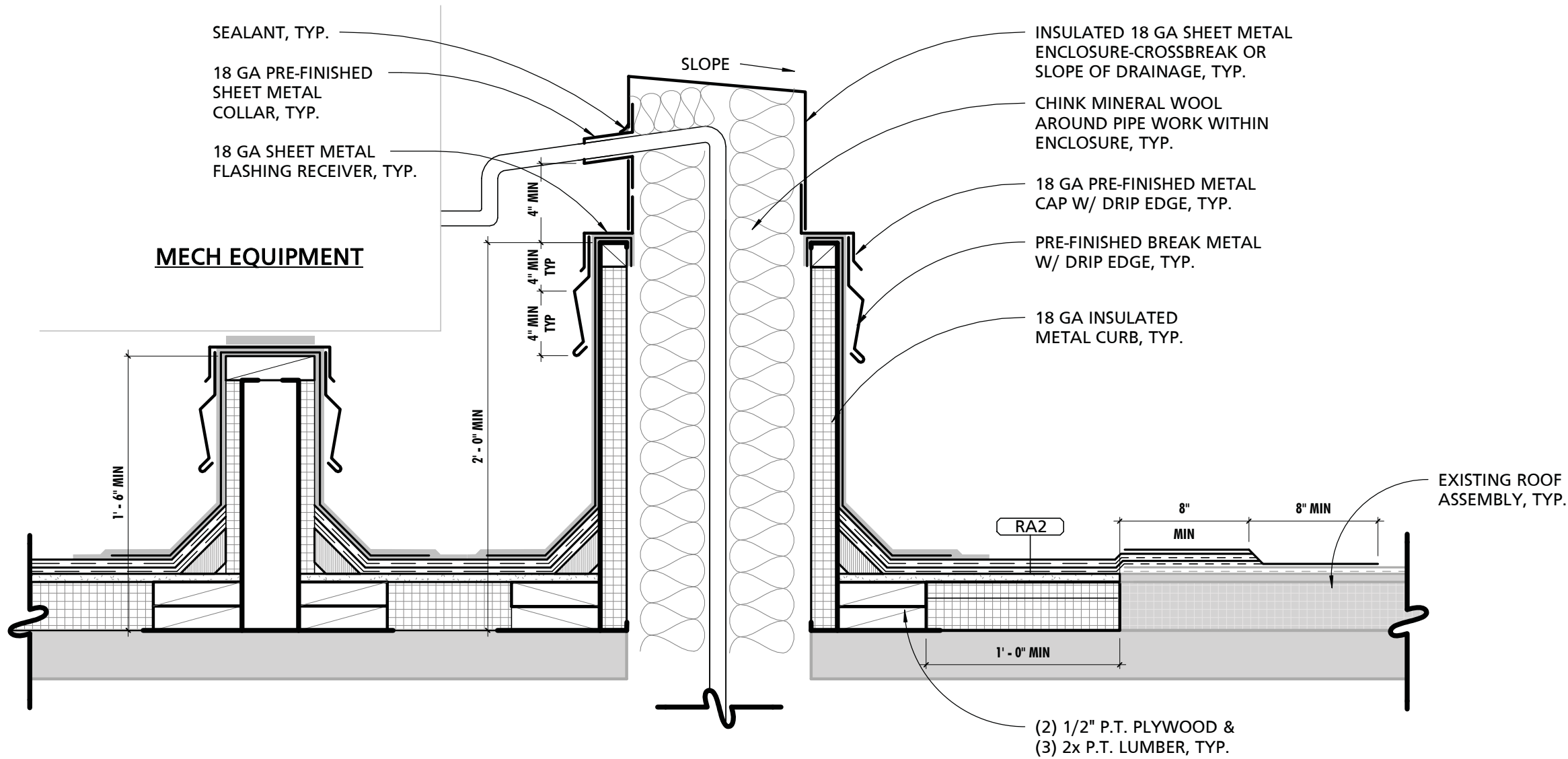
BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT			SHEET DESIGNATION	CONTRACT NUMBER
FULLERTON FIRE STATION #8 - RENOVATION & ADDITION			A500	25034 PF0 RE-BID
ROOF PLAN				
SUBDIVISION: FULLERTON			JOB ORDER NUMBER	
4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236			241-220-0054-0012	
ELECTION DIST. NO.: 14C5			SHEET 23 of 58	
			DRAWING NUMBER	
			2022-2341	
			FILE NO.: 8	



1 TYPICAL EXHAUST FAN PENETRATION DETAIL
1 1/2" = 1'-0"



2 TYPICAL VENT PIPE PENETRATION DETAIL
1 1/2" = 1'-0"



3 TYPICAL PIPE PORTAL & RAIL SUPPORT DETAIL
1 1/2" = 1'-0"

<div>SEAL</div> <div></div> <div>DATE: 05/01/25</div>	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHT	DRAWING SCALE		APPROVED BY: <i>Mihai T. Petrisor</i>	
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							-	-	-	PROFILE SCALE: -	DATE: 03/26/2025		
							-	-	-				
	ARCHITECT: DAVID WOODWARD, AIA PRINCIPAL ARCHITECT MANSON WOODWARD STUDIOS 10005-21 PHILLIPS FIELDS ROAD WHITE MARSH, MARYLAND 21102 (P) 301-586-1360		DGN BY: _____	BUREAU OF ENGINEERING AND CONSTRUCTION	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	PROPERTY MANAGEMENT		
		DWN BY: _____	REVIEWED BY: _____							APPROVED BY: _____ CHIEF			
		CHKD BY: _____	DATE REVIEWED: _____							DATE: _____			

SHEET DESIGNATION		CONTRACT NUMBER	
A501		25034 PFO RE-BID	
<div></div>		JOB ORDER NUMBER	
		241-220-0054-0012	
		SHEET 24 of 58	
		DRAWING NUMBER	
		2022-2342	
FILE NO.: 8			

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT			
FULLERTON FIRE STATION #8 - RENOVATION & ADDITION			
ROOF DETAILS			
SUBDIVISION: FULLERTON		4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236	
		ELECTION DIST. NO.: 14C5	

DOOR SCHEDULE

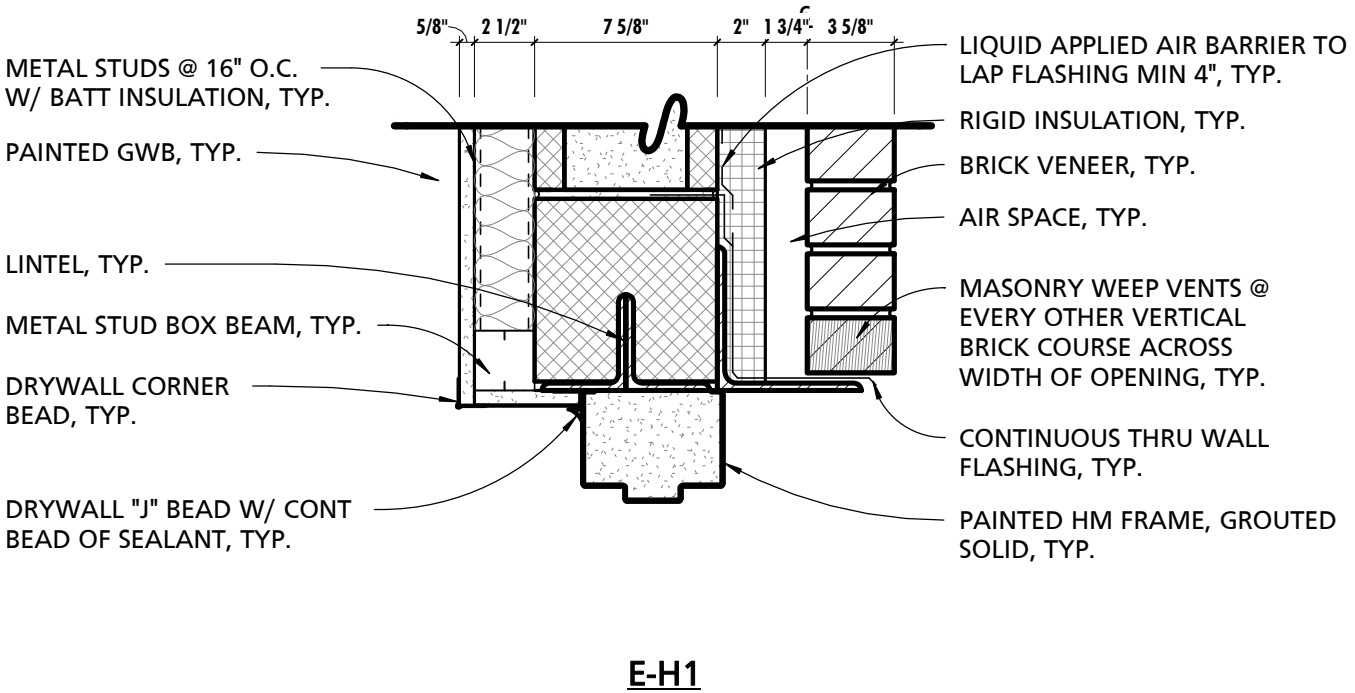
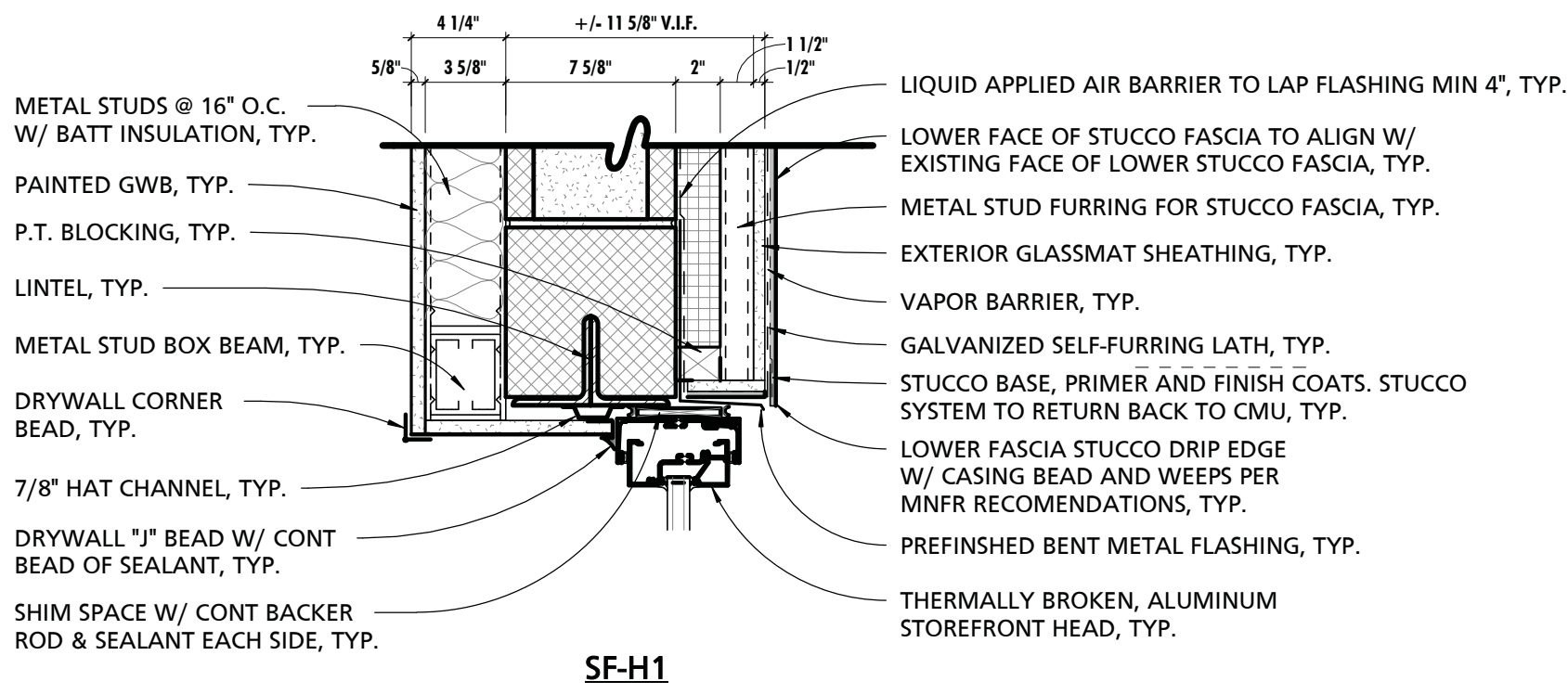
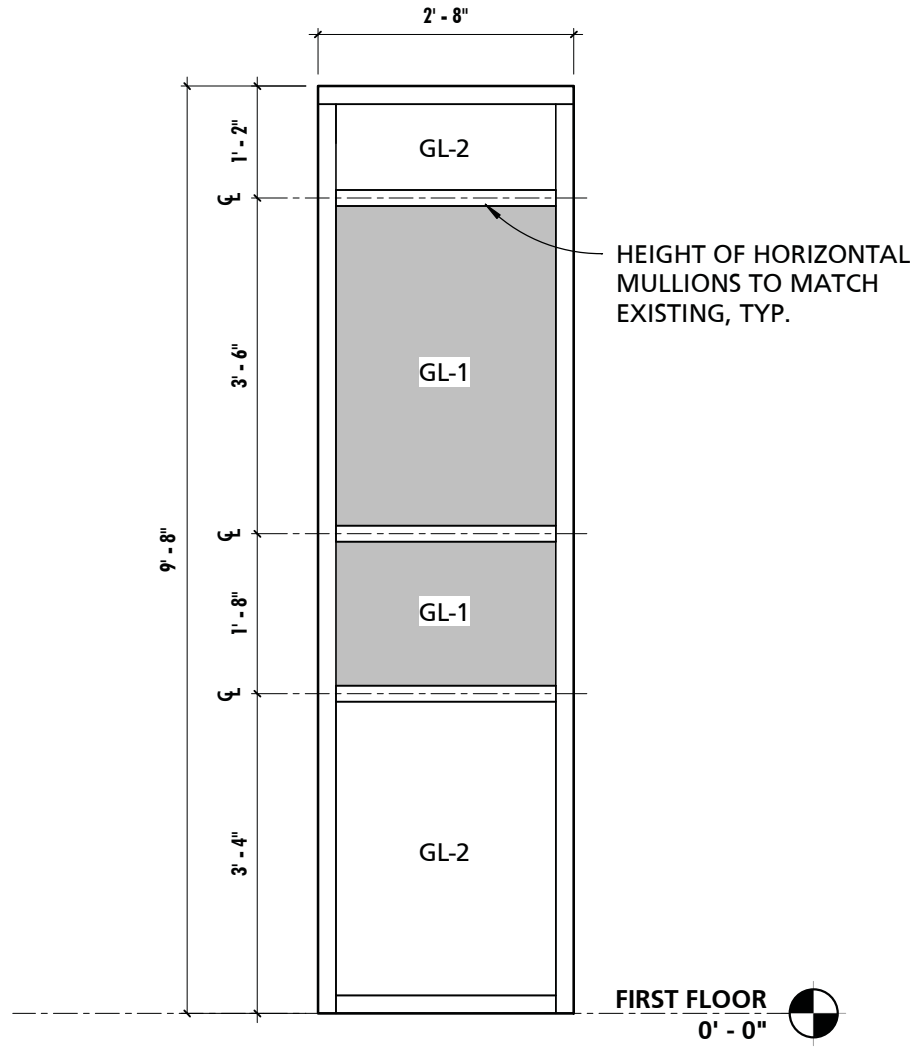
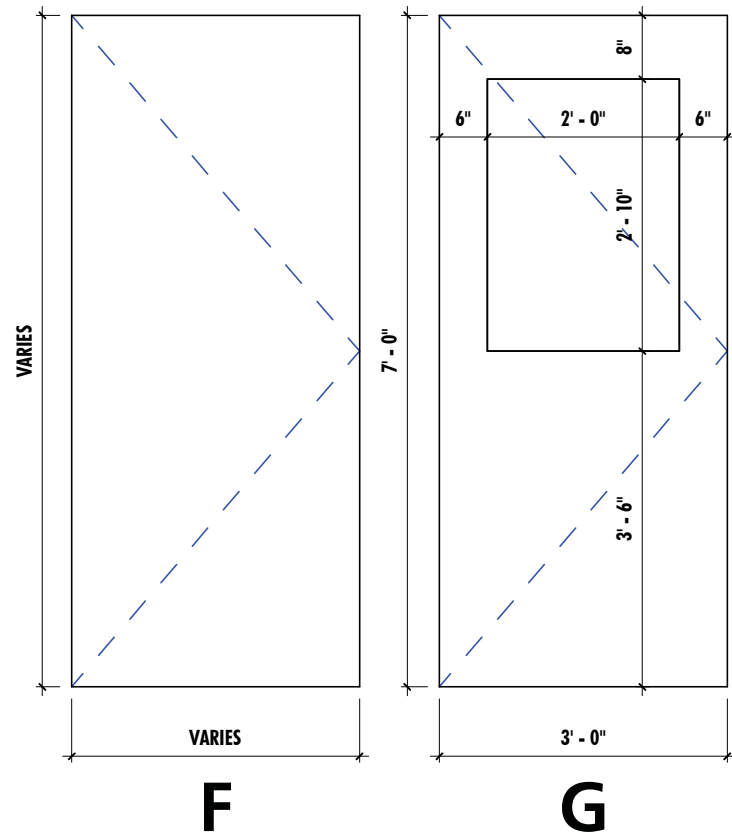
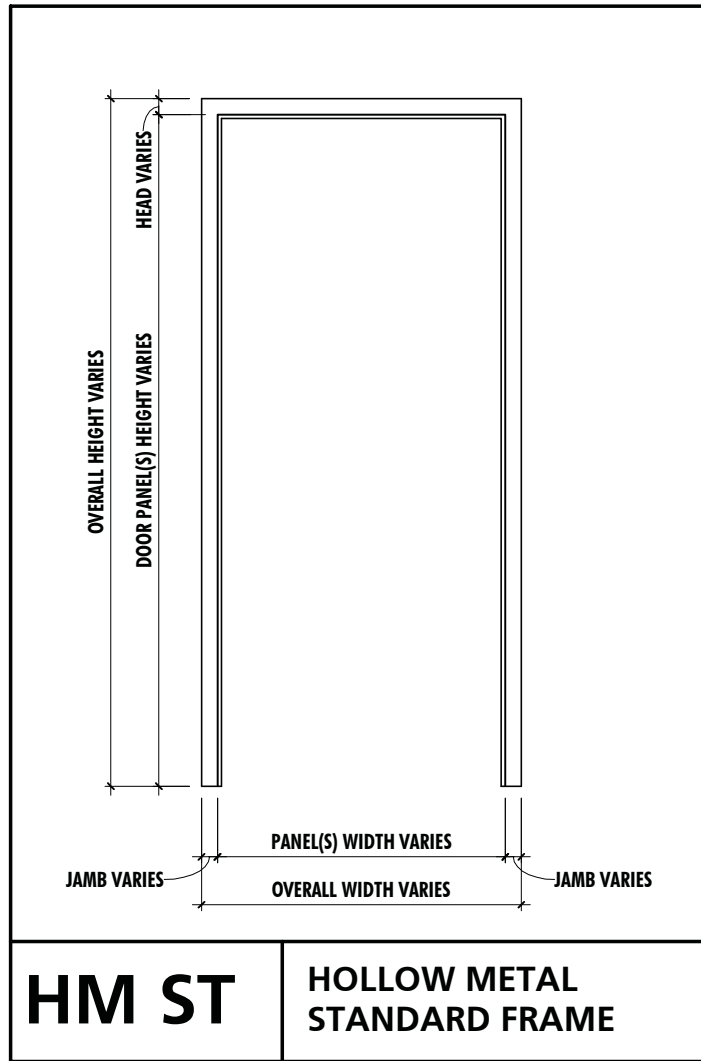
MARK	SIZE	TYPE	DOOR PANEL			FINISH	FRAME TYPE	SIZE SUMMARY			FRAME					GLAZING TYPE	DETAILS			RATINGS	HARDWARE SET	COMMENTS
			THICKNESS	MATERIAL				OVERALL HEIGHT	OVERALL WIDTH	DEPTH	THROAT	HEAD	JAMB	MATERIAL	FINISH		HEAD	JAMB	THRESHOLD			
113A	3'-0" x 7'-0"	PANEL : G	1 3/4"	HOLLOW METAL	PAINTED	HM ST	7'-4"	3'-4"	5 7/8"	4 7/8"	4"	2"	HOLLOW METAL	PAINTED	GL-3	H2	J2	N/A		5		
114A	(2) 2'-6" x 7'-0"	PANEL : G	1 3/4"	INSULATED HM	PAINTED	HM ST : EXISTING	7'-4"	5'-4"	5 7/8"	4 7/8"	4"	2"	EXISTING HM	PAINTED	GL-3	N/A	N/A	51	SMOKE	4	EXISTING DOOR FRAME TO REMAIN. REPLACE PANELS WITH NEW INSULATED PANELS AND HARDWARE. PAINT AS REQUIRED.	
114B	3'-0" x 7'-0"	PANEL : F	1 3/4"	EXISTING	PAINTED	HM ST : EXISTING	7'-4"	3'-4"	5 7/8"	4 7/8"	4"	2"	EXISTING HM	PAINTED	--	N/A	N/A	N/A		N/A	EXISTING DOOR PANELS & FRAME TO REMAIN. REPAINT.	
115A	3'-0" x 7'-0"	PANEL : F	1 3/4"	HOLLOW METAL	PAINTED	HM ST	7'-2"	3'-4"	5 7/8"	4 7/8"	2"	2"	HOLLOW METAL	PAINTED	--	H1.2	J1.2	N/A		1		
116A	3'-0" x 7'-0"	PANEL : F	1 3/4"	HOLLOW METAL	PAINTED	HM ST	7'-2"	3'-4"	5 7/8"	4 7/8"	2"	2"	HOLLOW METAL	PAINTED	--	H1.2	J1.2	N/A		1		
117A	(2) 2'-0" x 7'-0"	PANEL : F	1 3/4"	HOLLOW METAL	PAINTED	HM ST	7'-2"	4'-4"	5 7/8"	4 7/8"	2"	2"	HOLLOW METAL	PAINTED	--	H1	J1	N/A		6		
118A	3'-0" x 7'-0"	PANEL : F	1 3/4"	HOLLOW METAL	PAINTED	HM ST	7'-2"	3'-4"	5 7/8"	4 7/8"	2"	2"	HOLLOW METAL	PAINTED	--	H1.2	J1.2	N/A		1		
119A	3'-0" x 7'-0"	PANEL : F	1 3/4"	HOLLOW METAL	PAINTED	HM ST	7'-2"	3'-4"	5 7/8"	4 7/8"	2"	2"	HOLLOW METAL	PAINTED	--	H1.2	J1.2	N/A		1		
120A	3'-0" x 7'-0"	PANEL : F	1 3/4"	HOLLOW METAL	PAINTED	HM ST	7'-2"	3'-4"	5 7/8"	4 7/8"	2"	2"	HOLLOW METAL	PAINTED	--	H1.2	J1.2	N/A		1		
123A	3'-0" x 7'-0"	PANEL : F	1 3/4"	HOLLOW METAL	PAINTED	HM ST	7'-2"	3'-4"	5 7/8"	4 7/8"	2"	2"	HOLLOW METAL	PAINTED	--	H1	J1	N/A	45	3		
123B	3'-0" x 7'-0"	PANEL : F	1 3/4"	INSULATED HM	PAINTED	HM ST	7'-2"	3'-4"	5 7/8"	4 7/8"	2"	2"	HOLLOW METAL	PAINTED	--	EH1	EJ1	ES1				
125A	2'-6" x 7'-0"	PANEL : F	1 3/4"	EXISTING	PAINTED	HM ST : EXISTING	7'-4"	2'-10"	5 7/8"	4 7/8"	4"	2"	EXISTING HM	PAINTED	--	N/A	N/A	N/A		N/A	EXISTING DOOR PANELS & FRAME TO REMAIN. REPAINT.	
126A	3'-0" x 7'-0"	PANEL : F	1 3/4"	EXISTING	PAINTED	HM ST : EXISTING	7'-4"	3'-4"	5 7/8"	4 7/8"	4"	2"	EXISTING HM	PAINTED	--	N/A	N/A	N/A		N/A	EXISTING DOOR PANELS & FRAME TO REMAIN. REPAINT.	
126B	2'-6" x 7'-0"	PANEL : F	1 3/4"	EXISTING	PAINTED	HM ST : EXISTING	7'-4"	2'-10"	5 7/8"	4 7/8"	4"	2"	EXISTING HM	PAINTED	--	N/A	N/A	N/A		N/A	EXISTING DOOR PANELS & FRAME TO REMAIN. REPAINT.	
126C	3'-0" x 7'-0"	PANEL : F	1 3/4"	EXISTING	PAINTED	HM ST : EXISTING	7'-4"	3'-4"	5 7/8"	4 7/8"	4"	2"	EXISTING HM	PAINTED	--	N/A	N/A	N/A		N/A	EXISTING DOOR PANELS & FRAME TO REMAIN. REPAINT.	

GENERAL DOOR NOTES

NOTE #	NOTE
1	CONTRACTOR SHALL FIELD VERIFY ALL EXISTING OPENINGS/MODIFIED OPENINGS PRIOR TO FABRICATION OF DOORS AND FRAMES.
2	DETAILS MAY VARY AT EACH DOOR. VERIFY EACH CONDITION IN FIELD.
3	SEE PARTITION SCHEDULE, FLOOR PLAN, AND STRUCTURAL DRAWINGS FOR CONSTRUCTION OF WALLS AND PARTITIONS.
4	NEW FRAMES IN EXISTING OPENINGS SHALL RECEIVE COUNTER SUNK MASONRY EXPANSION JAMB ANCHORS, 1/2" DIAMETER, IN LIEU OF MASONRY WIRE JAMB ANCHORS.
5	ALL DOORS SHALL BE SET WITHIN OPENINGS TO ENSURE ADA APPROACH COMPLIANCE AS INDICATED ON SHEET G003.
6	MOISTURE RESISTANT GYPSUM WALL BOARD SHALL BE UTILIZED IN ALL AREAS WHERE GYPSUM WALL BOARD IS TO BE DIRECTLY ADHERED TO CONCRETE OR MASONRY SURFACES IN INTERIOR APPLICATIONS. SUBSTRATE SHALL BE CLEANED AS REQUIRED AND FREE OF DUST, DEBRIS, AND MOISTURE PRIOR TO ADHESION AND FINISHING.
7	AT WALLS WITH SOUND ATTENUATION BLANKETS, CONTRACTOR SHALL SEAL DOOR FRAMES, GLAZED OPENING FRAMES, INTERSECTIONS, AND OTHER PENETRATIONS WITH ACOUSTICAL SEALANT.
8	ALL DOOR JAMBS IN METAL STUD WALL SHALL BE A MINIMUM OF 4" FROM ADJACENT / PERPENDICULAR WALLS UNLESS NOTED OTHERWISE.

GLAZING SCHEDULE

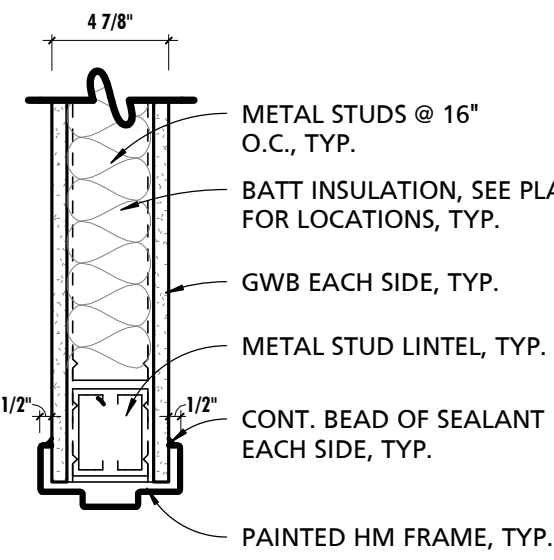
GL-1: 1" LOW-E INSULATED SAFETY GLAZING
GL-2: 1" INSULATED SPANDREL PANEL
GL-3: 1/4" TEMPERED SAFETY GLAZING



1.) SEE DOOR SCHEDULE FOR FRAME DIMENSION VARIABLES

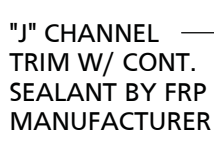
FRAME TYPES

1/2" = 1'-0"

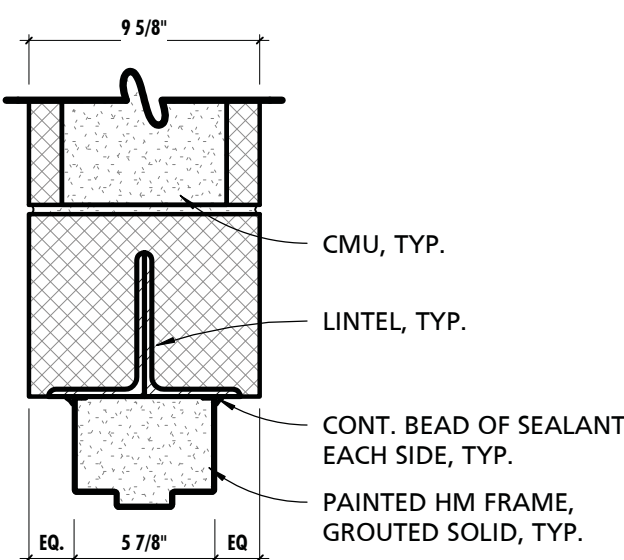


H-1

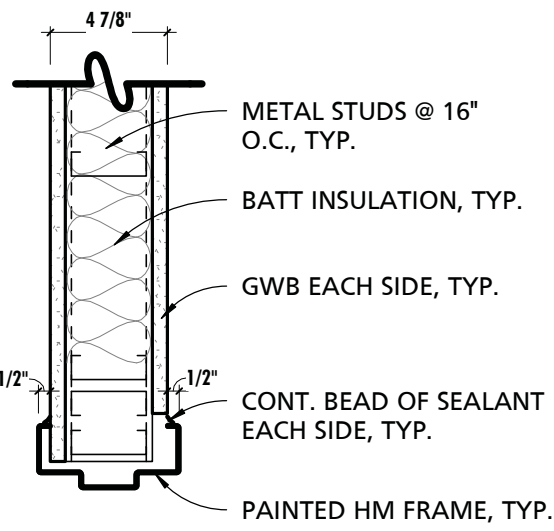
FRP, TYP.



H-1.2

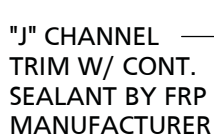


H-2

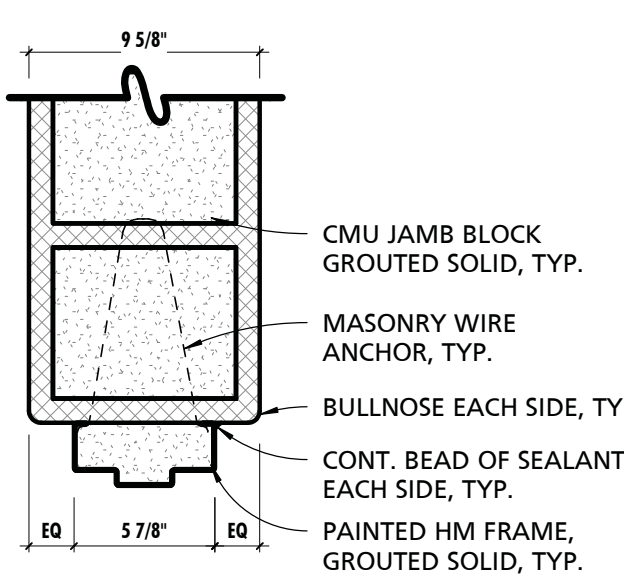


J-1

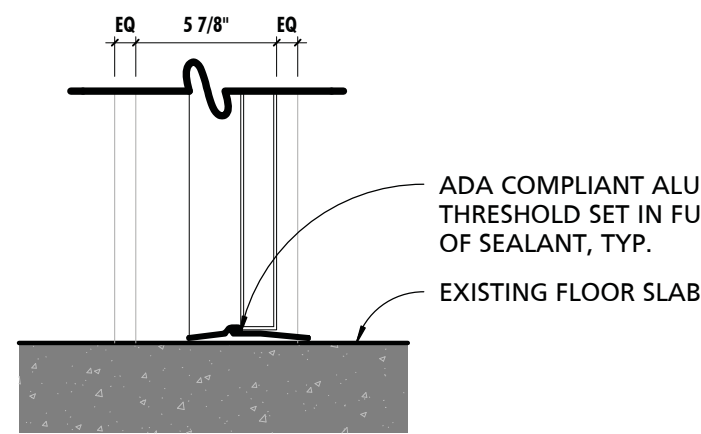
FRP, TYP.



J-1.2



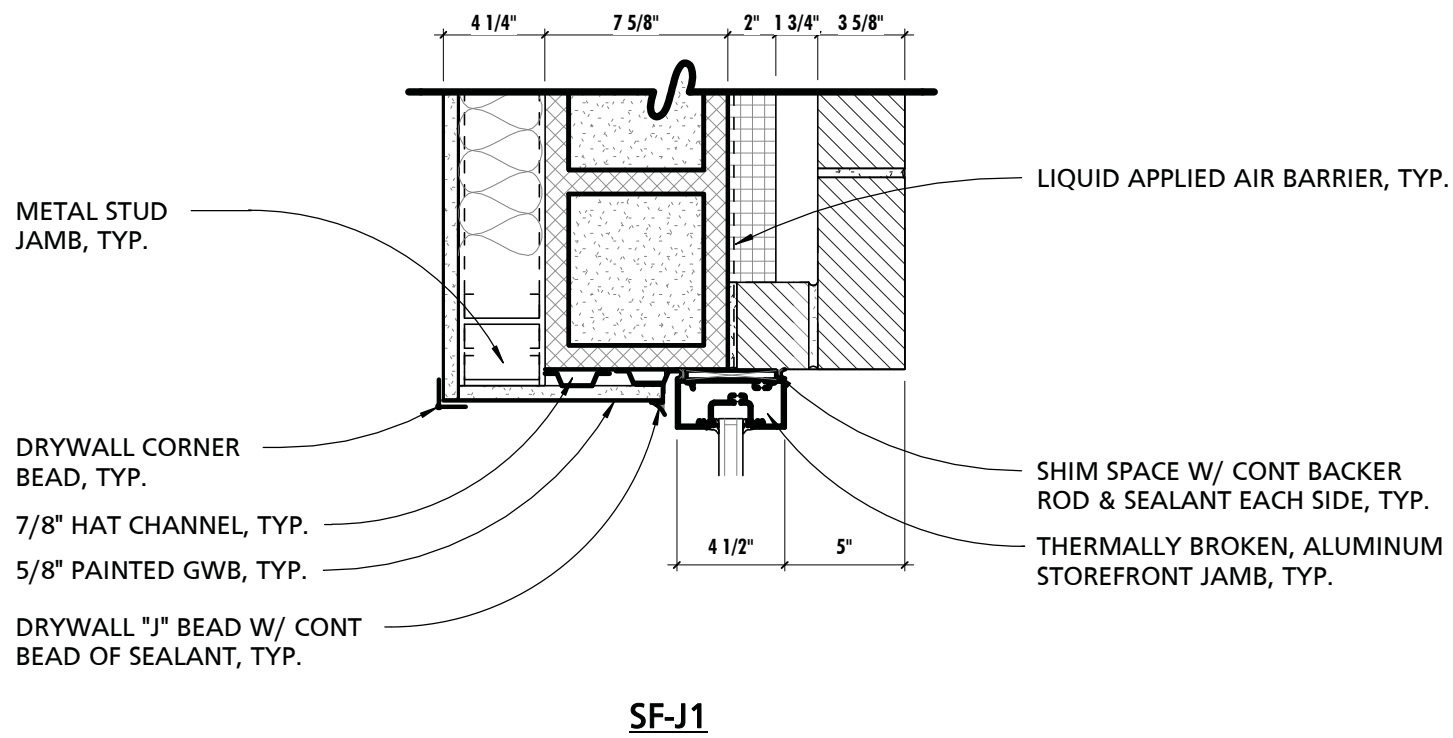
J-2



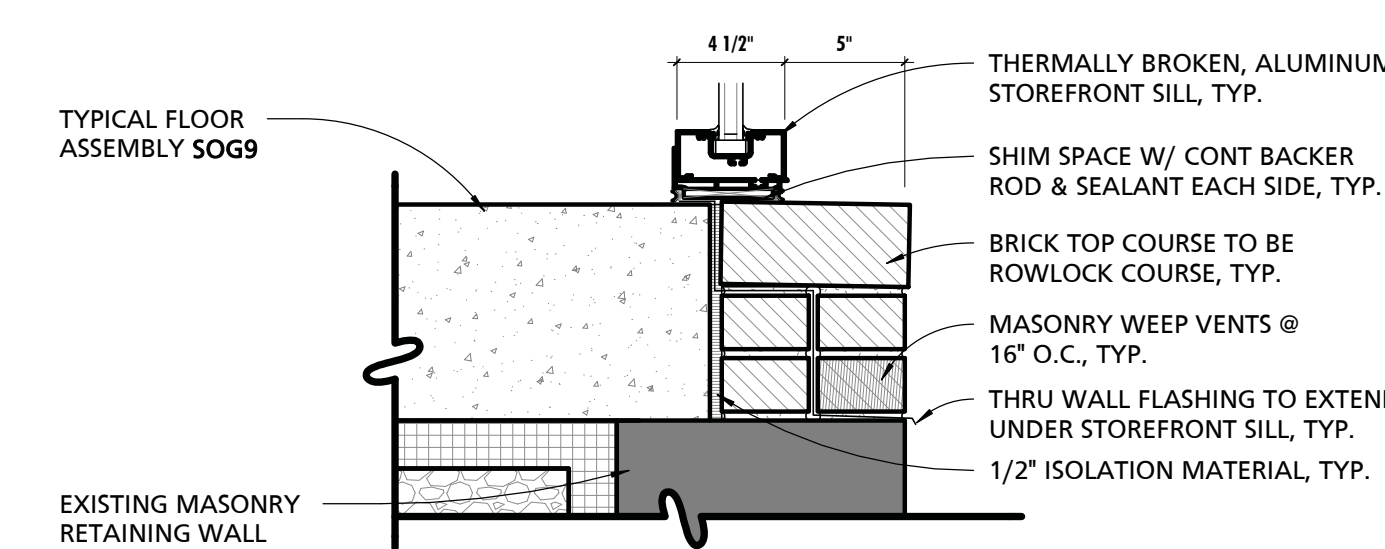
S-1

STOREFRONT ELEVATION

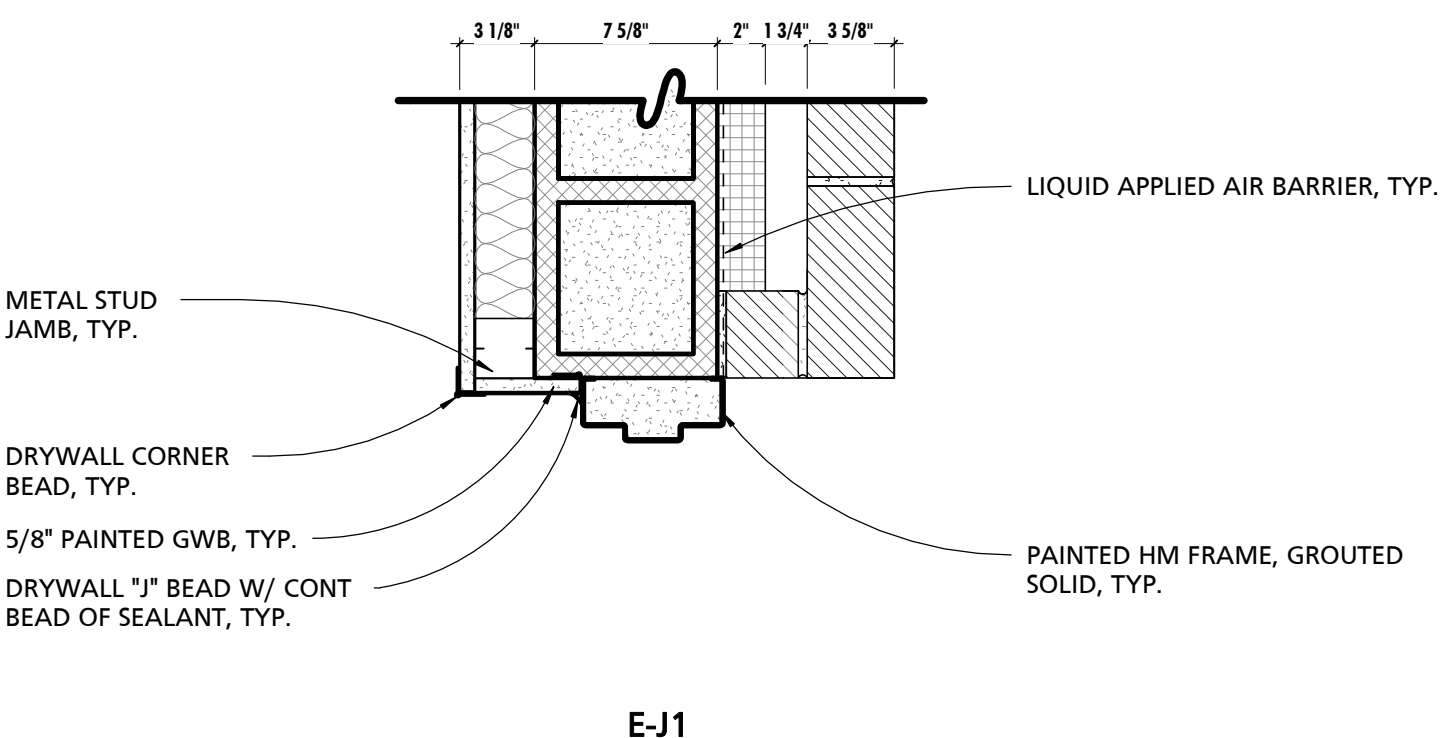
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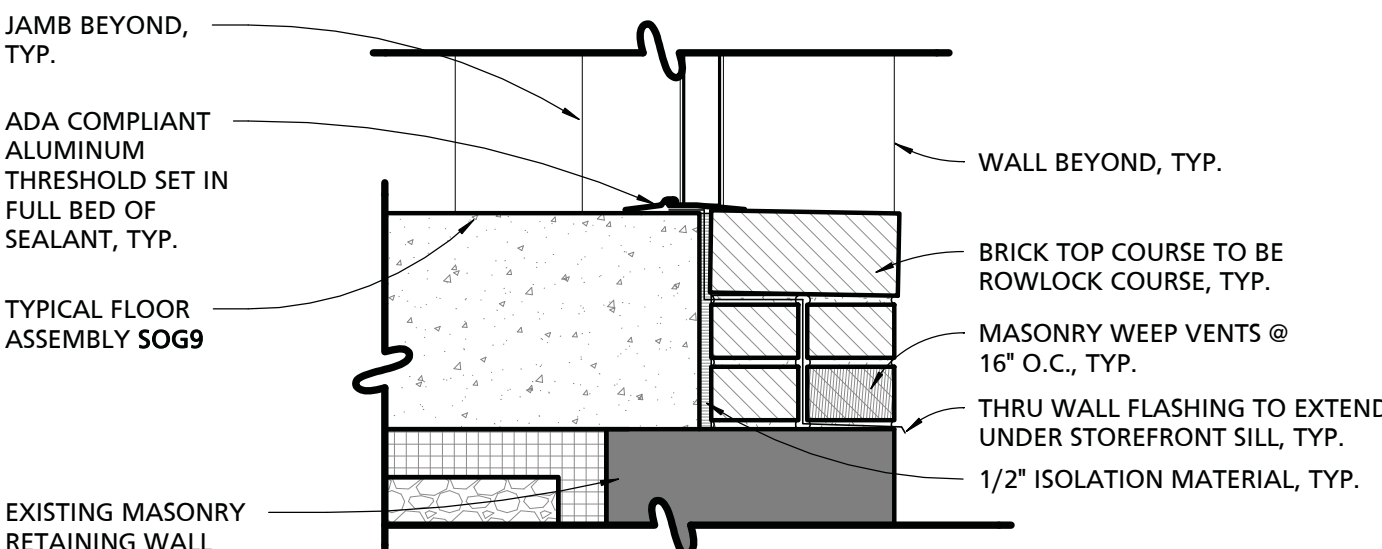
SF-J1



SF-S1



E-J1



E-S1

INTERIOR DOOR HEAD & JAMB DETAILS

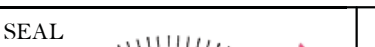
1 1/2" = 1'-0"

EXTERIOR STOREFRONT HEAD, JAMB, & SILL DETAIL

1 1/2" = 1'-0"

EXTERIOR HMST HEAD, JAMB, & SILL DETAIL

1 1/2" = 1'-0"

SEAL 	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHT	DRAWING SCALE		APPROVED BY: <i>Mihai T Petrisor</i> DIRECTOR DATE: <u>03/26/2025</u>
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DATE: 03/01/25	ARCHITECT: DAVID WOODWARD, AIA PRINCIPAL ARCHITECT MANSW WOODWARD STUDIOS 1000-43 PHILADELPHIA ROAD WHITE MARSH, MARYLAND 21102 (P) 301-986-1900		DGN BY: _____	BUREAU OF ENGINEERING AND CONSTRUCTION		HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	PROPERTY MANAGEMENT
			DWN BY: _____	REVIEWED BY: _____								APPROVED BY: _____ CHIEF DATE: _____
		CHKD BY: _____	DATE REVIEWED: _____									

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT		SHEET DESIGNATION	CONTRACT NUMBER
FULLERTON FIRE STATION #8 - RENOVATION & ADDITION		A600	25034 PF0 RE-BID
DOOR/WINDOW SCHEDULE & DETAILS			JOB ORDER NUMBER
4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236			241-220-0054-0012
SUBDIVISION: FULLERTON			SHEET 25 of 58
			DRAWING NUMBER
			2022-2343
			FILE NO.: 8



DOOR HARDWARE SETS

HARDWARE SET 1

- Typical Single Occupant Toilet Room Door, (116A, 118A, 115A, 119A, 120A)
- (3) Butt Hinges
 - (1) Mortise Lockset, F02 Privacy function, with Occupancy Indicator
 - (1) Surface Closer
 - (1) Kick Plate, 1 ½" LDW, on push side of door
 - (1) Wall-Mounted Stop
 - (1) Perimeter Gasketing
 - (1) Door Sweep
 - (1) Coat Hook

HARDWARE SET 2

- Office Single Door (122A)
- (3) Butt Hinges
 - (1) Mortise Lockset, F30 Storeroom Function
 - (1) Surface Closer
 - (1) Wall-Mounted Stop
 - (1) Perimeter Gasketing
 - (1) Coat Hook

HARDWARE SET 3

- Bunk Single Door, W/ Panic Hardware & 45-Min. Fire Rated (123A)

- (3) Butt Hinges
- (1) Mortise Exit Device, F01 Passage Function
- (1) Closer
- (2) Kick Plate, 1 ½" LDW
- (1) Wall-Mounted Stop
- (1) Perimeter Gasketing

HARDWARE SET 4

- Interior Double Door, W/ Panic Hardware (114A)
- (6) Butt Hinges
 - (1) Automatic Flush Bolt, inactive leaf
 - (1) Mortise Exit Device, F01 Passage Function, exposed vertical rod less bottom rod, on active leaf
 - (2) Surface Closer
 - (4) Kick Plate, 1-1/2" LDW
 - (2) Wall-Mounted Stop
 - (1) Perimeter Gasketing
 - (1) Meeting Stile Gasketing

HARDWARE SET 5

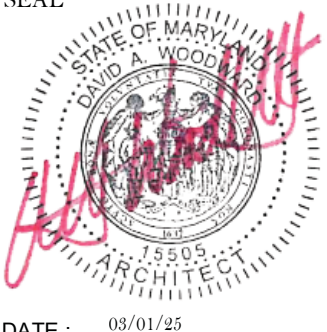
- Typical Interior Free Passage Single Door W/ Panic Hardware (113A)

- (3) Butt Hinges
- (1) Mortise Exit Device, F01 Passage Function
- (1) Wall-Mounted Stop
- (1) Lever Door Holder
- (2) Kick Plate, 1 ½" LDW
- (3) Silencers


HARDWARE SET 6

- Typical Interior Closet Double Door W/ Panic Hardware (117A)

- (6) Butt Hinges
- (1) Manual Flush Bolts on inactive leaf
- (1) Dust-Proof Strike
- (1) Mortise Lockset, F07 Passage Function, on active leaf
- (2) Lever Door Holder
- (2) Silencers

<div>SEAL</div> <div></div> <div>DATE: 05/01/25</div>	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHT	DRAWING SCALE		APPROVED BY: <i>Mihai T. Petrisor</i> DIRECTOR	
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.		BID/PERMIT				-	MSW	CHIEF	PLAN SCALE:		DATE: 03/26/2025	
	LICENSE NO. 15505 EXPIRATION DATE: 08-18-2026						-	-	-	PROFILE SCALE:			
	ARCHITECT: DAVID WOODWARD, AIA PRINCIPAL ARCHITECT		BUREAU OF ENGINEERING AND CONSTRUCTION		HIGHWAYS		STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	PROPERTY MANAGEMENT	
	DGN BY: _____		REVIEWED BY: _____									APPROVED BY: _____ CHIEF	
	DWN BY: _____		DATE REVIEWED: _____									DATE: _____	
CHKD BY: _____													

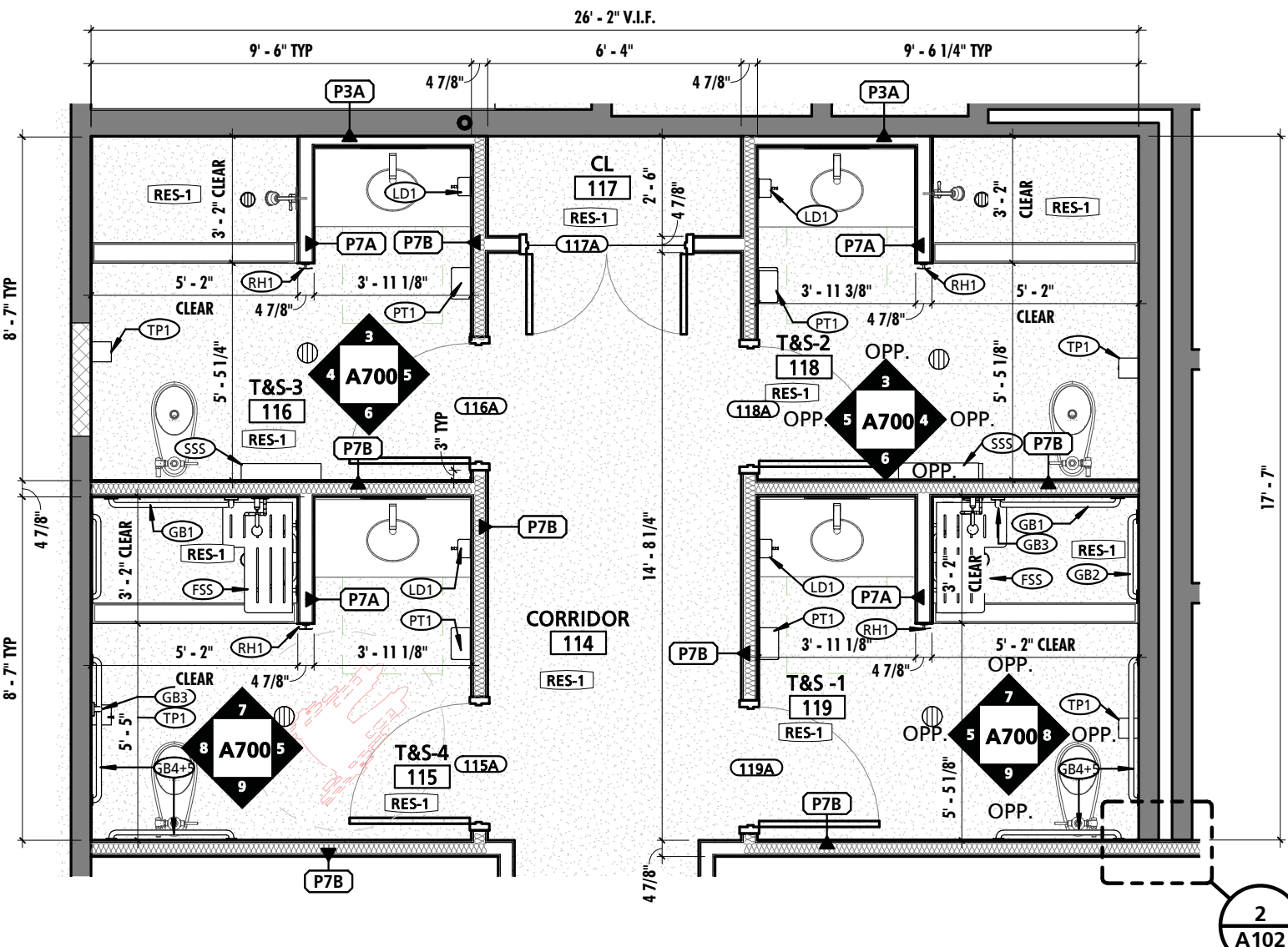
MANSS WOODWARD STUDIOS
10055-21 PHILADELPHIA ROAD
WHITE MARSH, MARYLAND 21102
(P) 301-908-1360

SHEET DESIGNATION		CONTRACT NUMBER	
A601		25034 PFO RE-BID	
<div></div>		JOB ORDER NUMBER	
		241-220-0054-0012	
		SHEET 26 of 58	
		DRAWING NUMBER	
FILE NO.: 8		2/18/2025 3:05:11 PM	

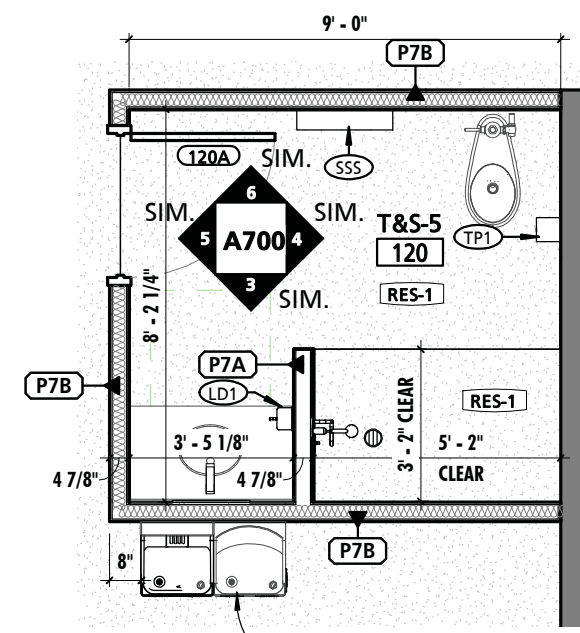
SUBDIVISION: FULLERTON

4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236

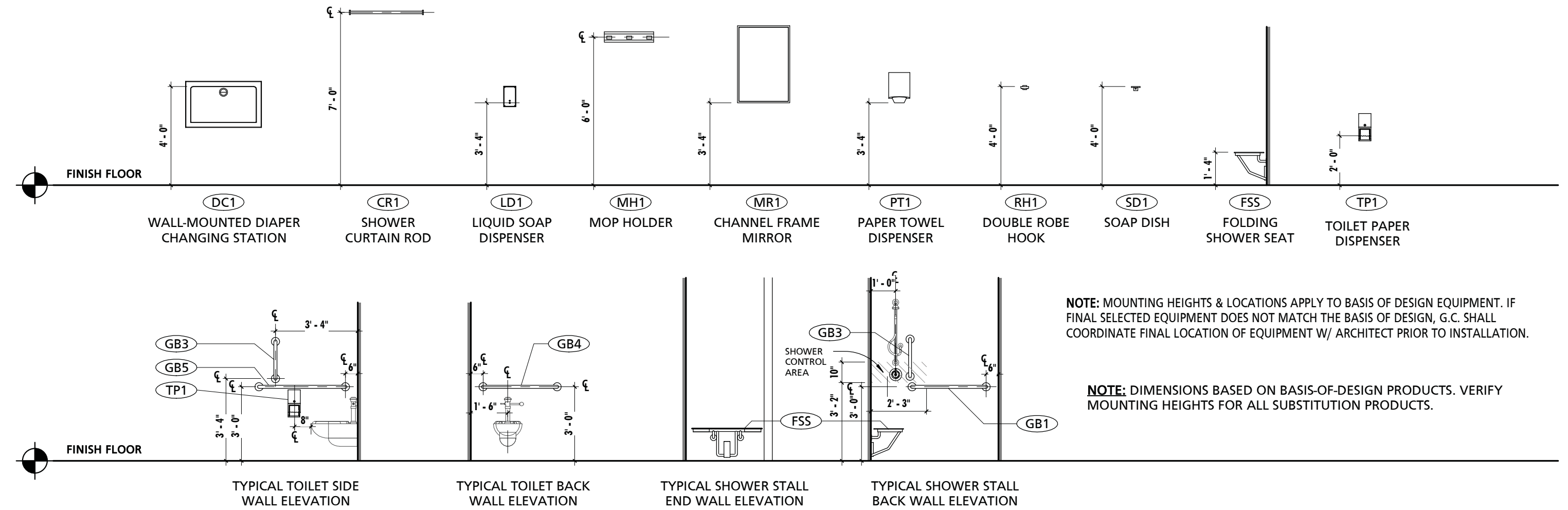
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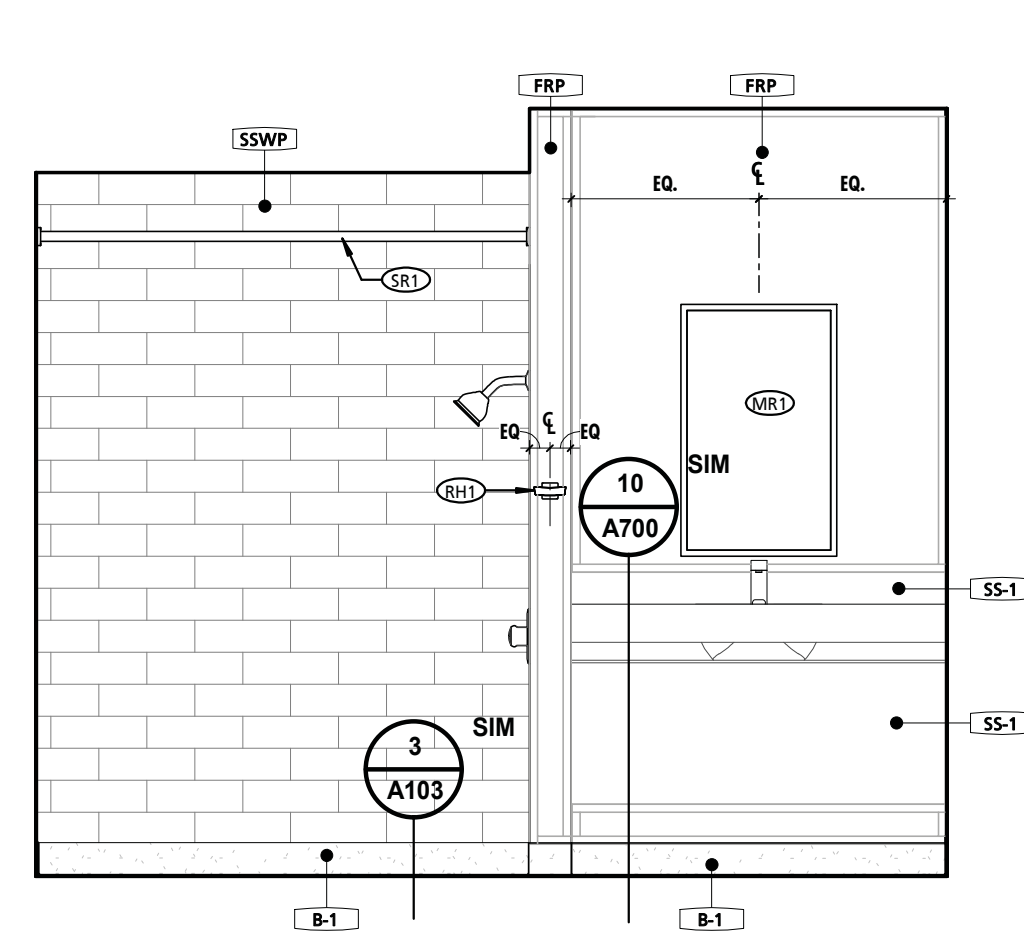
1 T&S 1 - 4 ENLARGED PLAN
1/4" = 1'-0"



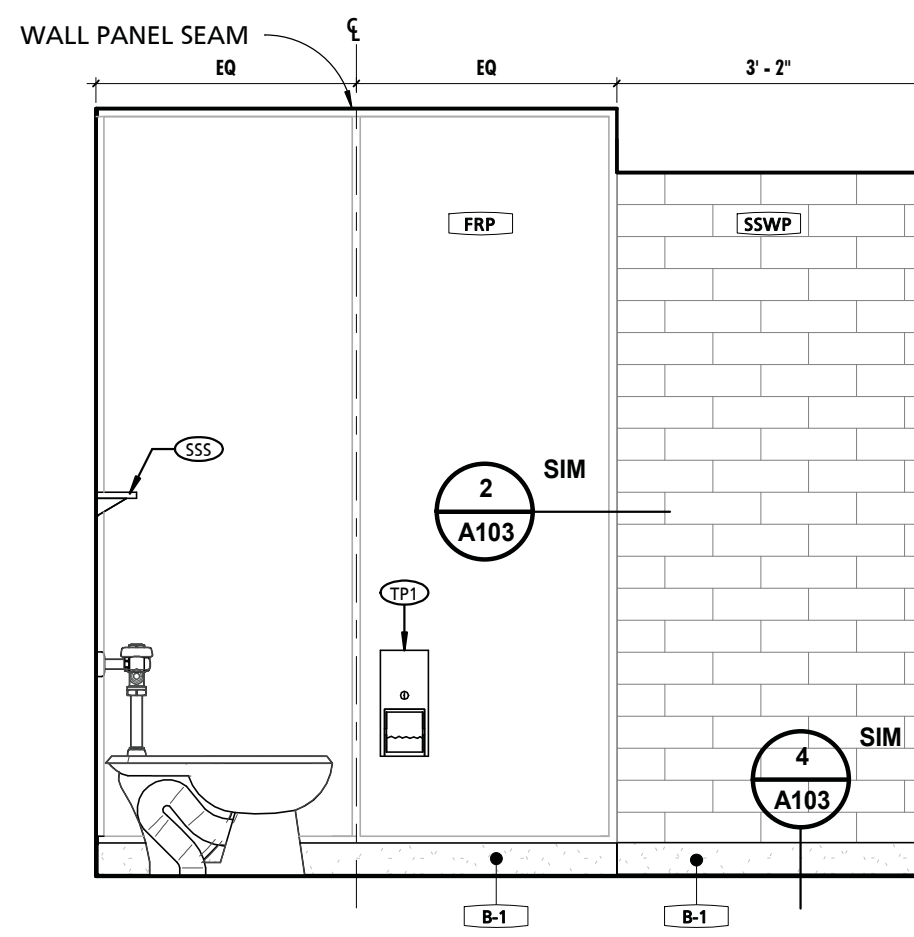
2 T&S 5 ENLARGED PLAN
1/4" = 1'-0"

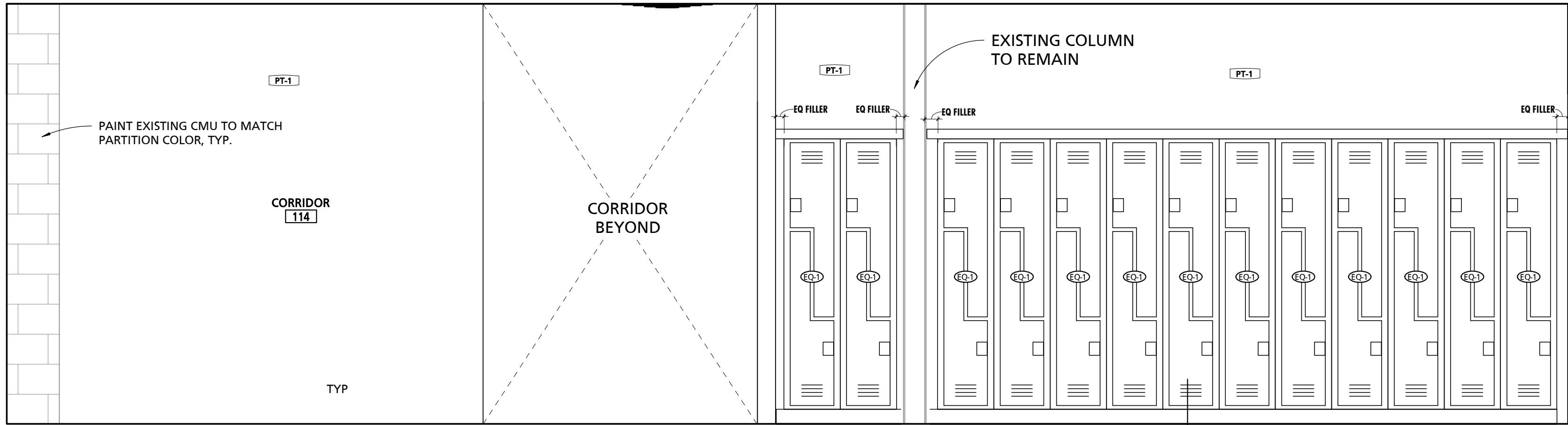


TYPICAL ADA TOILET ACCESSORY MOUNTING HEIGHTS & LOCATIONS
NOT TO SCALE

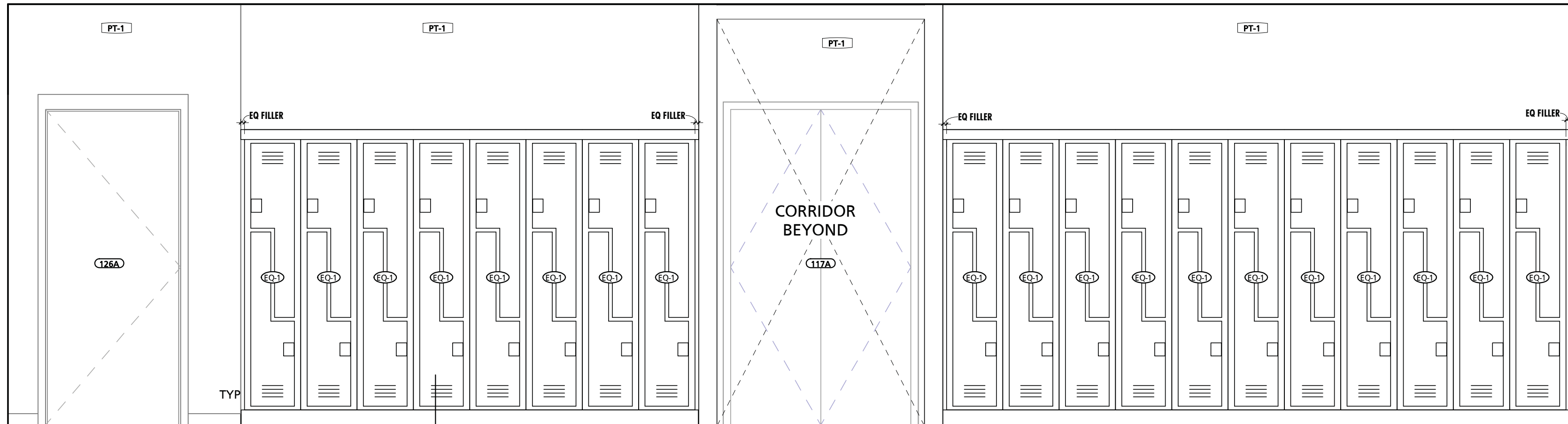


3 TYPICAL NON-ADA T&S NORTH
1/2" = 1'-0"





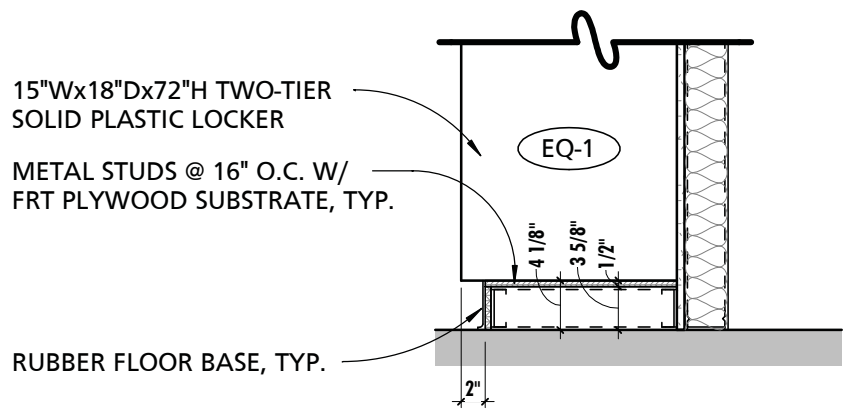
1 CORRIDOR SOUTH
1/2" = 1'-0"



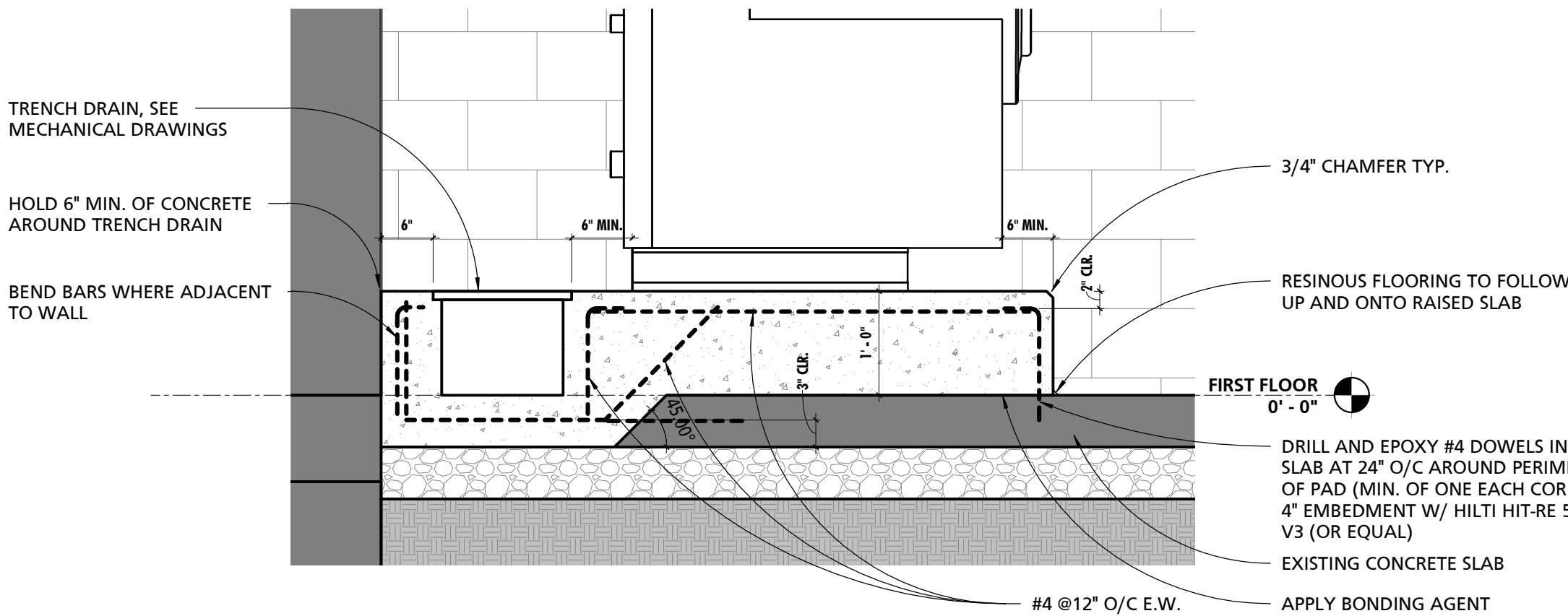
2 CORRIDOR NORTH
1/2" = 1'-0"

SCHEDULE - EQUIPMENT							
MARK	DESCRIPTION	BOD MANUFACTURER	BOD MODEL	O.P.O.I.	O.P.C.I.	C.P.C.I.	COMMENTS
EQ-1	15"W x 18"D x 72"H TWO-TIER SOLID PLASTIC LOCKER	BRADLEY CORPORATION	LENOX "Z" LOCKER			●	PROVIDED WITH SLOPED TOP
EQ-2	MANUAL ROLLER SHADE	HUNTER DOUGLAS	RB-500 ROLLER SHADES			●	PROVIDE BLACK-OUT BLINDS

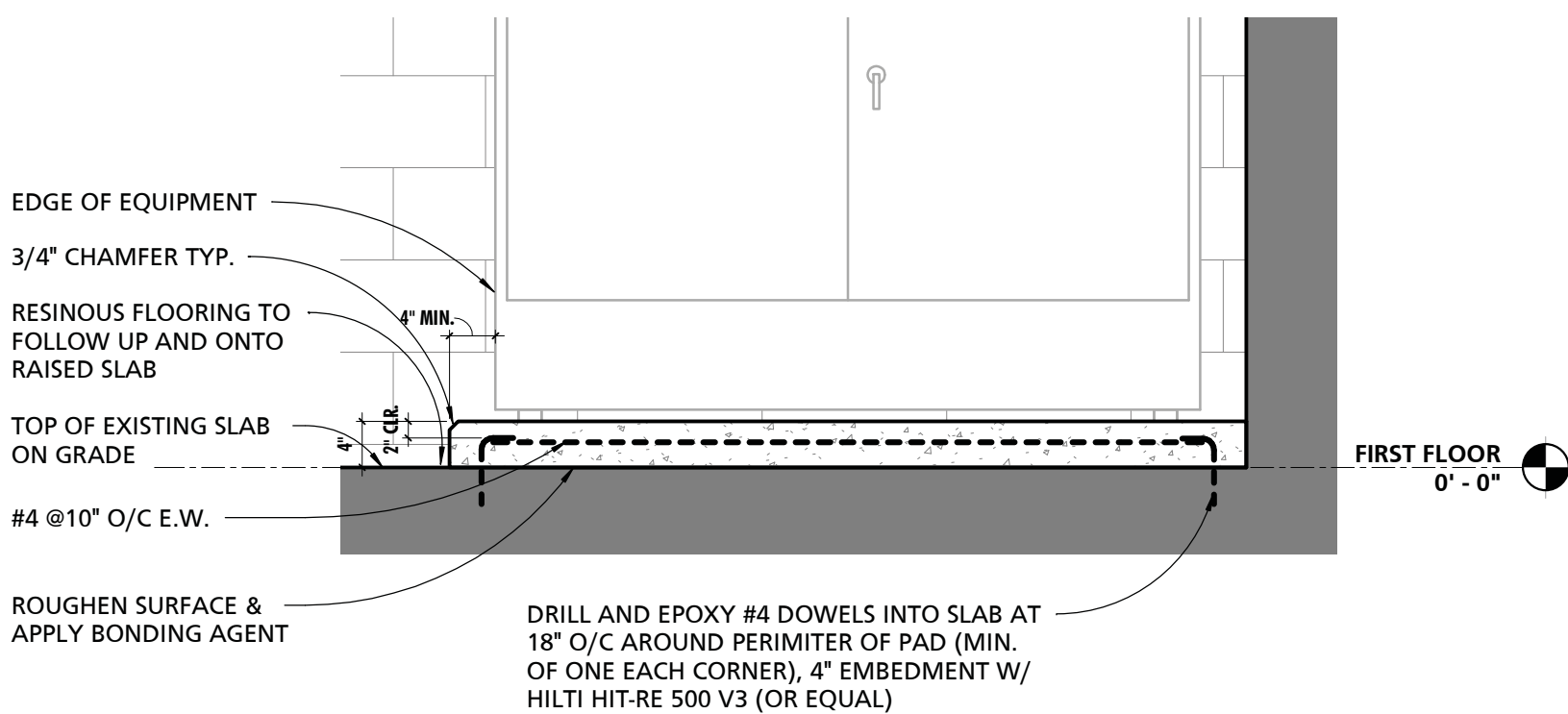
SCHEDULE - MATERIAL FINISH KEY				
FINISH MARK	DESCRIPTION	BOD MANUFACTURER	BOD PRODUCT LINE/COLOR	COMMENTS
B-1	4" RESINOUS COVE BASE		KEY MMA CHIP 900	
FRP	FIBERGLASS REINFORCED PLASTIC WALL PANELING	CRANE COMPOSITES		
PT-1		SHERWIN WILLIAMS		
PT-2	WALL PAINT	SHERWIN WILLIAMS	#6224 SEMI-GLOSS	
RES-1	RESINOUS COVERING	KEY RESIN CO.	KEY MMA CHIP 900	
SS-1	SOLID SURFACE COUNTERTOP	FORMICA	EVERFORM SOLID SURFACE: COLOR TBD	
SSWP	36X62X84 SOLID SURFACE WALL KIT	SWANSTONE	WALL KIT: MODERN SUBWAY TILE, COLOR TBD	BOTTOM OF KIT @ 4" A.F.F., PROVIDE WITH SOAP SHELVES



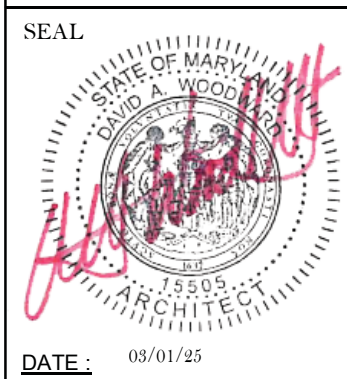
3 TYPICAL LOCKER BASE DETAIL
3/4" = 1'-0"



4 EXTRACTOR CONCRETE PAD WITH TRENCH DRAIN
3/4" = 1'-0"



5 DRYING CABINET CONCRETE PAD
3/4" = 1'-0"

SEAL 	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SH	DRAWING SCALE	APPROVED BY: <i>Mihai T. Petrisor</i> DIRECTOR DATE: 03/26/2025
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 15505 EXPIRATION DATE: 08-18-2026		BID/PERMIT							PLAN SCALE: As indicated	
										PROFILE SCALE:	
ARCHITECT: DAVID WOODWARD, AIA PRINCIPAL ARCHITECT MANNS WOODWARD STUDIOS 1000-23 PHILADELPHIA ROAD WHITE MARSH, MARYLAND 21102 (P) 301-908-1900		DGN BY:	BUREAU OF ENGINEERING AND CONSTRUCTION	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	PROPERTY MANAGEMENT	APPROVED BY: _____ CHIEF
		DWN BY:	REVIEWED BY:								DATE:
		CHKD BY:	DATE REVIEWED:								

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT

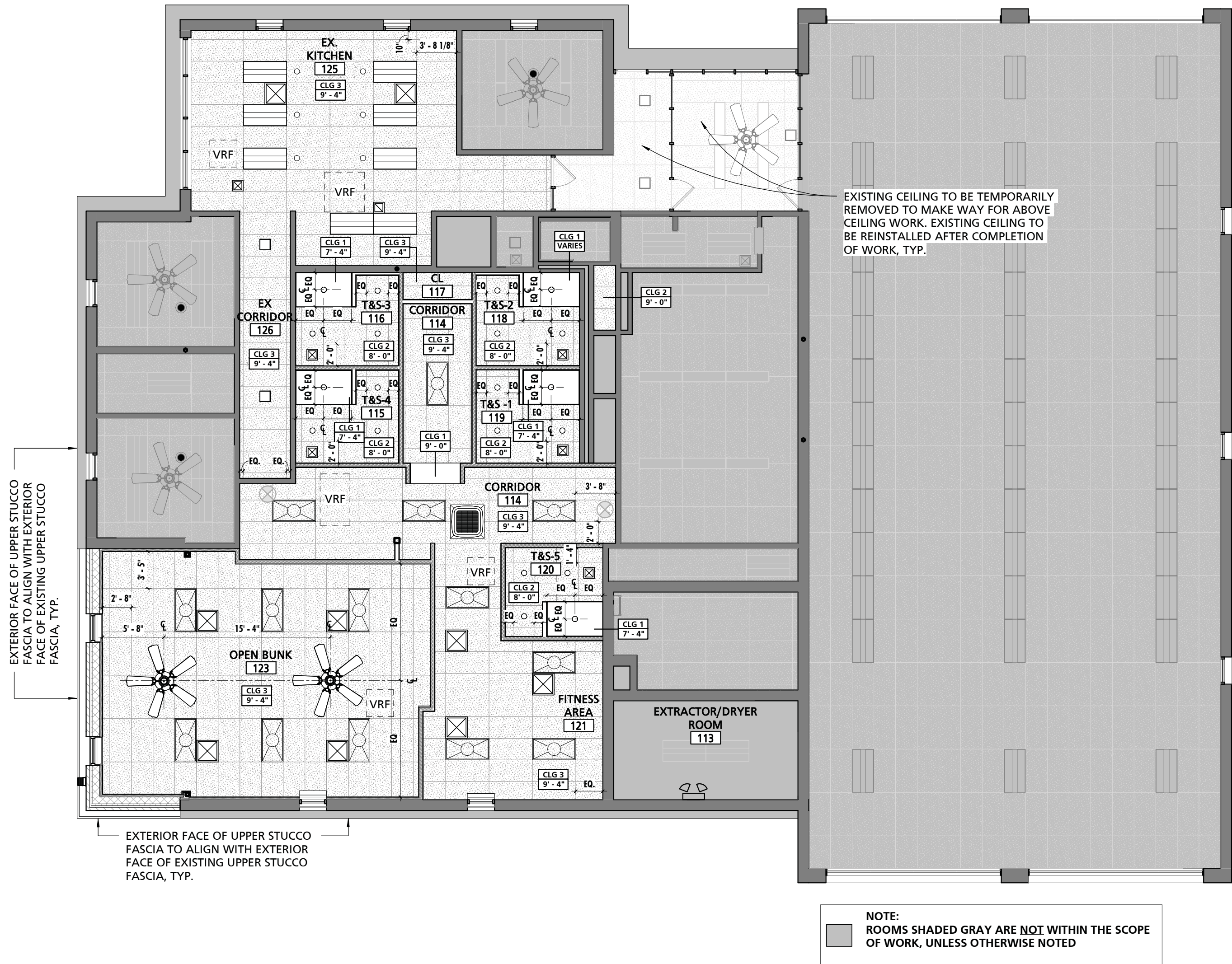
FULLERTON FIRE STATION #8 - RENOVATION & ADDITION

INTERIOR ELEVATIONS

4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236

SUBDIVISION: FULLERTON

SHEET DESIGNATION	CONTRACT NUMBER
A702	25034 PF0 RE-BID
	JOB ORDER NUMBER
	241-220-0054-0012
SHEET 28 of 58	
DRAWING NUMBER	
2022-2345	
FILE NO.: 8	



GENERAL CEILING NOTES

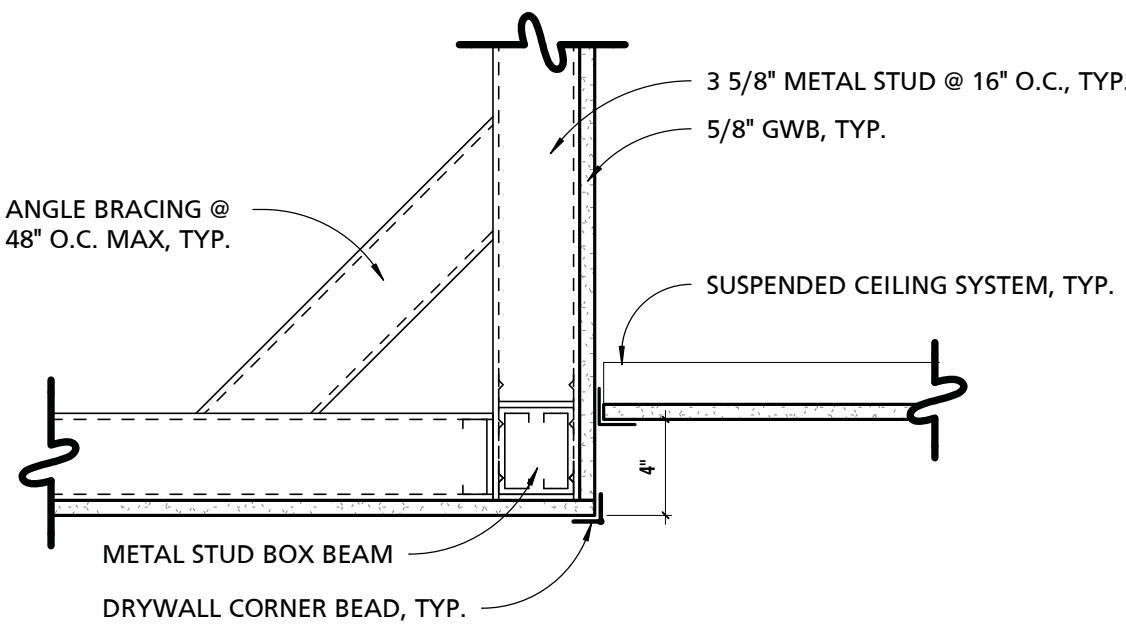
NOTE #	NOTE
1	CONTRACTOR SHALL COORDINATE FINAL FIELD LOCATION OF ALL EXIT SIGNS AND EMERGENCY LIGHTING WITH ARCHITECT PRIOR TO ROUGH-IN, TYP.
2	ON ACT CEILINGS IN FIRE-RATED AREAS INSTALL HOLD DOWN CLIPS ON ACOUSTIC PANELS WEIGHING LESS THAN 1 LB. PER SQ. FT. PER SPEC.
3	ALL MECHANICAL, ELECTRICAL AND PLUMBING WORK TO OCCUR IN AREAS WHERE THE STRUCTURE IS EXPOSED SHALL BE EXECUTED IN A COORDINATED, NEAT AND WORKMANLIKE MANNER. AT A MINIMUM ALL WIRING SHALL BE RUN THROUGH CONDUITS, PIPE AND DUCT INSULATION SHALL BE NEATLY INSTALLED AND PAINTABLE. ALL PIPES AND DUCTS SHALL BE RUN EITHER PERPENDICULAR OR PARALLEL TO WALL CONSTRUCTION AND SHALL BE INSTALLED AT THE SAME NOMINAL ELEVATION OR SLOPE. ALL MATERIALS AND INSTALLATION METHODS SHALL COMPLY WITH APPLICABLE CODES AND STANDARDS. WHERE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS INDICATE OTHER REQUIREMENTS THE GREATER QUALITY SHALL PREVAIL.
4	CONTRACTOR SHALL COORDINATE THE COLOR AND FINISH OF ALL CEILING MOUNTED EQUIPMENT SUCH AS DIFFUSERS, RETURNS, SPEAKERS, ETC. WITH THE ARCHITECT TO ENSURE THERE ARE NO STARK CONTRASTING COLORS.
5	WHERE ACT GRID LAYOUT AT EDGE CONDITIONS FOR 2X2 TILES REQUIRE TILES TO BE CUT TO LESS THAN 3", UTILIZE A 2X4 TILE IN LIEU OF THE 2X2 TILE. OMIT CEILING GRID CROSS MEMBERS AS REQUIRED. NO TILE SHALL EXCEED 27" OR BE LESS THAN 3" AT PERIMETER CONDITIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO COORDINATE GRID MAINS AS REQUIRED TO ACHIEVE THIS DESIGN INTENT.

SCHEDULE - CEILING TYPES

MARK	DESCRIPTION	BOD MANUFACTURER	BOD MODEL	COMMENTS
CLG 1	5/8" GWB ON 1 1/2" DRYWALL GRID	ARMSTRONG	DRYWALL GRID SYSTEM	
CLG 2	2x2 WASHABLE CEILING TILE	ARMSTRONG	ULTIMA HEALTH ZONE	
CLG 3	2x4 ACOUSTICAL CEILING TILE	ARMSTRONG	FISSURED 895	

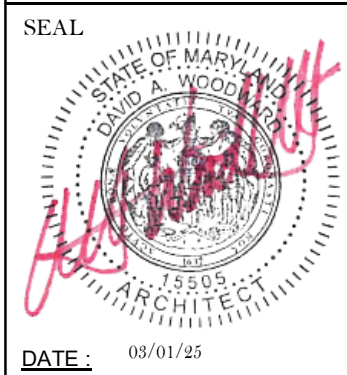
REFLECTED CEILING PLAN

1/8" = 1'-0"



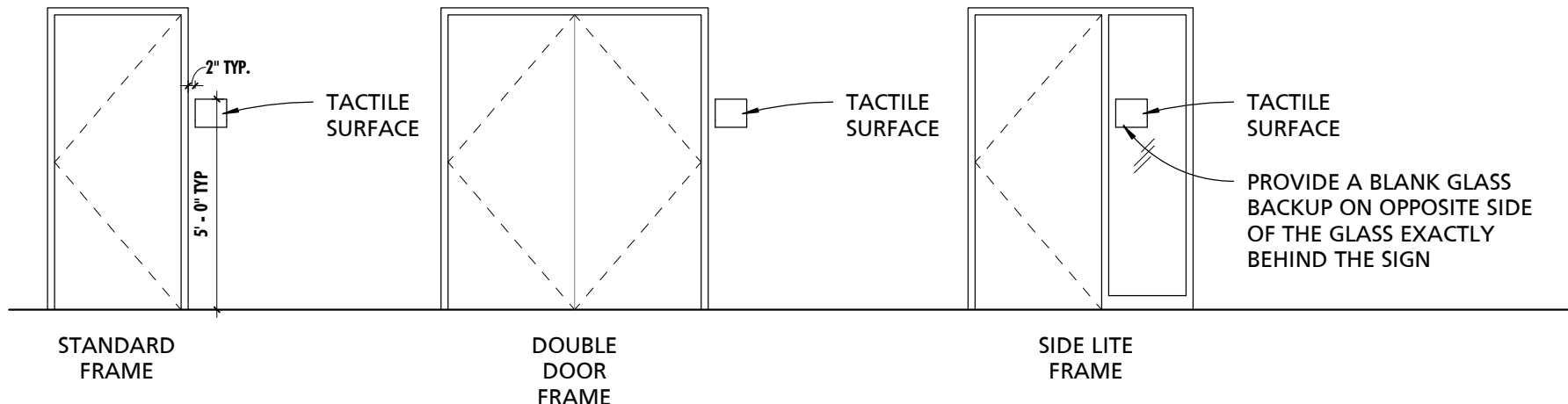
TYPICAL BULKHEAD DETAIL

1 1/2" = 1'-0"

SEAL  DATE: 05/01/25	PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 15505 EXPIRATION DATE: 08-18-2026		AS-BUILT / REVISION BID/PERMIT		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHT	DRAWING SCALE	APPROVED BY: <i>Mihai T. Petrisor</i> DIRECTOR DATE: 03/26/2025		
										PLAN SCALE: As indicated			
										PROFILE SCALE: -			
	ARCHITECT: DAVID WOODWARD, AIA PRINCIPAL ARCHITECT MANSON WOODWARD STUDIOS 1000-23 PHILADELPHIA ROAD WHITE MARSH, MARYLAND 21102 (P) 301-588-1300		BUREAU OF ENGINEERING AND CONSTRUCTION		HIGHWAYS		STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	PROPERTY MANAGEMENT	
	DGN BY: _____ DWN BY: _____ CHKD BY: _____		REVIEWED BY: _____ DATE REVIEWED: _____									APPROVED BY: _____ CHIEF DATE: _____	

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT FULLERTON FIRE STATION #8 - RENOVATION & ADDITION REFLECTED CEILING PLAN SUBDIVISION: FULLERTON	4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236	ELECTION DIST. NO.: 14C5	SHEET DESIGNATION A800	CONTRACT NUMBER 25034 PFO RE-BID
			JOB ORDER NUMBER 241-220-0054-0012	
			SHEET 29 of 58	
			DRAWING NUMBER 2022-2346	
			FILE NO.: 8	

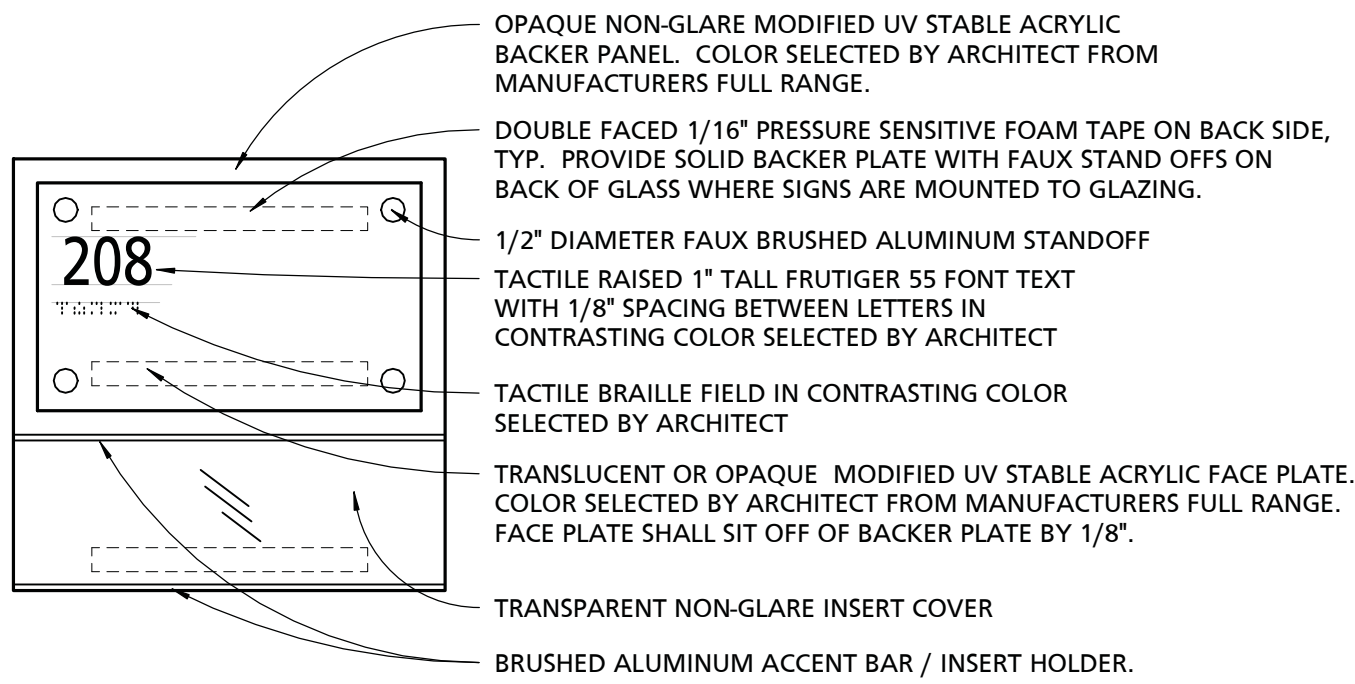




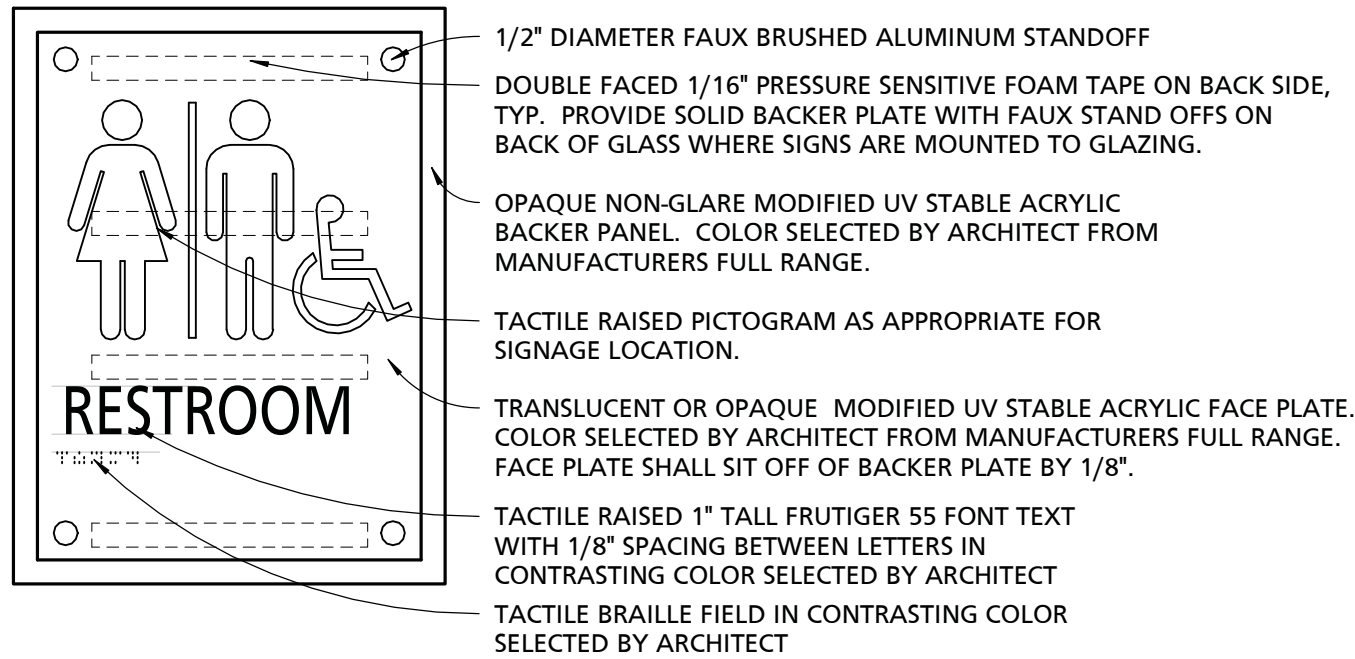
PROVIDE SIGNAGE AT ALL OF THE FOLLOWING LOCATIONS:

1. ADA COMPLIANT IDENTIFICATION ROOM SIGNAGE WITH REMOVABLE INSERT AT ALL ROOMS OTHER THAN MECHANICAL ROOMS AND TOILET ROOMS. SIGNS SHALL INDICATE ROOM NUMBER AND PROVIDE REMOVABLE INSERT FOR ROOM NAMES.
2. ADA COMPLIANT IDENTIFICATION ROOM SIGNAGE AT MECHANICAL ROOMS AND TOILET ROOMS. SINGLE OCCUPANT TOILET ROOMS SHALL BE IDENTIFIED AS UNI-SEX.
3. ADA COMPLIANT IDENTIFICATION EXIT SIGNAGE AT ALL DOORS LEADING TO RATED EXITS.
4. ADA COMPLIANT IDENTIFICATION FLOOR LEVEL SIGNAGE AT ALL FLOOR LANDINGS OF STAIRS AND RAMPS.

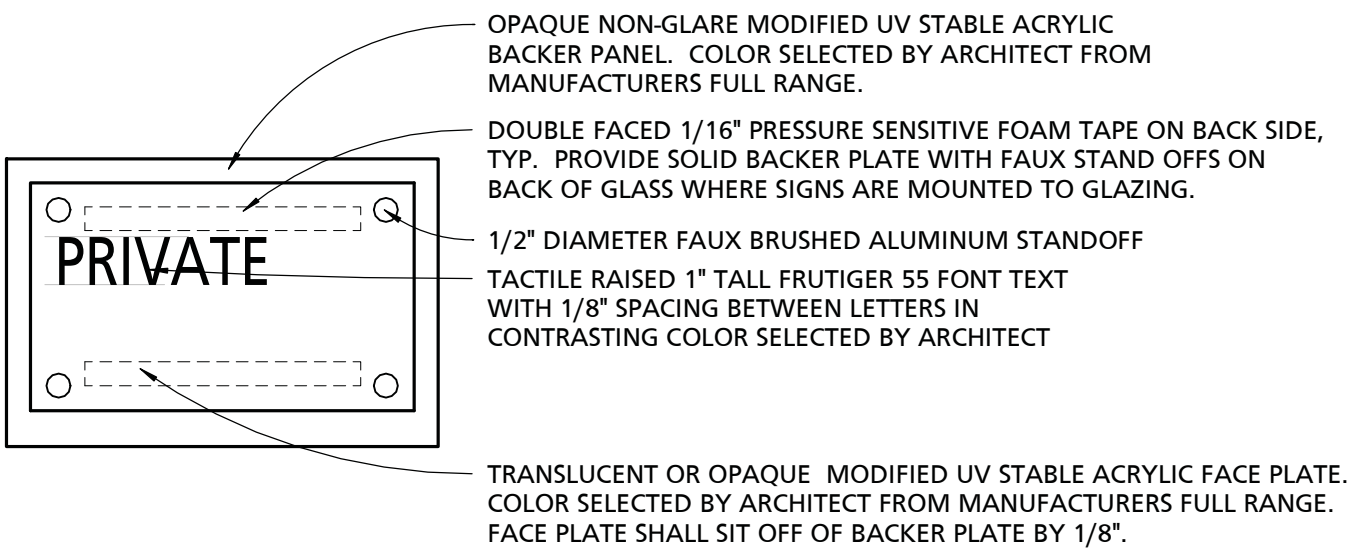
1 ADA SIGNAGE MOUNTING LOCATIONS
1/4" = 1'-0"



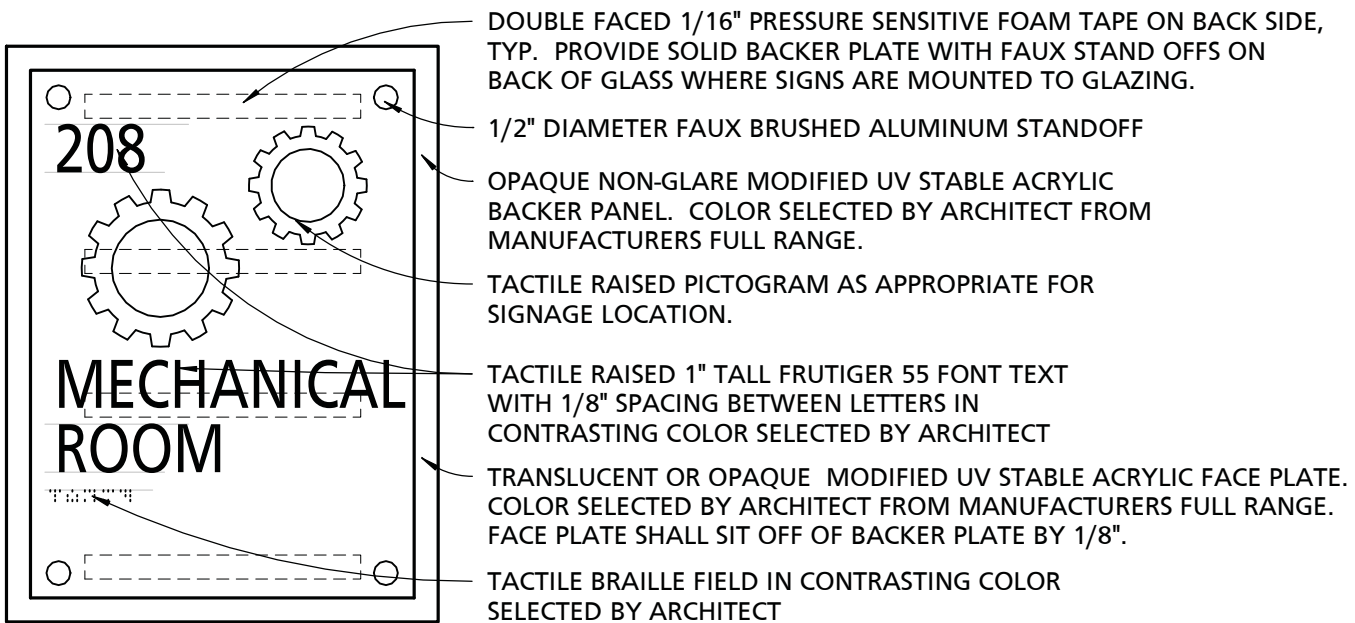
TYPICAL ROOM IDENTIFICATION SIGNAGE



TYPICAL RESTROOM SIGN

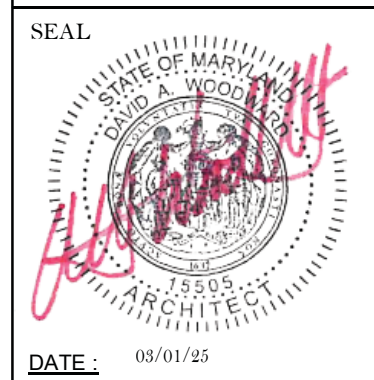



TYPICAL INFORMATIONAL SIGNAGE



TYPICAL UTILITY ROOM / STAIRWAY SIGN

2 TYPICAL SIGNAGE DETAILS
3" = 1'-0"

SEAL 	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHT	DRAWING SCALE		APPROVED BY: <i>Mihai T. Petrisor</i> DIRECTOR DATE: 03/26/2025
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							R.O.W NO.	-	-	PROFILE SCALE: 1" = 10'		
							-	-	-			
	ARCHITECT: DAVID WOODWARD, AIA PRINCIPAL ARCHITECT MANSON WOODWARD STUDIOS 10805-31 PHILADELPHIA ROAD WHITE MARSH, MARYLAND 21102 (P) 301-988-1100		DGN BY: _____	BUREAU OF ENGINEERING AND CONSTRUCTION		HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	

SHEET DESIGNATION		CONTRACT NUMBER	
A900		25034 PFO RE-BID	
		JOB ORDER NUMBER	
		241-220-0054-0012	
		SHEET 30 of 58	
		DRAWING NUMBER	
		2022-2347	
FILE NO.: 8		2/18/2025 3:05:34 PM	

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT

FULLERTON FIRE STATION #8 - RENOVATION & ADDITION

TYPICAL ADA SIGNAGE DETAILS

4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236

ELECTION DIST. NO.: 14C5

SUBDIVISION: FULLERTON

STRUCTURAL GENERAL NOTES

EXISTING CONDITIONS

INFORMATION INDICATED ON THESE DRAWINGS PERTAINING TO EXISTING CONDITIONS HAS BEEN OBTAINED FROM EXISTING BUILDING DRAWINGS AND IS BELIEVED TO BE REASONABLY ACCURATE. HOWEVER, PRIOR TO PERFORMING ANY WORK OR FABRICATION, BASED UPON THIS INFORMATION, THE CONTRACTOR SHALL FIELD VERIFY THE ACTUAL EXISTING DIMENSIONS/CONDITIONS. SHOULD CONDITIONS BE DISCOVERED THAT PREVENT EXECUTION OF THE WORK AS INDICATED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL REMOVE ALL EXISTING CONSTRUCTION AS REQUIRED TO INSTALL NEW CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING WORK AND SHALL REPAIR AND/OR REPLACE TO ITS PRESENT CONDITION ANY DAMAGE OR INJURY CAUSED DURING DEMOLITION OR NEW CONSTRUCTION. ALL TEMPORARY SHORING, NEEDLING, ETC. SHALL BE AS REQUIRED TO SUPPORT THE EXISTING STRUCTURE DURING DEMOLITION AND NEW WORK. THE CONTRACTOR SHALL EXAMINE THE EXISTING STRUCTURES TO DETERMINE THE EXTENT OF NECESSARY SHORING AND NEEDLING. THE CAPACITY AND METHOD USED FOR SHORING AND NEEDLING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. INSTALLATION OF TEMPORARY SHORING, NEEDLING, ETC. SHALL BE COORDINATED WITH THE CONTRACTOR'S SEQUENCE FOR THE INSTALLATION OF THE NEW WORK AND THE DEMOLITION OF EXISTING CONSTRUCTION.

DIMENSIONS

THE CONTRACTOR SHALL FIELD CHECK AND VERIFY ALL PERTINENT DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR POTENTIAL CONFLICTS PRIOR TO PROCEEDING WITH CONSTRUCTION. DIMENSIONS IDENTIFIED WITH A ± REPRESENT DIMENSIONS, EITHER EXISTING OR NEW, THAT REQUIRE VERIFICATION IN THE FIELD BY THE CONTRACTOR PRIOR TO FABRICATION OR INSTALLATION OF ANY COMPONENTS.

STABILITY

THE NEW ADDITION HAS BEEN DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER FULLY COMPLETED. CONSTRUCTION MEANS AND METHODS ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR MUST DETERMINE ERECTION PROCEDURE AND SEQUENCE WHICH WILL ENSURE THE STABILITY OF ALL COMPONENTS DURING ERECTION, INCLUDING THE ADDITION OF ANY GUTS, BRACING, ETC. THAT MAY BE NECESSARY. SUCH MATERIAL AND METHODS ARE NOT SHOWN IN THE CONTRACT DRAWINGS OR SPECIFICATIONS AND IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. THE ENGINEER HAS NO EXPERTISE IN, AND TAKES NO RESPONSIBILITY FOR, THE CONSTRUCTION MEANS AND METHODS OR JOB SITE SAFETY DURING CONSTRUCTION. PROCESSING OR APPROVING SUBMITTALS MADE BY THE CONTRACTOR WHICH MAY CONTAIN INFORMATION RELATED TO CONSTRUCTION METHODS OR SAFETY ISSUES, OR PARTICIPATION IN MEETINGS WHERE SUCH ISSUES MIGHT BE DISCUSSED, SHALL NOT BE CONSTRUED AS VOLUNTARY ASSUMPTION BY THE ENGINEER OF ANY RESPONSIBILITY FOR CONSTRUCTION METHODS AND/OR SAFETY PROCEDURES. IT IS SOLELY THE RESPONSIBILITY OF EACH CONTRACTOR TO FOLLOW ALL APPLICABLE SAFETY PROCEDURES AND APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION. THE STRUCTURAL ENGINEER DOES NOT ENGAGE IN, AND DOES NOT SUPERVISE CONSTRUCTION.

SPECIAL CONDITIONS

THE CONTRACTOR SHALL BE RESPONSIBLE TO INSURE THAT PROPER STORAGE OF MATERIAL IS MAINTAINED SO AS NOT TO CAUSE OVERLOADING OF THE EXISTING STRUCTURE DURING PERFORMANCE OF THIS WORK. ALL WORK IS TO BE COORDINATED WITH THE OWNER'S REPRESENTATIVE TO MINIMIZE ANY DISTURBANCES TO THE USE OF THE BUILDING. CONTRACTOR SHOULD TAKE ALL NECESSARY PRECAUTION TO AVOID FIRE DAMAGE TO ANY MEMBER OR OBJECT. CONTRACTOR SHALL SEPARATE THE WORK AREA FROM SURROUNDINGS AREA BY ERECTING FIRE SEPARATION BARRIERS AS NECESSARY.

CAST-IN PLACE CONCRETE AND REINFORCING

ALL CONCRETE SHALL CONFORM TO ACI 301, ACI 318, ACI 315. ALL CONCRETE SHALL BE NORMAL WEIGHT CONCRETE WITH THE FOLLOWING 28 DAY COMPRESSIVE STRENGTH (f'c): 4,000psi
CEMENTITIOUS MATERIAL SHALL BE A MINIMUM OF 75% PORTLAND CEMENT TYPE I
REINFORCING - ASTM A 615, GRADE 60.
WELDED WIRE FABRIC - ASTM A 655, LAP ENDS 6" MINIMUM.
SPlice LAPs FOR ALL REINFORCING SHALL BE CLASS "B" SPLICE, UNLESS OTHERWISE NOTED.
ALL CONCRETE SHALL CONTAIN A WATER-REDUCING ADMIXTURE PER MANUFACTURER'S RECOMMENDATIONS.
PROVIDE ACCESSORIES AND BAR SUPPORTS FOR ALL REINFORCING IN ACCORDANCE WITH ACI 315 (LATEST EDITION).
MAXIMUM SLUMP TO BE 4".
SUBMIT CONCRETE MIX DESIGN FOR EACH TYPE OF CONCRETE TO BE USED AT LEAST 15 DAYS PRIOR TO INTENDED USE.

MASONRY

MASONRY WORK SHALL COMPLY WITH ACI530.1/ASCE 6 "SPECIFICATIONS FOR MASONRY STRUCTURES." CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C 90.
CONCRETE MASONRY UNITS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 1,900psi AND A MINIMUM PRISM STRENGTH (f'm) OF 1500psi.
MORTAR SHALL CONFORM TO ASTM C 270, TYPE S FOR ALL CMU WALLS AND TYPE N FOR ALL VENEERS.
GROUT FOR ALL MASONRY WALLS TO EITHER BE 3,000psi PEA GRAVEL CONCRETE OR COMPLY WITH ASTM C476 - GROUT.

LINTELS

ALL OPENINGS IN MASONRY WALLS AND PARTITIONS ARE TO BE PROVIDED WITH LINTELS. LINTELS SHALL BE STRUCTURAL STEEL OR PRECAST CONCRETE AS INDICATED IN THE LINTEL SCHEDULE. ALL LINTELS SHALL HAVE 8" MINIMUM BEARING AND SHALL BE SET IN A FULL BED OF MORTAR. SHORE LINTELS AS REQUIRED TO PREVENT ROTATION DURING CONSTRUCTION. NOTE THAT ALL WALL OPENINGS ARE NOT SHOWN ON THE STRUCTURAL DRAWINGS. CONTRACTOR SHALL COORDINATE SIZE, TYPE, AND LOCATION OF ALL LINTELS REQUIRED WITH ARCHITECTURAL AND MECHANICAL DRAWINGS.

STRUCTURAL STEEL

FABRICATION & ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO AISC SPECIFICATIONS & AISC D11.
NEW STRUCTURAL STEEL:
WIDE FLANGE SHAPES: ASTM A992 GRADE 50
MISC. CHANNELS, ANGLES, PLATES: ASTM A36, UNLESS OTHERWISE NOTED
WELDING ELECTRODES: E70XX
HIGH STRENGTH BOLTS: ASTM A 325-N
SHOP PREP OTHER STEEL PER S66PC 5P3.
PROVIDE TWO COATS OF FABRICATOR'S STANDARD RUST INHIBITING PRIMER.
ALL WELDING SHALL CONFORM TO AISC STANDARDS AND SHALL BE PERFORMED BY CERTIFIED WELDERS.
ALL WELDING TO ANY EXISTING MEMBERS SHALL BE PREFORMED WITH EXTREME CARE TO AVOID EXCESSIVE DAMAGE TO THE BASE METAL.

METAL DECK

FABRICATION AND ERECTION OF STEEL DECK SHALL CONFORM TO STEEL DECK INSTITUTE SPECIFICATIONS.
STEEL DECK - ASTM A 653 (50), GRADE 33
GALVANIZING - ASTM A 924, 690 GALVANIZED COATING.
FASTEN DECK WITH 5/8" PUDDLE WELD AT 12"o.c. MAX
NO LOADS SHALL BE SUSPENDED FROM METAL DECK WHETHER DECK IS NEW OR EXISTING

ANCHORS

ALL ANCHORS INDICATED TO BE MANUFACTURED BY HILTI OR APPROVED EQUIVALENT.
INSTALLATION OF ALL ANCHORS SHALL ADHERE TO HILTI SPECIFICATIONS.
INSTALLERS OF ANCHORS SHALL BE TRAINED BY HILTI IN THE PROPER INSTALLATION METHODS PRIOR TO INSTALLATION OF ANCHORS IN THE FIELD.

SUBMITTALS

ORIGINAL SUBMITTALS SHALL BE SUBMITTED FOR ARCHITECT/ENGINEER'S REVIEW FOR THE FOLLOWING ITEMS:
CONCRETE MIX DESIGNS
CONCRETE AND MASONRY REINFORCING STEEL SHOP DRAWINGS
SHOP DRAWINGS FOR STRUCTURAL AND METAL DECK

IF A CONTRACTOR FAILS TO SUBMIT THE SHOP DRAWINGS, THE FIRM, MINGIN PATEL MILANO, INC. WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S INTERPRETATION OF THE INTENT OF THE STRUCTURAL DRAWINGS. THE GENERAL CONTRACTOR SHALL REVIEW ALL SHOP DRAWINGS PRIOR TO SUBMISSION TO THE A/E AND SHALL MAKE ALL CORRECTIONS AS HE DEEMS NECESSARY. THE GENERAL CONTRACTOR SHALL STATE IN WRITING ANY DEVIATION OR OMISSIONS FROM THE CONTRACT DOCUMENTS.

INSPECTION

AN INDEPENDENT INSPECTION AGENCY, PAID FOR BY THE CONTRACTOR AND APPROVED BY THE ARCHITECT/ENGINEER, SHALL INSPECT/MONITOR/TEST THE FOLLOWING ITEMS:
NEW CAST-IN PLACE CONCRETE AND REINFORCING STEEL
NEW STRUCTURAL STEEL AND METAL DECK

COPIES OF THE INSPECTORS FINAL REPORTS CERTIFYING THAT THE ITEMS INSPECTED HAVE BEEN INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS SHALL BE SUBMITTED TO THE ARCHITECT/ENGINEER.

LIVE LOADS

THESE BUILDING MODIFICATIONS HAVE BEEN DESIGNED FOR THE FOLLOWING LIVE LOAD CRITERIA FROM THE APPLICABLE CODES LISTED BELOW:

IBC 2015	
IEBC 2015	
ASCE 7-10	
BUILDING RISK CATEGORY:	IV
NEW ROOF LIVE LOAD:	30psf
NEW FLOOR LIVE LOAD:	100psf
SNOW LOADS:	
GROUND SNOW (Pg)	30psf
FLAT ROOF SNOW	28psf
SNOW IMPORTANCE FACTOR (Is)	1.2
SNOW THERMAL FACTOR (Ct)	1.1
SNOW EXPOSURE FACTOR (Ce)	1.0
WIND LOADS:	
BASIC WIND SPEED:	V = 130mph
WIND EXPOSURE:	B
SEISMIC:	SEISMIC FORCES RESULTING FROM NEW ADDITION DOES NOT SIGNIFICANTLY IMPACT THE SEISMIC FORCES ON THE EXISTING STRUCTURE.

MASONRY WALL LINTEL SCHEDULE

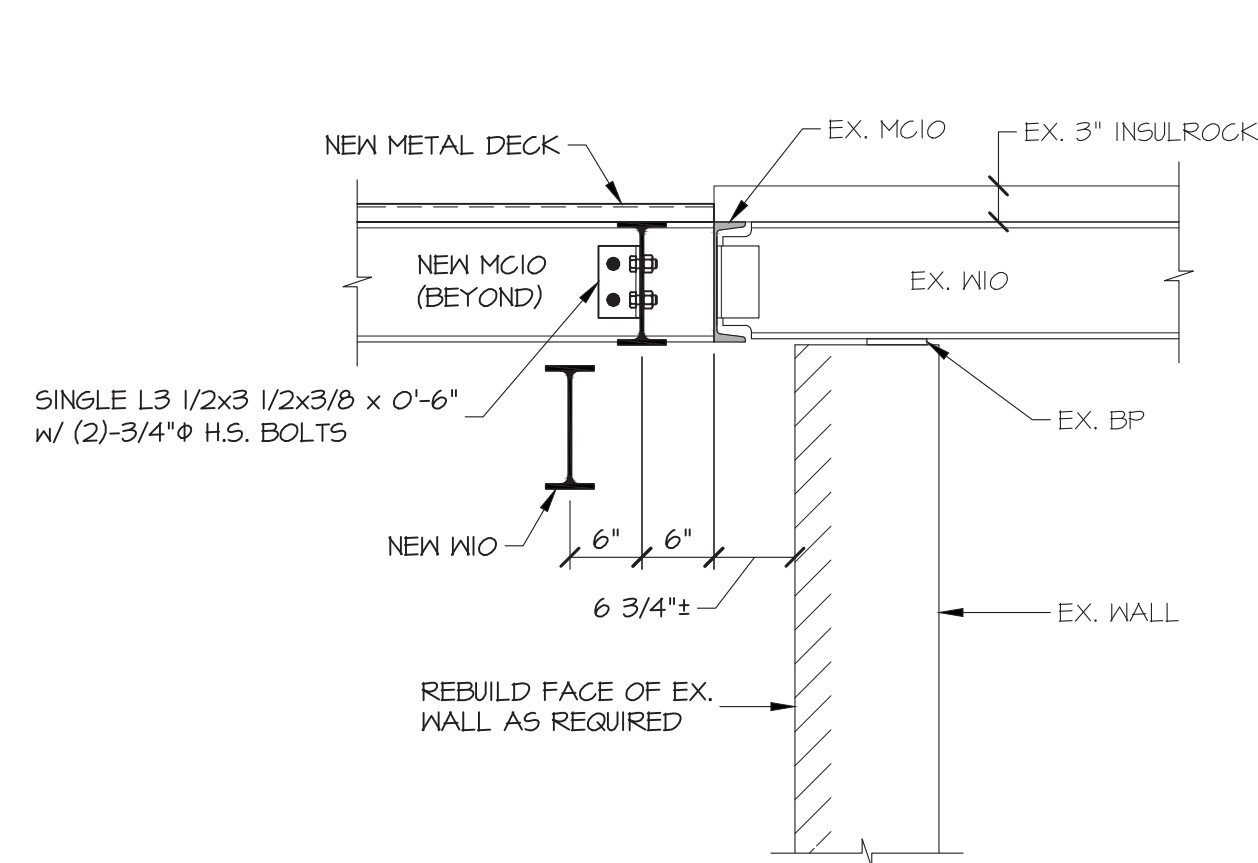
MARK	TYPE	CONFIGURATION	REMARKS
P	4" WIDE x 8" HIGH PRECAST MASONRY LINTEL w/ (1)-#5 TOP & BOTTOM FOR EACH 4" OF WALL THICKNESS.		WHERE INDICATED AND/OR FOR OPENINGS IN NON-BEARING INTERIOR PARTITIONS UP TO 5'-0" WIDE. UNLESS OTHERWISE NOTED, PROVIDE 8" MIN. BEARING EACH END.
P6	6" WIDE x 8" HIGH PRECAST MASONRY LINTEL w/ (1)-#5 TOP & BOTTOM FOR EACH 6" OF WALL THICKNESS.		WHERE INDICATED AND/OR FOR OPENINGS IN NON-BEARING 6" CMU INTERIOR PARTITIONS UP TO 5'-0" WIDE. PROVIDE 8" MIN. BEARING EA. END.
L1	L4x3 1/2x5/16 LLV FOR EACH 4" OF WALL THICKNESS.		WHERE INDICATED AND/OR FOR OPENINGS IN WALLS UP TO 6'-0" WIDE. PROVIDE 8" MIN. BEARING EACH END, UNLESS OTHERWISE NOTED.
L2	L6x3 1/2x5/16 LLV FOR EACH 4" OF WALL THICKNESS.		WHERE INDICATED AND/OR FOR OPENINGS IN WALLS BETWEEN 6'-0" TO 10'-0" WIDE. PROVIDE 8" MIN. BEARING EACH END.
L3	(2)-L4x3 1/2x5/16 LLV w/ L4x3 1/2x5/16 + L3x3x1/4 AT VENEER		WHERE INDICATED, PROVIDE 8" MIN. SOLID BEARING EACH END.

ALL OPENINGS IN MASONRY WALLS AND IN PARTITIONS ARE TO BE PROVIDED WITH LINTELS. LINTELS SHALL BE STRUCTURAL STEEL OR PRECAST CONCRETE AS INDICED, UNLESS OTHERWISE NOTED. ALL LINTELS SHALL HAVE 8" MINIMUM BEARING AND SHALL BE SET IN A FULL BED OF MORTAR. SHORE LINTELS AS REQUIRED TO PREVENT ROTATION DURING CONSTRUCTION. NOTE THAT ALL WALL OPENINGS ARE NOT SHOWN ON THE STRUCTURAL DRAWINGS. CONTRACTOR SHALL COORDINATE SIZE, TYPE, AND LOCATION OF ALL LINTELS REQUIRED WITH ARCHITECTURAL AND MECHANICAL DRAWINGS.

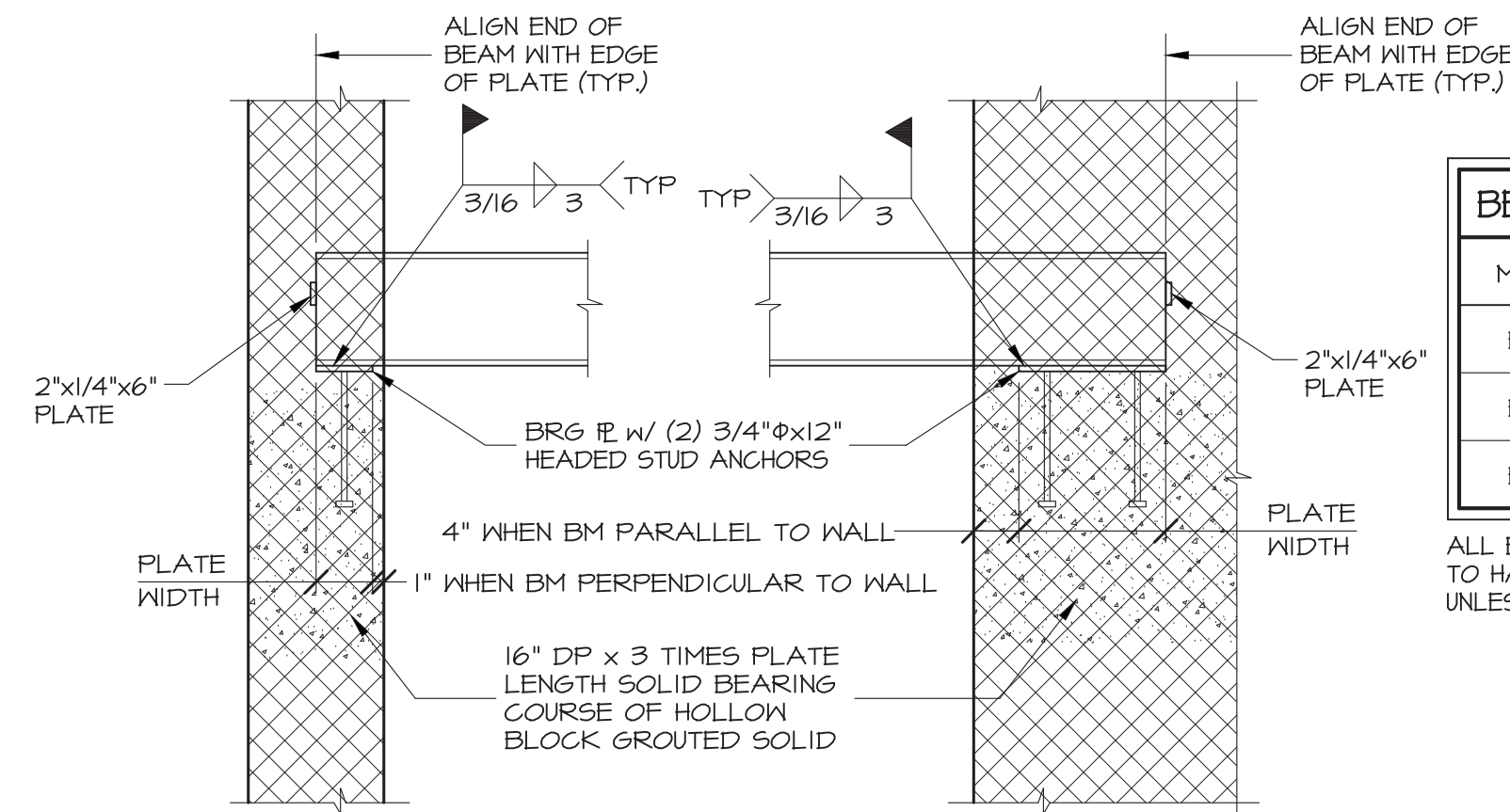
	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHT	DRAWING SCALE	APPROVED BY: <i>Mihai T. Petrisor</i> DIRECTOR	
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.		BID/PERMIT			03/01/25				PLAN SCALE: AS INDICATED	DATE: 03/26/2025	
	LICENSE NO. 17403 EXPIRATION DATE: 06-28-2025						R.O.W. NO.			PROFILE SCALE:	DATE:	
	ENGINEER		BUREAU OF ENGINEERING AND CONSTRUCTION		HIGHWAYS		STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	PROPERTY MANAGEMENT
	P/JOEL MILANO, P.E. PRINCIPAL ENGINEER M/NGIN PATEL MILANO, INC. 6511 HARTFORD ROAD BALTIMORE, MARYLAND 21214 (410) 254-7700		DGN BY: _____								APPROVED BY: _____ CHIEF	
			DWN BY: _____		REVIEWED BY: _____						DATE: _____	
		CHKD BY: _____		DATE REVIEWED: _____								

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT	
FULLERTON FIRE STATION #8 - RENOVATION & ADDITION	
STRUCTURAL GENERAL NOTES & SCHEDULES	
SUBDIVISION: FULLERTON	4401 FITCH AVENUE, NOTTINGHAM, MARYLAND 21236
ELECTION DIST. NO.: 8C5	

SHEET DESIGNATION	CONTRACT NUMBER
STRUCTURAL	25034 PF0 RE-BID
JOB ORDER NUMBER	
241-220-0054-0012	
SHEET 32 of 58	
DRAWING NUMBER	
S201	
FILE NO: 20-120	MPM #21137



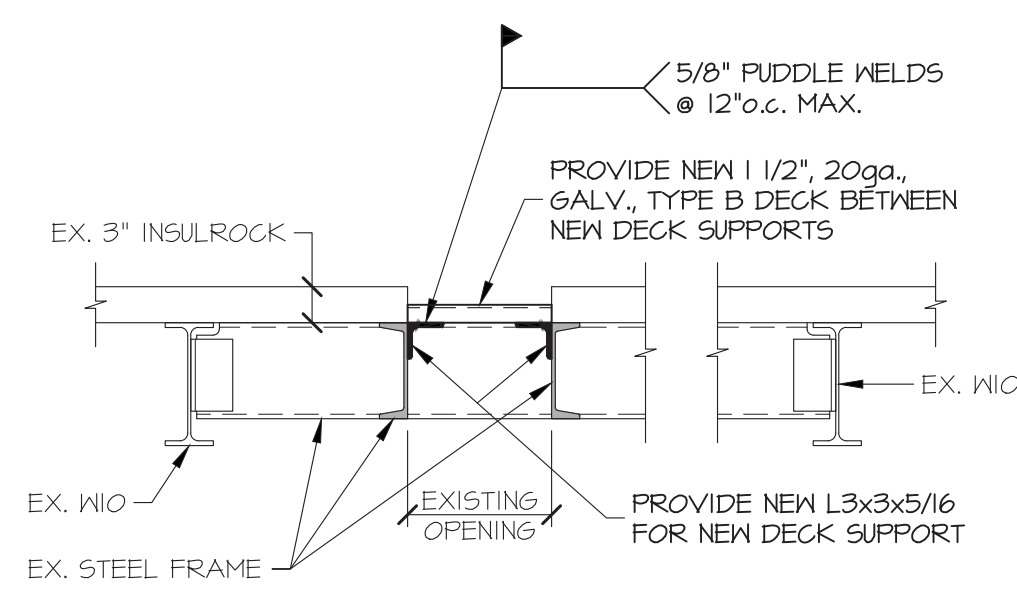
SECTION 8
3/4"=1'-0"



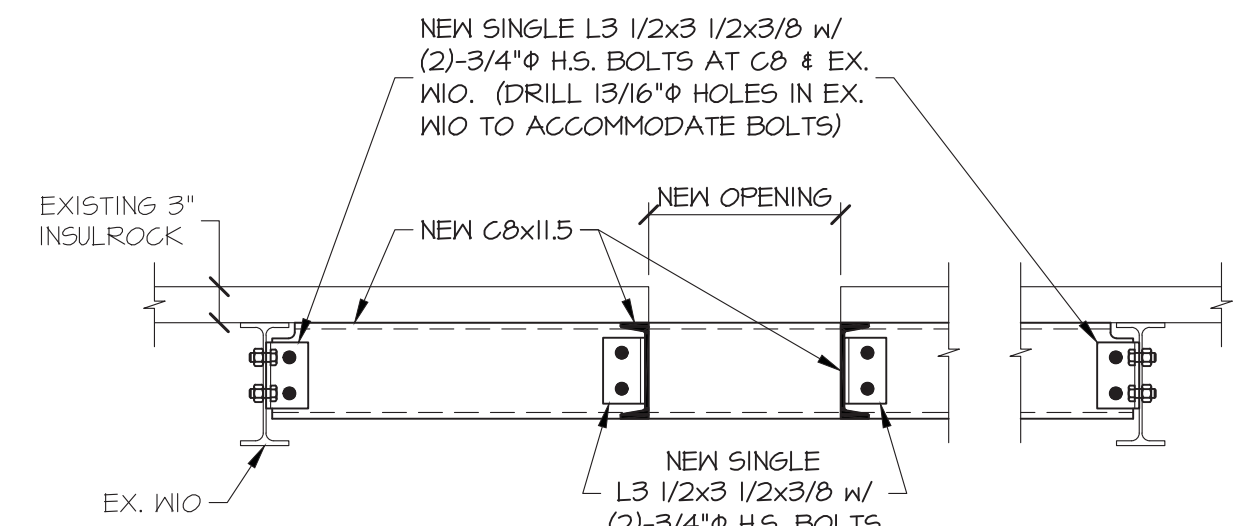
DETAIL A
TYPICAL BEAM BEARING ON MASONRY
N.T.S.

BEARING PLATE SCHEDULE	
MARK	SIZE
BP-1	5"x1/2"x10"
BP-2	6"x1/2"x6"
BP-3	1"x1/2"x10"

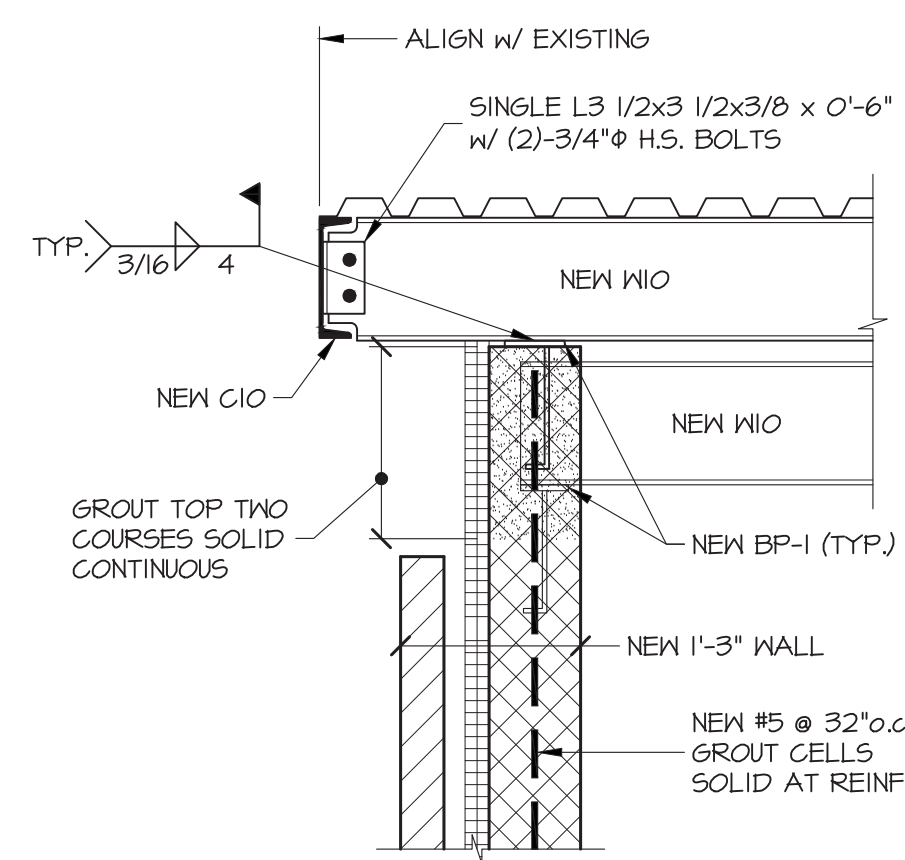
ALL BEAMS, INCLUDING LINTEL BEAMS, TO HAVE BEARING PLATE. USE BP-1, UNLESS OTHERWISE NOTED IN PLAN.



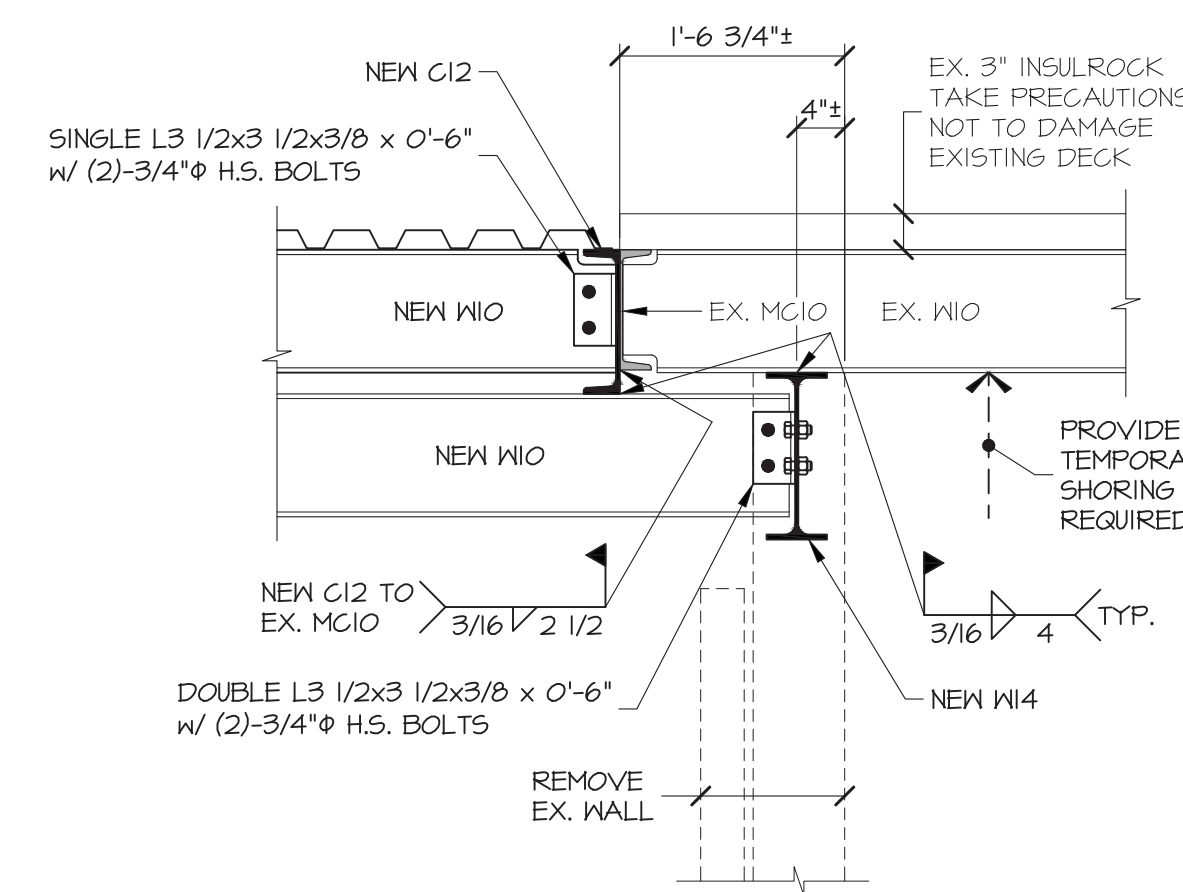
DETAIL B
TYPICAL INFILL AT EX. ROOF PENETRATIONS.
COORDINATE NUMBER REQUIRED, SIZE, AND LOCATION W/ ARCHITECTURAL DRAWINGS.



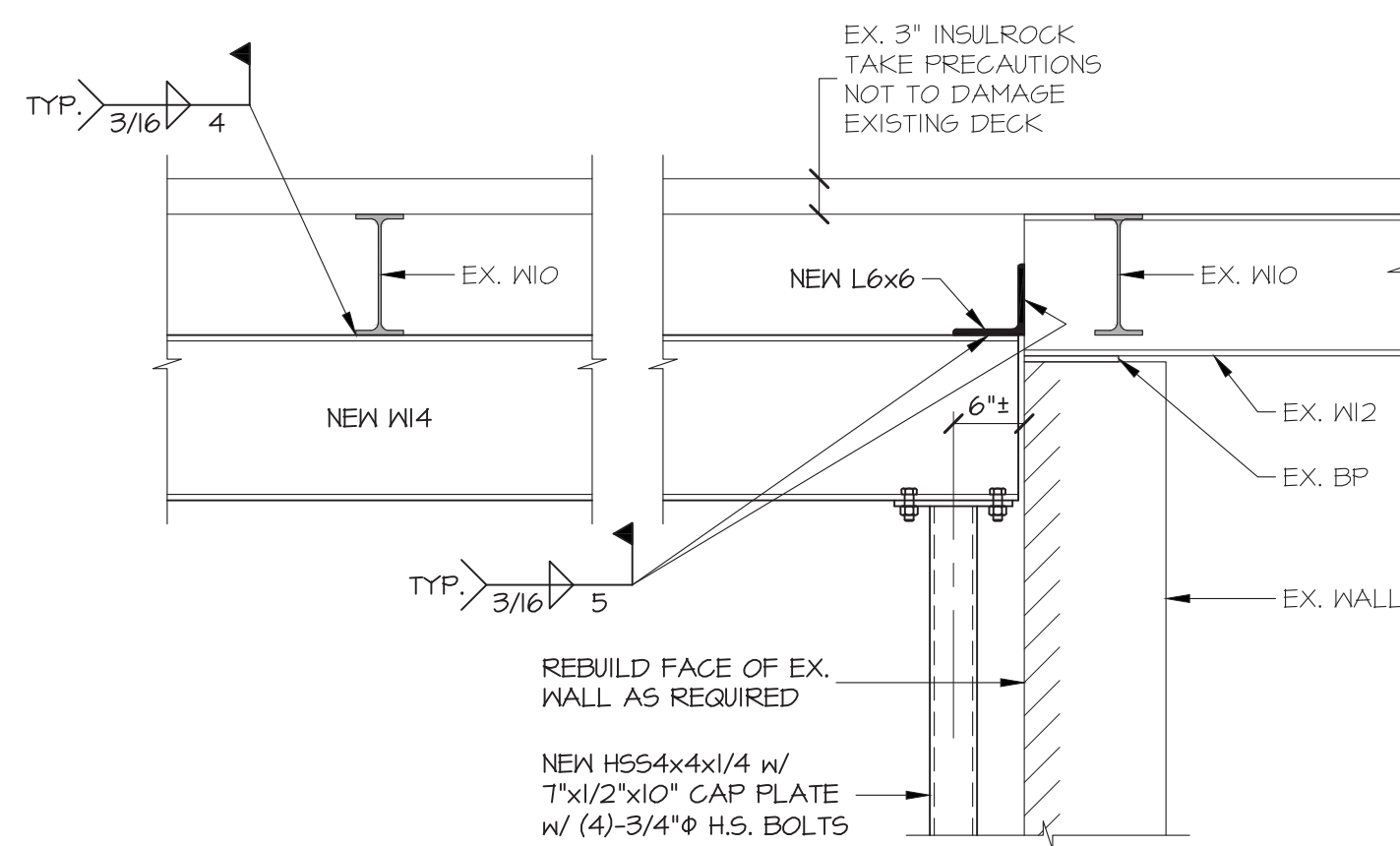
DETAIL C
TYPICAL FRAMING AT NEW ROOF PENETRATION.
COORDINATE NUMBER REQUIRED, SIZE, AND LOCATION W/ ARCHITECTURAL DRAWINGS.



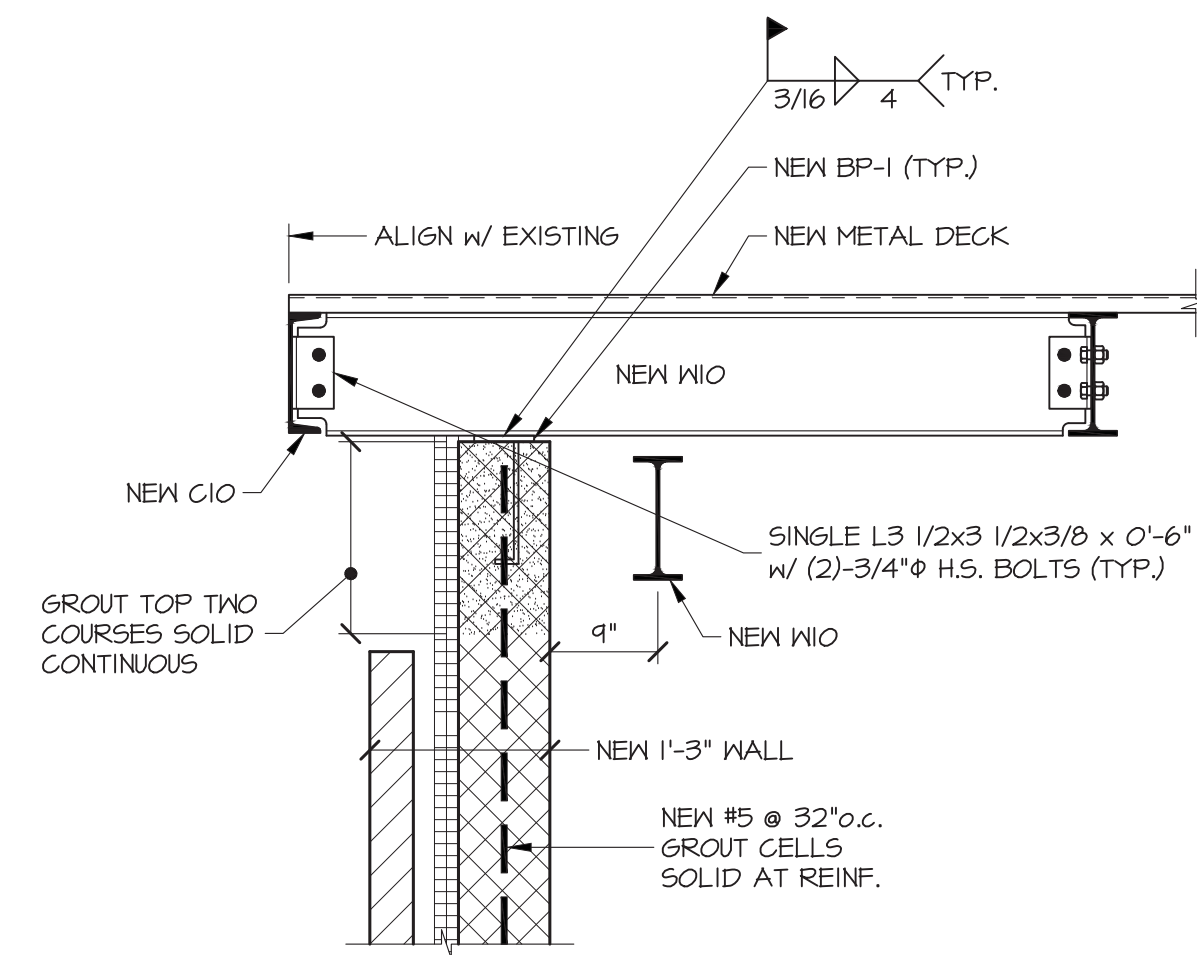
SECTION 4
3/4"=1'-0"



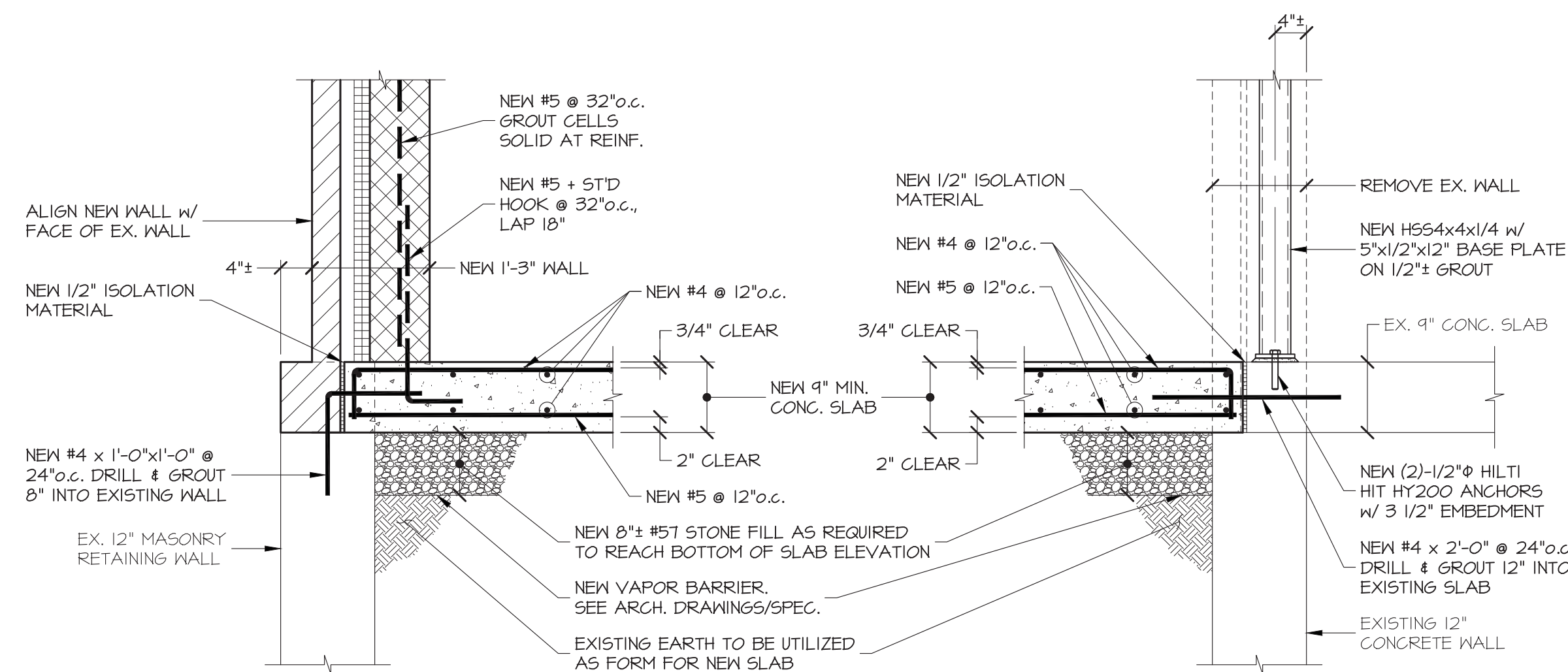
SECTION 5
3/4"=1'-0"



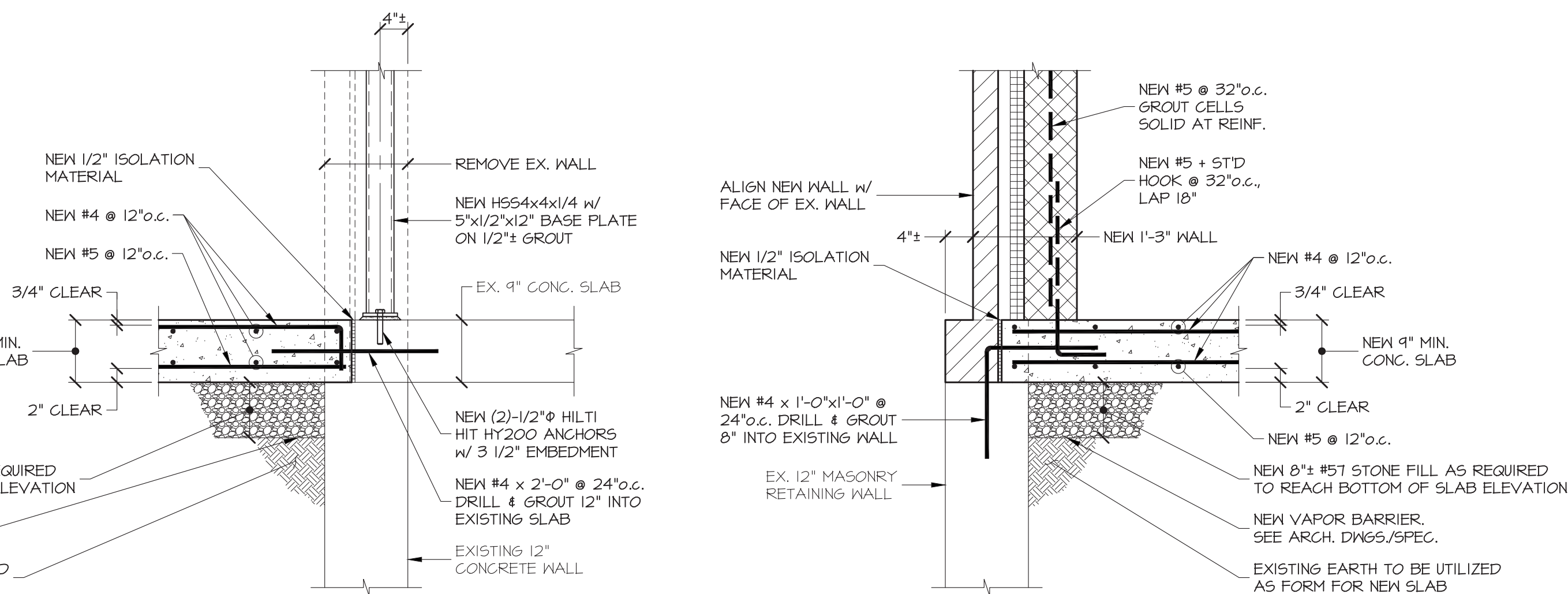
SECTION 6
3/4"=1'-0"



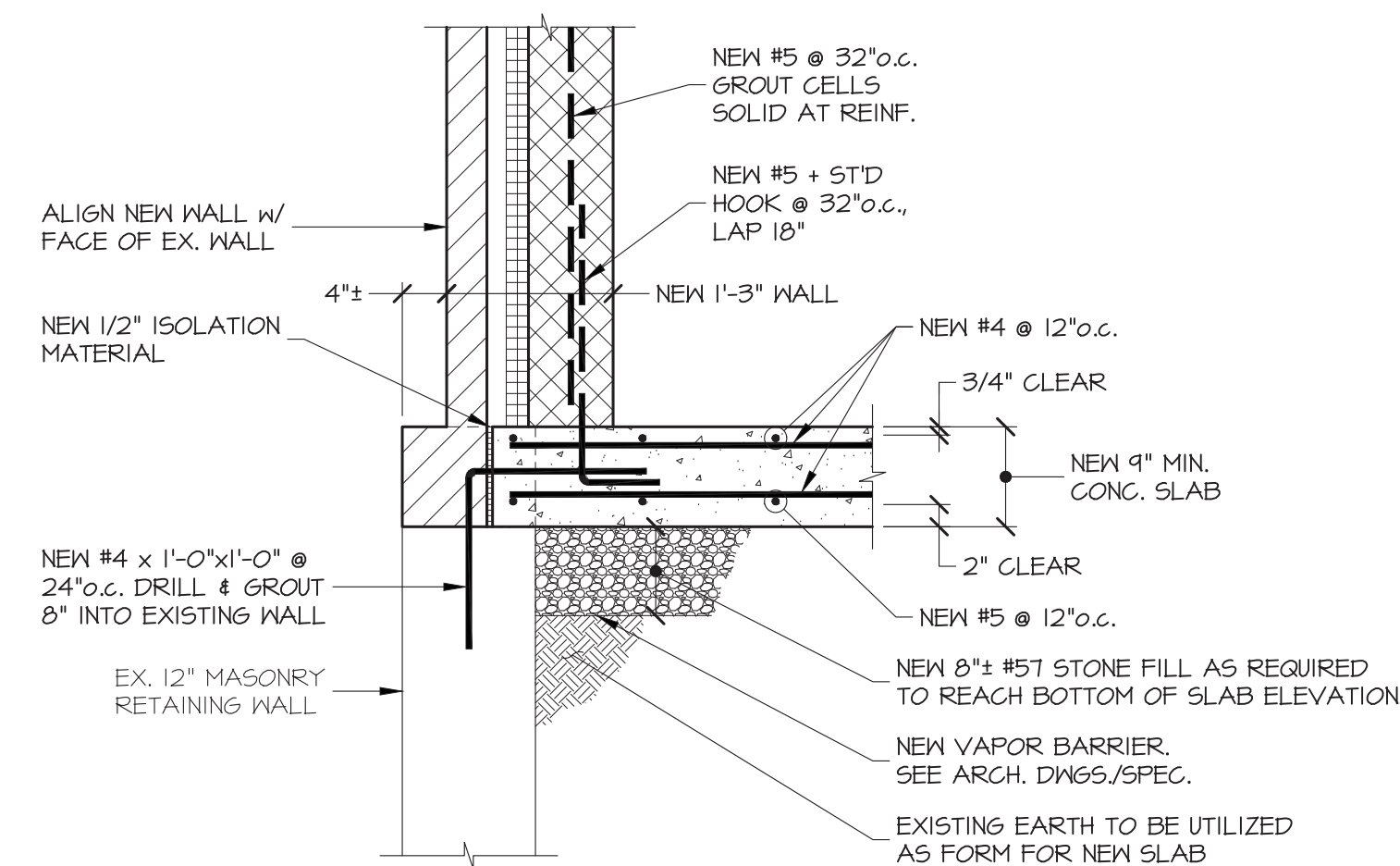
SECTION 7
3/4"=1'-0"



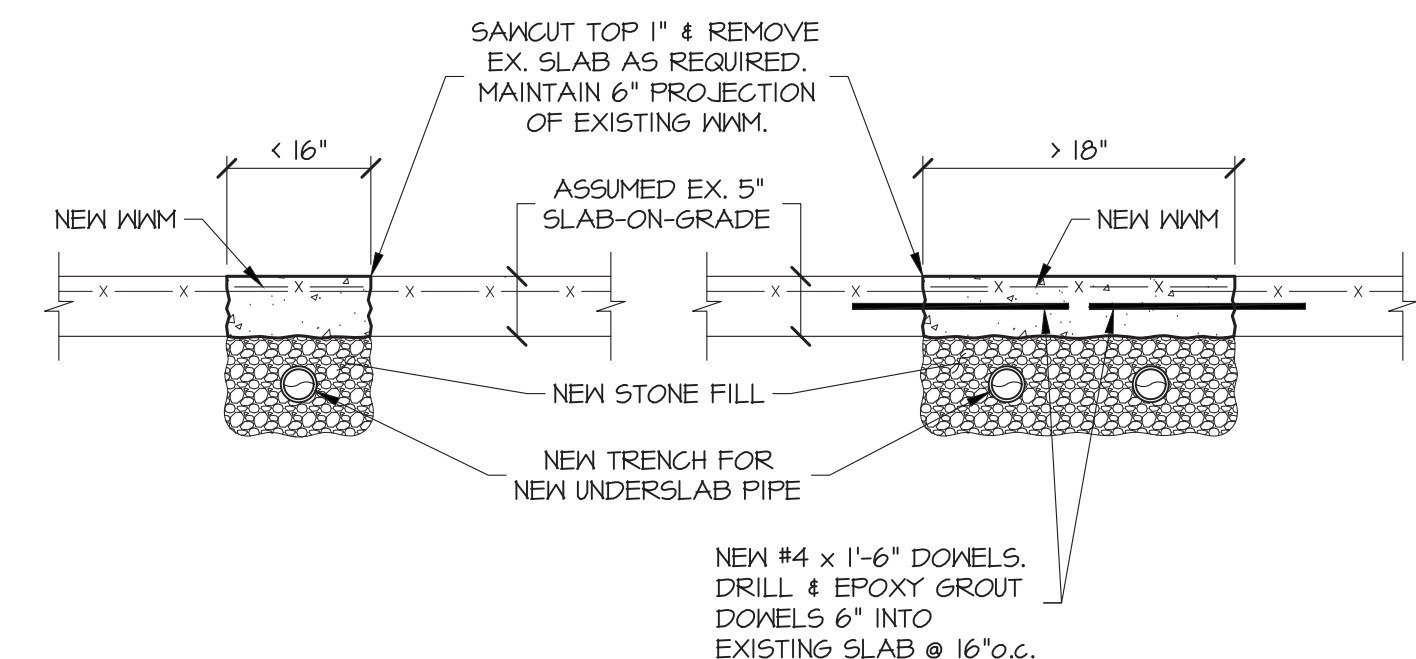
SECTION 1
3/4"=1'-0"



SECTION 2
3/4"=1'-0"



SECTION 3
3/4"=1'-0"

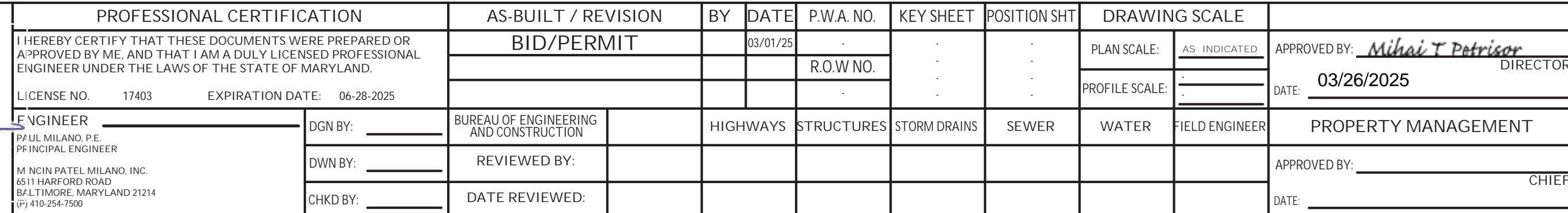



DETAIL D
TYPICAL SLAB PATCH AT NEW UNDERSLAB PIPING
COORDINATE LOCATION AND EXTENT W/ MEP

	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.		BID/PERMIT		03/01/25				PLAN SCALE: AS INDICATED
	LICENSE NO. 17403	EXPIRATION DATE: 06-28-2025							PROFILE SCALE: _____
	ENGINEER	DGN BY: _____	BUREAU OF ENGINEERING AND CONSTRUCTION		HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER
	PAUL MILANO, P.E. PRINCIPAL ENGINEER MILANO PATRICK MILANO, INC. 6511 HARTFORD ROAD BETHESDA, MARYLAND 20814 (301) 410-254-7500	DWN BY: _____	REVIEWED BY: _____						FIELD ENGINEER
	CHKD BY: _____	DATE REVIEWED: _____							APPROVED BY: _____ DATE: _____

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT	
FULLERTON FIRE STATION #8 - RENOVATION & ADDITION	
STRUCTURAL SECTIONS & DETAILS	
4401 FITCH AVENUE, NOTTINGHAM, MARYLAND 21236	ELECTION DIST. NO.: 8C5
SUBDIVISION: FULLERTON	

SHEET DESIGNATION	CONTRACT NUMBER
STRUCTURAL	25034 PF0 RE-BID
JOB ORDER NUMBER	
241-220-0054-0012	
SHEET 33 of 58	
DRAWING NUMBER	
S401	
FILE NO: 20-120	MPM #21137



SHEET DESIGNATION	CONTRACT NUMBER
STRUCTURAL	25034 PF0 RE-BID
	JOB ORDER NUMBER
	241-220-0054-0012
	SHEET 34 of 58
	DRAWING NUMBER
	S402
	FILE NO: 20-120

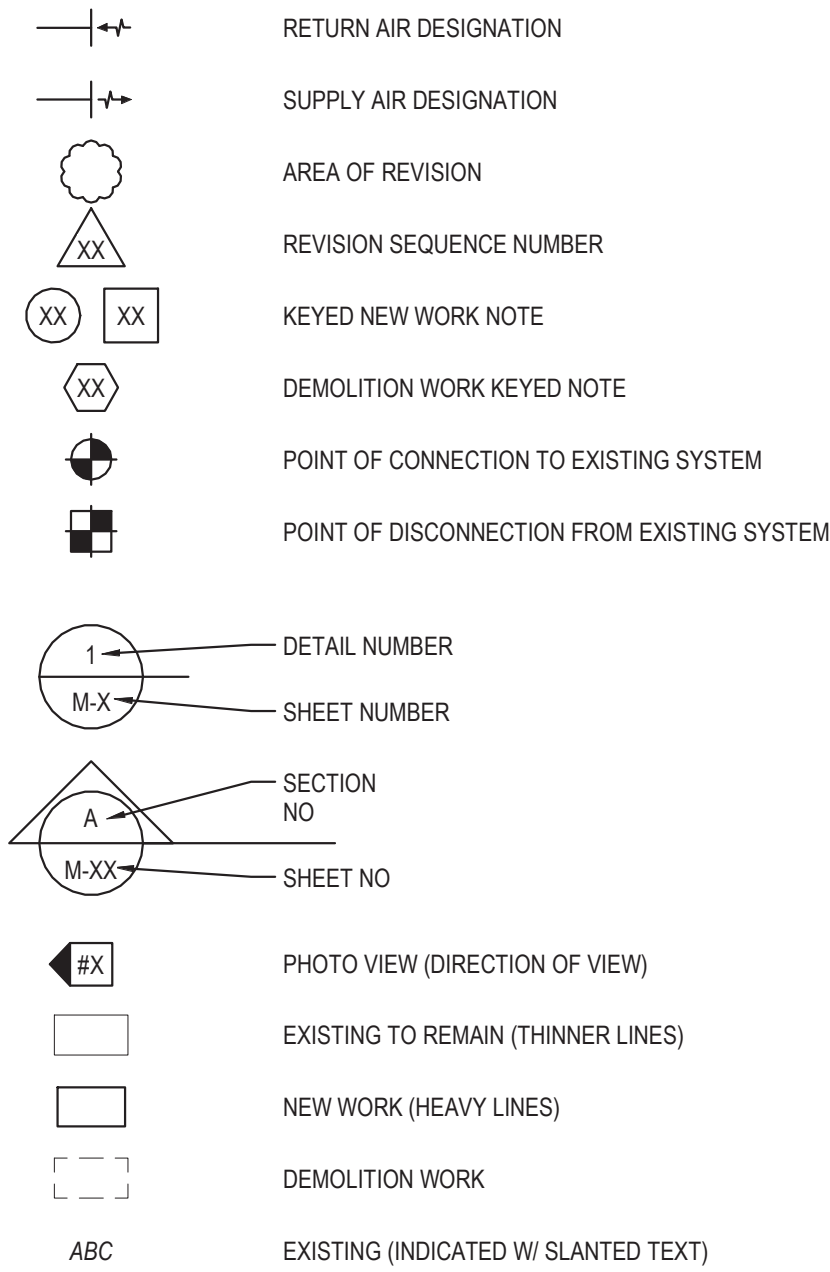
NOTE:
LEGENDS ARE GENERAL, NOT ALL SYMBOLS, ABBREVIATIONS, AND/OR DESIGNATIONS MAY APPEAR ON THE DRAWINGS.

HEATING, VENTILATION AND AIR CONDITIONING

ABBREVIATIONS

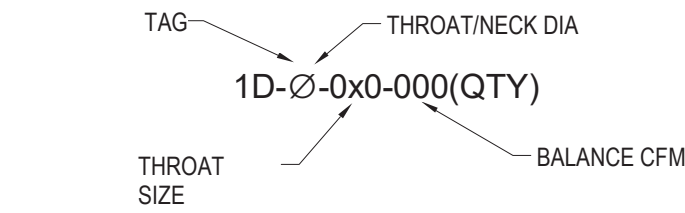
ABV	ABOVE	KW	KILOWATT
ACU	AIR CONDITIONING UNIT	KWH	KILOWATT HOURS
AF	ABOVE FINISHED FLOOR	LAT	LEAVING AIR TEMPERATURE
AFG	ABOVE FINISHED GRADE	LF	LINEAR FEET
AHU	AIR HANDLING UNIT	LBS OR #	POUNDS
AMP	AMPERES	LDB	LEAVING DRY BULB TEMPERATURE
APPROX	APPROXIMATE	LPC	LOW PRESSURE CONDENSATE
ARCH	ARCHITECTURAL	LPS	LOW PRESSURE STEAM
ASME	AMER. SOCIETY OF MECH ENG	LWB	LEAVING WET BULB TEMPERATURE
ATC	AUTOMATIC TEMP CONTROL	LWC	LOW WATER CUT-OFF
AUTO	AUTOMATIC	LWT	LEAVING WATER TEMPERATURE
BDD	BACK DRAFT DAMPER	MAX	MAXIMUM
BE	BOTTOM ELEVATION	MAU	MAKE-UP AIR UNIT
BEL	BELOW	MBH	THOUSAND BTU PER HOUR
BF	BELOW FLOOR	MC	MECHANICAL CONTRACTOR
BFG	BELOW FINISHED GRADE	MCA	MINIMUM CIRCUIT AMPACITY
BJ	BETWEEN JOISTS	MOD	MOTOR OPERATED DAMPER (ATC)
BLDG	BUILDING	MECH	MECHANICAL
BOD	BOTTOM OF DUCT	MER	MECH. EQUIPMENT ROOM
BOT	BOTTOM	MFR	MANUFACTURER
BTU	BRITISH THERMAL UNIT	MH	MANHOLE
CD	CONDENSATE DRAIN	MIN	MINIMUM
CFM	CUBIC FEET PER MINUTE	MPC	MEDIUM PRESSURE CONDENSATE
CLG	CEILING	MPS	MEDIUM PRESSURE STEAM
CO	CLOUTOUT	MTD	MOUNTED
COD	CENTER OF DUCT	MTO	MOUNTING
CONC	CONCRETE	MZ	MULTI ZONE
COND	CONDENSATE/CONDENSING	N/A	NOT APPLICABLE
CONN	CONNECT OR CONNECTION	N/E	NORMAL/EMERGENCY POWER
CONST	CONSTRUCT/CONSTRUCTION	N/C	NORMALLY CLOSED
CONT	CONTINUED/CONTINUATION	N/O	NORMALLY OPEN
C	CONVECTOR	NC	NOISE CRITERIA
COORD	COORDINATE	NIC	NOT IN CONTRACT
CR	STEAM CONDENSATE RETURN	NO	NUMBER
CRACU	COMPUTER ROOM ACU	NTS	NOT TO SCALE
CU	CONDENSING UNIT	OA	OUTSIDE AIR
CUH	CABINET UNIT HEATER	OA	OUTSIDE AIR INTAKE
CV	CHECK VALVE	OC	ON CENTER
CW	COLD WATER	OPNG	OPENING
CWS	CHILLED WATER SUPPLY	PLBG	PLUMBING
CWR	CHILLED WATER RETURN	PC	PUMPED CONDENSATE
CWSX	CHILLED WATER SUPPLY (EXISTING)	PD	PRESSURE DROP
CWRX	CHILLED WATER RETURN (EXISTING)	PH	PHASE
DB	DRY BULB	PR	PIPE RISER
DCWS	DOMESTIC COLD WATER SUPPLY	PRESS	PRESSURE
DEG	DEGREE	PRV	PRESSURE REDUCING VALVE
DEPT	DEPARTMENT	PSI	POUNDS PER SQUARE INCH
DHWS	DOMESTIC HOT WATER SUPPLY	PTR	PRESSURE TEMPERATURE RELIEF
DHWR	DOMESTIC HOT WATER RETURN	RA	RETURN AIR
DIA	DIAMETER	RAD	RADIATION or RADIATOR
DISC	DISCONNECT	RD OR Ø	ROUND
DN	DOWN	REG	REGISTER
DR	DRAIN	REL	RELIEF AIR
DIR	DUCT RISER	RF	RETURN FAN
DS	DUCT SILENCER	RG	RETURN GRILLE
DSU	DUCTLESS SPLIT SYSTEM UNIT	RLA	RATED LOAD AMPERES
DWG	DRAWING	RM	ROOM
EA	EXHAUST AIR	RTOP	ROOF TOP UNIT
EAT	ENTERING AIR TEMPERATURE	RPM	REVOLUTIONS/MINUTE
EC	ELECTRICAL CONTRACTOR	RV	RELIEF VALVE
EDB	ENTERING DRY BULB TEMPERATURE	RX	REMOVE EXISTING
EF	EXHAUST FAN	SA	SUPPLY AIR
EG	EXHAUST GRILLE	SAR	SUPPLY/RETURN
ELEC	ELECTRICAL	SBC	STUB & CAP
ELEV	ELEVATION	SAN	SANITARY
EMER	EMERGENCY	SG	SUPPLY GRILLE
ENCL	ENCLOSURE	SEG	SECURITY EXHAUST GRILLE
EQUIP	EQUIPMENT	SHT	SHEET
ERU	ENERGY RECOVERY UNIT	SP	STATIC PRESSURE
ESP	EXTERNAL STATIC PRESSURE	SPEC	SPECIFICATIONS
ETR	EXISTING TO REMAIN	SQ	SQUARE
EWB	ENTERING WET BULB TEMPERATURE	SS	SANITARY SEWER
EWT	ENTERING WATER TEMPERATURE	SSx	SANITARY SEWER EXISTING
EXH	EXHAUST OR EXHAUSTER	STD	STANDARD
EXIST	EXISTING	STL	STEEL
EXP	EXPOSED	STOR	STORAGE
F	FAHRENHEIT	SUSP	SUSPEND OR SUSPENDED
FD	FLOOR DRAIN	SW	SWITCH
FLA	FULL LOAD AMPERES	TB	THROUGH BEAM
FL	FLOOR	TEMP	TEMPERATURE
FLEX	FLEXIBLE	TDH	TOTAL DYNAMIC HEAD
FPM	FEET PER MINUTE	TD	TRANSFER DUCT
FT	FOOT OR FEET	TE	TOP ELEVATION
FT HD	FEET OF HEAD	THRU	THROUGH
FUT	FUTURE	TJ	THROUGH JOISTS
GA	GAUGE OR GAGE	TWVW	THERMOSTATIC WATER MIXING VALVE
GAL	GALLON	TWS	TEMPERED WATER SUPPLY
GALV	GALVANIZED	TSP	TOTAL STATIC PRESSURE
GEN	GENERATOR	TSTAT	THERMOSTAT
GENR	GENERAL	TYP	TYPICAL
GC	GENERAL CONTRACTOR	UE	UNDER ELECTRICAL
GPH	GALLONS PER HOUR	UG	UNDER GENERAL
GPM	GALLONS PER MINUTE	UH	UNIT HEATER, UNDER HVAC
GR	GRILLE	UP	UNDER PLUMBING
GRD	GROUND OR GRADE	UNO	UNLESS NOTED OTHERWISE
H OR HGT	HEIGHT	UV	UNIT VENTILATOR
HC	HEATING (HVAC) CONTRACTOR	V	VENT PIPING
HDAG	HEAVY DUTY ARCHITECTURAL GRILLE	Vx	VENT PIPING EXISTING
HGB	HOT GAS BYPASS	VAV	VARIABLE AIR VOLUME
HORZ	HORIZONTAL	VD	VOLUME DAMPER (MANUAL)
HP	HORSE POWER	VFD	VARIABLE FREQUENCY DRIVE
HPC	HIGH PRESSURE CONDENSATE	VI	VIBRATION ISOLATOR
HPS	HIGH PRESSURE STEAM	VIR	VENT RISER
HSTAT	HUMIDISTAT	VTR	VENT THROUGH ROOF
HST	HOUR	W	WATT
HTG	HEATING	W/	WITH
HWR	HOT WATER RETURN	W/O	WITHOUT
HWS	HOT WATER SUPPLY	WB	WET BULB
HX	HEAT EXCHANGER	WG	WATER GAUGE
HZ	FREQUENCY	WL	WEATHER LOUVER
ID	INSIDE DIAMETER	WP	WEATHERPROOF
IN OR *	INCH	WPD	WATER PRESS DROP
INT	INTERIOR	WT	WEIGHT
INV	INVERT	WTD	WATER TEMPERATURE DROP
ISP	INTERNAL STATIC PRESSURE	WTR	WATER TEMPERATURE RISE
IWG	INCH WATER GAUGE	XFMR	TRANSFORMER
IWH	INSTANTANEOUS WATER HEATER		

ANNOTATIONS

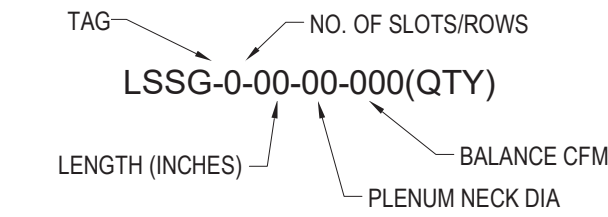


DIFFUSERS, REGISTERS & GRILLES KEYS

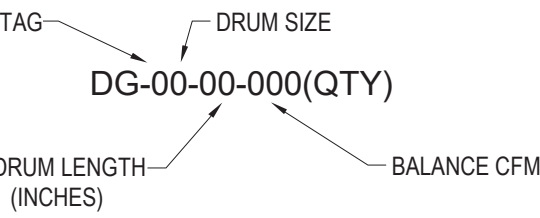
GRILLE, REGISTER & DIFFUSER KEY



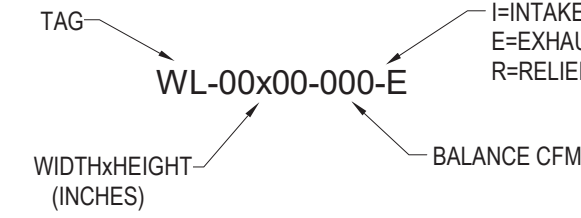
LINEAR/SLOT DIFFUSER KEY



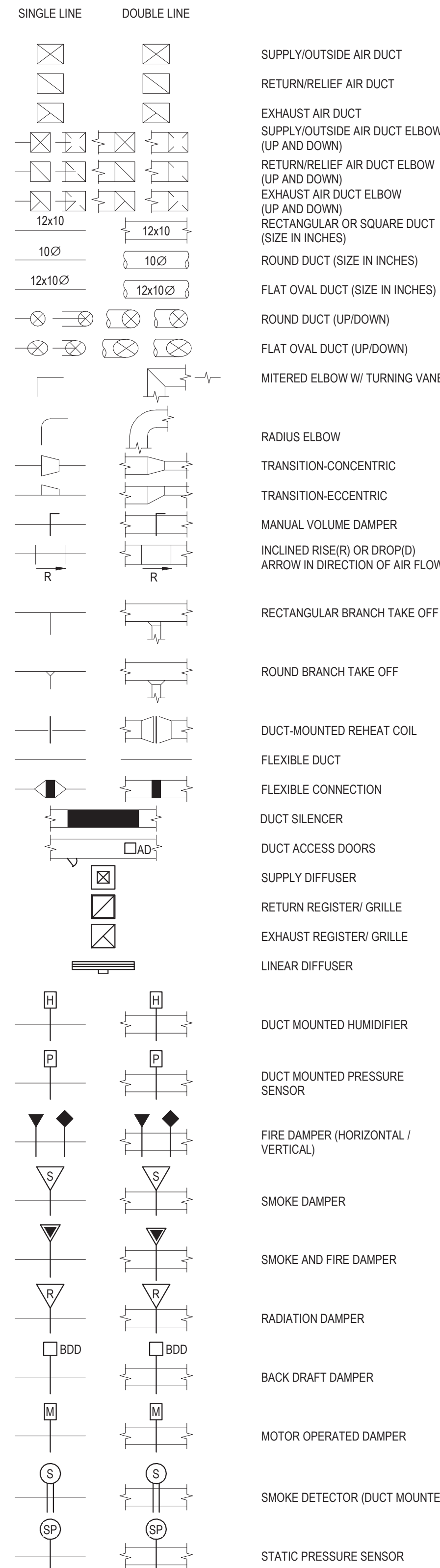
DRUM DIFFUSER KEY



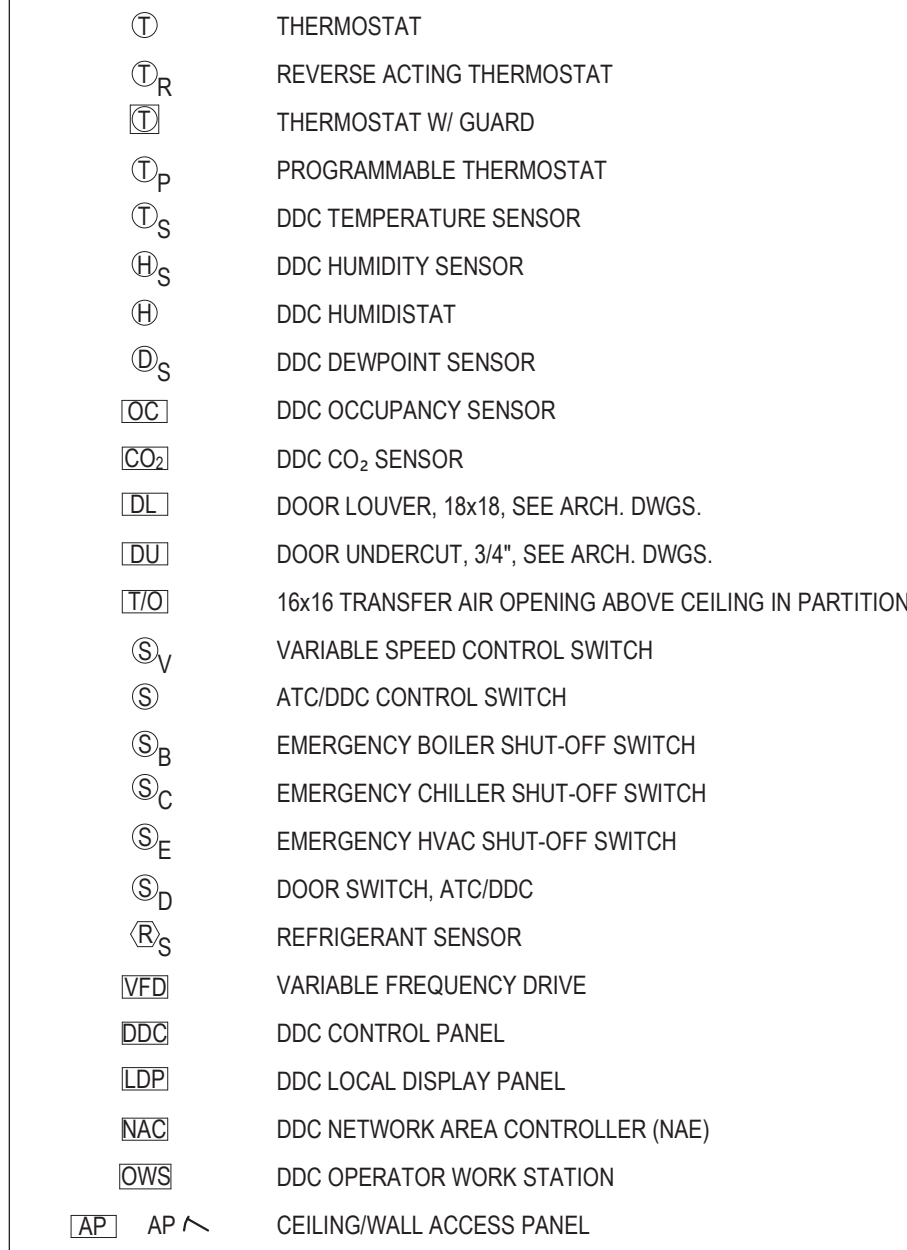
LOUVER/BRICK VENT KEY



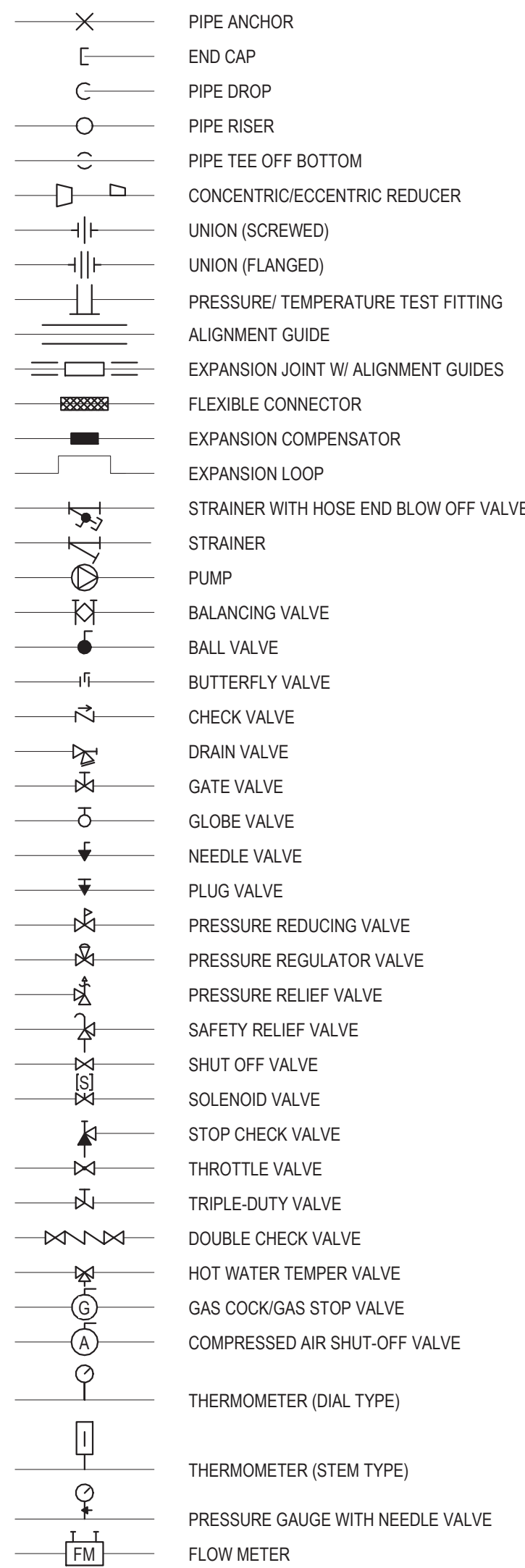
AIR DEVICES AND COMPONENTS



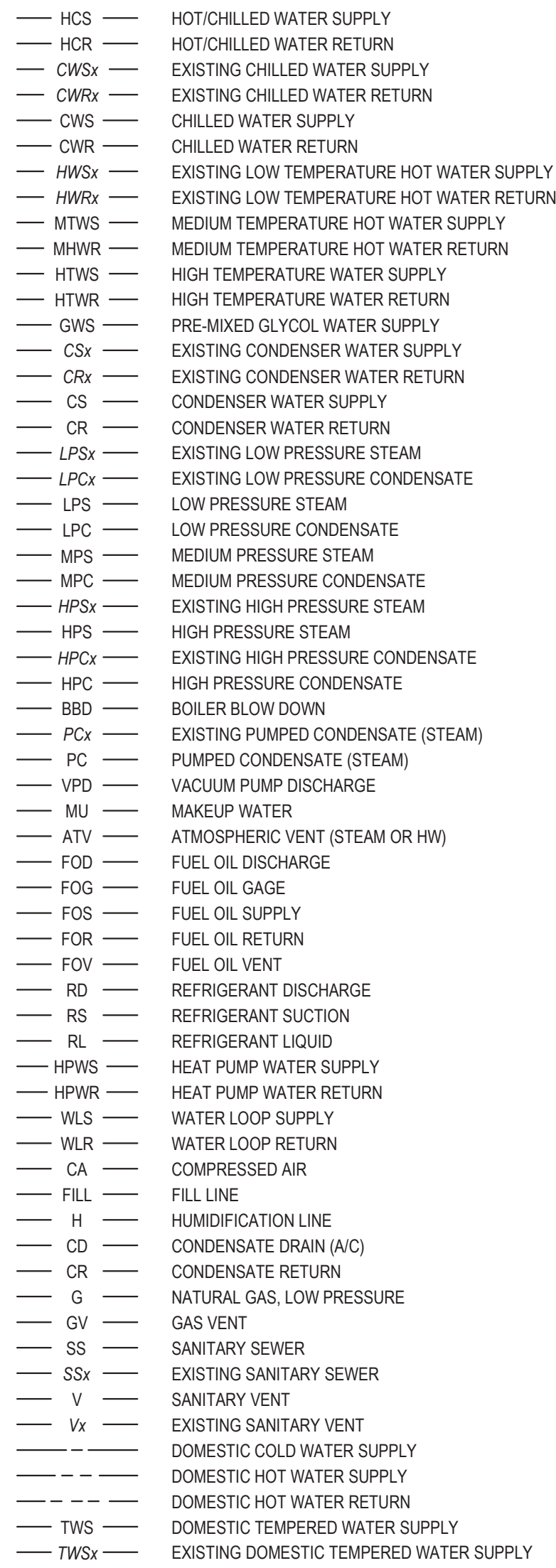
SYMBOLS



PIPING SPECIALTIES



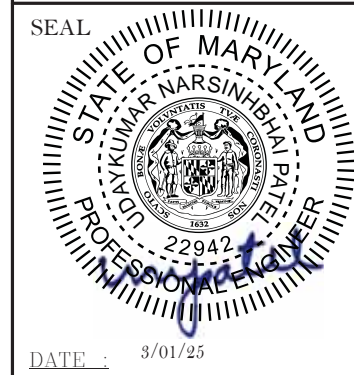
PIPING DESIGNATIONS



NOTE:
ABOVE LEGEND IS STANDARD. ALL SYMBOLS DO NOT NECESSARILY APPEAR ON THE DRAWINGS.

HVAC GENERAL NOTES

- GENERAL NOTES ON THIS DRAWING ARE APPLICABLE TO EACH MECHANICAL DRAWING OF THIS SET. SEE EACH DRAWING FOR SPECIFIC NOTES APPLICABLE TO THAT DRAWING.
- ALL DIMENSIONS, AND PIPE SIZES ARE IN INCHES UNLESS NOTED. OTHERWISE, VALVES AND SPECIALTIES SHALL BE LINE SIZE, EXCEPT FOR CONTROL & BALANCING VALVES OR UNLESS NOTED OTHERWISE. NO PIPING SHALL BE SMALLER THAN 3/4" UNLESS OTHERWISE NOTED. FOR PIPE SIZES NOT INDICATED ON PLANS SEE EQUIPMENT CONNECTION DETAILS, FLOW DIAGRAMS, RISER DIAGRAMS AND SCHEDULES.
- COORDINATE WALL, ROOF, FLOOR, AND CEILING OPENINGS FOR NEW PIPE AND DUCT RISERS, AND CONDUIT PENETRATIONS. PROVIDE SLEEVES AROUND EXISTING PIPES AND DUCTS THRU NEW WALL/PARTITIONS.
- EXISTING EQUIPMENT, APPLIANCES, ETC., STRUCTURAL JOISTS, BEAMS, ETC., AND LIGHTING FIXTURES, ELECTRICAL EQUIPMENT, ETC. WHERE SHOWN ARE FOR REFERENCE ONLY. VERIFY IN FIELD. REFER TO RESPECTIVE DRAWINGS AND EXISTING RECORD DRAWINGS WHERE AVAILABLE.
- ALL EQUIPMENT, PIPING, AND DUCTWORK SHALL BE SUPPORTED FROM JOIST TOP CHORD, UNLESS OTHERWISE NOTED. DO NOT SUPPORT ANYTHING FROM ROOF DECK.
- ALL PIPING IN AREAS WITH CEILING SHALL BE RUN CONCEALED ABOVE ACUSTICAL OR PLASTER CEILINGS UNLESS OTHERWISE NOTED. OVERHEAD PIPING IN SPACES WITHOUT HUNG CEILINGS SHALL BE RUN AS CLOSE TO FLOOR/ROOF DECK AS PRACTICABLE, AS CLOSE TO PARALLEL JOISTS AS POSSIBLE AND ABOVE LIGHTING FIXTURES TO CONCEAL PIPING.
- ALL OPENINGS IN PIPES OR FITTINGS SHALL BE KEPT PLUGGED OR CAPPED UNTIL CONNECTED.
- INSTALL SUFFICIENT NUMBER OF UNIONS/FLANGES IN ALL PIPE LINES TO ALLOW REMOVAL OF PIPES WITHOUT BREAKING FITTINGS. PROVIDE UNION OR FLANGED CONNECTIONS AT EACH PIECE OF EQUIPMENT AND ON BOTH SIDES ON CONTROL VALVES AND PRESSURE REGULATING VALVES. PROVIDE SHUT-OFF VALVES ON BOTH SIDES OF AUTOMATIC VALVES.
- RUNOUTS TO EQUIPMENT SHALL BE RUN IN SIZES INDICATED AND INCREASED OR REDUCED AT POINT OF FINAL CONNECTION TO EQUIPMENT. COORDINATE LOCATION AND INSTALLATION OF EQUIPMENT WITH OTHER TRADES. RUNOUTS SHALL PITCH DOWN IN DIRECTION OF FLOW A MINIMUM OF 1/8" PER FOOT.
- CONTRACTOR SHALL VERIFY ANY REFRIGERANT PIPE SIZES WITH EQUIPMENT MANUFACTURER FOR THE INDICATED INSTALLATION.
- THE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE APPROXIMATE ARRANGEMENT OF THE EXISTING SYSTEM. THE CONTRACTOR SHALL FIELD VERIFY ALL INFORMATION, DIMENSIONS, LOCATIONS, ETC. AS NECESSARY AND COORDINATE WORK ACCORDINGLY. NOT ALL INFORMATION IS SHOWN. DRAWINGS DO NOT SHOW ALL OFFSETS, BENDS, ELBOWS, OR OTHER SPECIFIC ELEMENTS THAT MAY BE REQUIRED FOR THE PROPER INSTALLATION OF WORK.
- INFORMATION WHERE SHOWN ON THE DRAWINGS WAS OBTAINED FROM EXISTING DRAWINGS AND FIELD OBSERVATION. THE CONTRACTOR SHALL VERIFY CORRECTNESS AND COMPLETENESS OF SUCH INFORMATION TO HIS/HER OWN SATISFACTION.
- REMOVE ALL MECHANICAL SYSTEMS IN THEIR ENTIRETY. CUT, PATCH, AND FINISH WHERE DEMOLITION WORK OCCURS.
- COORDINATE DEMOLITION WORK WITH THE OWNER SCHEDULE. EXISTING HVAC SYSTEM & OTHER SYSTEMS IN OTHER PHASES/AREAS ARE REQUIRED TO BE IN OPERATION DURING THE PROJECT CONSTRUCTION.
- REFER TO ALL CONTRACT DOCUMENTS FOR ADDITIONAL REQUIREMENTS AND COORDINATE WORK ACCORDINGLY.
- ALL FLOOR MOUNTED EQUIPMENT, AND APPURTENANCES SHALL HAVE MINIMUM 6" THICK CONCRETE HOUSEKEEPING PAD AND 6" LARGER THAN FOOT PRINT DIMENSIONS WHETHER SHOWN OR NOT. LOCATE AND SIZE CONCRETE PADS FOR MECHANICAL EQUIPMENT IN ACCORDANCE WITH ACTUAL EQUIPMENT PURCHASED.
- INCLUDE ALL INCIDENTAL WORK REQUIRED FOR THE WORK INCLUDING TEMPORARY DISCONNECTION, RELOCATION, AND REINSTALLATION OF THE EXISTING OBSTRUCTIONS SUCH AS PIPING, CONDUITS, DUCTWORK, DOORS, BEAMS, JOISTS, SPRINKLERS, ETC. WHETHER SHOWN OR NOT. COORDINATE TEMPORARY SHUTDOWNS WITH OWNER'S REPRESENTATIVE AS SPECIFIED.
- DO NOT INSTALL PIPING, DUCTWORK OR EQUIPMENT OVER ELECTRICAL EQUIPMENT. PROVIDE REQUIRED CLEARANCES FOR ALL ELECTRICAL EQUIPMENT PER NEC. COORDINATE LOCATIONS OF DUCTWORK, PIPING, AND EQUIPMENT ABOVE CEILINGS WITH CABLE TRAYS.
- PIPING SHALL BE SUPPORTED IN ACCORDANCE WITH THE SPECIFICATIONS. ADDITIONAL SUPPORTS OR HANGERS SHALL BE ADJACENT TO ELBOWS, TO PREVENT WEIGHT OF PIPING BEING PLACED ON THE EQUIPMENT.
- PENETRATIONS IN FIRE RESISTANT RATED ASSEMBLIES SHALL BE IN COMPLIANCE WITH NFPA STANDARDS AND UL LISTED AS A THROUGH-PENETRATION. FIRE STOP ANNUAL SPACE BETWEEN PIPING AND SLEEVE WITH UL LISTED FIRE RATED MATERIAL. WITH A RATING EQUAL TO THE ASSEMBLY BEING PENETRATED. PENETRATIONS AND FIRE STOPPING SHALL BE APPROVED BY THE AHJ AND IN COMPLIANCE WITH THE LATEST EDITION OF THE UL DIRECTORY OF FIRE RESISTANCE.
- MAINTAIN THE INTEGRITY OF ALL FIRE AND SMOKE RATED ASSEMBLIES WITHIN THE BUILDING AFFECTED BY WORK UNDER THIS CONTRACT. PATCH AND/OR REPAIR ALL FIRE AND SMOKE RATED ASSEMBLIES AS REQUIRED TO MAINTAIN EXISTING OR NEW RATING.
- PROVIDE PRE-CONSTRUCTION TEST AND BALANCE OF EXISTING HVAC SYSTEMS AFFECTED BY PROJECT WORK TO IDENTIFY SYSTEM DEFICIENCIES, AND ESTABLISH EXISTING CONDITIONS. SUBMIT REPORT WITHIN 7 DAYS TO OWNER AND ARCHITECT/ENGINEER FOR ANY FIELD ADJUSTMENTS AND DIRECTIONS PRIOR TO PROCEED WITH NEW CONSTRUCTION.
- WORK OUTSIDE THE PROJECT WORK AREA.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE BUILDING MANAGER AND THE OWNER FOR NOISY WORK, WORK IMPACTING AREAS OUTSIDE OF WORK AREA, AND WORK OUTSIDE OF PROJECT AREA. SUCH WORK SHALL BE PERFORMED ON THE WEEKENDS (WHEN TENANTS' OFFICES ARE UNOCCUPIED OR AFTER THE OFFICE WORKING HOURS. THIS WORK SHALL BE SCHEDULED WITH BUILDING MANAGER BY PROVIDING FOURTEEN DAYS ADVANCE NOTICE AND ONE DAY REMINDER NOTICE. ALL SUCH COSTS OF WORKING OVERTIME ON THE WEEKENDS OR IN THE NIGHTS SHALL BE INCLUDED IN THE BASE BID.
 - WHEN WORKING IN OTHER AREAS, AFTER EACH DAY OF WORK, REMOVE ALL THE DEBRIS AND MATERIAL FROM THE AREAS. CEILINGS SHALL BE CLOSED AND FLOOR SHALL BE FULLY CLEANED TO THE SATISFACTION OF THE BUILDING MANAGER. CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE ANY AND ALL DAMAGED ITEMS WHEN WORKING IN OTHER AREAS. NEW CEILING TILES SHALL MATCH WITH THE EXISTING CEILING TILES. COORDINATE WITH BUILDING MANAGER AND ARCHITECT.

	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHT	DRAWING SCALE		APPROVED BY: <i>Mihai T. Petrisor</i>	
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.		BID/PERMIT			3/30/25	-	MSW	ENGINEER	PLAN SCALE: NONE	DATE: 03/26/2025		DIRECTOR
	LICENSE NO. 22942 EXPIRATION DATE: 12-31-2026									PROFILE SCALE: 1"=10'			
	ENGINEER: UDAY PATEL, PE, LEED BD+C PRINCIPAL MECHANICAL ENGINEER		BUREAU OF ENGINEERING AND CONSTRUCTION		HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	PROPERTY MANAGEMENT		
	CC JOHNSON & ASSOCIATES, P.C. 440 EAST PRUITT STREET, SUITE 100 BALTIMORE, MARYLAND 21202 (P) 410-549-0500		REVIEWED BY:								APPROVED BY:		CHIEF
CHKD BY: CCM		DATE REVIEWED:								DATE:			

SUBDIVISION: FULLERTON

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT

FULLERTON FIRE STATION #8 - RENOVATION & ADDITION

LEGEND, ABBREVIATIONS AND NOTES

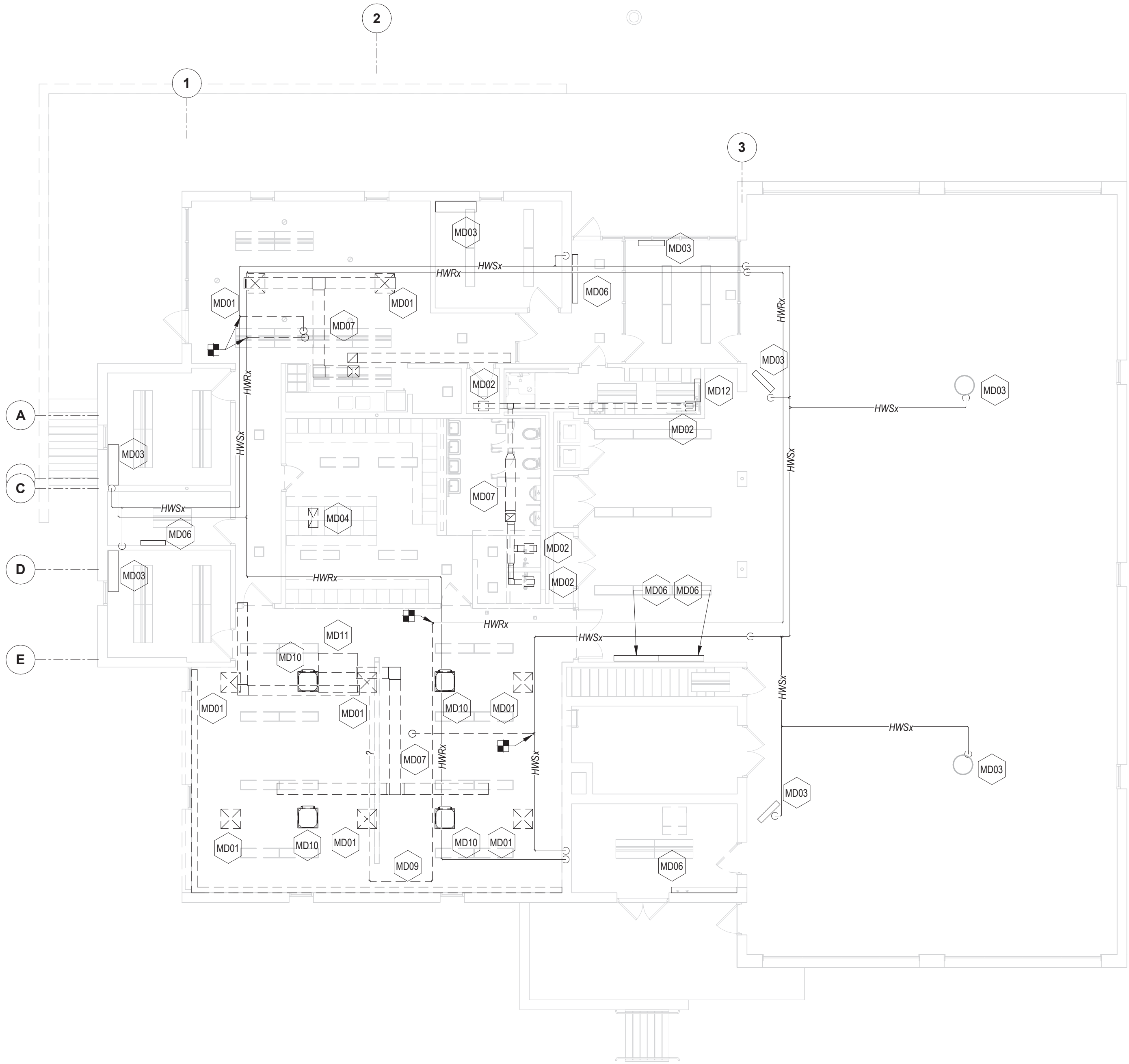
4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236

ELECTION DIST. NO.: 14C5

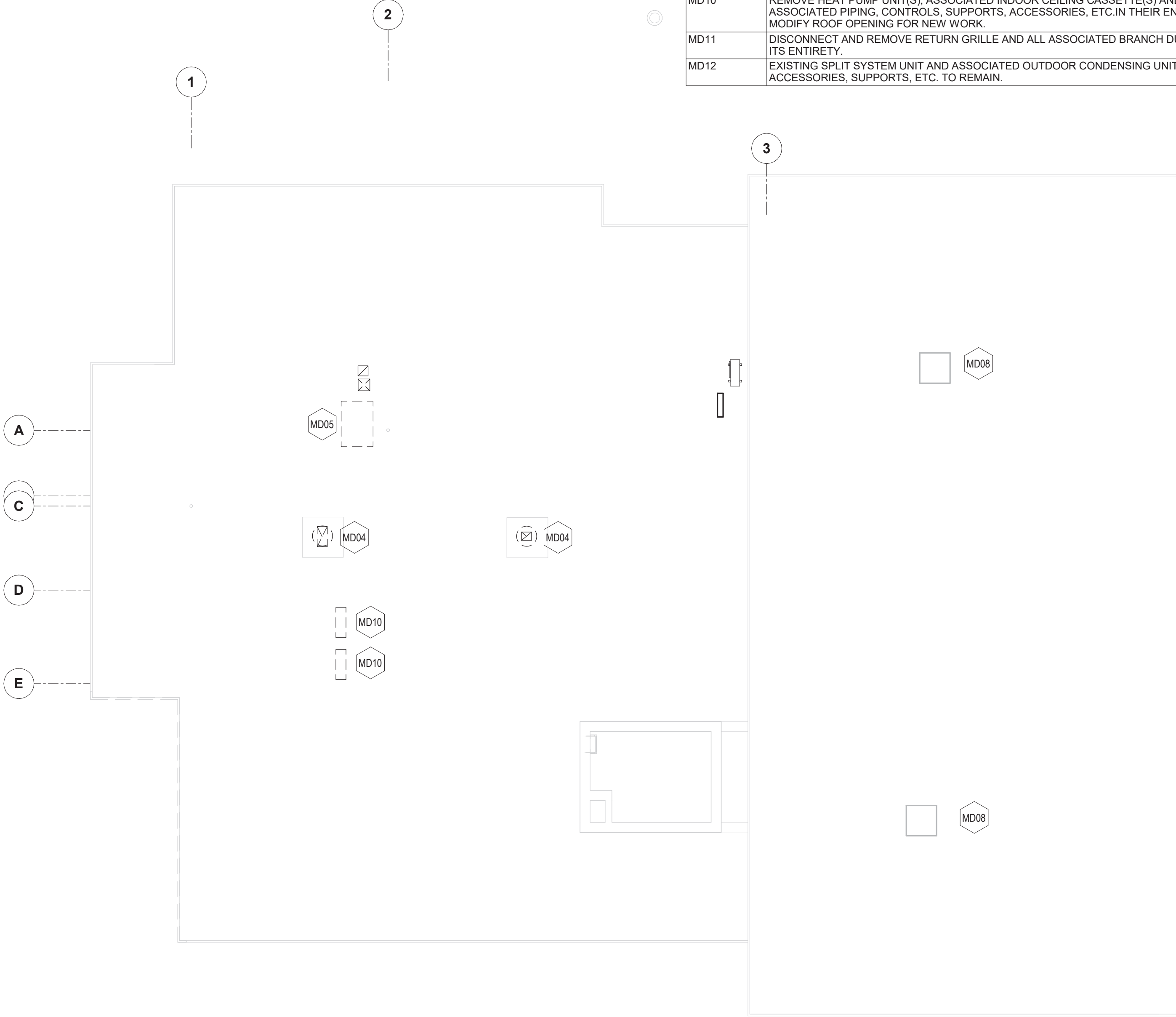
SHEET DESIGNATION	CONTRACT NUMBER
M001	25034 PFO RE-BID
JOB ORDER NUMBER	
241-220-0054-0012	
SHEET	35 of 58
DRAWING NUMBER	
2022-2351	
FILE NO.: 20-120	REV. 10/14

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MECHANICAL DEMOLITION KEYNOTES	
MD01	DISCONNECT AND REMOVE CEILING SUPPLY DIFFUSER AND ALL ASSOCIATED BRANCH DUCTWORK IN ITS ENTIRETY.
MD02	DISCONNECT AND REMOVE EXHAUST GRILLE AND ALL ASSOCIATED BRANCH DUCTWORK IN ITS ENTIRETY.
MD03	EXISTING UNIT HEATER(S) AND ASSOCIATED PIPING AND CONTROLS SHALL REMAIN UNLESS OTHERWISE INDICATED. EXTEND AND RECONNECT PIPING TO MAINTAIN THE CIRCULATION LOOP WHERE REQUIRED. REBALANCE AFFECTED HVAC WATER DISTRIBUTION SYSTEM.
MD04	DISCONNECT AND REMOVE EXHAUST FAN ON ROOF AND ALL ASSOCIATED DUCTWORK, GRILLES, CONTROLS, ACCESSORIES, ETC. IN THEIR ENTIRETY. PREPARE ROOF OPENING AND ROOF CURB FOR NEW WORK.
MD05	DISCONNECT AND REMOVE ROOF TOP UNIT AND ALL ASSOCIATED DUCTWORK, PIPING, GRILLES, CONTROLS, ACCESSORIES, ETC. IN THEIR ENTIRETY. PREPARE ROOF OPENING AND ROOF CURB FOR NEW WORK.
MD06	EXISTING CONVECTOR UNIT(S) AND ASSOCIATED PIPING AND CONTROLS SHALL REMAIN UNLESS OTHERWISE INDICATED. EXTEND AND RECONNECT PIPING TO MAINTAIN THE CIRCULATION LOOP WHERE REQUIRED. REBALANCE AFFECTED HVAC WATER DISTRIBUTION SYSTEM.
MD07	DISCONNECT AND REMOVE DUCTWORK AND ALL ASSOCIATED DUCT ACCESSORIES, SUPPORTS, INSULATION, DUCT LINER, PLENUMS, DIFFUSERS, GRILLES, ETC. IN THEIR ENTIRETY. INFILL AND FINISH UNUSED OPENINGS UNDER ARCHITECTURAL WORK WHERE APPLICABLE.
MD08	EXISTING EXHAUST FAN ON ROOF AND ALL ASSOCIATED DUCTWORK, GRILLES, CONTROLS, ACCESSORIES, ETC. IN THEIR ENTIRETY TO REMAIN UNLESS OTHERWISE NOTED.
MD09	DISCONNECT AND REMOVE BASEBOARD HEATER(S) AND ALL ASSOCIATED CONTROLS, ACCESSORIES, ETC. CAP OFF PIPING IN WALL AND ABANDON IN PLACE.
MD10	REMOVE HEAT PUMP UNIT(S), ASSOCIATED INDOOR CEILING CASSETTE(S) AND ALL ASSOCIATED PIPING, CONTROLS, SUPPORTS, ACCESSORIES, ETC. IN THEIR ENTIRETY. MODIFY ROOF OPENING FOR NEW WORK.
MD11	DISCONNECT AND REMOVE RETURN GRILLE AND ALL ASSOCIATED BRANCH DUCTWORK IN ITS ENTIRETY.
MD12	EXISTING SPLIT SYSTEM UNIT AND ASSOCIATED OUTDOOR CONDENSING UNIT, PIPING, ACCESSORIES, SUPPORTS, ETC. TO REMAIN.



1 MECHANICAL - FIRST FLOOR PLAN - DEMOLITION
1/8" = 1'-0"



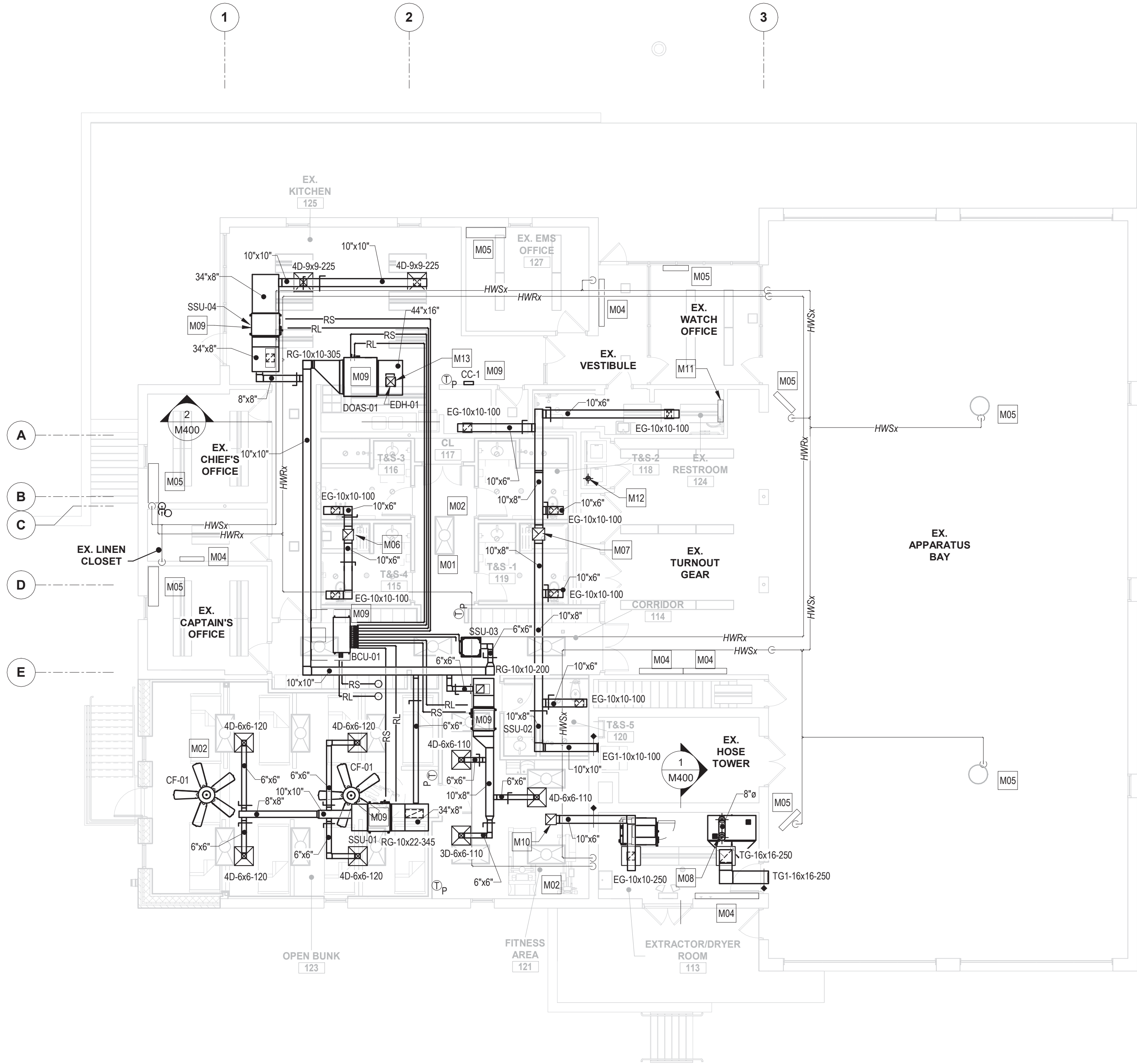
2 MECHANICAL - ROOF PLAN - DEMOLITION
1/8" = 1'-0"

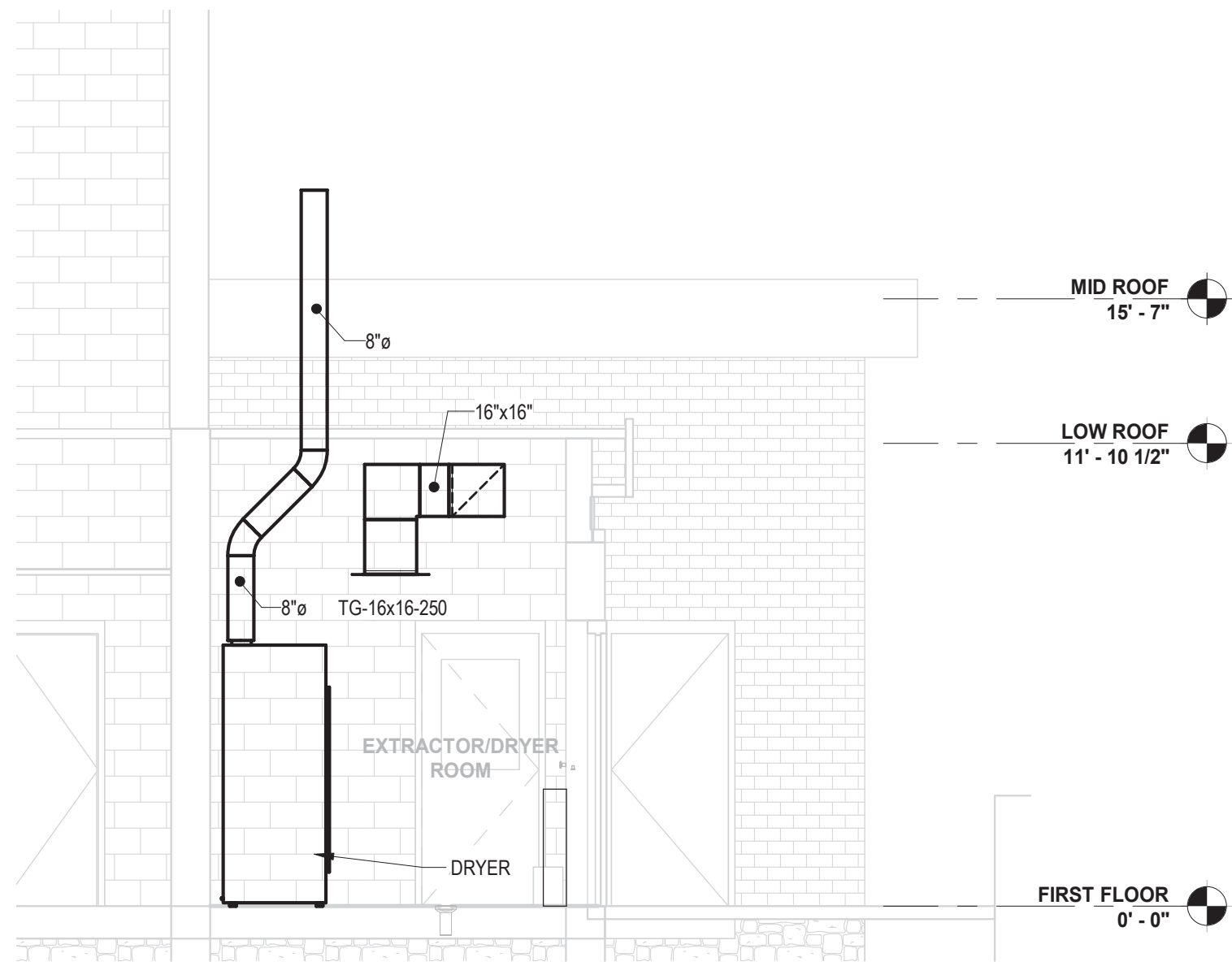
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	LICENSE NO. 22942 EXPIRATION DATE: 12-31-2026								PROFILE SCALE: -		
	ENGINEER: UDAY PATEL, PE, LEED BD+C PRINCIPAL MECHANICAL ENGINEER C.C. JOHNSON & MALHOTRA, P.C. 400 EAST PRITT STREET, SUITE 605 BALTIMORE, MARYLAND 21202 (P) 410-461-0500		BUREAU OF ENGINEERING AND CONSTRUCTION				HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	
	DGN BY: CCM		REVIEWED BY:								
DWN BY: CCM		DATE REVIEWED:									APPROVED BY: _____ CHIEF
CHKD BY: CCM											DATE: _____

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT		SHEET DESIGNATION	CONTRACT NUMBER
		MD100	25034 PF0 RE-BID
			JOB ORDER NUMBER
			241-220-0054-0012
			SHEET 36 of 58
			DRAWING NUMBER
			2022-2352
			FILE NO.: 20-120 REV. 10/14
FULLERTON FIRE STATION #8 - RENOVATION & ADDITION			
FIRST FLOOR AND ROOF PLAN - DEMOLITION			
4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236			
SUBDIVISION: FULLERTON		ELECTION DIST. NO.: 14C5	

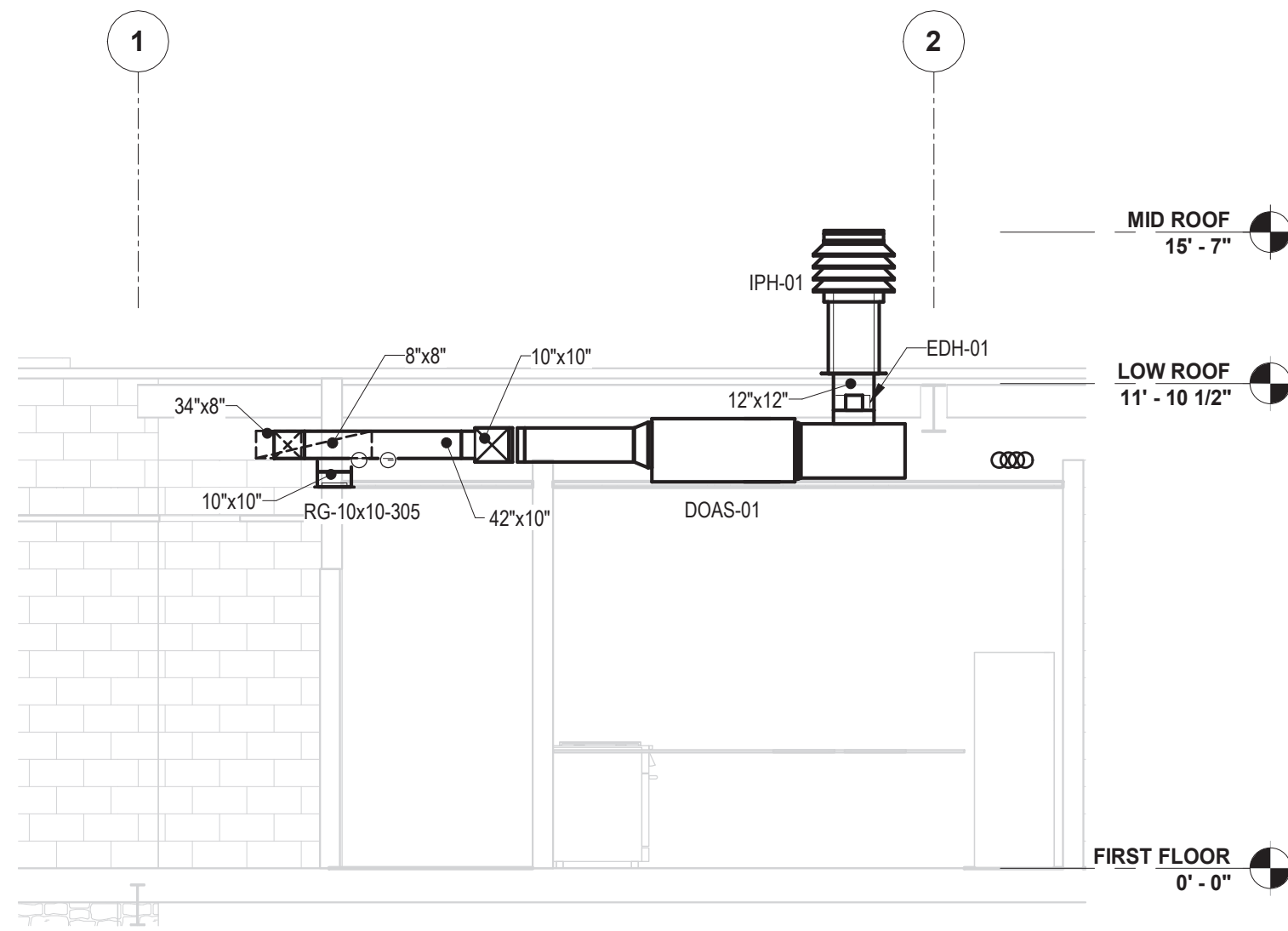
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FILENAME.

MECHANICAL NEW WORK KEYNOTES	
M01	REFRIGERANT PIPING SHOWN AS BASIS OF DESIGN SELECTIONS. REFRIGERANT PIPING BETWEEN EACH HPU, BCU, AND SSU SHALL BE IN STRICT COMPLIANCE WITH THE VRF SYSTEM MANUFACTURER'S WRITTEN INSTALLATION REQUIREMENTS AND APPROVED SHOP DRAWINGS. RUN PIPING WITH THE SHORTEST RUN BETWEEN/THROUGH JOISTS AND MINIMUM NUMBER OF FITTINGS. COVER EXTERIOR AND INTERIOR EXPOSED INSULATED REFRIGERANT & CONDENSATE DRAIN PIPING USING MITSUBISHI LINE-HIDE OR RECTORSEAL RD SERIES OR APPROVED EQUAL LINE SET COVER SYSTEM AND PAINT WITH COLOR(S) SELECTED BY ARCHITECT.
M02	REMOVE AND REPLACE PIPING INSULATION OF ALL EXISTING HOT WATER SUPPLY AND RETURN PIPING OCCURRING ABOVE THE CEILING IN THE RESTROOMS, LOCKER ROOMS AND DORMITORY ROOM BEING RENOVATED. REMOVE EXPOSED PIPING INSULATION IN ITS ENTIRETY AND REPLACE WITH IN KIND PIPING INSULATION TO PROTECT NEW FINISHES. FIELD VERIFY PIPE SIZES AND INSULATION THICKNESS UNLESS OTHERWISE SPECIFIED. PROVIDE PIPING INSULATION, VALVE TAGS, AND PIPE LABELS FOR ALL NEW AND REMAINING EXISTING PIPING IN THE RENOVATED AREA.
M03	EXISTING EXHAUST FAN ON ROOF AND ALL ASSOCIATED DUCTWORK, GRILLES, CONTROLS, ACCESSORIES, ETC. IN THEIR ENTIRETY TO REMAIN UNLESS OTHERWISE NOTED.
M04	EXISTING CONVECTOR UNIT(S) AND ASSOCIATED PIPING AND CONTROLS SHALL REMAIN UNLESS OTHERWISE INDICATED. EXTEND AND RECONNECT PIPING TO MAINTAIN THE CIRCULATION LOOP WHERE REQUIRED. REBALANCE AFFECTED HVAC WATER DISTRIBUTION SYSTEM.
M05	EXISTING UNIT HEATER(S) AND ASSOCIATED PIPING AND CONTROLS SHALL REMAIN UNLESS OTHERWISE INDICATED. EXTEND AND RECONNECT PIPING TO MAINTAIN THE CIRCULATION LOOP WHERE REQUIRED. REBALANCE AFFECTED HVAC WATER DISTRIBUTION SYSTEM.
M06	14"x14" EXHAUST AIR DUCT UP TO EF-01 ON ROOF. FIELD COORDINATE EXACT LOCATION TO AVOID ANY EXISTING OBSTRUCTIONS AND JOISTS.
M07	16"x16" EXHAUST AIR DUCT UP TO EF-02 ON ROOF. FIELD COORDINATE EXACT LOCATION TO AVOID ANY EXISTING OBSTRUCTIONS AND JOISTS.
M08	8" DIA. ALUMINUM RIGID EXHAUST DUCT FROM EXTRACTOR DRYER UP THROUGH ROOF WITH GOOSENECK. EXTEND MINIMUM 36" ABOVE FINISHED ROOF. DO NOT USE SHEET METAL SCREWS OR FASTENERS WHICH EXTEND INTO THE DUCT.
M09	EXACT LOCATION TO BE DETERMINED AND COORDINATED WITH OWNER IN FIELD.
M10	14"x14" EXHAUST AIR DUCT UP TO EF-03 ON ROOF. FIELD COORDINATE EXACT LOCATION TO AVOID ANY EXISTING OBSTRUCTIONS AND JOISTS.
M11	EXISTING SPLIT SYSTEM UNIT AND ASSOCIATED OUTDOOR CONDENSING UNIT, PIPING, ACCESSORIES, SUPPORTS, CONTROLS, ETC. TO REMAIN.
M12	6" DIA. ALUMINUM DRYER EXHAUST AIR DUCT UP THROUGH ROOF TO GOOSENECK. EXTEND MINIMUM 36" ABOVE FINISHED ROOF. DO NOT USE SHEET METAL SCREWS OR FASTENERS WHICH EXTEND INTO THE DUCT.
M13	12"x12" OUTSIDE AIR INTAKE DUCT RISER WITH EDH-01 AND MOTOR OPERATED DAMPER UP TO IPH-01 ON ROOF. FIELD COORDINATE EXACT LOCATION TO AVOID ANY EXISTING OBSTRUCTIONS AND JOISTS. INTERLOCK MOD AND EDH-01 WITH THE DOAS-01.

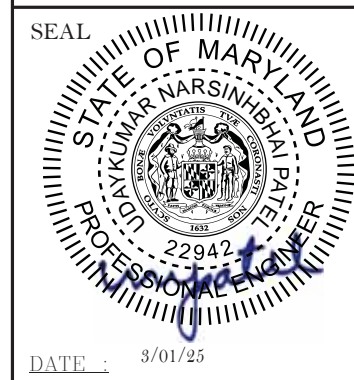





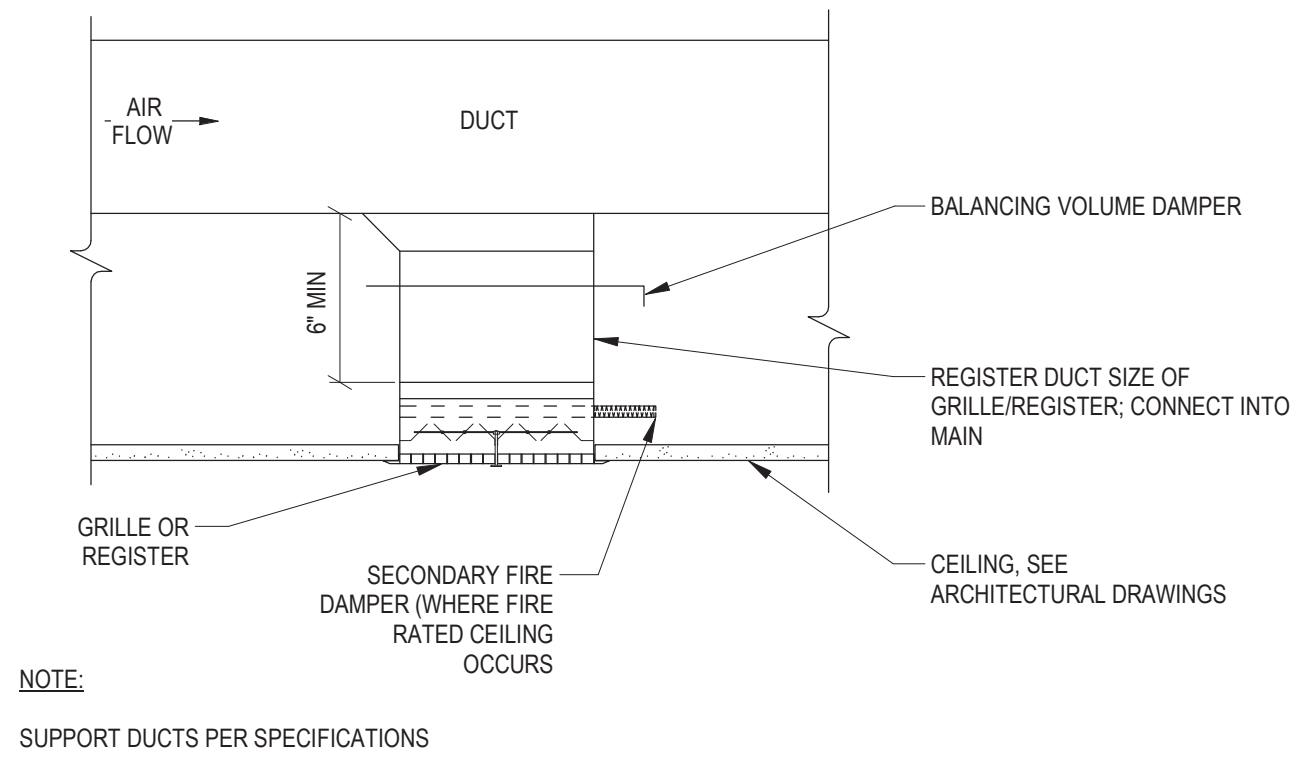
1 MECHANICAL SECTION - DRYER EXHAUST
1/4" = 1'-0"



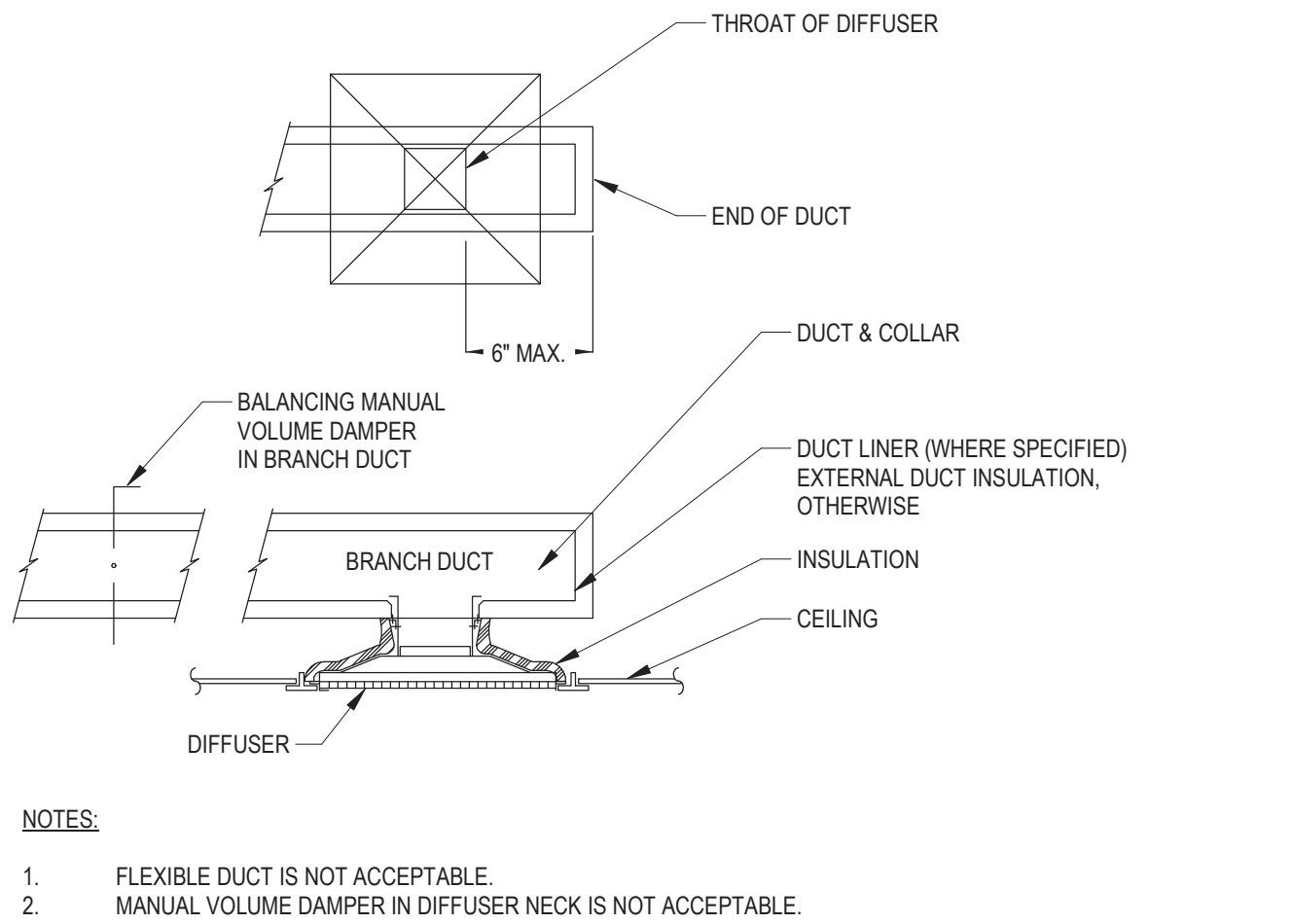
2 MECHANICAL SECTION - DOAS UNIT
1/4" = 1'-0"

<div>SEAL</div> <div></div> <div>DATE: 3/01/25</div>	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHT	DRAWING SCALE		APPROVED BY: <i>Mihai T. Petrisor</i> DIRECTOR DATE: 03/26/2025
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 22942 EXPIRATION DATE: 12-31-2026		BID/PERMIT			3/19/25	-	MSW	07NE21	PLAN SCALE: NONE		
							-	-	-	PROFILE SCALE: 1" = 10'		
							-	-	-			
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<div>UDAY PATEL, PE, LEED BD+C PRINCIPAL MECHANICAL ENGINEER C.C. JOHNSON & MALHOTRA, P.C. 600 EAST PRUITT STREET, SUITE 605 BALTIMORE, MARYLAND 21202 (P) 410-461-0500</div>	DGN BY: CCM		BUREAU OF ENGINEERING AND CONSTRUCTION		HIGHWAYS		STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	PROPERTY MANAGEMENT APPROVED BY: _____ CHIEF DATE: _____
	DWN BY: CCM		REVIEWED BY:									
	CHKD BY: CCM		DATE REVIEWED:									

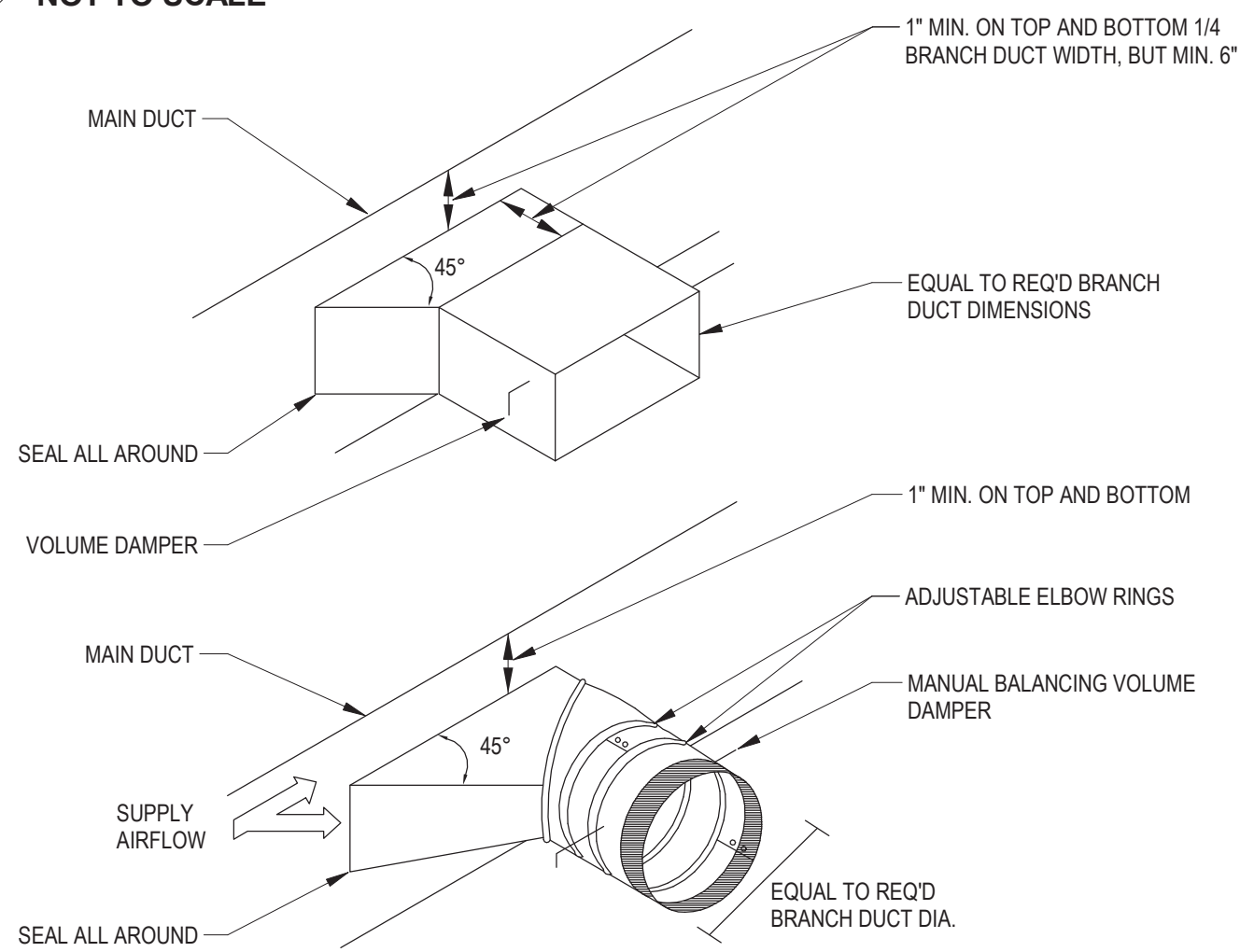
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BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT							
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						241-220-0054-0012	
						SHEET 38 of 58	
						DRAWING NUMBER	
						2022-2354	
		FILE NO.: 20-120		REV: 10/14			
BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT							
FULLERTON FIRE STATION #8 - RENOVATION & ADDITION							
SECTIONS							
SUBDIVISION: FULLERTON		4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236		ELECTION DIST. NO.: 14C5			



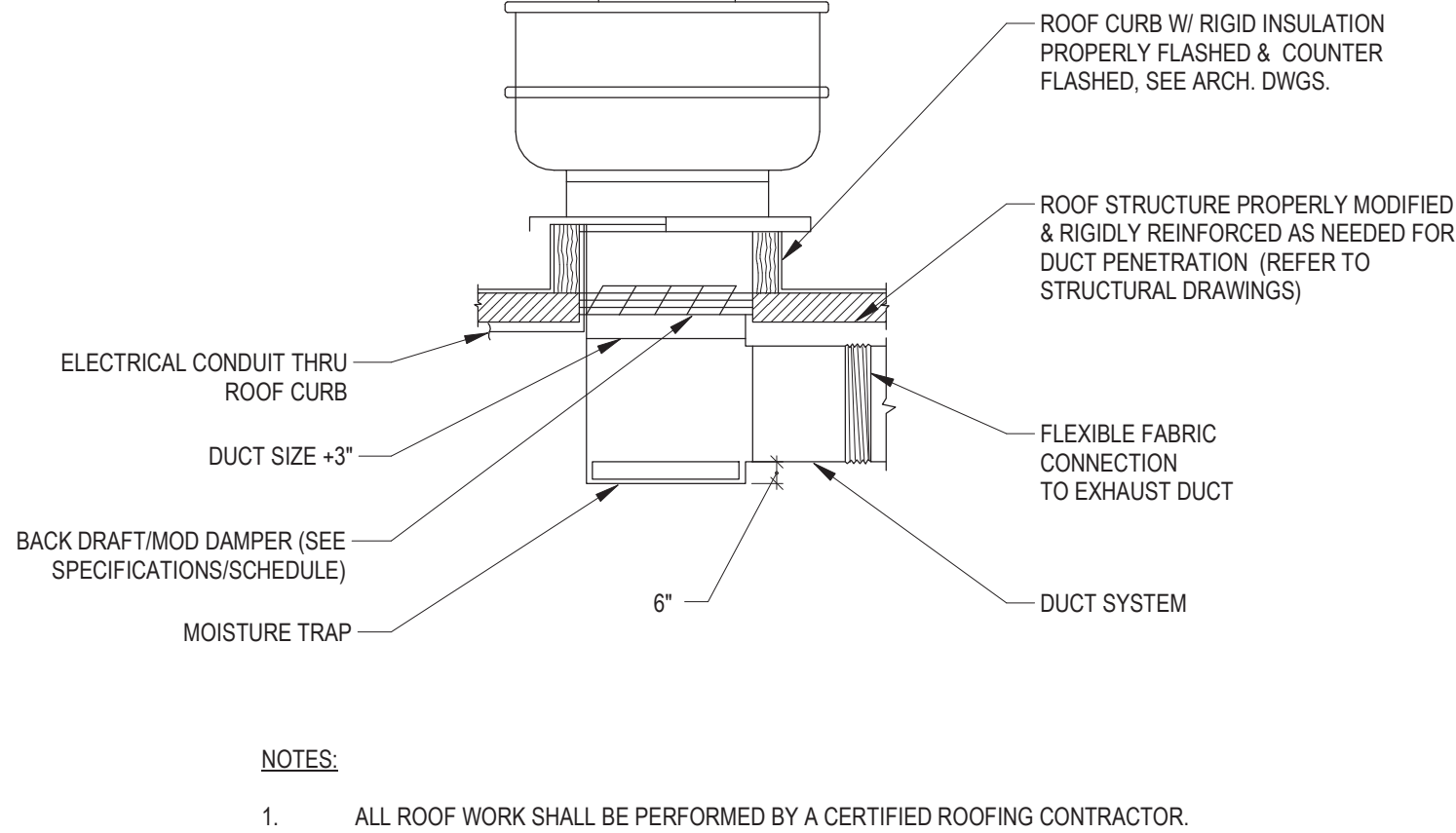
1 HVAC DETAIL - GRILLE/REGISTER CONNECTION - TYPICAL
NOT TO SCALE



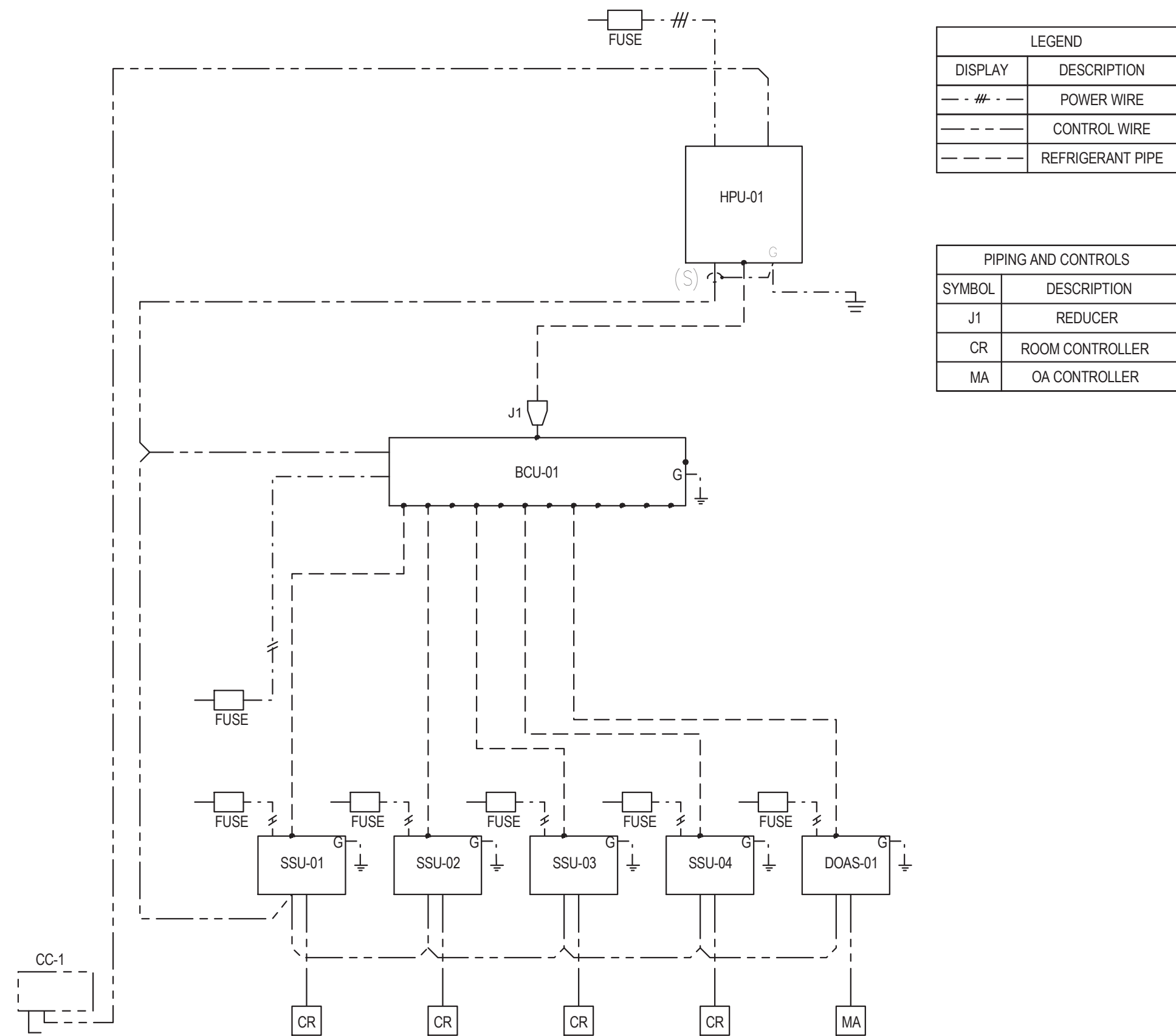
4 CEILING DIFFUSER - TYPICAL
NOT TO SCALE



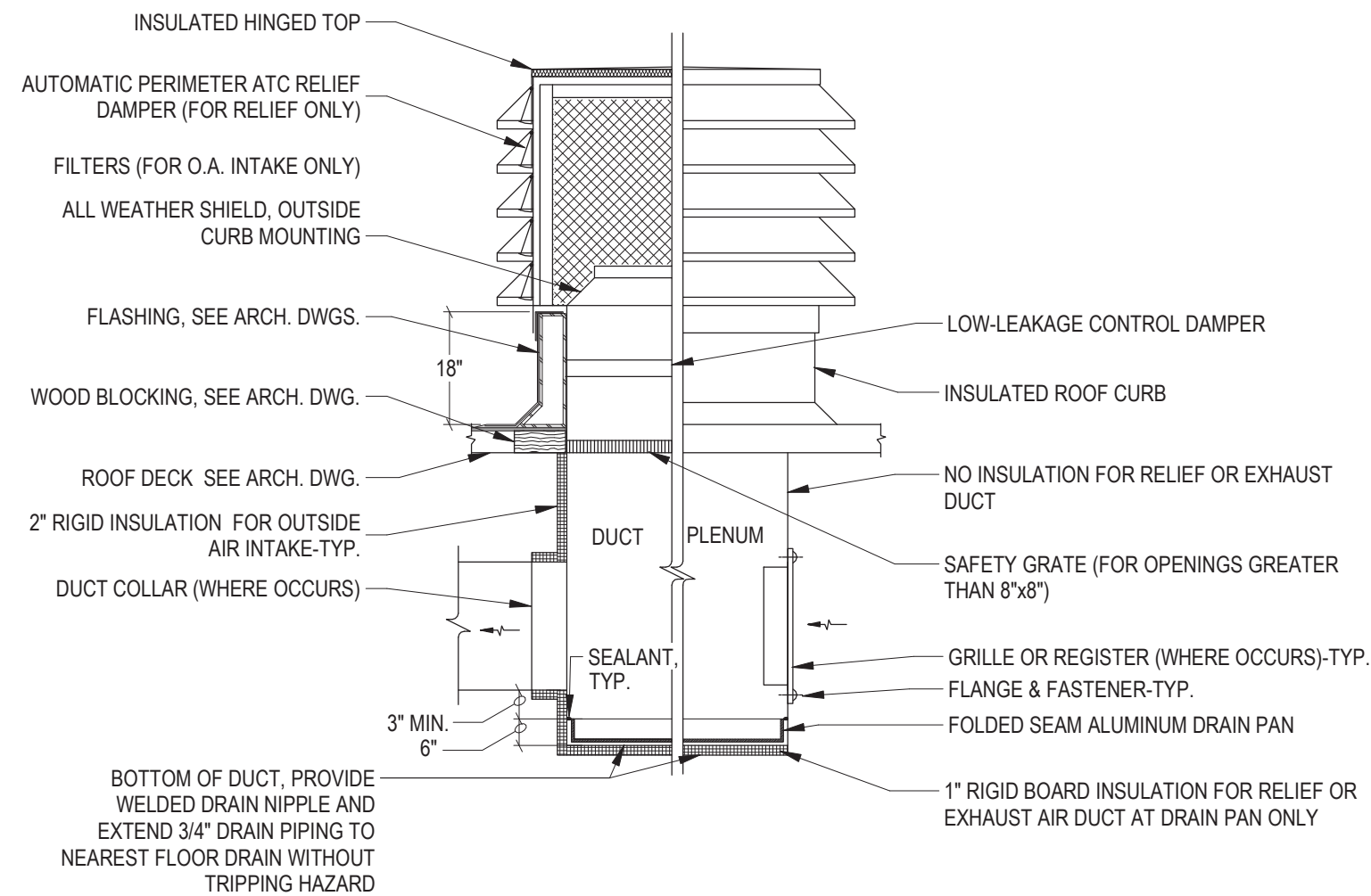
5 BRANCH DUCT TAKE-OFF FITTING - TYPICAL
NOT TO SCALE



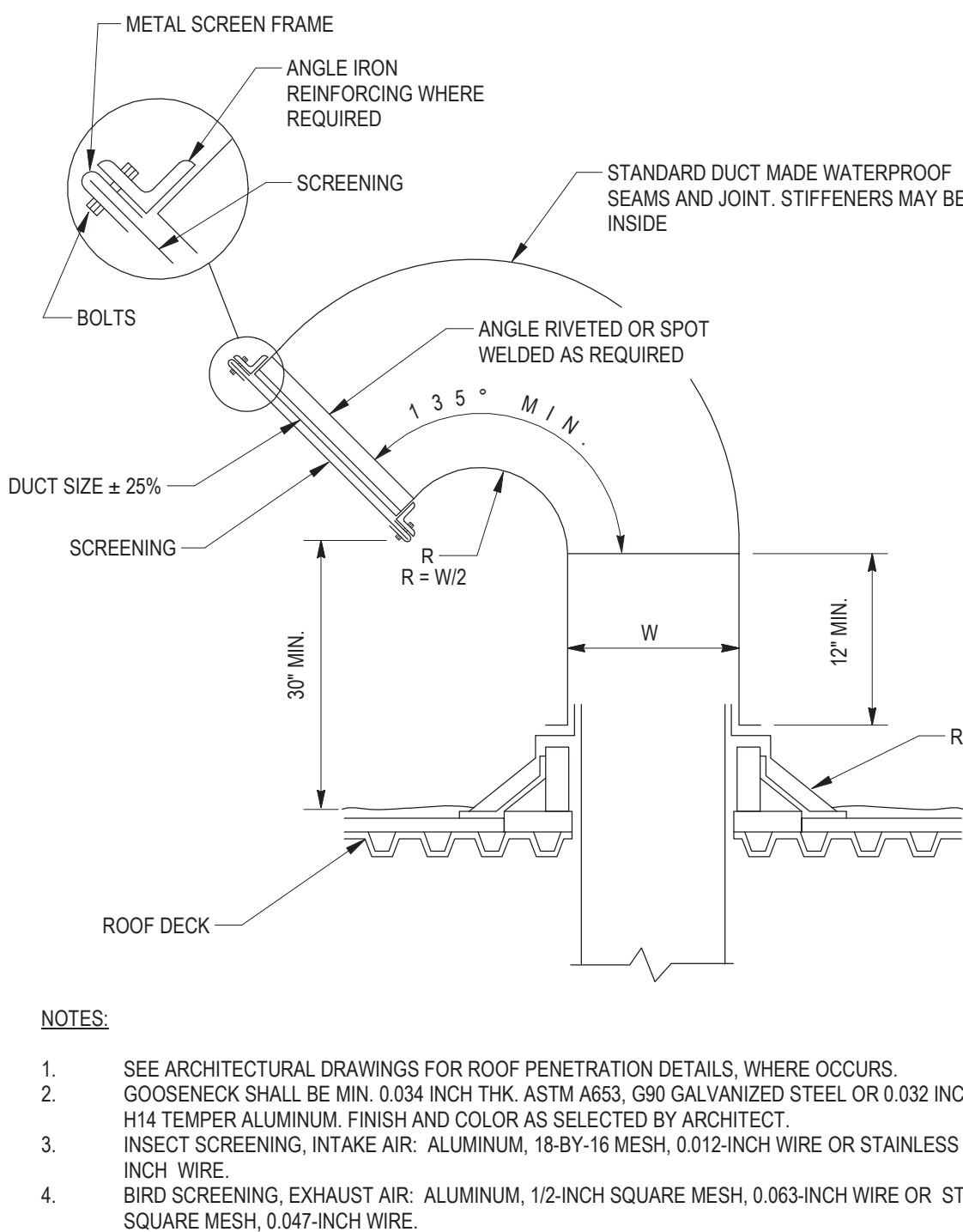
2 HVAC DETAIL - ROOF TOP EXHAUST FAN - TYPICAL
NOT TO SCALE



6 VARIABLE REFRIGERANT FLOW (VRF) - SYSTEM SCHEMATIC
NOT TO SCALE



3 RELIEF/OAI PENTHOUSE - TYPICAL
NOT TO SCALE



7 HVAC DETAIL - RECTANGULAR GOOSENECK - TYPICAL
NOT TO SCALE

	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHT	DRAWING SCALE	APPROVED BY: <i>Mihai T. Petrisor</i> DIRECTOR DATE: 03/26/2025
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	LICENSE NO. 22942 EXPIRATION DATE: 12-31-2026					R.O.W. NO.	-	-	PROFILE SCALE: 1\"/>	
	ENGINEER: UDAY PATEL, PE, LEED BD+C PRINCIPAL MECHANICAL ENGINEER CC JOHNSON & MALHOTRA, P.C. 600 EAST PRUITT STREET, SUITE 605 BALTIMORE, MARYLAND 21202 (P) 410-461-0500		BUREAU OF ENGINEERING AND CONSTRUCTION			HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	
	DGN BY: CCM DWN BY: CCM CHKD BY: CCM		REVIEWED BY:							
		DATE REVIEWED:								APPROVED BY: _____ CHIEF DATE: _____

SUBDIVISION: FULLERTON

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT

FULLERTON FIRE STATION #8 - RENOVATION & ADDITION

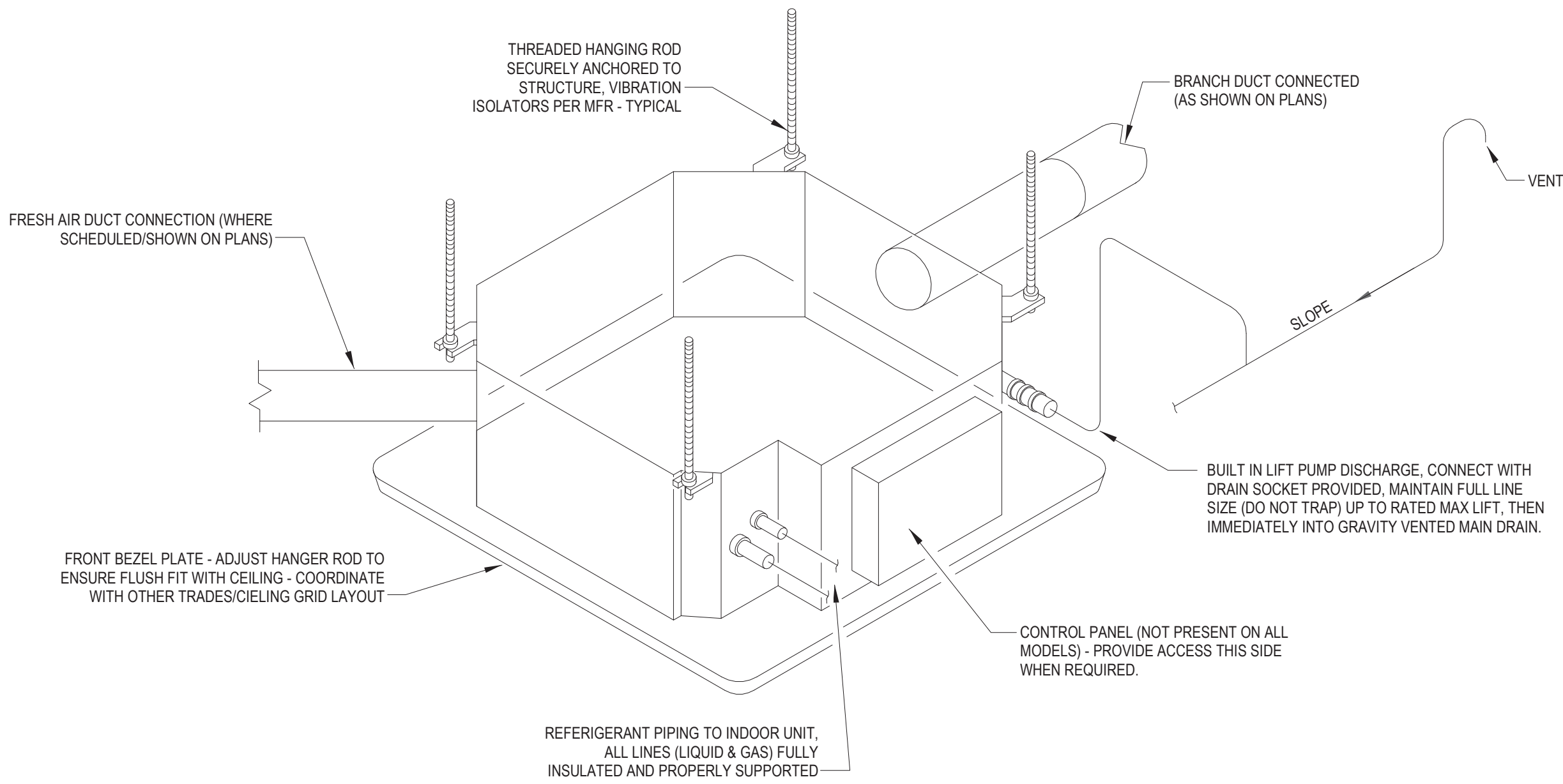
DETAILS I

4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236

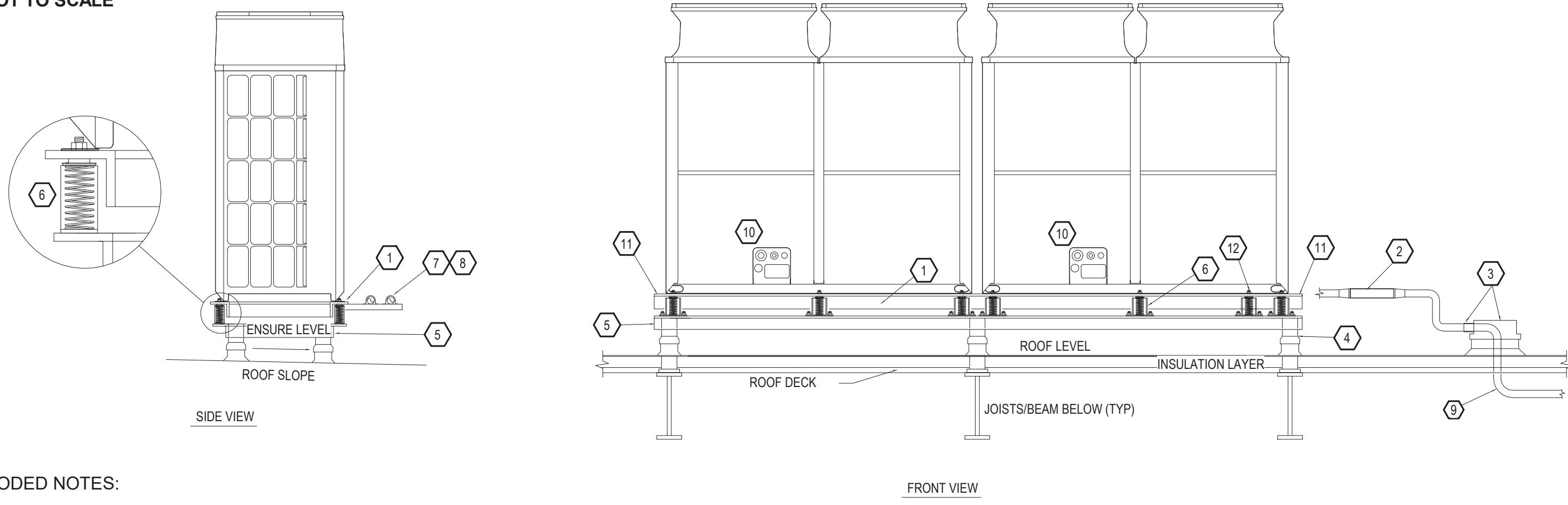
ELECTION DIST. NO.: 14C5

SHEET DESIGNATION	CONTRACT NUMBER
M500	25034 PFO RE-BID
JOB ORDER NUMBER	241-220-0054-0012
SHEET 39 of 58	
DRAWING NUMBER	2022-2355
FILE NO.: 20-120	REV. 10/14

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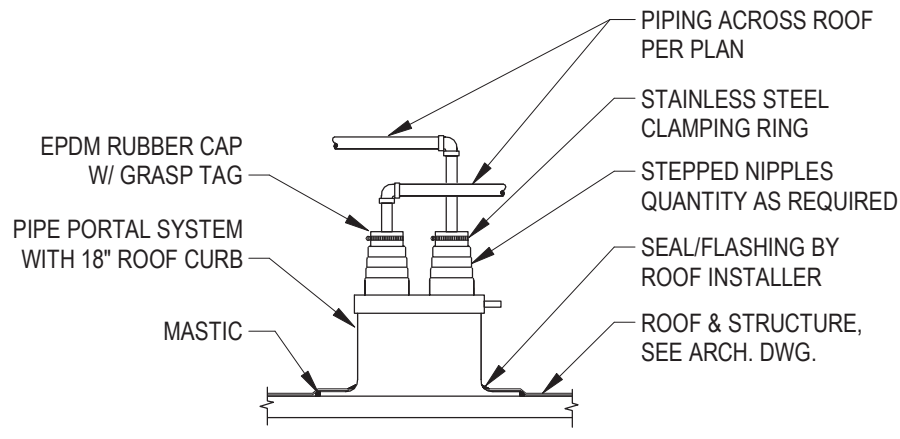


1 VRF CASSETTE INDOOR UNIT DETAIL - TYPICAL
NOT TO SCALE

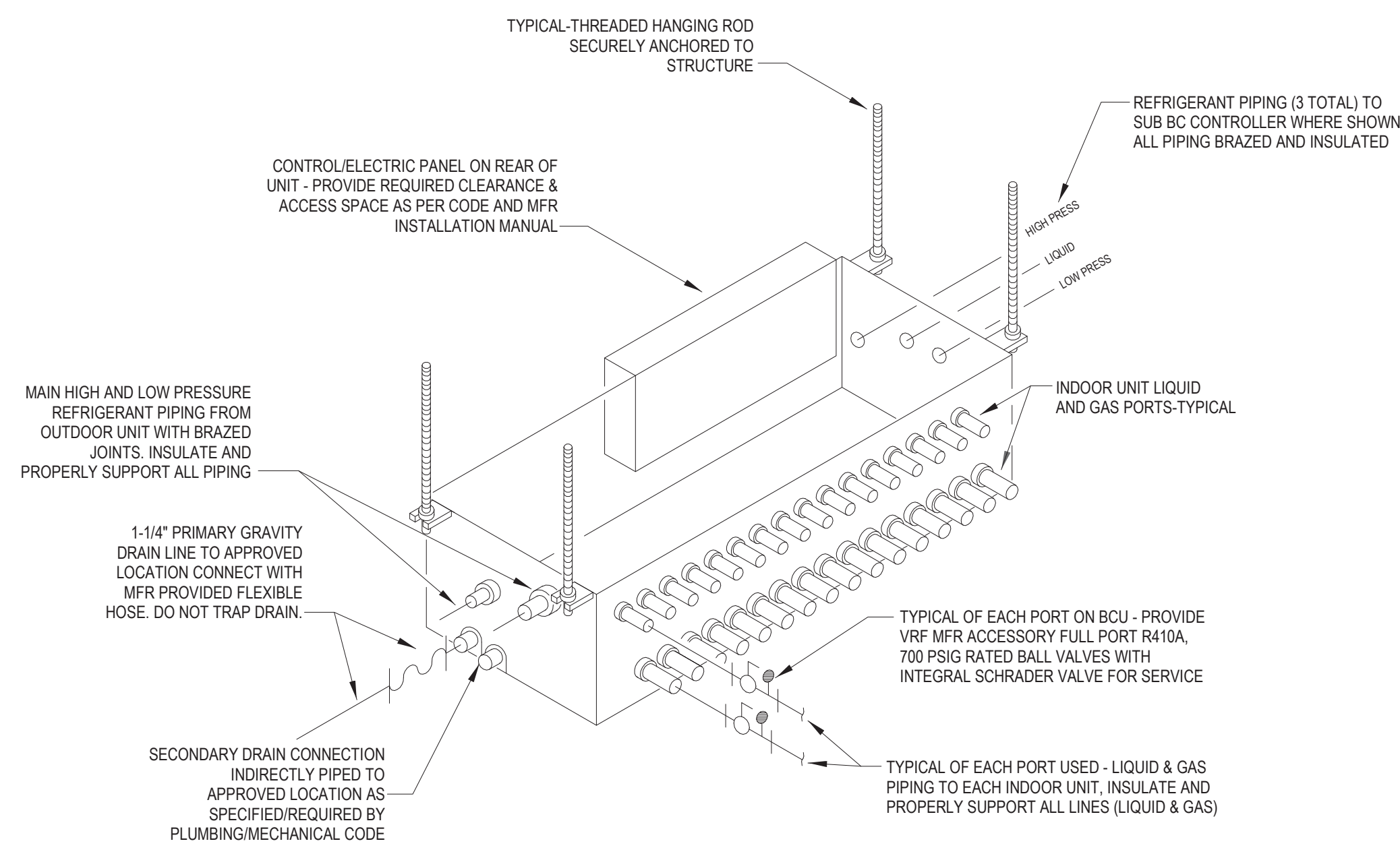


- # CODED NOTES:
1. PROVIDE STRUCTURAL INTERSTITIAL ANGLE IRON MOUNTING MEMBER OR SIMILAR ATTACHED DIRECTLY TO BOTTOM OF UNIT MOUNTING FLANGE AND PROVIDE CROSS BRACING FOR RIGIDITY. ENSURE IT CARRIES FULL MOUNTING FOOT WIDTH ON UNIT. FINAL SPECIFICATION OF MEMBER BY DELEGATED DESIGN STRUCTURAL ENGINEER.
 2. PROVIDE BRAIDED COPPER FLEXIBLE CONNECTOR, R410A RATED, 650PSI MAX WORKING PRESSURE, PACKLESS INDUSTRIES OR EQUAL ON ALL MAIN PIPING DOWNSTREAM OF TWINNING KITS/CONVERGING FITTINGS PRIOR TO PENETRATION THROUGH ROOF.
 3. PIPE PORTAL SYSTEM WITH ROOF CURB, FLASHED AND SEALED WATER TIGHT, PROVIDE FLEXIBLE WATER TIGHT COLLAR TO ALLOW FOR MOVEMENT WHERE PIPE ENTERS CURB. DO NOT ENTER PIPE CURB FROM VERTICAL DIRECTION. SEE DETAIL 2/M501.
 4. TYPICAL BASE SUPPORT POSTS, SECURELY ANCHORED TO BUILDING STRUCTURE BELOW, QUANTITY, SIZE, AND CARRYING CAPACITY DETERMINED BY DELEGATED DESIGN STRUCTURAL ENGINEER.
 5. STRUCTURAL ANGLE IRON BASE MOUNTING FRAME WITH CROSS MEMBERS FOR RIGIDITY - FINAL SIZING BY DELEGATED DESIGN STRUCTURAL ENGINEER.
 6. VIBRATION SPRING SLR TYPE ISOLATORS (MASON INDUSTRIES OR EQUIV.) WITH RUBBER BASE PADS, SECURELY FASTENED TO STRUCTURAL BASE AND TO VRF UNIT INTERSTITIAL SUPPORT STEEL SPRING ISOLATOR TO PROVIDE MINIMUM 1" DEFLECTION OR 10 TIMES THE STATIC DEFLECTION OF THE ROOF DECK FROM EQUIPMENT WEIGHT - DETERMINED BY STRUCTURAL ENGINEER OF RECORD. AT A MINIMUM, PROVIDE SPRING ISOLATORS AT EACH EQUIPMENT BASE MOUNTING HOLE LOCATION.
 7. IF REQUIRED, ONLY SUPPORT LATERAL PIPE EMANATING FROM VRF UNIT CONNECTIONS BY CROSS MEMBER SUPPORT THAT IS ATTACHED DIRECTLY TO VRF UNIT MOUNTING ANGLE IRON FRAME ABOVE SPRING ISOLATORS. DO NOT ATTACH ANY PIPING TO LOWER FIXED SUPPORT BASE.
 8. USE NEOPRENE ISOLATION COLLARS ON PIPE CLAMS WHEN FASTENING PIPING TO SUPPORTS.
 9. USE LONG RADIUS SWEEPING COPPER ACR TUBE PIPE BENDS WHERE PIPE ENTERS BUILDING AT FIRST ELBOW INTO CEILING SPACE TO MINIMIZE REFRIGERANT FLOW NOISE AND VIBRATION.
 10. ALL ELECTRICAL CONNECTIONS TO UNITS TO BE VIA FLEXIBLE CONDUIT, PROVIDE SUFFICIENT SLACK TO ALLOW FOR UNIT MOVEMENT ON SPRING ISOLATORS.
 11. ENSURE CROSS MEMBERS OF INTERSTITIAL FRAME AND BOTTOM SUPPORT FRAME ARE NOT DIRECTLY BELOW ENDS OF MODULES IN ALL LOCATIONS AND DO NOT BLOCK DRAINAGE WEEP HOLES IN BOTTOM OF UNIT CASING. FAILURE TO DO THIS MAY RESULT IN ICE DAMMING/BUILDUP BENEATH UNIT AND SUBSEQUENT BUILDUP OF ICE IN BOTTOM OF UNIT CASING BELOW COIL AND POTENTIAL DAMAGE TO BOTTOM OF COIL.
 12. WHEN SELECTING SPRING ISOLATORS ALWAYS CONSIDER WEIGHT DISTRIBUTION BY REFERENCING EQUIPMENT WEIGHT AND CENTER OF GRAVITY. NEAR RIGHT ENDS OF UNITS (VIEWED FROM FRONT PANEL) SPRING WEIGHT CAPACITY MAY BE LARGER. IF HIGHER SPRING WEIGHT CAPACITY IS REQUIRED VS OTHER SPRING LOCATIONS, CONSIDER AN ADDITIONAL SPRING OF EQUAL "K" VALUE (LBS/IN) NEAR RIGHT END OF LAST MODULE. IN GENERAL, SELECT ALL MOUNTING SPRINGS OF EQUIVALENT "K" VALUE (LBS/IN).

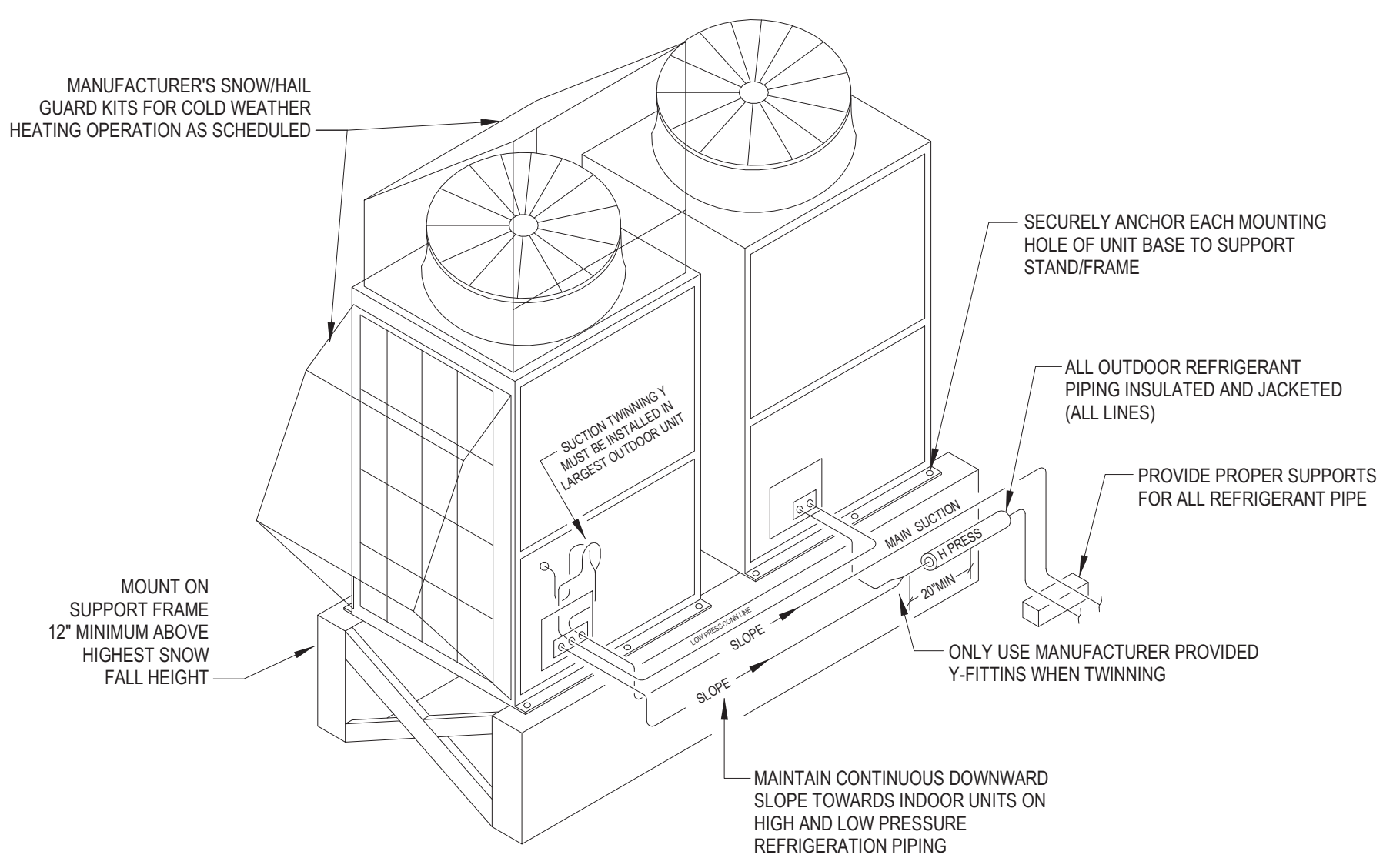
3 VRF OUTDOOR EQUIPMENT SUPPORT DETAIL
NOT TO SCALE



2 PIPE PORTAL - TYPICAL
NOT TO SCALE



4 VRF HEAT RECOVERY BRANCH CIRCUIT CONTROLLER UNIT (BCU) DETAIL - TYPICAL
NOT TO SCALE



5 VRF OUTDOOR HEAT RECOVERY HEAT PUMP UNIT (HPU) DETAIL - TYPICAL
NOT TO SCALE

	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHT	DRAWING SCALE		APPROVED BY: <i>Mihai T. Petrisor</i> DIRECTOR DATE: 03/26/2025
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.		BID/PERMIT		3/30/25	-	MSW	17NE21	PLAN SCALE:	NONE	
	LICENSE NO. 22942 EXPIRATION DATE: 12-31-2026					-	-	-	PROFILE SCALE:	-	
	ENGINEER: UDAY PATEL, PE, LEED BD+C PRINCIPAL MECHANICAL ENGINEER		BUREAU OF ENGINEERING AND CONSTRUCTION			HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	
	DGN BY: CCM DWN BY: CCM CHKD BY: CCM		REVIEWED BY:								
DATE: 3/01/25		DATE REVIEWED:									APPROVED BY: _____ CHIEF

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT		
FULLERTON FIRE STATION #8 - RENOVATION & ADDITION		
DETAILS II		
SUBDIVISION: FULLERTON		
4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236		
ELECTION DIST. NO.: 14C5		


SHEET DESIGNATION	CONTRACT NUMBER
M501	25034 PFO RE-BID
JOB ORDER NUMBER	241-220-0054-0012
SHEET 40 of 58	DRAWING NUMBER
2022-2356	FILE NO.: 20-120 REV: 10/14

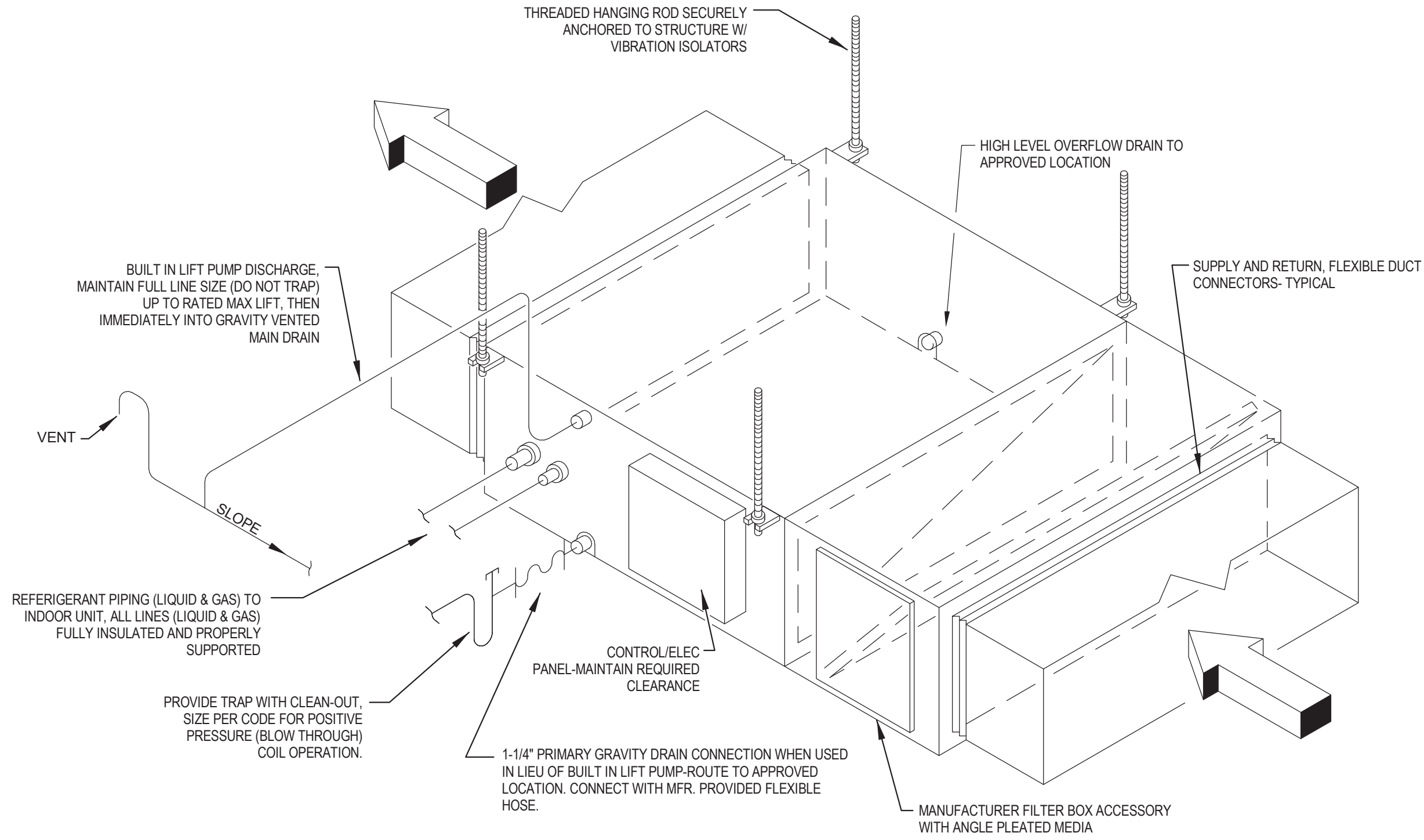
2/28/2025 2:52:19 PM
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VARIABLE REFRIGERANT FLOW (VRF) SPLIT SYSTEM INDOOR UNIT SCHEDULE																								
TAG	DESCRIPTION	MANUFACTURER (MITSUBISHI) MODEL	RATED COOLING TOTAL CAPACITY	RATED HEATING CAPACITY	SUPPLY AIRFLOW	MIN. OUTDOOR AIR	ESP	CAPACITIES AT DESIGN CONDITIONS				CONDENSING / HEAT PUMP OUTDOOR UNIT	SOUND	SIZE LxWxH	APPROX. WEIGHT	DETAIL	ACCESSORIES	REMARKS	ELECTRICAL (60 HZ)					
								COOLING EDB / EWB	COOLING TOTAL / SENSIBLE	HEATING EAT	HEATING								HP	MCA	MOCP	VOLTS/ PHASE	EMER. POWER	DISC. SWITCH
SSU-01	CEILING CONCEALED SPLIT SYSTEM UNIT (DUCTED)	PEFY-P15NMHU-E2	15.0	17.0	480	140	0.6	74 / 65	15.0 / 9.5	70	16.8	HPU-01	40	36 x 30 x 10	75	6/M500, 1/M601	2, 3, 8, 11	-	-	1.63	15	208 / 1	NO	MFR
SSU-02	CEILING CONCEALED SPLIT SYSTEM UNIT (DUCTED)	PEFY-P15NMHU-E2	15.0	17.0	330	130	0.6	75 / 65	14.5 / 9.5	70	16.8	HPU-01	40	36 x 30 x 10	60	6/M500, 1/M601	2, 3, 8, 11	-	-	1.63	15	208 / 1	NO	MFR
SSU-03	CEILING CASSETTE (4-WAY) DUCTLESS SPLIT SYSTEM UNIT	PLFY-P18NFMU-E	18.0	20.0	400	30	-	79 / 66	17.8 / 11.6	70	19.9	HPU-01	40	24 x 24 x 12	50	6/M500, 1/M501	2, 3, 4, 5, 10	-	-	0.50	15	208 / 1	NO	MFR
SSU-04	CEILING CONCEALED SPLIT SYSTEM UNIT (DUCTED)	PEFY-P15NMHU-E2	15.0	17.0	450	150	0.6	74 / 65	14.5 / 9.2	70	16.7	HPU-01	40	36 x 30 x 10	75	6/M500, 1/M601	2, 3, 8, 11	-	-	1.63	15	208 / 1	NO	MFR
DOAS-01	CEILING-CONCEALED DEDICATED OUTSIDE AIR SPLIT SYSTEM UNIT	PEFY-P48NMHU-E-0A	48.0	28.0	450	450	0.8	94 / 82	43.5 / 20.3	10	34.8	HPU-01	40	48 x 36 x 15	125	6/M500, 1/M601	7, 8, 12	-	-	3.30	15	208 / 1	NO	MFR / EC
CC-1	CENTRALIZED CONTROLLER	AE-200A	-	-	-	-	-	-	-	-	-	-	-	8x2x5	-	6/M500	9	PAC-YG84UTB-J ELECTRICAL BOX	-	-	15	120/1	NO	MFR
VRF SPLIT SYSTEM INDOOR UNIT ACCESSORIES:								REFER TO SPECIFICATIONS FOR ADDITIONAL VRF SPLIT SYSTEM INDOOR UNIT ACCESSORIES REQUIRED. DESIGN CAPACITIES BASED ON FULL DEMAND COOLING AND HEATING DIVERSITIES.																
1.	1"-MERV 8 PLEATED FILTER KIT (PAC-SH89KF-E)							5.	1"-MERV 8 PLEATED FILTER KIT (PAC-SH90KF-E)							9.	PROVIDE AC-SC51KUA POWER SUPPLY UNIT, MINIMUM OF TWO PAC-YG63MCA AI CONTROLLERS & FOUR PAC-YG66DCA DIDO CONTROLLERS IN NEMA 1 ENCLOSED CONTROL PANEL ABOVE CEILING. PAC-YG10HA-ER EXTERNAL INPUT/OUTPUT ADAPTER AND PAC-YG84UTB MOUNTING BRACKET & PAC-YG86TK-J KIT FOR BUILDING CONTROLS. PROVIDE DDC CONTROLLERS AND BMS EQUIPMENT IN MECHANICAL ROOM (008). COORDINATE CONTROLS INTERFACE WORK WITH OWNER. PROVIDE A POWER OUTLET AND A DATA OUTLET NEAR EACH CONTROLLER AND CONNECT TO LAN PORT. PROVIDE SW-BACNET AND SW-PWEB SOFTWARE AND ASSOCIATED LICENSE AGREEMENT. COORDINATE WITH OWNER TO INTEGRATE THESE SOFTWARE ON OWNER'S CENTRAL BMS OPERATOR WORKSTATION.							
2.	DELUXE WIRED MA REMOTE CONTROLLER (PAR-40MAAU), THREE POLE DISCONNECT SWITCH (TAZ-MS303).							6.	1"-MERV 10 PLEATED FILTER KIT (PAC-SH59KF-E)							10.	48X48 CEILING INSTALLATION/TRIM PANELS (PMFY-ITP1 / PLFY-ITP1 / PLFY-ITP2).							
3.	INTEGRAL CONDENSATE PUMP KIT (PAC-SH84DM-E) OR DRAIN WATER LIFT-UP KIT (X87-721). DRAIN PAN LEVEL SENSOR.							7.	BUILT-IN CONDENSATE LIFT MECHANISM. DRAIN PAN LEVEL SENSOR.							11.	FILTER BOX WITH REAR OR BOTTOM RETURN AIR INLETS AS REQUIRED TO SUIT INSTALLATION AND WITH 2" MERV-13 PLEATED FILTERS IN ANGLED CONFIGURATION (FBM OR FBH SERIES)							
4.	3D I-SEE SENSOR WITH MOUNT/PANEL (PAC-SH91MK-E OR PAC-SA1ME OR PAC-SF1ME-E AS APPLICABLE).							8.	M-NET ADAPTER (PAC-SF81MA)							12.	FILTER BOX INSULATED PLENUM WITH 2" MERV-13 PLEATED FILTERS IN VERTICAL CONFIGURATION (FBH02-3), MA REMOTE CONTROLLER (PAR-30MAQA), CN24 RELAY KIT(CN24RELAY-KIT-CN3), THREE POLE DISCONNECT SWITCH (TAZ-MS303).							

VARIABLE REFRIGERANT FLOW (VRF) SPLIT SYSTEM OUTDOOR UNIT SCHEDULE																											
TAG	DESCRIPTION	MANUFACTURER (MITSUBISHI) MODEL	RATED COOLING CAPACITY	RATED HEATING CAPACITY	DESIGN COOLING CAPACITY	DESIGN HEATING CAPACITY	REFRIGERANT	AHRI IEER/COP	SCHE	COOLING DB/WB	HEATING DB/WB	NO. OF CKTS.	FANS		SOUND dBA	SIZE LxWxH	APPROX. WEIGHT	DETAIL	ACCESSORIES	REMARKS	ELECTRICAL (60 HZ)						
			MBH	MBH	MBH	MBH				NO.	HP (EA)		@ 5 FEET	INCHES							LBS	#/DWG#	MCA (M1/M2)	MOCP (M1/M2)	VOLTS/ PHASE	EMER POWER	DISC. SWITCH
			°F	°F																							
HPU-01	AIR COOLED OUTDOOR VRF HEAT PUMP WITH HEAT RECOVERY SYSTEM	PURY-EP168TNU-A	168	188	168.6	127.2	R-410A	25.7 / 3.55	24.7	95 / 75	10 / 8	1	2	-	65	70X30X72	800	6/M500, 3/M501, 5/M501	1, 5	FOR SSU-01 TO SSU-04 AND DOAS-01	57 / 53	90 / 80	208 / 3	NO	EC		
BCU-01	HEAT RECOVERY CONTROL UNITS - MAIN BRANCH CONTROLLER	CMB-P1012NU-JA1	N/A	N/A	N/A	N/A	R-410A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	44x21x10	200	6/M500, 4/M501	4	CONNECT TO HPU-01, MAX. 16 BRANCHES	1.57	15	208 / 1	NO	EC		
VRF SPLIT SYSTEM OUTDOOR UNIT ACCESSORIES:						RATED HEATING CAPACITIES ARE BASED ON INDOOR COIL EAT OF 70/60 °F (DB/WB), OUTDOOR OF 43 °F (WB)										RATED COOLING CAPACITIES ARE BASED ON INDOOR COIL EAT OF 80/67 °F (DB/WB), OUTDOOR OF 95/75 °F (DB/WB).											
1.	PORT ADAPTORS, DRAIN SOCKET, AIRFLOW GUIDE, CMY-R100XLCK TWINNING KIT FOR MULTIPLE MODULES. PAC-SPRFCS-118/138/158RCW REFRIGERANT FILTER / CLEANING SYSTEM. SGN SERIES SIDE, FRONT AND REAR SNOWHAIL GUARDS AND SHK SNOW HOOD FOR SNOW/HAIL PROTECTION. PAC-PH03EHYU-E1 20W, 208 V / 1 PH PANEL HEATERS.										4.	INCLUDE JOINT ADAPTORS; BRANCH JOINT: X87-721 [MBC] / S130-230 [SBC] CONDENSATE PUMP, DIAMONDBACK BV-SERIES, 700 PSIG WORKING PRESSURE, FULL PORT, 410A RATED BALL VALVES.															
2.	CMY-Y102LS-G2 T-BRANCH JOINT (73-144 MBH), CMY-Y108C-G HEADER FOR 8 BRANCHES, LOW AMBIENT KIT.										5.	MINIMUM 24" HIGH EQUIPMENT SUPPORT RAILS OR BIG FOOT ROOF MOUNTED SUPPORT SYSTEM BY THE RECTORSEAL CORPORATION OR APPROVED EQUAL BY INSTALLER.															
3.	LOW AMBIENT HOOD KIT WITH ASSOCIATED WIND BAFFLES (WB-PA2) FOR 100% LOW AMBIENT COOLING DOWN TO MINUS 10 °F, AIR OUTLET GUIDE (PAC-SG58SG).										6.	FRONT AND SIDE ADVANCED WIND BAFFLES (WB-PA4 & WB-SD4) FOR 100% LOW AMBIENT COOLING DOWN TO MINUS 20 °F TO 115 °F.															

AIR HANDLING EQUIPMENT / POWER VENTILATORS SCHEDULE																							
TAG	AREA SERVED	DESCRIPTION	MANUFACTURER - MODEL	CAPACITY				ROOF/WALL OPENING	MECHANICAL EFFICIENCY	FAN EFFICIENCY GRADE	SIZE	APPROX. WEIGHT	DETAIL	ACCESSORIES	CONTROLS	REMARKS	FAN DATA			ELECTRICAL (60 HZ)			
				DRIVE	AIRFLOW	ESP	SOUND NC				LxWxH OR DIA. x H						FAN SPEED	MOTOR SPEED	FAN MOTOR	FAN MOTOR	VOLTS/ PHASE	EMER. POWER	DISC. SWITCH
					CFM	IWG	dBA				INCHES						%	INCHES	LBS	#/SHT#	RPM	RPM	BHP
EF-01	T&S-3, T&S-4	ROOF MOUNTED UPBLAST CENTRIFUGAL FAN	LOREN COOK - ACRUD - VF - 100R17DL (VF)	DIRECT	200	0.50	55	14 x 14	32	-	22 x 17	90	2/M500	1,3,4,5	DDC TIME SCHEDULE W/ AUTO-ON-OFF SWITCH	-	1360	1725	0.05	0.25 / -	208 / 1	NO	MFR
EF-02	T&S-1, T&S-2, T&S-5, EX. WOMEN'S LOCKER ROOM,	ROOF MOUNTED UPBLAST CENTRIFUGAL FAN	LOREN COOK - ACRUD - VF - 120R28D OR91VF	DIRECT	600	0.75	63	16 x 16	39	-	31 x 29	125	2/M500	1,3,4,5	DDC TIME SCHEDULE W/ AUTO-ON-OFF SWITCH	-	1395	2800	0.18	0.75 / -	208 / 1	NO	MFR
EF-03	EXTRACTOR/DRYER ROOM	ROOF MOUNTED UPBLAST CENTRIFUGAL FAN	LOREN COOK - ACRUD - VF - 120R17D OR81VF	DIRECT	250	0.5	57	16 x 16	28	-	31 x 29	120	2/M500	1,3,4,5	DDC TIME SCHEDULE W/ AUTO-ON-OFF SWITCH	-	1125	1725	0.07	0.33 / -	120 / 1	NO	MFR
CF	DORMITORY	CEILING FAN	HUNTER - DEMPSEY 59247	DIRECT	-	-	-	-	-	-	52	-	-	10	ON/OFF WALL SWITCH WITH SPEED CONTROL	LOW PROFILE, BLACK OAK BLADES AND BRUSHED NICKEL FINISH	-	-	-	-	120 / 1	NO	EC
A/E SCHEDULE NOTES: [APPLY TO ALL NEW FANS]								A/E SCHEDULE OPTIONS/ACCESSORIES: [AS SCHEDULED]															
1. INSTALL FIXED SHEAVES AFTER FINAL BALANCING FOR EACH BELT DRIVEN FAN.								1. UNIT MOUNTED AND WIRED - FAN SPEED CONTROLLER OR EXTERNAL SIGNAL SPEED CONTROL WITH VFRSC REMOTE SPEED CONTROLLER AND UL VFABK AIR BALANCE KIT BY FAN MFR. VARI-FLOW ELECTRONICALLY COMMUTATED MOTOR (ECM) BY FAN MFR.								8. INTEGRAL ALUMINUM GRAVITY BACKDRAFT DAMPER, ANODIZED ALUMINUM CEILING GRILLE, MINIMUM 1" DEFLECTION RUBBER-IN-SHEAR ISOLATORS SET, MODEL RC-75 (4), CEILING MOUNTED PASSIVE INFRARED MOTION SENSOR, GRILLE MOUNTED WASHABLE ALUMINUM MESH UNIT FILTER.							
2. SOUND PERFORMANCE DOES NOT INCLUDE ADJUSTMENTS FOR SOUND CURB.								2. WALL MOUNTED AND WIRED SOLID STATE FAN SPEED CONTROLLER FURNISHED BY FAN MFR AND INSTALLED BY HVAC CONTRACTOR.								9. LIFE SAFETY BELTS, UL APPROVED & LISTED FOR SMOKE CONTROL APPLICATION.							
3. BELT DRIVE FAN INCLUDES MEDIUM DRIVE LOSS (15-20%). PROVIDE REINFORCED WHEEL, STAINLESS STEEL HARDWARE & SHAFT, EXTENDED LUBE LINES, SPARE BELT SET AND LOREN COOK'S BELT-TENSIONR-ROTARY™ ACCESSORY.								3. 24" HIGH ALUMINUM ROOF CURB WITH ALUMINUM ROOF CAP, STAINLESS STEEL HARDWARE, HINGED SUB-BASE, ALUMINUM BIRD SCREEN, TIE-DOWN EYELETS, LOCKING HASP-TOPCAP.								10. PROVIDE (4) SPEED, WITH ON/OFF, CONTROL WALL SWITCH. COORDINATE MOUNTING LOCATIONS WITH ELECTRICAL DRAWINGS.							
4. 1725-1750 RPM, TEFC MOTORS WITH THERMAL OVERLOAD PROTECTION UNLESS OTHERWISE NOTED.								4. CLASS 1A LOW LEAKAGE, DDC, ALUMINUM MOTOR OPERATED DAMPER IN ROOF CURB WITH DAMPER TRAY.															
5. USE ADDITIONAL SET OF CONTACTS IN OCCUPANCY SENSOR PROVIDED UNDER DIVISION 26.								5. NEMA 1 (INDOOR FAN) / NEMA 3R (OUTDOOR FAN) DISCONNECT SWITCH PRE-WIRED WITH FLEXIBLE CONDUIT BY FAN MFR.															
6. LOOSE ACCESSORIES SHALL BE FIELD INSTALLED BY INSTALLER.								6. NEMA 4 DISCONNECT PRE-WIRED WITH FLEXIBLE CONDUIT, ANODIZED ALUMINUM CEILING GRILLE, INTEGRAL ALUMINUM GRAVITY BACKDRAFT DAMPER, MINIMUM 1" DEFLECTION RUBBER-IN-SHEAR ISOLATORS SET MODEL RC-75 (4), 62.2 FANLIGHT CONTROL, INSULATED HOUSING															
								7. INTEGRAL ALUMINUM GRAVITY BACKDRAFT DAMPER, MINIMUM 1" DEFLECTION RUBBER-IN-SHEAR ISOLATORS SET, FILTER BOX WITH CARBON FILTERS, MODEL RC-75 (4).															

	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHT	DRAWING SCALE		APPROVED BY: <i>Mihai T Petrisor</i> DIRECTOR DATE: <u>03/26/2025</u>
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.		BID/PERMIT			3/19/25	-	MSW	2	PLAN SCALE: <u>NONE</u>		
	LICENSE NO. <u>22942</u>	EXPIRATION DATE: <u>12-31-2026</u>					R.O.W NO.	-	-	PROFILE SCALE: <u>-</u>		
	ENGINEER: <u>UDAY PATEL, P.E.</u>		BUREAU OF ENGINEERING AND CONSTRUCTION		HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	PROPERTY MANAGEMENT	
	DGN BY: <u>CCIM</u>		REVIEWED BY:									
CHRD BY: <u>CCIM</u>		DATE REVIEWED:										
DATE: <u>3/31/25</u>		CHIEF										



1 VRF DUCTED SSU/DOAS - TYPICAL
SCALE: NONE

GRILLE, REGISTER AND DIFFUSER SCHEDULE

TAG	DESCRIPTION	MANUFACTURER	MODEL	MATERIAL / FINISH (NOTE 2)	REMARKS
1D, 2D, 3D, 4D	LAY-IN CEILING DIFFUSER	TUTTLE & BAILEY	ARCL	ALUMINUM / WHITE	24X24 / 24X12 / 24X48 LAY-IN T-BAR PANEL MODULE, SRR ADAPTER WHERE ROUND NECK OCCURS, NOTE 1
EG / RG	EXHAUST GRILLE / RETURN GRILLE	TUTTLE & BAILEY	VPER	ALUMINUM / WHITE	VISUAL PRIVACY EGGRATE TYPE, HEAVY GAUGE EXTRUDED ALUMINUM, 0.015-INCH THICK, 45 DEGREE DEFLECTION & 1/2 BY 1/2 BY 1/2 INCH GRID CORE WITH SQUARE OR RECTANGULAR HOUSING EXTENDED TO FORM PANEL TO FIT IN CEILING SYSTEM MODULE, REMOVABLE OR HINGED FACE PANEL, LAY-IN T-BAR OR SURFACE MOUNT FRAME TO SUIT CEILING TYPES
EG1	EXHAUST GRILLE	TUTTLE & BAILEY	A70D	ALUMINUM / WHITE	HORIZONTAL DEFLECTED BARS AT 3/4" SPACING
TG	TRANSFER GRILLE	TUTTLE & BAILEY	CRE510	ALUMINUM / WHITE	24x24 MODULE (UNO) W/ LT FRAME FOR LAY-IN & SF FRAME FOR SURFACE MOUNT, 24x12 OR 48x24 MODULE WHERE SHOWN
TG1	TRANSFER GRILLE	TUTTLE & BAILEY	GAV	STEEL/MATCH PAINT	V-CORE WITH U-FRAME
GRD SCHEDULE NOTES:					THE GRD SCHEDULE IS A STANDARD SCHEDULE. ALL GRILLE, REGISTER, AND DIFFUSER DO NOT NECESSARILY APPEAR ON DRAWINGS FOR THIS PROJECT.
1. FOR DIRECTION OF AIRFLOW, SEE DIFFUSER ON ASSOCIATED FLOOR PLAN. 1D= 1-WAY, 2D=2-WAY, 3D=3-WAY, 4D=4-WAY.					
2. BAKED ENAMEL WHITE AT CEILING; CLEAR SATIN ANODIZED AT WINDOW SILL OR ON FLOOR OR DUCT. OR WALL MATCH PAINT TO ADJACENT SURFACES WHERE INDICATED OR SPECIFIED. FINAL FINISH AND COLOR SHALL BE AS SELECTED BY OWNER/ARCHITECT.					
3. SEE DETAILS 1 / M500 AND 4 / M500.					

GRAVITY VENTILATOR / PENTHOUSE SCHEDULE

TAG	DESCRIPTION	MANUFACTURER MODEL	CAPACITY			THROAT/ ROOF OPENING L x W	SIZE LxWxH OR ø x H	APPROX. WEIGHT LBS	DETAIL #/DWG#	ACCESSORIES	REMARKS
			AIRFLOW CFM	PRESSURE DROP IWG	FACE VELOCITY FPM						
IPH-01	FRESH AIR INTAKE LOUVERED PENTHOUSE	LOREN COOK 12x12x4 TRE	420	0.03	100	12x12	24x24x16	150	3 / M500	1,2,3	DUCTED, 4.5 SQ. FT FREE AREA
GV/PH SCHEDULE NOTES:						GV/PH SCHEDULE OPTIONS/ACCESSORIES:					
1. LOOSE ACCESSORIES SHALL BE FIELD INSTALLED BY INSTALLER.						1. 24" HIGH ALUMINUM ROOF CURB WITH DAMPER TRAY, HINGED SUBBASE, TIE-DOWN EYELETS, STAINLESS STEEL HARDWARE. SUITABLE FOR SLOPED ROOF, WHERE OCCURS.					
						2. LOW LEAKAGE DDC CLASS 1A ALUMINUM MOTOR OPERATED DAMPER IN PLENUM/DUCT.					
						3. 1" WASHABLE FILTERS, ALUMINUM INSECT SCREEN, TOPCAP INSULATION.					

TERMINAL UNITS (HEATING ONLY) SCHEDULE

TAG	DESCRIPTION	MANUFACTURER MODEL	AIRFLOW (CFM)		FAN ESP/TSP	FAN SPEED	HEATING						SIZE LxWxH	APPROX. WEIGHT	DETAIL	ACCESSORIES / OPTIONS	REMARKS	ELECTRICAL (60 HZ)						
			OA MIN	SA			TYPE	EDB	UNIT LDB	TOTAL	WATER FLOW	LWT						WPD	ELEC. HEAT	MOTOR	VOLTS/ PHASE	EMER. POWER	DISC. SWITCH	
					IWG	°F		°F	MBH	GPM	°F	FT. WG	INCHES	LBS	#/SHT#	KW	HP							
EDH-01	ELECTRIC DUCT HEATER	INDEECO QUA	-	450	-	-	ELECTRIC	10	52	20.5	-	-	-	12 X 12	75	-	A	PREHEAT USE ONLY, INTERLOCK WITH DOAS-01, REMOTE CONTROL PANEL.	6.0	-	208 / 3	NO	MFR	
TERMINAL UNIT SCHEDULE NOTES:					TERMINAL UNIT SCHEDULE ACCESSORIES:																			
1. AMBIENT 95 °F DB/75 °F WB SUMMER, 10 °F DB WINTER.					A					REFER TO THE SPECIFICATIONS. PROVIDE REMOTE CONTROL PANEL AT SUITABLE LOCATION ABOVE CEILING TO PROVIDE ADEQUATE CLEARANCES AND ACCESSIBILITY.														
2. DISCONNECT SWITCH ON UNIT OR WALL MOUNTED AS INDICATED.																								

DESIGN CONDITIONS

AREA/SPACE	HEATING		COOLING		MAXIMUM NC	REMARKS
	DB °F	WB / RH °F / %	DB °F	WB / DP* °F / °F		
	°F	%	°F	°F		
BALTIMORE, MD - AMBIENT [ASHRAE 90.1-2016, CLIMATE ZONE 4A]	11	-	91	74	-	-
OFFICES, CONFERENCE, DORMITORY, LOCKER ROOMS, FITNESS - OCCUPIED	68	-	78	67	35	-
STORAGE, TOILETS -OCCUPIED/UNOCCUPIED	60	-	-	-	-	-
OFFICES, CONFERENCE, DORMITORY, LOCKER ROOMS, FITNESS - UNOCCUPIED	55	-	85	61	-	-

SCHEDULE GENERAL NOTES

1	MANUFACTURERS AND MODEL NUMBERS ARE NOTED TO ESTABLISH DESIGN QUALITY AND PERFORMANCE CRITERIA ONLY, OTHER MANUFACTURERS MAY BE ACCEPTABLE.
2	EQUIPMENT / FIXTURES / SPECIALTIES MANUFACTURER AVAILABLE FOR CONSTRUCTION OF THIS PROJECT MAY DIFFER WITH RESPECT TO PHYSICAL SIZE, CONNECTION LOCATIONS AND SIZES. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THE PURCHASED EQUIPMENT/FIXTURES/SPECIALTIES WITH THE CONDITIONS DEPICTED HEREIN AND MAKE ALL NECESSARY ADJUSTMENTS WITHOUT ANY ADDITIONAL COSTS.
3	ALL FIXTURES/EQUIPMENT/SPECIALTIES INDICATED HERE MAY NOT APPEAR ON THE CONTRACT DRAWINGS.

	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHT	DRAWING SCALE	APPROVED BY: <i>Mihai T. Petrisor</i> DIRECTOR DATE: 03/26/2025 PROPERTY MANAGEMENT APPROVED BY: _____ CHIEF DATE: _____	
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.		BID/PERMIT		3/19/25	-	MSW	17NE21	PLAN SCALE: NONE		
	LICENSE NO. 22942 EXPIRATION DATE: 12-31-2026					ROW NO.	-	-	PROFILE SCALE: 1"=10'		
						-	-	-			
	ENGINEER: UDAY PATEL, PE, LEED BD+C PRINCIPAL MECHANICAL ENGINEER C.C. JOHNSON & MALHOTRA, P.C. 600 EAST PRITT STREET, SUITE 005 BALTIMORE, MARYLAND 21202 (P) 410-461-0500		DGN BY: CCM	BUREAU OF ENGINEERING AND CONSTRUCTION	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER		FIELD ENGINEER
	DWN BY: CCM		REVIEWED BY:								
CHKD BY: CCM		DATE REVIEWED:									

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT

FULLERTON FIRE STATION #8 - RENOVATION & ADDITION

SCHEDULES II

SUBDIVISION: FULLERTON

4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236

ELECTION DIST. NO.: 14C5

SHEET DESIGNATION	CONTRACT NUMBER
M601	25034 PF0 RE-BID
	JOB ORDER NUMBER 241-220-0054-0012
	SHEET 42 of 58
	DRAWING NUMBER 2022-2358
	FILE NO.: 20-120 REV: 10/14

NOTE:
LEGENDS ARE GENERAL. NOT ALL SYMBOLS, ABBREVIATIONS, AND/OR DESIGNATIONS MAY APPEAR ON THE DRAWINGS.

PLUMBING

ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR	KW	KILOWATT
AFG	ABOVE FINISHED GRADE	KWH	KILOWATT HOUR
AFLR	ABOVE FLOOR LEVEL RIM		
AHU	AIR HANDLING UNIT	LAV	LAVATORY
APPROX	APPROXIMATE	LF	LINEAR FEET (FOOT)
ARCH	ARCHITECTURAL	LBS OR #	POUNDS
AV	ACID VENT		
AVR	ACID VENT RISER	MAX	MAXIMUM
AW	ACID WASTE	MBH	THOUSAND BTU PER HOUR
		MC	MECHANICAL CONTRACTOR
BLW	BELOW	MECH	MECHANICAL
BFF	BELOW FINISHED FLOOR	MFR	MANUFACTURER
BFG	BELOW FINISHED GRADE	MH	MANHOLE
BFP	BACKFLOW PREVENTER	MIN	MINIMUM
BJ	BETWEEN JOISTS	MSB	MOP SERVICE BASIN
BLDG	BUILDING	MSB (E)	MOP SERVICE BASIN (EXISTING)
BOT	BOTTOM	MTD	MOUNTED
BTU	BRITISH THERMAL UNIT	MTG	MOUNTING
CB	CATCH BASIN	NA	NOT APPLICABLE
CIB	CAST IRON BOOT	NIE	NORMAL/EMERGENCY POWER
CIP	CAST IRON PIPE	NC	NORMALLY CLOSED
CLG	CLEANING	NO	NORMALLY OPEN
CO	CLEANOUT	NIC	NOT IN CONTRACT
CONC	CONCRETE	NO	NUMBER
CONN	CONNECT OR CONNECTION	NTS	NOT TO SCALE
CONSTR	CONSTRUCT/CONSTRUCTION		
CONT	CONTINUED/CONTINUATION	OC	ON CENTER
COORD	COORDINATE	OFD	OVERFLOW DRAIN
CHKV	CHECK VALVE	OPNG	OPENING
CW	COLD WATER		
		PLBG	PLUMBING
DEG OR °	DEGREE	PC	PLUMBING CONTRACTOR
DF	DRINKING FOUNTAIN	PD	PRESSURE DROP OR DIFFERENCE
DHW	DOMESTIC HOT WATER	PH	PHASE
DIA OR Ø	DIAMETER	PIP	PRE-INSULATED PIPE
DISC	DISCONNECT	PR	PUMPED RETURN
DN	DOWN	PRESS	PRESSURE
DR	DRAIN	PRV	PRESSURE REDUCING VALVE
DWG	DRAWING		OR PRESSURE RELIEF VALVE
		PSI	POUNDS PER SQUARE INCH
(E) / EXST	EXISTING	RD	ROOF DRAIN
EC	ELECTRICAL CONTRACTOR	RI	ROUGH-IN
ECO	EXTERIOR CLEANOUT	RPM	REVOLUTIONS/MINUTE
ELEC	ELECTRICAL	RPZ	REDUCED PRESSURE ZONE
EL	ELEVATION	RV	RELIEF VALVE
ERD	EXISTING ROOF DRAIN	RWL	RAIN WATER LEADER
EWS	EYE WASH STATION		
EWC	ELECTRIC WATER COOLER		
ETR	EXISTING TO REMAIN	S&C	STUB & CAP
EXIST	EXISTING	S&W	SOIL AND WASTE
EXP	EXPOSED	SAN	SANITARY
		SHT	SHEET
F	FAHRENHEIT	SP	SUMP PUMP
FCO	FLOOR CLEANOUT	SPC	SPECIFICATION
FD	FLOOR DRAIN	SQ	SQUARE
FF EL	FINISH FLOOR ELEVATION	SS	SERVICE SINK
FIN GR	FINISH GRADE	SSD	SUBSOIL DRAIN
FLR	FLOOR	ST W	STORM WATER
FLA	FULL LOAD AMPERES	STD	STANDARD
FLR SK	FLOOR SINK	STL	STEEL
FT	FOOT OR FEET	SUSP	SUSPENDED
FT HD	FEET OF HEAD	SW	SWITCH
FUT	FUTURE		
FV	FLUSH VALVE	TEMP	TEMPERATURE
FV XFMR	FLUSH VALVE TRANSFORMER	TDH	TOTAL DYNAMIC HEAD
		THRU	THROUGH
GA	GAUGE OR GAGE	TJ	THROUGH JOISTS
GAL	GALLON	TW	TEMPERED WATER
GC	GENERAL CONTRACTOR	TWMV	THERMOSTATIC WATER MIXING VAVLE
GEN	GENERAL	TYP	TYPICAL
GPH	GALLONS PER HOUR		
GPM	GALLONS PER MINUTE	UE	UNDER ELECTRICAL
G	GROUND OR GRADE	UG	UNDER GENERAL
GTV	GATE VALVE	UH	UNIT HEATER, UNDER HVAC
		UP	UNDER PLUMBING
HT	HEIGHT	UNO	UNLESS NOTED OTHERWISE
HC	HEATING (HVAC) CONTRACTOR	UR	URINAL
HCP	HANDICAPPED (ACCESSIBLE)		
HP	HORSE POWER	VAC	VACUUM
HR	HOUR	V	VENT
HWR	HOT WATER RECIRCULATION	VFD	VARIABLE FREQUENCY DRIVE
Hz	HERTZ (FREQUENCY)	VIF	VERIFY IN FIELD
		VR	VENT RISER
ID	INSIDE DIAMETER	VS	VENT STACK
IN OR *	INCH	VTR	VENT THROUGH ROOF
INT	INTERIOR		
INV	INVERT	W	WASTE
		W	WITH
		W/O	WITHOUT
		WC	WATER CLOSET
		WCO	WALL CLEANOUT
		WG	WATER GAGE
		WHA	WATER HAMMER ARRESTOR
		WM	WATER METER
		WP	WEATHERPROOF
		WPD	WATER PRESS DROP
		WT	WEIGHT
		WTR	WATER TEMPERATURE RISE
		XFMR	TRANSFORMER
		YCO	YARD CLEANOUT

PIPING SPECIALTIES

	PIPE ANCHOR
	END CAP
	PIPE DROP
	PIPE RISER
	PIPE TEE OFF BOTTOM
	CONCENTRIC/ECCENTRIC REDUCER
	UNION (SCREWED)
	UNION (FLANGED)
	PRESSURE/ TEMPERATURE TEST FITTING
	ALIGNMENT GUIDE
	EXPANSION JOINT W/ ALIGNMENT GUIDES
	FLEXIBLE CONNECTOR
	EXPANSION COMPENSATOR
	EXPANSION LOOP
	STRAINER WITH HOSE END BLOW OFF VALVE
	STRAINER
	PUMP
	BALANCING VALVE
	BALL VALVE
	BUTTERFLY VALVE
	CHECK VALVE
	DRAIN VALVE
	GATE VALVE
	GLOBE VALVE
	NEEDLE VALVE
	PLUG VALVE
	PRESSURE REDUCING VALVE
	PRESSURE REGULATOR VALVE
	PRESSURE RELIEF VALVE
	SAFETY RELIEF VALVE
	SHUT OFF VALVE
	SOLENOID VALVE
	STOP CHECK VALVE
	THROTTLE VALVE
	TRIPLE-DUTY VALVE
	DOUBLE CHECK VALVE
	HOT WATER TEMPER VALVE
	GAS COCK/GAS STOP VALVE
	COMPRESSED AIR SHUT-OFF VALVE
	THERMOMETER (DIAL TYPE)
	THERMOMETER (STEM TYPE)
	PRESSURE GAUGE WITH NEEDLE VALVE
	FLOW METER
	ROOF DRAIN (RD)
	OVERFLOW ROOF DRAIN (ORD)
	FLOOR SINK (FS)
	FLOOR DRAIN (FD)
	OPEN SITE DRAIN
	WATER HAMMER ARRESTOR
	FLOOR CLEANOUT
	WALL CLEANOUT
	OVERHEAD PIPE CLEANOUT
	HOSE BIBB (HB)
	WALL HYDRANT (WH)

PIPING DESIGNATIONS

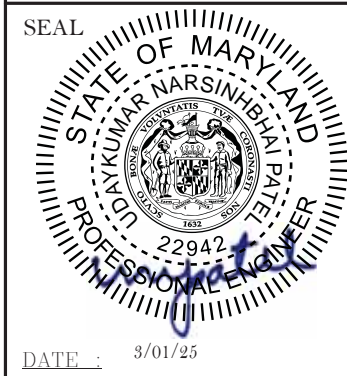
— — —	DOMESTIC COLD WATER PIPING
— — —	DOMESTIC HOT WATER PIPING
— 140 —	DOMESTIC 140°F HOT WATER PIPING
— — —	DOMESTIC HOT WATER RECIRCULATION PIPING
— 140R —	DOMESTIC HIGH TEMP. WATER RECIRCULATION PIPING
— TW —	TEMPERED HOT WATER PIPING
— SS —	SANITARY SEWER PIPING (ABOVE FLOOR)
— SS —	SANITARY SEWER PIPING (BELOW FLOOR)
— SSx —	SANITARY SEWER PIPING (EXISTING)
— CO —	CONDENSATE DRAIN
— ST —	STORM SEWER PIPING (ABOVE FLOOR)
— EST —	EMERGENCY STORM SEWER PIPING (ABOVE FLOOR)
— ST —	STORM SEWER PIPING (BELOW FLOOR)
— EST —	EMERGENCY STORM SEWER PIPING (BELOW FLOOR)
— STx —	STORM SEWER PIPING (EXISTING)
— PSAN —	PUMPED SANITARY PIPING
— V —	VENT PIPING
— G —	NATURAL GAS (LOW PRESSURE) PIPING
— MPG —	NATURAL GAS (MEDIUM PRESSURE) PIPING
— HPG —	NATURAL GAS (HIGH PRESSURE) PIPING
— GV —	NATURAL GAS VENT
— A —	COMPRESSED AIR
— DE —	DEIONIZED WATER PIPING
— FOD —	FUEL OIL DISCHARGE
— FOG —	FUEL OIL GAGE
— FOS —	FUEL OIL SUPPLY
— FOR —	FUEL OIL RETURN
— FOV —	FUEL OIL VENT
— WO —	WASTE OIL
— ACID —	ACID WASTE
— AV —	ACID VENT
— DE —	DEIONIZED WATER
— GW —	GREASE WASTE WATER
— — —	CONTINUED
← — —	FLOW DIRECTION

ANNOTATIONS

	AREA OF REVISION
	REVISION SEQUENCE NUMBER
	KEYED NOTE
	DEMOLITION KEYED NOTE
	POINT OF CONNECTION TO EXISTING SYSTEM
	POINT OF DISCONNECTION FROM EXISTING SYSTEM
	DETAIL NUMBER
	SHEET NUMBER
	SECTION NO
	SHEET NO
	PHOTO SECTION (DIRECTION OF VIEW)
	EXISTING TO REMAIN
	NEW WORK
	DEMOLITION WORK
	EXISTING (INDICATED W/ SLANTED TEXT)

GENERAL NOTES

- THE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE APPROXIMATE ARRANGEMENT OF THE EXISTING SYSTEMS. THE CONTRACTOR SHALL FIELD VERIFY EXACT INFORMATION, DIMENSIONS, LOCATIONS, ETC. AS NECESSARY AND PERFORM WORK ACCORDINGLY. NOT ALL INFORMATION IS SHOWN.
- INFORMATION WHERE SHOWN ON THE DRAWINGS WAS OBTAINED FROM EXISTING DRAWINGS AND FIELD OBSERVATION. THE CONTRACTOR SHALL VERIFY CORRECTNESS AND COMPLETENESS OF SUCH INFORMATION TO HIS/HER OWN SATISFACTION.
- REMOVE SELECTED PLUMBING SYSTEMS IN THEIR ENTIRETY. CUT, PATCH, AND FINISH WHERE DEMOLITION WORK OCCURS. REMOVE ALL ABANDONED PIPING, EQUIPMENT, FIXTURES, AND APPURTENANCES IN THEIR ENTIRETY.
- COORDINATE DEMOLITION WORK WITH THE OWNER SCHEDULE. EXISTING PLUMBING SYSTEM & OTHER SYSTEMS IN OTHER PHASES/AREAS ARE REQUIRED TO BE IN OPERATION DURING THE PROJECT CONSTRUCTION.
- REFER TO ALL CONTRACT DOCUMENTS FOR ADDITIONAL REQUIREMENTS AND COORDINATE WORK ACCORDINGLY.
- REFER TO STRUCTURAL DRAWINGS FOR REQUIREMENTS FOR OPENING REINFORCEMENT, EQUIPMENT SUPPORTS, LINTELS, AND CONCRETE PADS UNLESS OTHERWISE INDICATED.
- ALL FLOOR MOUNTED EQUIPMENT, AND APPURTENANCES SHALL HAVE MINIMUM 6" THICK CONCRETE PAD WITH CHAMFERED EDGES, WHETHER SHOWN OR NOT.
- INCLUDE ALL INCIDENTAL WORK REQUIRED FOR THE WORK INCLUDING TEMPORARY DISCONNECTION, RELOCATION, AND REINSTALLATION OF THE EXISTING OBSTRUCTIONS SUCH AS PIPING, CONDUITS, DUCTWORK, DOORS, BEAMS, JOISTS, SPRINKLERS, ETC. WHETHER SHOWN OR NOT. COORDINATE TEMPORARY SHUTDOWNS WITH OWNER'S REPRESENTATIVE AS SPECIFIED.
- ROUGH-IN AND CONNECT STORM WATER, HW, CW, VENT, SANITARY, AND WASTE LINES TO FIXTURES AND EQUIPMENT IN ACCORDANCE WITH SIZES INDICATED ON FIXTURE & EQUIPMENT SCHEDULES. DETAILS, RISER DIAGRAMS, FLOW DIAGRAMS, AND IN EQUIPMENT WITH THE PLUMBING CODE WHICH EVER IS THE MOST STRINGENT. NO PIPING SHALL BE SMALLER THAN 3/4" UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS, AND PIPE SIZES ARE IN INCHES UNLESS NOTED OTHERWISE.
- PROVIDE 2" MINIMUM SIZE SANITARY, WASTE, AND VENT PIPING BELOW GROUND/FLOOR INSIDE BUILDING REGARDLESS OF SIZE INDICATED ON PLUMBING FIXTURE SCHEDULE. PROVIDE MINIMUM 1/4" PER FEET SLOPE FOR ALL DWV AND SANITARY PIPING UNLESS OTHERWISE DIRECTED BY ENGINEER.
- PROVIDE ALL PIPING WITHIN BUILDING THERMAL ENVELOPE, ABOVE FINISHED CEILINGS UNDER BUILDING ROOF INSULATION AND ON THE CONDITIONED SPACE SIDE OF THE BUILDING INSULATION, UNLESS NOTED OTHERWISE. PIPING SHALL BE RUN AS HIGH AS POSSIBLE, CONCEALED ABOVE CEILINGS, IN WALLS AND PARTITIONS, AND IN PIPE CHASES.
- PROVIDE ACCESS PANELS, FIRE-RATED WHERE REQUIRED FOR ACCESS TO ALL CONCEALED VALVES, TRAPS, COMPONENTS OR OTHER EQUIPMENT FURNISHED UNDER THIS CONTRACT WHERE NO OTHER MEANS IS PROVIDED. PROVIDE BEADED EDGE IN GYPSUM BOARD WALLS AND CEILING.
- COORDINATE WALL, ROOF, FLOOR, AND CEILING OPENINGS FOR NEW PIPE RISERS, AND CONDUIT PENETRATIONS. PROVIDE SLEEVES AROUND EXISTING PIPES THROUGH NEW WALLS/PARTITIONS.
- FIELD VERIFY AND COORDINATE PIPING AND PROVIDE OFFSETS TO ACCOMMODATE PIPING THROUGH/BETWEEN JOISTS, BETWEEN BEAMS AND EXISTING BUILDING STRUCTURE, WALL STUDS, ETC. AT NO ADDITIONAL COST.
- EXISTING EQUIPMENT, APPLIANCES, ETC.; STRUCTURAL JOISTS, BEAMS, ETC.; AND LIGHTING FIXTURES, ELECTRICAL EQUIPMENT, ETC. WHERE SHOWN ARE FOR REFERENCE ONLY. VERIFY IN FIELD. REFER TO RESPECTIVE DRAWINGS AND EXISTING RECORD DRAWINGS WHERE AVAILABLE.
- ALL EQUIPMENT, AND PIPING SHALL BE SUPPORTED FROM JOIST TOP CHORD, UNLESS OTHERWISE NOTED. DO NOT SUPPORT ANYTHING FROM ROOF DECK.
- ALL OPENINGS IN PIPES OR FITTINGS SHALL BE KEPT PLUGGED OR CAPPED UNTIL CONNECTED.
- PROVIDE SUFFICIENT NUMBER OF UNIONS/FLANGES IN ALL PIPE LINES TO ALLOW REMOVAL OF PIPES WITHOUT BREAKING FITTINGS AND AT ALL EQUIPMENT CONNECTIONS.
- RUNOUTS TO EQUIPMENT AND FIXTURES SHALL BE RUN IN SIZES INDICATED AND INCREASED OR REDUCED AT POINT OF FINAL CONNECTION TO EQUIPMENT AND FIXTURES.
- CONNECT AND EXTEND CONDENSATE DRAIN PIPING FROM EACH AHU, RTU, AC UNITS, CRACU, DSSU, SSU, BCU, ETC. TO NEAREST ROOF DRAIN OR FLOOR DRAIN OR EXTEND AT LEAST 25 FEET IN THE DIRECTION OF ROOF SLOPE WHERE ROOF DRAIN DOES NOT EXIST UNLESS OTHERWISE INDICATED. ROUTING SHALL NOT INTERFERE WITH PASSAGEWAYS AND MAINTENANCE. PROVIDE CONDENSATE TRAPS FOR ALL CONDENSATE DRAIN CONNECTS, SEE TYPICAL DETAIL FOR INSTALLATION. SLOPE SUSPENDED DRAIN PIPING.
- DO NOT INSTALL PIPING, EQUIPMENT, AND APPURTENANCES OVER ELECTRICAL EQUIPMENT. PROVIDE REQUIRED CLEARANCES FOR ALL ELECTRICAL EQUIPMENT PER ELECTRICAL CODE (NEC). COORDINATE LOCATIONS OF PIPING, AND EQUIPMENT ABOVE CEILINGS WITH CABLE TRAYS.
- COORDINATE MOUNTING HEIGHTS OF ALL EQUIPMENT, FIXTURES AND CONSTRUCTION BEFORE ROUGH-IN. FOR HANDICAPPED/ACCESSIBLE PLUMBING FIXTURES, CONFIRM EXACT MOUNTING HEIGHT WITH AUTHORITY HAVING JURISDICTION AND ADJUST WORK AS REQUIRED BEFORE INSTALLATION.
- PROVIDE WATER HAMMER ARRESTORS ON DOMESTIC HW AND CW PIPING AT EVERY FIXTURE GROUP WHETHER SHOWN OR NOT, LOCATE IN ACCESSIBLE POSITION FOR SERVICING.
- LOCATE ALL VENTS A MINIMUM OF 10 FEET AWAY FROM HVAC OUTSIDE AIR INTAKES AND BUILDING OPENINGS. ALL VENTS THRU ROOF SHALL TERMINATE A MINIMUM OF 24" ABOVE ROOF. ALL PLUMBING VENT RISERS IN EXTERIOR WALLS SHALL BE OFF-SET A MINIMUM OF 4'-0" AT ROOF BEFORE ROOF PENETRATION.
- FURNISH OPERATIONAL, MAINTENANCE AND EMERGENCY INSTRUCTIONS TO THE OWNER'S REPRESENTATIVES BEFORE ANY PART OF THE SYSTEM IS TURNED OVER TO THE OWNER, AND SUBMIT WRITTEN CONFIRMATION TO THE ARCHITECT/ENGINEER AND GOVERNMENT.
- TEST INSTALLATION IN ACCORDANCE WITH THE APPROPRIATE CODE REQUIREMENTS AND SPECIFICATIONS IN PRESENCE OF OWNER'S REPRESENTATIVES. NOTIFY THE OWNER AND ENGINEER PRIOR TO TESTING SYSTEM. SUBMIT TESTING REPORTS IN OPERATION AND MAINTENANCE MANUALS.
- SHOULD ANY CHANGES OCCUR DUE TO COORDINATION WITH OTHER BUILDING TRADES AND CONFLICT WITH THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL SUBMIT FOR THE ARCHITECT/ENGINEER'S APPROVAL AN ALTERNATIVE METHOD OF COMPLETING THE WORK ACCORDING TO THE INTENT OF THE CONTRACT DOCUMENTS.
- REFER TO ARCHITECTURAL DRAWINGS FOR TEMPORARY LIVING FACILITY TRAILERS. PROVIDE TRAILERS WITH TEMPORARY WATER, SANITARY, ELECTRIC, AND OTHER UTILITIES THROUGHOUT THE DURATION OF CONSTRUCTION.

	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHT	DRAWING SCALE	
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.		BID/ PERMIT			3/30/25	-	MSW	-	PLAN SCALE:	NONE
	LICENSE NO. 22942 EXPIRATION DATE: 12-31-2026									PROFILE SCALE:	
	ENGINEER: UDAY PATEL, PE, LEED BD+C PRINCIPAL MECHANICAL ENGINEER		BUREAU OF ENGINEERING AND CONSTRUCTION								
	DGN BY: CCM		REVIEWED BY:								
	DWN BY: CCM		DATE REVIEWED:								
	CHKD BY: CCM										

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT

FULLERTON FIRE STATION #8 - RENOVATION & ADDITION

LEGEND, ABBREVIATIONS AND NOTES

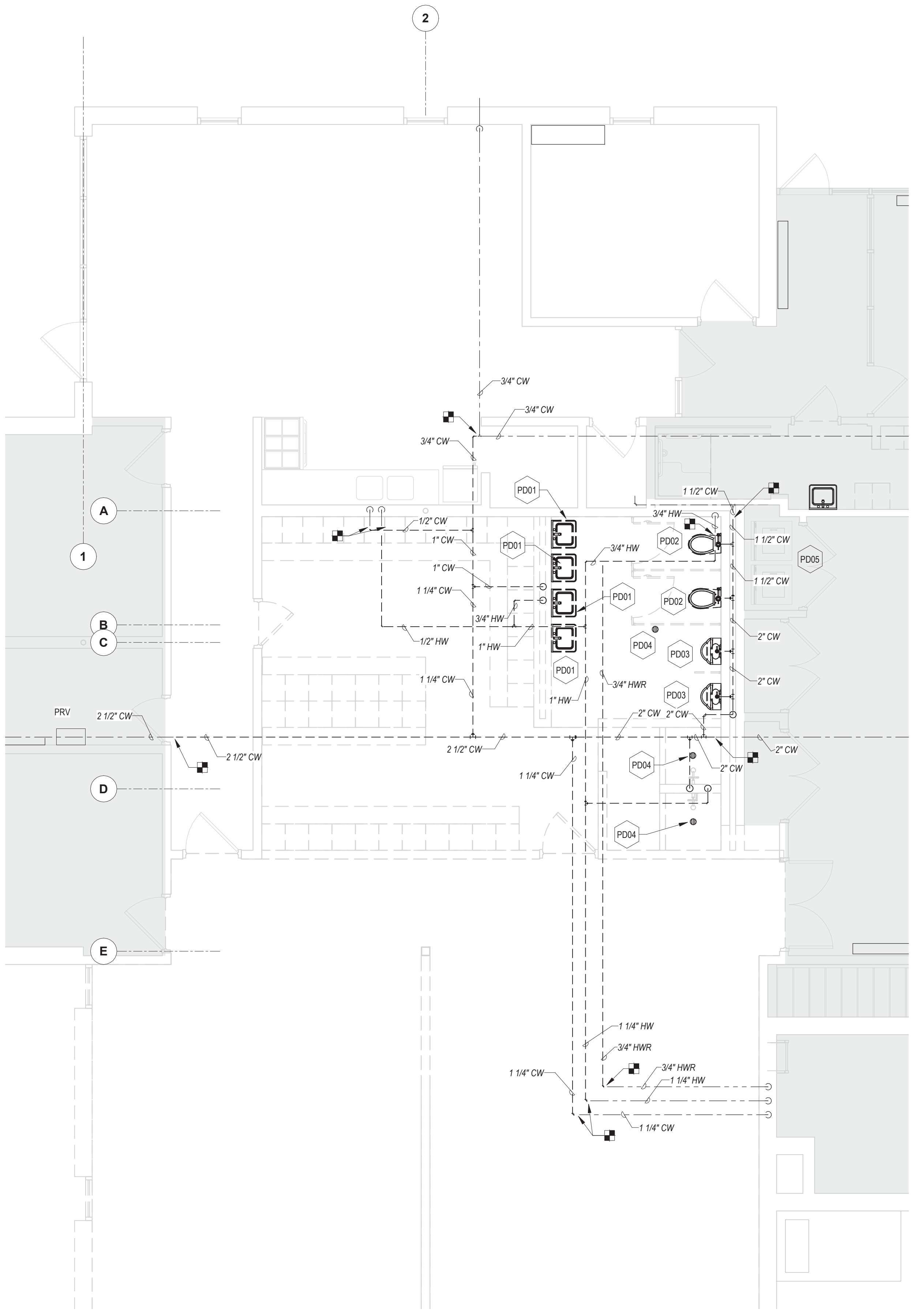
4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236

ELECTION DIST. NO.: 14C5

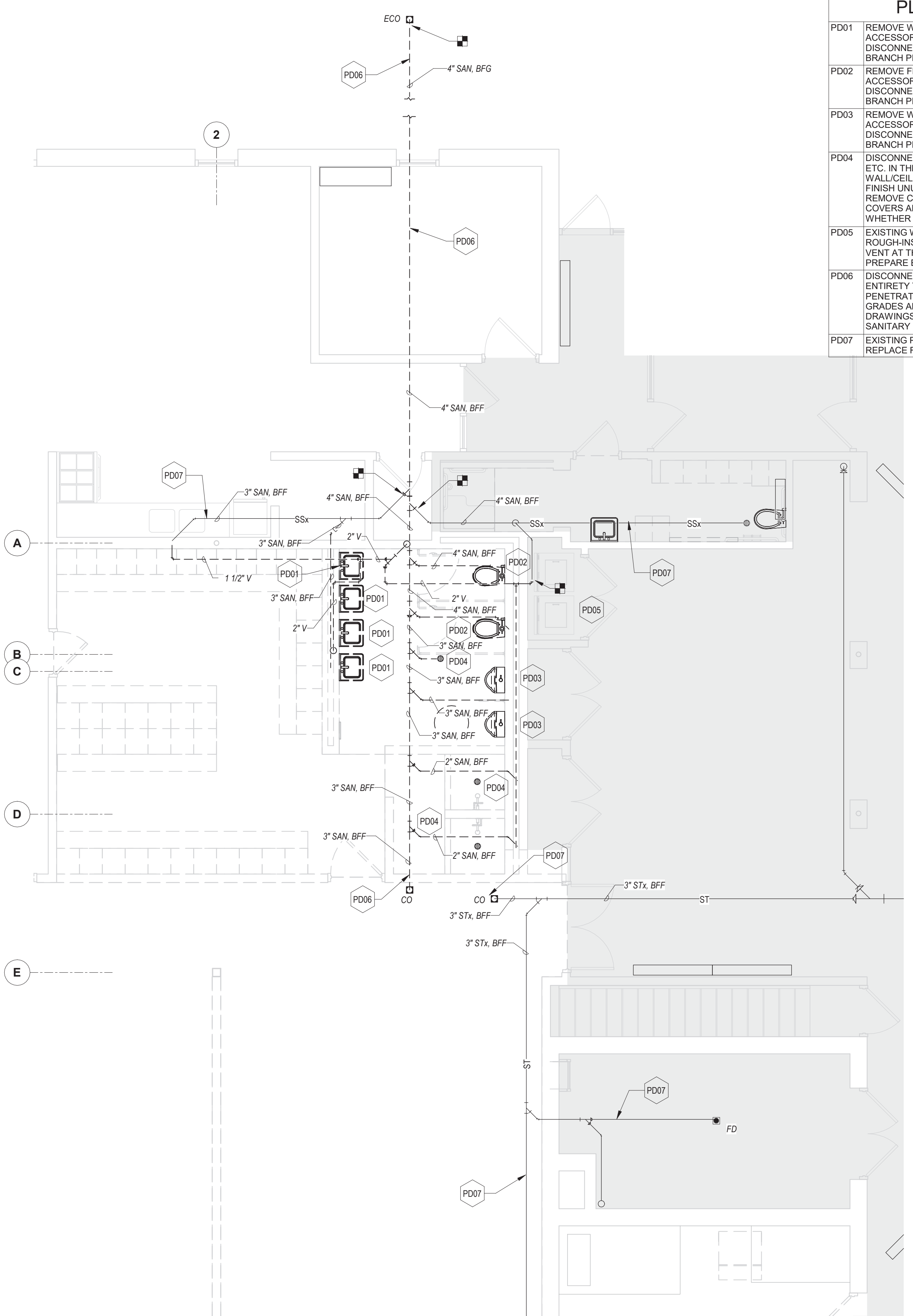


SHEET DESIGNATION	CONTRACT NUMBER
P001	25034 PF0 RE-BID
JOB ORDER NUMBER	
241-220-0054-0012	
SHEET 43 of 58	
DRAWING NUMBER	
2022-2359	
FILE NO.: 20-120	REV: 10/14

SUBDIVISION: FULLERTON



1 PLUMBING - FIRST FLOOR PART PLAN - DOMESTIC WATER - DEMOLITION
1/4" = 1'-0"



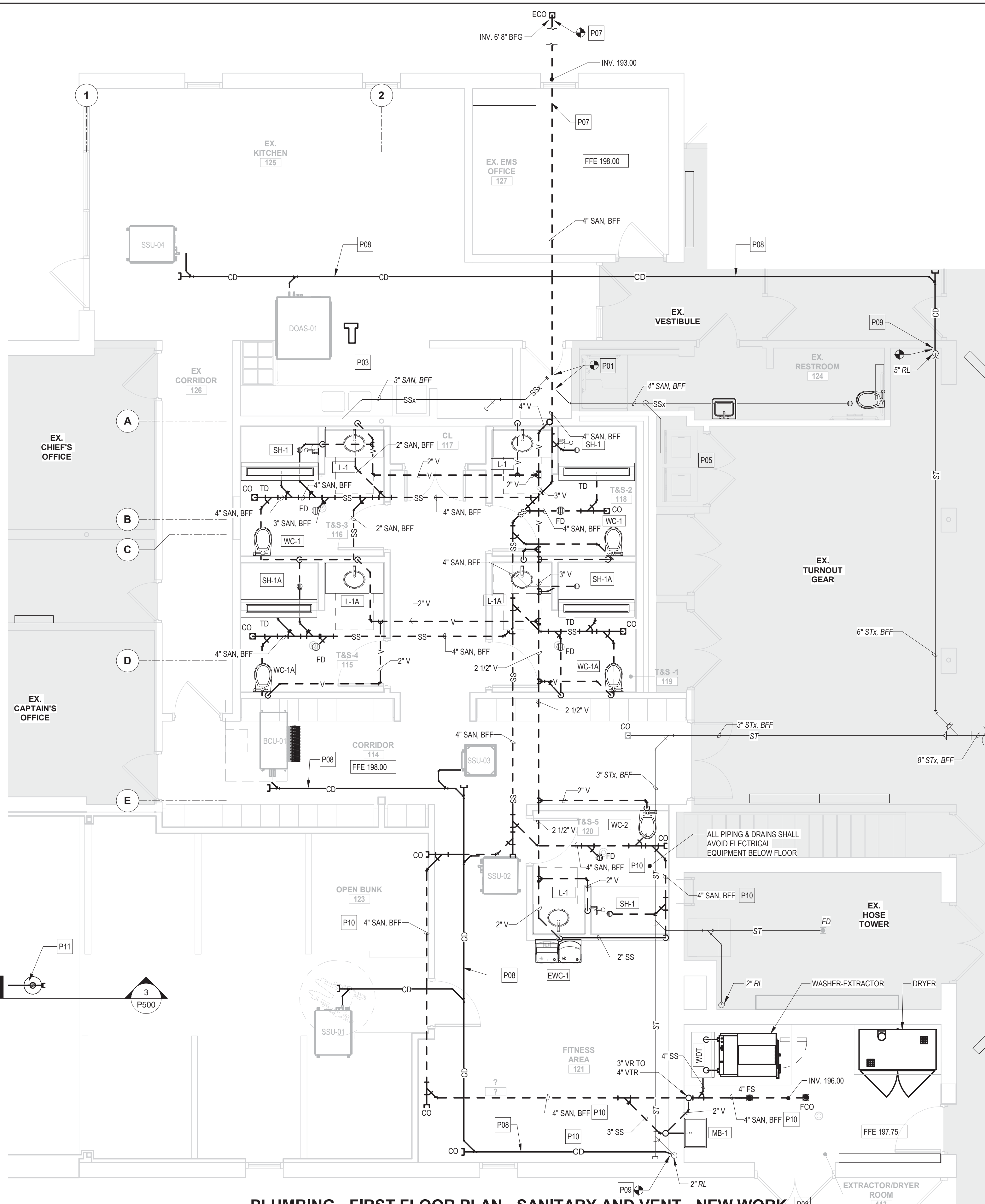
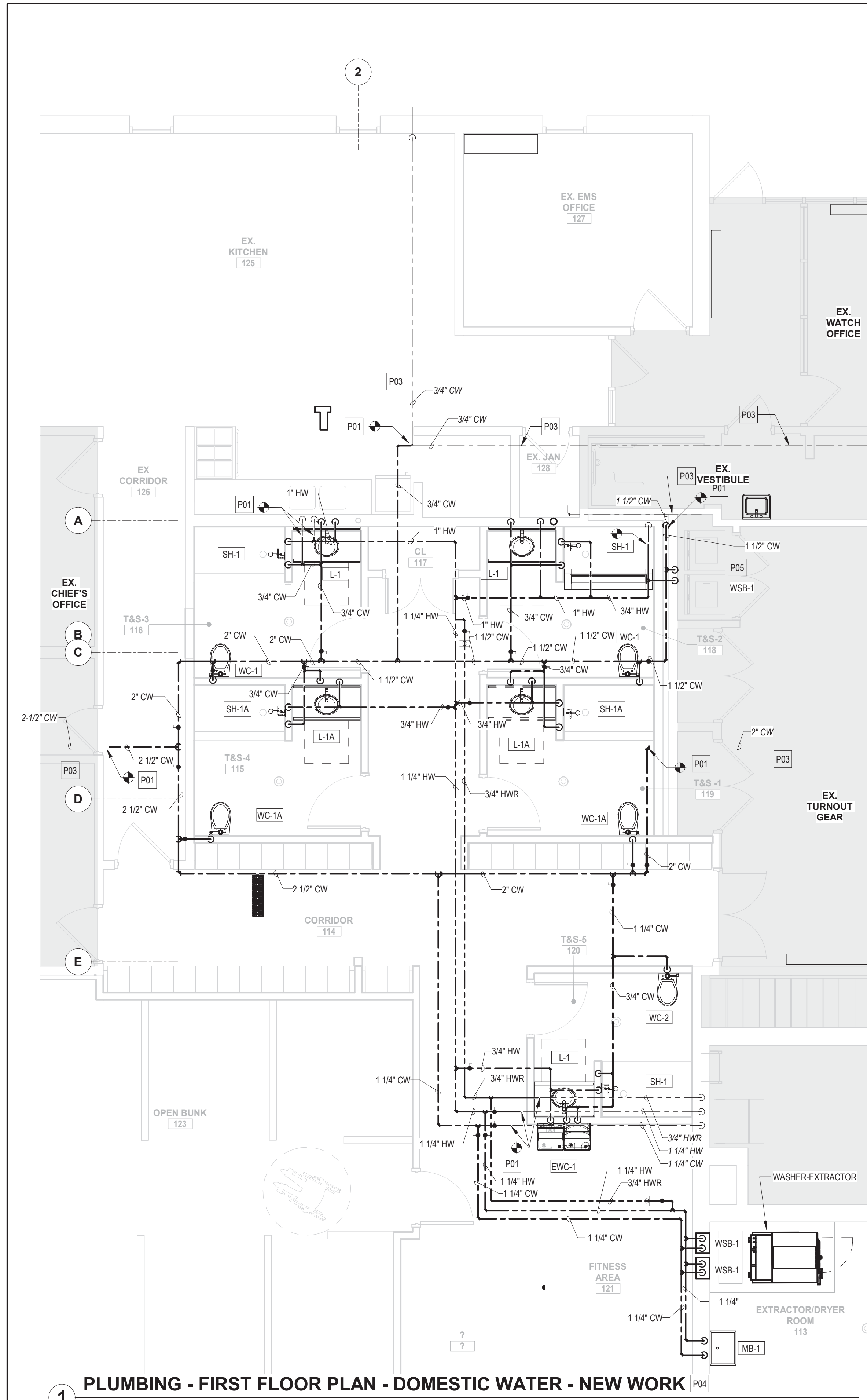
2 PLUMBING - FIRST FLOOR PART PLAN - SANITARY AND VENT - DEMOLITION
1/4" = 1'-0"

PLUMBING DEMOLITION KEYNOTES	
PD01	REMOVE WALL HUNG LAVATORY AND ALL ASSOCIATED SUPPORTS, ROUGH-INS, ACCESSORIES, HOT & COLD WATER, WASTE & VENT PIPING, ETC. IN THEIR ENTIRETY. DISCONNECT AND CAP-OFF EXISTING PIPING IN WALL/CEILING/FLOOR AT THE NEAREST BRANCH PIPING WHERE NOT REUSED. DO NOT ABANDON UNUSED PORTION OF THE PIPING.
PD02	REMOVE FLOOR MOUNTED WATER CLOSET AND ALL ASSOCIATED SUPPORTS, ROUGH-INS, ACCESSORIES, COLD WATER, SANITARY & VENT PIPING, ETC. IN THEIR ENTIRETY. DISCONNECT AND CAP-OFF EXISTING PIPING IN WALL/CEILING/FLOOR AT THE NEAREST BRANCH PIPING WHERE NOT REUSED. DO NOT ABANDON UNUSED PORTION OF THE PIPING.
PD03	REMOVE WALL HUNG URINAL AND ALL ASSOCIATED SUPPORTS, ROUGH-INS, ACCESSORIES, COLD WATER, SANITARY & VENT PIPING, ETC. IN THEIR ENTIRETY. DISCONNECT AND CAP-OFF EXISTING PIPING IN WALL/CEILING/FLOOR AT THE NEAREST BRANCH PIPING WHERE NOT REUSED. DO NOT ABANDON UNUSED PORTION OF THE PIPING.
PD04	DISCONNECT AND REMOVE FLOOR DRAIN AND ALL ASSOCIATED SANITARY & VENT PIPING, ETC. IN THEIR ENTIRETY. DISCONNECT AND CAP-OFF EXISTING PIPING IN WALL/CEILING/FLOOR AT THE NEAREST BRANCH PIPING WHERE NOT REUSED. PATCH AND FINISH UNUSED FLOOR OPENING. DO NOT ABANDON UNUSED PORTION OF THE PIPING. REMOVE CLEANOUT COVERS AND FLOOR DRAIN STRAINERS AND PREPARE FOR NEW COVERS AND STRAINERS TO SUIT NEW FINISHES WITHIN RENOVATED PROJECT AREAS WHETHER SHOWN OR NOT.
PD05	EXISTING WASHER AND DRYER EQUIPMENT AND ASSOCIATED SUPPORTS, ACCESSORIES, ROUGH-INS, ETC. TO REMAIN. DISCONNECT COLD WATER, HOT WATER, SANITARY AND VENT AT THE CHASE WALL TO ALLOW FOR DEMOLITION OF PIPING INSIDE CHASE WALL. PREPARE EXISTING PIPING FOR NEW CONNECTIONS.
PD06	DISCONNECT AND REMOVE BELOW FLOOR/UNDERGROUND SANITARY PIPING IN ITS ENTIRETY TO THE EXISTING EXTERIOR CLEANOUT. COORDINATE SLEEVES AND PENETRATIONS THRU/UNDER THE EXISTING FOUNDATIONS. CUT AND PATCH FLOORS, GRADES AND FINISHED AREAS TO MATCH EXISTING OR AS SHOWN ON ARCHITECTURAL DRAWINGS. REMOVE AND REPLACE ALL FLOOR CLEANOUTS. ROD AND CLEAN BRANCH SANITARY PIPING TO REMAIN AND PREPARE FOR NEW CONNECTIONS.
PD07	EXISTING PIPING TO REMAIN. MODIFY EXISTING PIPING TO SUIT NEW WORK. REMOVE AND REPLACE FLOOR CLEANOUT TO SUIT NEW FLOOR FINISH.

	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHT	DRAWING SCALE		APPROVED BY: <i>Mihai T. Petrisor</i> DIRECTOR DATE: 03/26/2025
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.		BID/PERMIT		3/19/25	-	MSW	27NE21	PLAN SCALE: AS INDICATED		
	LICENSE NO. 22942 EXPIRATION DATE: 12-31-2026					R.O.W. NO.	-	-	PROFILE SCALE: -		
	ENGINEER: UDAY PATEL, PE, LEED BD+C PRINCIPAL MECHANICAL ENGINEER		BUREAU OF ENGINEERING AND CONSTRUCTION	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	PROPERTY MANAGEMENT	
	DWN BY: CCM		REVIEWED BY:							APPROVED BY: _____ CHIEF	
CHKD BY: CCM		DATE REVIEWED:								DATE: _____	

	SHEET DESIGNATION		CONTRACT NUMBER
	PD100		25034 PFO RE-BID
	JOB ORDER NUMBER		241-220-0054-0012
	SHEET 44 of 58		DRAWING NUMBER
	2022-2360		FILE NO.: 20-120 REV: 10/14

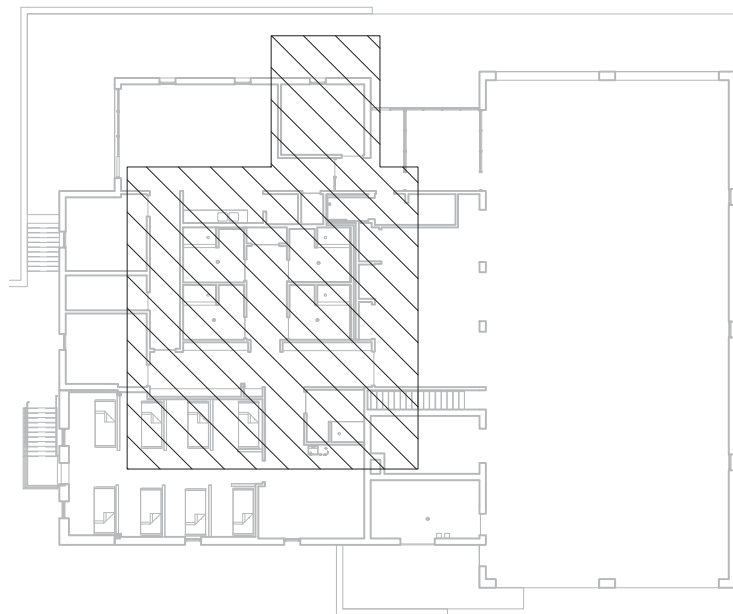
Baltimore County Office of Budget and Finance, Property Management	
Fullerton Fire Station #8 - Renovation & Addition	
First Floor Part Plans - Demolition	
4401 Fitch Avenue, Nottingham, Maryland, 21236	
Election Dist. No.: 14C5	



PLUMBING NEW WORK KEYNOTES

- P01 PROVIDE CW & HW, WASTE, SANITARY, AND VENT PIPING TO THE EXTENT SHOWN. EXTEND AND CONNECT NEW PIPING TO EXISTING PIPING OF SAME OR LARGER SIZE WHERE SHOWN. PROVIDE SHUT-OFF VALVES IN CW & HW BRANCH PIPING TO EACH RESTROOM. PREPARE EXISTING UNDERGROUND SANITARY PIPING FOR NEW CONNECTION AT APPROPRIATE INVERT ELEVATION. EXTEND AND CONNECT NEW VENT PIPING TO EXISTING VENT PIPING AT APPROPRIATE INVERT ELEVATION. PROVIDE WATER HAMMER ARRESTER ON HW AND CW PIPING. REMOVE AND REPLACE EXISTING CEILING TILES TO REMAIN. MAINTAIN EXISTING FIXTURE TO REMAIN IN SERVICE TO THE EXTENT POSSIBLE EITHER WITH TEMPORARY OR NEW PIPING.
- P03 EXISTING DOMESTIC WATER PIPING SERVING OTHER AREA AND STORM DRAIN PIPING SHALL REMAIN OPERATIONAL UNLESS OTHERWISE NOTED. REMOVE EXPOSED PIPING INSULATION IN ITS ENTIRETY AND REPLACE WITH IN KIND TO PROTECT NEW FINISHES. FIELD VERIFY PIPE SIZES AND INSULATION THICKNESS.
- P04 REMOVE AND REPLACE PIPING INSULATION OF ALL EXISTING DOMESTIC WATER PIPING OCCURRING ABOVE THE CEILING IN THE RESTROOMS, LOCKER ROOMS AND DORMITORY ROOM BEING RENOVATED. REMOVE EXPOSED PIPING INSULATION IN ITS ENTIRETY AND REPLACE WITH IN KIND PIPING INSULATION TO PROTECT NEW FINISHES. FIELD VERIFY PIPE SIZES AND INSULATION THICKNESS UNLESS OTHERWISE SPECIFIED. PROVIDE PIPING INSULATION, VALVE TAGS, AND PIPE LABELS FOR ALL NEW AND REMAINING EXISTING PIPING IN THE RENOVATED AREA.
- P05 EXTEND AND CONNECT EXISTING ROUGH-INS FOR EXISTING WASHER-DRYER TO NEW PIPING INSIDE CHASE WALL.
- P07 PROVIDE BELOW FLOOR/UNDERGROUND SANITARY PIPING UP TO THE EXISTING EXTERIOR CLEANOUT. COORDINATE SLEEVES AND PENETRATIONS THRU/UNDER THE EXISTING FOUNDATIONS TO SUIT NEW INVERTS. CUT AND PATCH FLOORS AND FINISHED AREAS TO MATCH EXISTING OR AS SHOWN ON ARCHITECTURAL DRAWINGS. PROVIDE FLOOR AND EXTERIOR CLEANOUTS. EXTEND AND CONNECT EXISTING BRANCH SANITARY PIPING TO REMAIN TO SUIT NEW INVERTS.
- P08 PROVIDE CONDENSATE DRAIN PIPING FROM ALL MECHANICAL EQUIPMENT WHETHER SHOWN OR NOT. SEE CONDENSATE PIPE SCHEDULE FOR PIPE SIZING.
- P09 TERMINATE CONDENSATE PIPING TO NEAREST EXISTING RAIN LEADER WITH A VERTICAL WYE-FITTING.
- P10 SANITARY/WASTE PIPING AT BASEMENT FLOOR CEILING/BELOW EXISTING FLOOR/BELOW FINISHED GRADE. FIELD COORDINATE EXACT ROUTING TO AVOID ELECTRICAL EQUIPMENT/PANELBOARDS. DISCONNECT, RELOCATE, AND RECONNECT ANY EXISTING OBSTRUCTIONS AS REQUIRED.
- P11 3\"/>

KEY PLAN



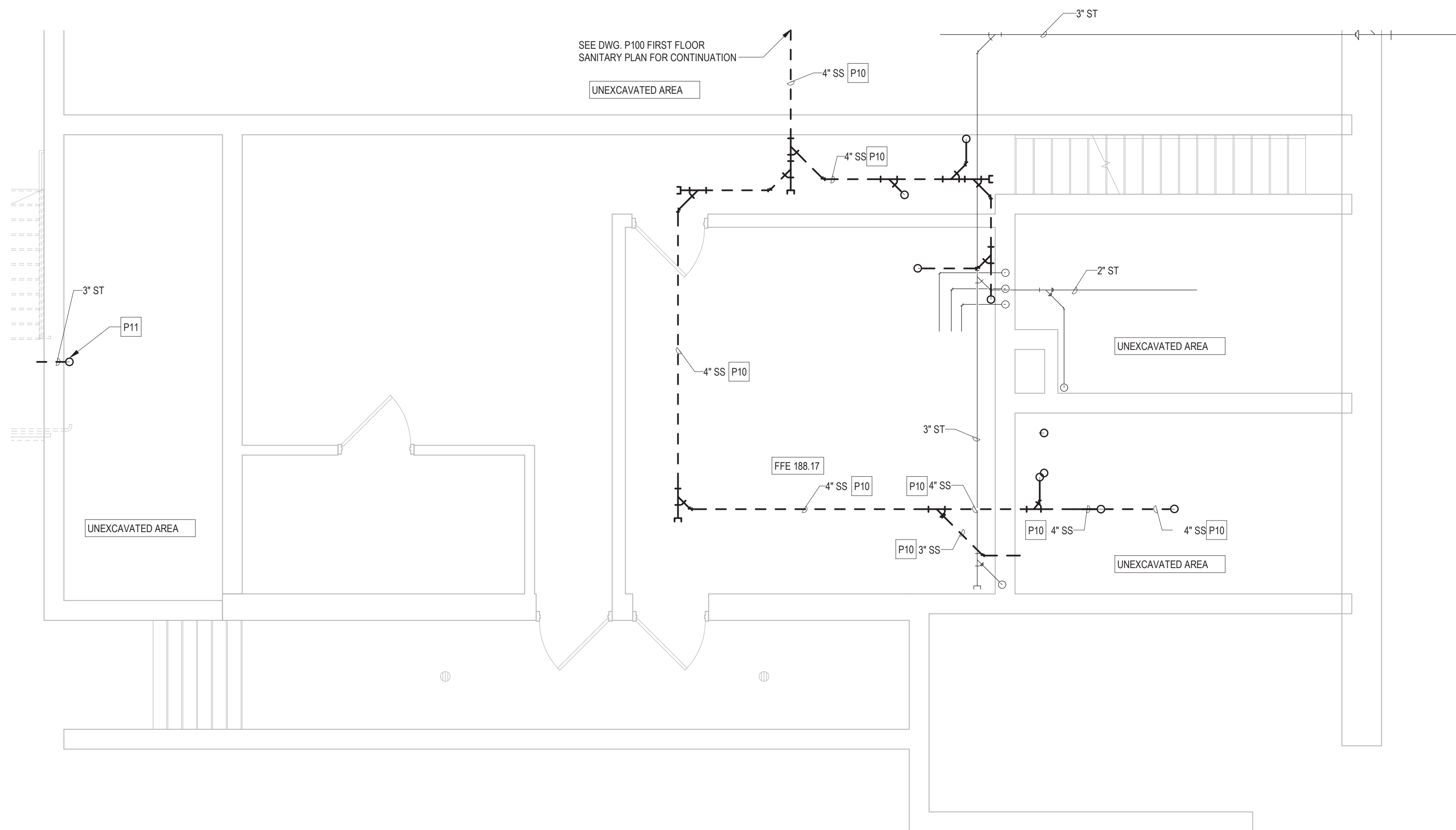
	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHT	DRAWING SCALE
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.		BID/PERMIT		3/26/2025	MSW	27NE21		PLAN SCALE: AS INDICATED
	LICENSE NO. 22942 EXPIRATION DATE: 12-31-2026								PROFILE SCALE: 1\"/>
	ENGINEER: UDAY PATEL, PE, LEED BD-C PRINCIPAL MECHANICAL ENGINEER C.C. JOHNSON & ASSOCIATES, P.C. 640 EAST PRUITT STREET, SUITE 100 BALTIMORE, MARYLAND 21202 (P) 410-461-0500		DGN BY: CCM	BUREAU OF ENGINEERING AND CONSTRUCTION	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER
	DWN BY: CCM		REVIEWED BY:						FIELD ENGINEER

APPROVED BY: <i>Mihai T. Petrisor</i> DATE: 03/26/2025	DIRECTOR
APPROVED BY: _____	CHIEF
DATE: _____	
SUBDIVISION: FULLERTON	
BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT	
FULLERTON FIRE STATION #8 - RENOVATION & ADDITION	
FIRST FLOOR PART PLANS - NEW WORK	
4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236	
ELECTION DIST. NO.: 14C5	

SHEET DESIGNATION	CONTRACT NUMBER
P100	25034 PF0 RE-BID
JOB ORDER NUMBER	241-220-0054-0012
SHEET	45 of 58
DRAWING NUMBER	2022-2361
FILE NO.	20-120

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P07	<p>PROVIDE BELOW FLOOR/UNDERGROUND SANITARY PIPING UP TO THE EXISTING EXTERIOR CLEANOUT. COORDINATE SLEEVES AND PENETRATIONS THRU/UNDER THE EXISTING FOUNDATIONS TO SUIT NEW SLEEVES. QUOTE ALL FLOORS AND FINISH AREAS TO MATCH EXISTING OR AS SHOWN ON ARCHITECTURAL DRAWINGS. PROVIDE FLOOR AND EXTERIOR CLEANOUTS. EXTEND AND CONNECT EXISTING BRANCH SANITARY PIPING TO REMAIN TO SUIT NEW INVERTS.</p>
P10	<p>SANITARY/WASTE PIPING AT BASEMENT FLOOR CEILING/BOWT EXISTING FLOOR/BELOW FINISHED GRADE. FIELD COORDINATE EXACT ROUTING TO EXISTING RICH ELEVATIONS OR NEAREST EXISTING DISCONNECT, RELOCATE, AND RECONNECT ANY FINISHED OBSTRUCTIONS AS REQUIRED.</p>
P11	<p>3" ROOF DRAIN (NOT SHOWN IN VIEW). REFER TO ARCHITECTURAL ROOF PLAN FOR EXACT LOCATION. EXTEND 3" STORM DRAIN PIPING FROM EXISTING STORM DRAIN TO EXISTING STORM DRAIN PIPING INSIDE THE BUILDING WITH 1/16" SLOPE. FIELD COORDINATE EXACT ROUTING WITH OWNER.</p>



2 PLUMBING - BASEMENT FLOOR PLAN - NEW WORK
1/4" = 1'-0"

1 PLUMBING - PARTIAL SITE PLAN - SANITARY
1" = 10'-0"

SEAL	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHT	DRAWING SCALE			
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.		BID/PERMIT			8/01/25	-	MSW	27ME21	PLAN SCALE: NONE		APPROVED BY: Mihai T. Petrisor	
	22942		EXPIRATION DATE: 12-31-2025				R.O.W. NO.	-	-	PROFILE SCALE: -		DATE: 03/26/2025	
	ENGINEER:		BUREAU OF ENGINEERING AND CONSTRUCTION		HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	PROPERTY MANAGEMENT		
	UDAY PATEL, PE, LEED BD+C PRINCIPAL MECHANICAL ENGINEER		REVIEWED BY:										
	OWN BY: CCIM		C.C. JOHNSON & MALHOTRA, P.C. 600 EAST PRATT STREET, SUITE 605 BALTIMORE, MARYLAND 21202 (P) 410-944-0000										
	CHRD BY: CCIM		DATE REVIEWED:										
DATE: 5/01/25	APPROVED BY: _____												
	DATE: _____ CHIEF												


SUBDIVISION: FULLERTON

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT

FULLERTON FIRE STATION #8 - RENOVATION & ADDITION

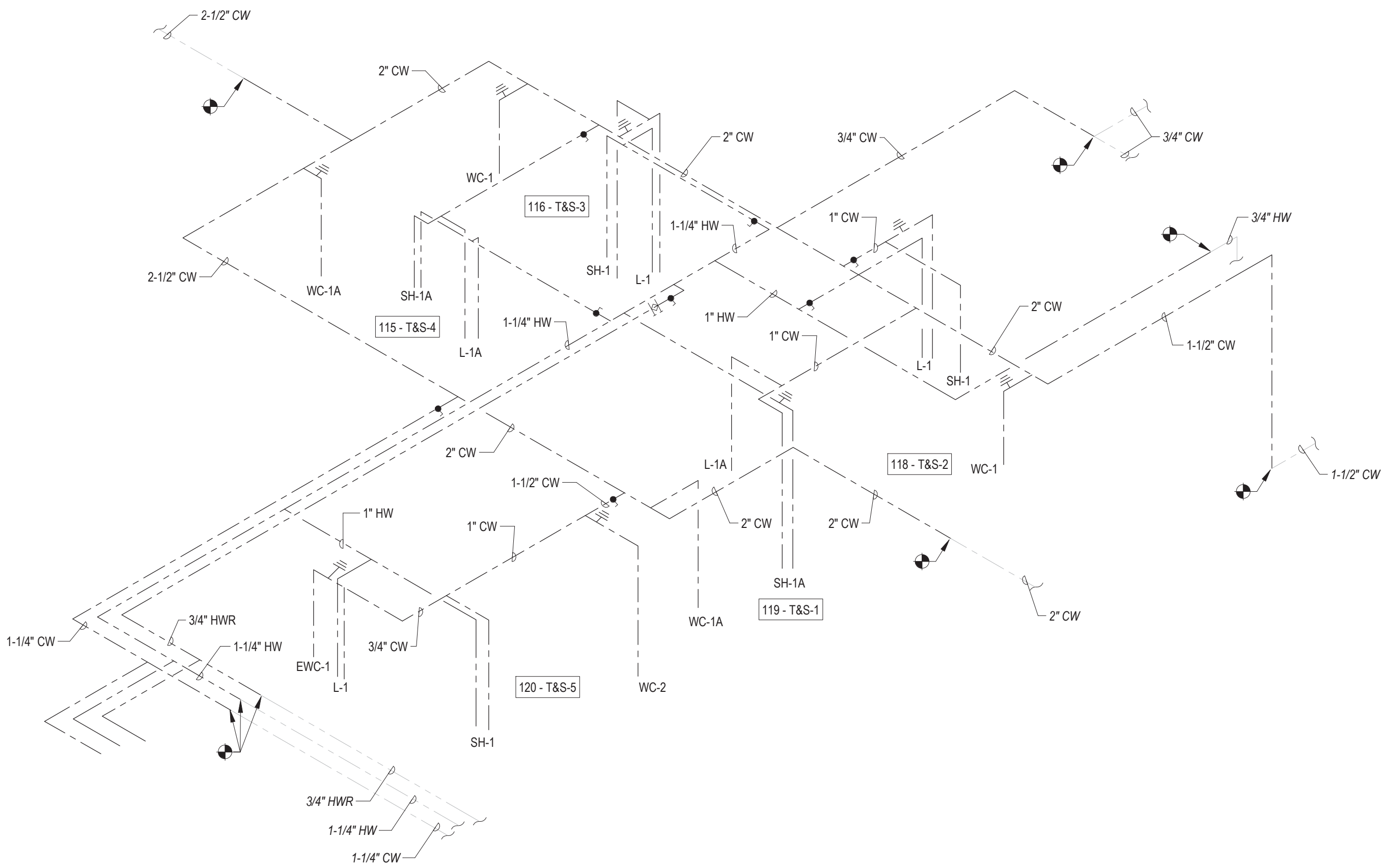
BASEMENT FLOOR PLAN AND SITE PLAN

4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236

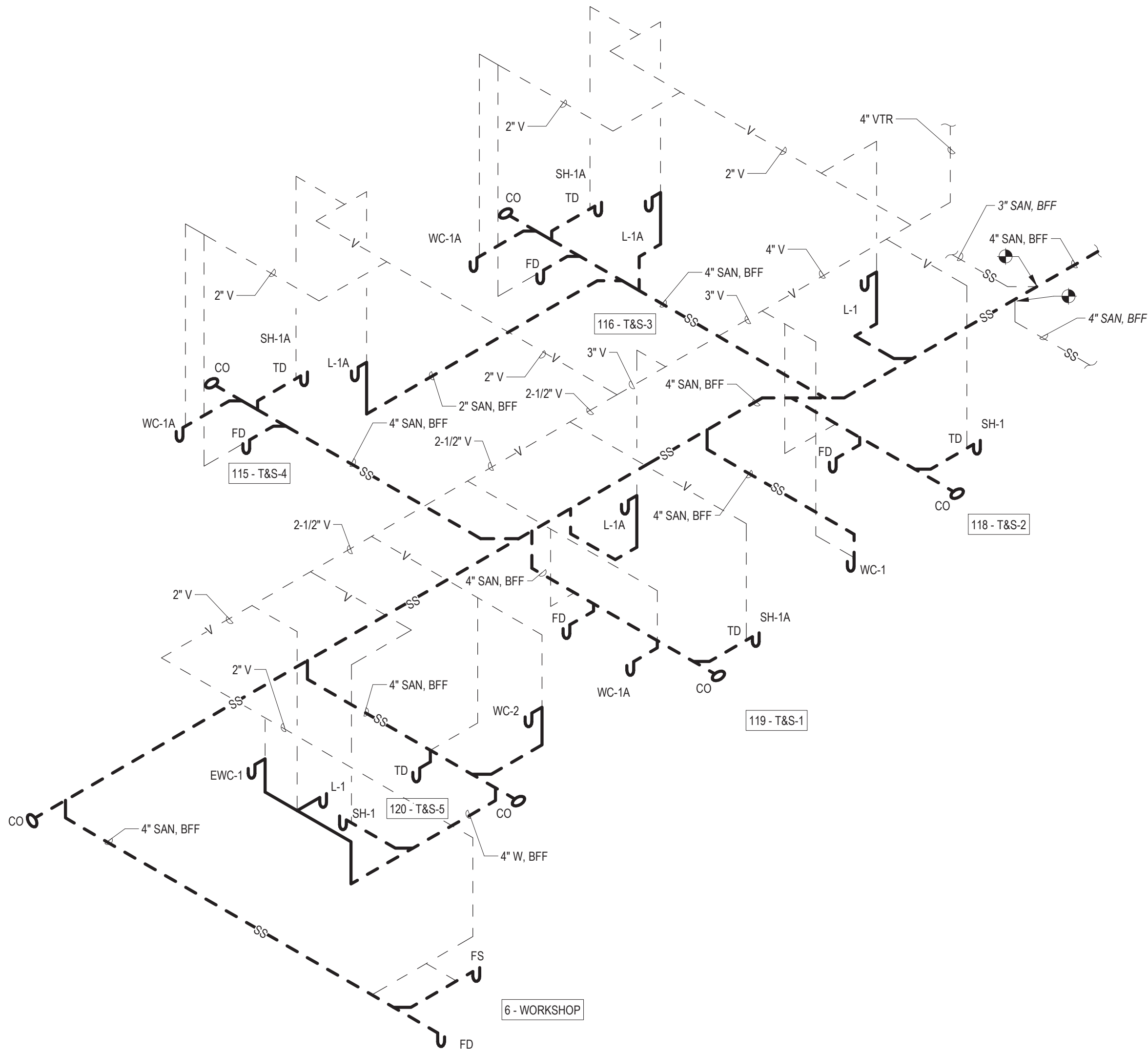
SHEET DESIGNATION	CONTRACT NUMBER
P101	25034 PF0 RE-BID
	JOB ORDER NUMBER
	241-220-0054-0012
	SHEET 46 of 58
	DRAWING NUMBER
	2022-2362
FILE NO. - 000-100	REV

DWG.
FILENAME.

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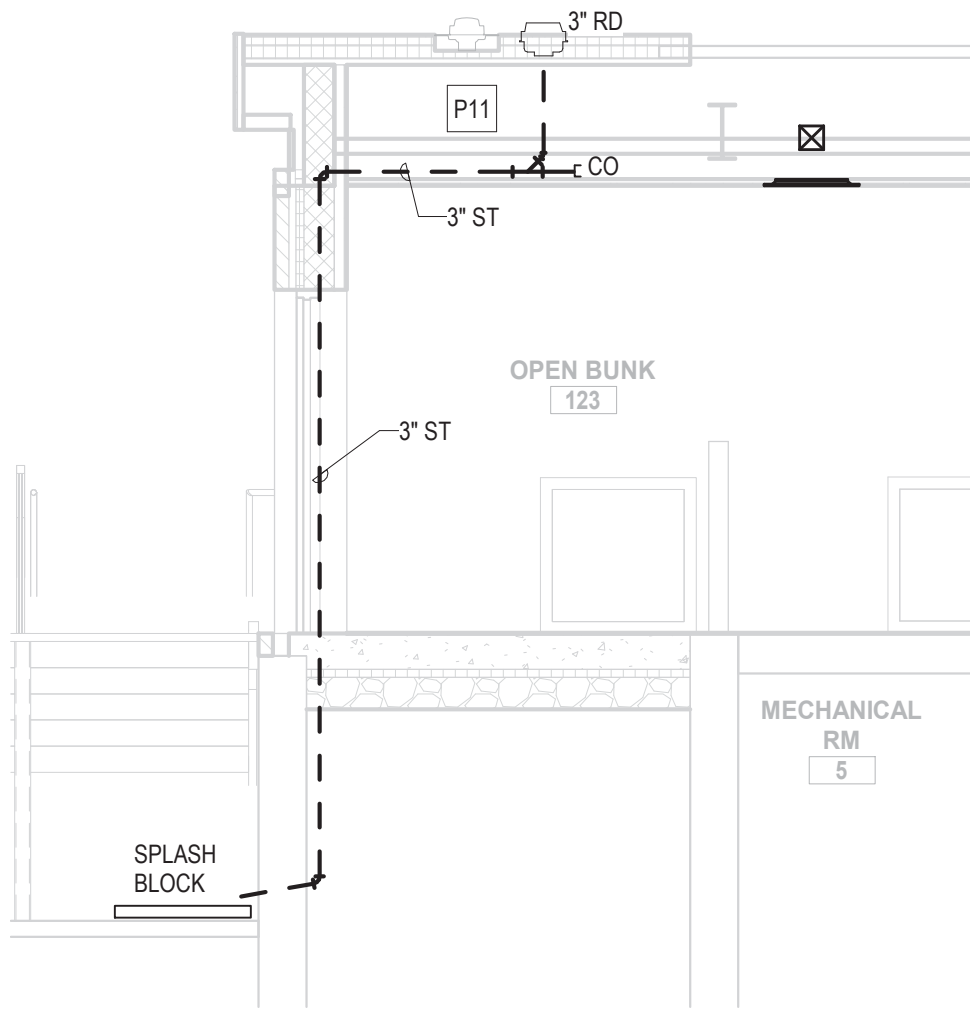


1 PLUMBING - PARTIAL DOMESTIC WATER RISER DIAGRAM
NOT TO SCALE




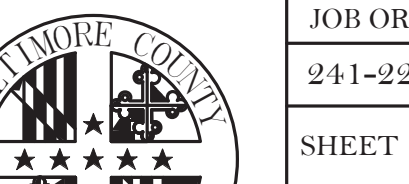
2 PLUMBING - PARTIAL SANITARY AND VENT RISER DIAGRAM
NOT TO SCALE

PLUMBING NEW WORK KEYNOTES	
P11	3" ROOF DRAIN (NOT SHOWN IN VIEW). REFER TO ARCHITECTURAL ROOF PLAN FOR EXACT LOCATION. EXTEND 3" STORM DRAIN PIPING FROM ROOF DRAIN TO DISCHARGE ON GRADE OR NEAREST EXISTING STORM DRAIN PIPING INSIDE THE BUILDING WITH 1.5% SLOPE. FIELD COORDINATE EXACT ROUTING WITH OWNER.



3 NEW ROOF DRAIN SECTION
1/4" = 1'-0"

<div><div>SEAL</div><div></div><div>DATE: 3/01/25</div></div>	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHT	DRAWING SCALE		APPROVED BY: <i>Mihai T Petrisor</i> DIRECTOR DATE: 03/26/2025
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 22942 EXPIRATION DATE: 12-31-2026					BID/PERMIT		0101/01	MSW	#NE21	PLAN SCALE: AS INDICATED	
								R.O.W. NO.	-	-	PROFILE SCALE: 1" = 10'	
								-	-	-	-	
	ENGINEER: UDAY PATEL, PE, LEED BD+C PRINCIPAL MECHANICAL ENGINEER C.C. JOHNSON & MALHOTRA, P.C. 600 EAST PRATT STREET, SUITE 604 BALTIMORE, MARYLAND 21202 (P) 410-461-0500		DGN BY: CCM	BUREAU OF ENGINEERING AND CONSTRUCTION	HIGHWAYS		STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	PROPERTY MANAGEMENT
			DWN BY: CCM	REVIEWED BY:								
			CHKD BY: CCM	DATE REVIEWED:								
												APPROVED BY: _____ CHIEF DATE: _____

		SHEET DESIGNATION		CONTRACT NUMBER	
		P500		25034 PF0 RE-BID	
BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT					
				JOB ORDER NUMBER	
				241-220-0054-0012	
				SHEET 47 of 58	
				DRAWING NUMBER	
				2022-2363	
				FILE NO.: 20-120 REV: 10/14	
BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT					
FULLERTON FIRE STATION #8 - RENOVATION & ADDITION					
RISER DIAGRAMS					
SUBDIVISION: FULLERTON		4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236		ELECTION DIST. NO.: 14C5	

PLUMBING FIXTURES SCHEDULE						
TAG	DESCRIPTION	CONNECTIONS ROUGH-IN SIZE (INCHES)				REMARKS
		COLD WATER	HOT WATER	WASTE	VENT	
WC-1A	WATER CLOSET - ADA	1"	-	4"	2"	ACCESSIBLE, 1.28 GPF, FLOOR MOUNTED, WATER CLOSET WITH MANUAL EXPOSED FLUSHOMETER AND RIM HEIGHT 17" AFF. TOTO MODEL CT705ELN(G) WATER CLOSET; SC534 SEAT & SLOAN VALVE MODEL REGAL 111-1.28XL FLUSHOMETER
WC-1	WATER CLOSET	1"	-	4"	2"	1.28 GPF, FLOOR MOUNTED, WATER CLOSET WITH MANUAL EXPOSED FLUSHOMETER AND RIM HEIGHT 17" AFF. TOTO MODEL CT705ELN(G) WATER CLOSET; SC534 SEAT & SLOAN VALVE MODEL REGAL 111-1.28XL FLUSHOMETER
WC-2	WATER CLOSET - WALL MOUNTED	1"	-	4"	2"	1.28 GPF, WALL MOUNTED, WATER CLOSET WITH MANUAL EXPOSED FLUSHOMETER AND RIM HEIGHT 17" AFF. TOTO MODEL CT708E(G) WATER CLOSET; SC534 SEAT & SLOAN VALVE MODEL REGAL 111-1.28XL FLUSHOMETER
EW-C-1	ELECTRICAL WATER COOLER ADA	3/4"	-	1-1/2"	1-1/2"	ACCESSIBLE, WALL MOUNTED, HIGH EFFICIENCY, VANDAL RESISTANT, DUAL LEVEL STAINLESS STEEL WITH WATER BOTTLE FILLER AND WALTER FILTER, CANE TOUCH APRON. 8 GPH OF 50 °F WATER AT 90 °F AMBIENT AND 80 °F INLET WATER 6 FLA, 120V/1 PH/60 HZ
SH-1A	SHOWER, INDIVIDUAL - ADA	1/2"	1/2"	3"	1-1/2"	ACCESSIBLE, 1.5 GPM, WATER SENSE CERTIFIED. BARDLEY MODEL HN300-HDT1-SF-LHV-LBJ-ST-HS-NS-NONE-AP-BP-NONE-NONE SHOWER CONTROLS. OTHER ACCESSORIES AND SHOWER MODULE SPECIFIED ON ARCHITECTURAL PLANS & SPECIFICATIONS
SH-1	SHOWER, INDIVIDUAL	1/2"	1/2"	3"	1-1/2"	1.5 GPM, WATER SENSE CERTIFIED. BRADLEY MODEL 1C-HDT1-ST-SF-NONE-LBJ-NONE-NONE-NONE-NONE-AP SHOWER CONTROLS. OTHER ACCESSORIES AND SHOWER MODULE SPECIFIED ON ARCHITECTURAL PLANS & SPECIFICATIONS
L-1A	UNDERCOUNTER LAVATORY - ADA	1/2"	1/2"	2"	1-1/2"	ACCESSIBLE, UNDERCOUNTER MOUNTED WITH REAR INTEGRAL OVERFLOW, CENTER FLAT STRAINER DRAIN. COLOR SELECTED BY ARCHITECT. MANUAL-TYPE SINGLE-CONTROL MIXING FAUCET WITH 0.5 GPM LAMINAR SPRAY OUTLET. TOTO MODEL LT546G LAVATORY AND MOEN FAUCET MODEL 8210 (NOTE 2, 7)
L-1	UNDERCOUNTER LAVATORY	1/2"	1/2"	2"	1-1/2"	UNDERCOUNTER MOUNTED WITH REAR INTEGRAL OVERFLOW, CENTER FLAT STRAINER DRAIN. COLOR SELECTED BY ARCHITECT. MANUAL-TYPE SINGLE-CONTROL MIXING FAUCET WITH 0.5 GPM LAMINAR SPRAY OUTLET. TOTO MODEL LT546G LAVATORY AND MOEN FAUCET MODEL 8210 (NOTE 2, 7)
TD	TRENCH DRAIN	-	-	3"	1-1/2"	BOTTOM DRAIN CONNECTION. SEE ARCHITECTURAL DRAWINGS. PROVIDE DEEP SEAL TRAP WITH PROSET TRAPGUARD
MB-1	MOP SERVICE SINK	3/4"	3/4"	3"	2"	WALL-HUNG CAST IRON, 24" X 20.5" X 11" SERVICE SINK WITH BACK AND RIM GUARD, CAST IRON "P" TRAP AND 3" STRAINER. AMERICAN STANDARD MODEL AKRON 7696.008. CHICAGO MODEL 305VBRCF WALL MOUNT SERVICE FAUCET.
FD	FLOOR DRAIN	-	-	3"	1-1/2"	DEEP SEAL TRAP WITH PROSET TRAPGUARD
WSB-1	WATER SUPPLY CONTROL BOX	3/4"	3/4"	4"	1-1/2"	WATER SUPPLY FOR WASHER. TWO CONTROL BOXES AS PER MANUFACTURER'S REQUIREMENTS. IPS CORP. WIDE MOUTH MODEL# W8900HACP RECESSED OUTLET BOX. WATER HAMMER ARRESTORS, 1/4 TURN COPPER SWEAT VALVES, AND 2" DRAIN CONNECTION. FIRE RATED OUTLET BOX IN RATED WALLS/PARTITIONS. FIVE FEET LONG BRAIDED STAINLESS STEEL OR HEAVY DUTY PVC HOSE SEALED WITH RIGID CORRUGATED OUTER WALL WASHING MACHINE AUTO SHUT-OFF CONNECTORS.

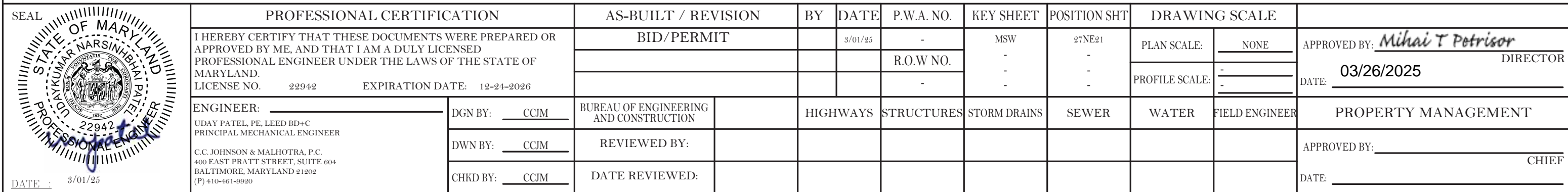
1.	COORDINATE MOUNTING HEIGHTS AND LOCATIONS FOR ALL FIXTURES BEFORE INSTALLATION, REFER TO ARCHITECTURAL ELEVATION DRAWINGS, ROUGH-IN AND INSTALL BARRIER-FREE/ACCESSIBLE FIXTURES PER ADA REQUIREMENTS. COORDINATE AUTOMATIC FLUSH VALVE HEIGHT WITH GRAB BARS.
2.	FAUCET AS SPECIFIED; WATER SUPPLIES, OFFSET TRAP; PROVIDE INSULATION ON WASTE AND WATER SUPPLIES.
3.	PROVIDE FLOOR MOUNTED CHAIR-CARRIER TYPE FIXTURE SUPPORTS FOR EACH OFF-THE-FLOOR MOUNTED FIXTURE SUCH AS LAVATORIES, URINALS, WATER CLOSETS, WATER COOLERS, AND SIMILAR OTHER FIXTURES.
4.	HEAVY DUTY, ONE-PIECE CONSTRUCTION, CHROME PLATED BRASS, VANDAL-RESISTANT BUBBLERS. PROVIDE CANE APRON LKAPREZL, FRONT ACCESS STAINLESS STEEL PANEL, MLP100 IN-WALL SUPPORT FRAME, AND 51300C WATERSENTRY PLUS FILTER AND WATERSENTRY VII FILTER KIT. 8 GPH CAPACITY. 120 VOLT, 1 PHASE, 60 HZ.
5.	HEAVY DUTY, ONE-PIECE CONSTRUCTION, CHROME PLATED BRASS, VANDAL-RESISTANT BUBBLERS. PROVIDE CANE APRON LKAPREZL, FRONT ACCESS STAINLESS STEEL PANEL, MLP200 IN-WALL SUPPORT FRAME, AND 51300C WATERSENTRY PLUS FILTER AND WATERSENTRY VII FILTER KIT. 8 GPH CAPACITY. 120 VOLT, 1 PHASE, 60 HZ.
6.	PIPE WASTE FROM THE FIXTURE AS INDIRECT WASTE TO NEAREST FLOOR DRAIN/FLOOR SINK. PROVIDE READY ACCESS FOR INDIRECT WASTE PIPING FOR MEANS OF FLUSH COLLECTION PER OSHA MANDATED USER TESTING.
7.	PROVIDE MANUFACTURED PROTECTIVE SHIELDING PIPE COVERS AND ENCLOSURES FOR COVERING EACH ADA PLUMBING FIXTURE HOT- AND COLD-WATER SUPPLIES AND TRAP AND DRAIN PIPING TO COMPLY WITH ADA REQUIREMENTS. TRUEBRO LAV GUARD2 OR APPROVED EQUAL. OMIT WHERE FRONT CLOSURE PANEL OCCURS ON ARCHITECTURAL DRAWINGS.


UNIT COOLING CAPACITY (TON)	BRANCH/MAIN (INCHES)	RUNOUTS (INCHES)
0-3.0	1-1/4	1-1/4
3.1-6.0	1-1/2	1-1/4
6.1-12.0	2	1-1/4
12.1-20.0	2-1/2	1-1/4
20.1-30.0	3	-

1.	THE ABOVE SCHEDULE IS A STANDARD SCHEDULE AND SHALL BE USED ONLY WHERE PIPE SIZES ARE NOT SHOWN.
2.	MINIMUM PIPE SIZE SHALL BE 1-1/4" AND/OR EQUIPMENT CONNECTION SIZES WHICHEVER IS LARGER.
3.	PROVIDE CONDENSATE DRAIN PIPING FROM EACH MBO/SC/SUIDOAS AND EXTEND TO NEAREST INDIRECT WASTE FLUW DRAIN. DO NOT DISCHARGE TO ANY OTHER FLOOR DRAINS OR ELSEWHERE. COORDINATE DRAIN LOCATIONS SHOWN ON PLUMBING FLOOR PLANS.
4.	APPLY TO PLUMBING AND MECHANICAL DRAWINGS.

PLUMBING SPECIALTIES SCHEDULE					
TAG	DESCRIPTION	MANUFACTURER	MODEL	CAPACITY	REMARKS
CO	CLEANOUT - FLOOR (VCT/CERAMIC TILE)	ZURN	ZB-1400-BP-TX	MINIMUM 4" OR LINE SIZE (UNO)	NOTE 1
ECO	CLEANOUT - EXTERIOR	ZURN	Z-1400-BP-HD	MINIMUM 4", LINE SIZE (UNO)	
WCO	CLEANOUT - WALL	ZURN	Z-1447-BP	MINIMUM 4" OR LINE SIZE (UNO)	NOTE 1
CO AP	CLEANOUT - ACCESS PANEL	ACUDOR	UF-5000-PS-CL-16X16	--	PROVIDE FOR ALL EXISTING AND NEW WALL CLEANOUTS
FD	FLOOR DRAIN - VCT/CERAMIC TILE	ZURN	ZN-415-6S-HD-VP	6" X 6" HEAVY DUTY STRAINER, MIN. 3" OR LINE SIZE (UNO)	PROVIDE DEEP SEAL TRAP AND PROSET TRAP GUARD. NOTE 2
FS	FLOOR SINK	ZURN	ZM1751-HD-KC-YS-19	12" X 12" X 8" TYPE 316 STAINLESS STEEL HEAVY DUTY. 23 SQ. IN. GRATE OPEN AREA. 4" SIZE (UNO)	PROVIDE DEEP SEAL TRAP AND PROSET TRAP GUARD. NOTE 2
RD	ROOF DRAIN	ZURN	ZA-100-C-EA-R-SC-VP-XJ-84	15"-ALUMINUM DOME	PROVIDE ZURN ZAR8199-SS NOZZLE AT 18" AFG WITH 24"LX3"HX12"W CONCRETE SPLASH BLOCK WHERE ON GRADE ROOF DRAIN DISCHARGE IS APPROVED
WHA	WATER HAMMER ARRESTER	ZURN	Z-1700	AS PER PDI	
WDT	COMMERCIAL/INDUSTRIAL WASHER DRAIN THROUGH	H-M COMPANY	HM70	SUITABLE FOR SPECIFIED 65 LB INDUSTRIAL WASHER-EXTRACTOR DRAIN CAPACITY MIN. 48" L X 24" W X 18" H, 3" TOP INLETS AND 4" SIDE / BOTTOM OUTLET	1/4" THICK POLYPROPYLENE BODY, 1/4" PVC REMOVABLE LINT FILTER WITH 3/8" PERFORATIONS, 3/4" THICK POLYPROPYLENE REMOVABLE LID AND SIDE FLANGES FASTENED WITH STAINLESS STEEL SCREWS RECESSED IN FLOOR/CONCRETE PAD.

1.	REPLACE CLEANOUT COVERS TO MATCH EXISTING SIZE AND SHAPE FOR ALL FLOOR AND WALL CLEANOUTS TO SUIT NEW FINISHES, WHETHER SHOWN OR NOT.
2.	REPLACE FLOOR DRAIN STRAINERS TO MATCH EXISTING SIZE AND SHAPE FOR ALL FLOOR DRAINS TO SUIT NEW FINISHES, WHETHER SHOWN OR NOT.



		SHEET DESIGNATION		CONTRACT NUMBER	
		P600		25034 PF0 RE-BID	
BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT					
FULLERTON FIRE STATION #8 - RENOVATION & ADDITION					
SCHEDULES					
SUBDIVISION: FULLERTON		4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236		ELECTION DIST. NO.: 14C5	
				JOB ORDER NUMBER	
				241-220-0054-0012	
				SHEET 48 of 58	
				DRAWING NUMBER	
				2022-2364	
				FILE NO: 20-120 REV: 01/18	

NOT ALL SYMBOLS INDICATED ARE USED ON THESE CONTRACT DRAWINGS.

ELECTRICAL, COMMUNICATION, ELECTRONIC SAFETY AND SPECIAL SYSTEMS LEGEND

ABBREVIATIONS			
ABBREV	DESCRIPTION	ABBREV	DESCRIPTION
AS/AF	AMPERES SWITCH & FUSE RATING	HTR	HEATER
A, AMP	AMPERES	HV	HIGH VOLTAGE
AC	ALTERNATING CURRENT, ARMORED CABLE	MDP	MAIN DISTRIBUTION PANEL
ACU	AIR CONDITIONING UNIT	MTD	MOUNTED
AF	AMPERE FRAME	MLO	MAIN LUGS ONLY
AFF	ABOVE FINISHED FLOOR	MTG	MOUNTING
AFG	ABOVE FINISHED GRADE	N	NEUTRAL
AHU	AIR HANDLING UNIT	NEC	NATIONAL ELECTRICAL CODE
AIC	AMPERE INTERRUPTING CAPACITY	NIC	NOT-IN-CONTRACT
ATC	AUTOMATIC TEMPERATURE CONTROL	NL	NIGHT LIGHT
ATS	AUTOMATIC TRANSFER SWITCH	NO	NORMALLY OPEN
AUX	AUXILIARY	NTS	NOT TO SCALE
AWG	AMERICAN WIRE GAUGE	NFSS	NON FUSED SAFETY SWITCH
BES	BLDG ELECTRICAL SYSTEM	OC	ON CENTER
BIL	BASIC IMPLUSE LEVEL	OL	OVERLOAD
BLDG	BUILDING	P	POLE OR POLES
BKBD	BACKBOARD	PF	POWER FACTOR
BRKR	BREAKER	PH, φ	PHASE
C	CONDUIT	VT	POTENTIAL TRANSFORMER
CEC	CHICAGO ELECTRICAL CODE	PNL	PANELBOARD
CB	CIRCUIT BREAKER	PVC	POLYVINYL CHLORIDE
CCTV	CLOSED CIRCUIT TELEVISION	R	REMOVE
CKT	CIRCUIT	RAF	RETURN AIR FAN
CR	CARD READER	RECEPT	RECEPTACLE
CL	CURRENT LIMITING	REQD	REQUIRED
CLG	CEILING	RGS	RIGID GALVANIZED STEEL
CPT	CONTROL POWER TRANSFORMER	RMS	ROOT MEAN SQUARE
CT	CURRENT TRANSFORMER	RS	RAPID START
CUH	CABINET UNIT HEATER	RVAT	REDUCED VOLTAGE AUTOTRANSFORMER
CW	COOL WHITE	S/N	SOLID NEUTRAL
DGS	DIESEL GENERATOR SET	SD	SMOKE DETECTOR
DIA	DIAMETER	SEC	SECONDARY
DISC	DISCONNECT	SFA	SPRINKLER FLOW ALARM
DIST	DISTRIBUTION	SMR	SURFACE METAL RACEWAY
DN	DOWN	ST	SHUNT TRIP
DP	DISTRIBUTION PANEL	SS	SUB STATION
DVR	DIGITAL VIDEO RECORDER	STR	STARTER
DWG	DRAWING	SW	SWITCH
E	EMERGENCY	SWBD	SWITCHBOARD
EBH	ELECTRIC BASEBOARD HEATER	SWGR	SWITCHGEAR
EC	EMPTY CONDUIT	SYS	SYSTEM
ECB	ENCLOSED CIRCUIT BREAKER	SYM	SYMMETRICAL
EF	EXHAUST FAN	SOPN	SPACE OR POLE NUMBER
EGS	ELECTRIC GENERATOR SET	TA	TRIP AMPERE
EH	ELECTRIC HEATER	TB	TERMINAL BOX
ELECT	ELECTRICAL	TC	TIME CLOCK
EMT	ELECTRICAL METALLIC TUBING	TD	TIME DELAY
ENCL	ENCLOSURE	TTB	TELEPHONE TERMINAL BOARD/BLOCK
EQUIP	EQUIPMENT	TTC	TELEPHONE TERMINAL CLOSET
ER	EXISTING RELOCATED	TYP	TYPICAL
ETR	EXISTING-TO-REMAIN	TV	TELEVISION
EX	EXISTING	UC	UNDER COUNTER
EXH	EXHAUST	UG	UNDERGROUND
F	FUSED OR FUSIBLE	UOI	UNLESS OTHERWISE INDICATED
FA	FRAME AMPERE	UON	UNLESS OTHERWISE NOTED
FAAP	FIRE ALARM ANNUNCIATOR PANEL	USB	UNIVERSAL SERIAL BUS
FACP	FIRE ALARM CONTROL PANEL	V	VOLT (S) OR VOLTAGE
FADS	FIRE ALARM AND DETECTION SYSTEM	VA	VOLT AMPERE
FBO	FURNISHED BY OTHERS	VFD	VARIABLE FREQUENCY DRIVE
FDR	FEEDER	W	WIRE
FLUOR	FLUORESCENT	W/	WITH
FSS	FUSED SAFETY SWITCH	WP	WEATHER PROOF, WORK PHONE
FT	FOOT OR FEET	WW	WIREWAY
FVNR	FULL VOLTAGE NON REVERSING	XFMR	TRANSFORMER
GFCI	GROUND FAULT CURRENT INTERRUPTER	@	AT
GND	GROUND		
GRS	GALVANIZED RIGID STEEL		
GW	GROUND WIRE		
HC	HANDICAP		
HD	HEAVY DUTY		
HID	HIGH INTENSIFY DISCHARGE		
HOA	HAND-OFF-AUTOMATIC		
HP	HORSE POWER		
HPS	HIGH PRESSURE SODIUM		

POWER DISTRIBUTION	
	PANELBOARD - SURFACE MTD
	PANELBOARD - RECESSED
	JUNCTION BOX
	JUNCTION BOX FOR SYSTEM FURNITURE DATA - 18" AFF
	CIRCUIT BREAKER
	MOTOR CONNECTION
	SAFETY SWITCH NONFUSED, SIZE AS INDICATED
	SAFETY SWITCH FUSED, SIZE AS INDICATED
	ELECTRICAL DEVICE AS INDICATED
	COMBINATION TYPE MOTOR STARTER, SIZE AS INDICATED
	CONDUIT, CONCEALED IN CEILING OR WALL OR CHASE
	CONDUIT CONCEALED IN FLOOR OR UNDERFLOOR OR UNDERGROUND
	SYSTEM GROUND OR EQUIPMENT GROUND
	208 VOLT PANELBOARD
	480 VOLT PANELBOARD
	MEDIA CENTER

WIRING DEVICES	
	DUPLEX RECEPTACLE - 20A, 2P, 3W, 120V
	DUPLEX RECEPTACLE - FLUSH MOUNTED FLOOR BOX
	TWO DUPLEX RECEPTACLE IN TWO-GANG BOX - 20A, 2P, 3W, 120V
	RANGE RECEPTACLE
	SWITCH DUPLEX RECEPTACLE CIRCUIT - 20A, 2P, 3W, 120V
	SPECIAL RECEPTACLE, SIZE AND TYPE AS NOTED
	GFCI WP RECEPTACLE WITH IN-USE BUBBLE COVER
	DUPLEX RECEPTACLE WITH GROUND FAULT CIRCUIT 20A, 2P, 3W, HOSPITAL GRADE
	RECEPTACLE - FLAT DISPLAY PANEL
	DUPLEX RECEPTACLE FOR ELECTRIC WATER COOLER
	RECEPTACLE - EMERGENCY POWER
	DUPLEX RECEPTACLE - CEILING
	DUPLEX RECEPTACLE WITH (2) UNIVERSAL SERIAL BUS PORTS
	DUPLEX RECEPTACLE ISOLATED GROUND - 20A, 2P, 3W, 120V
	TV POWER OUTLET WITH CABLE HOOK-UP (SEE TELECOMMUNICATION/NETWORK LEGEND FOR SPECIFICATIONS)

LIGHTING	
	LIGHTING FIXTURE
	LIGHTING FIXTURE ON NORMAL / EMERGENCY OR EMERGENCY ONLY OR BATTERY INVERTER CIRCUIT
	WALL MOUNTED LIGHTING FIXTURE
	INDUSTRIAL TYPE STRIPLINE FIXTURE; NORMAL, EMERGENCY
	CEILING MOUNTED DOWN LIGHT; NORMAL, EMERGENCY CIRCUIT
	WALL MOUNTED LIGHTING FIXTURE
	ILLUMINATED FACE
	EXIT SIGN - WALL MTD WITH DIRECTIONAL ARROW AS REQUIRED
	EXIT SIGN - SINGLE FACE, CEILING MTD WITH DIRECTIONAL ARROW AS REQUIRED
	EXIT SIGN - DUAL FACE, CEILING MTD WITH DIRECTIONAL ARROWS AS REQUIRED
	EMERGENCY LIGHTING UNIT & EXIT LIGHT - WITH 2 REMOTE HEADS
	EMERGENCY LIGHTING UNIT - BATTERY TYPE WITH NUMBER OF HEADS AS INDICATED
	EMERGENCY LIGHTING UNIT - REMOTE HEAD WITH NUMBER OF HEADS AS INDICATED


SWITCHING SYMBOLS	
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	MANUAL MOTOR STARTER WITH THERMAL OVERLOAD AND HOA SWITCH
	LOW VOLTAGE SWITCH
	LOW VOLTAGE DIMMER
	TWO BUTTON ENTRY ROOM CONTROL STATION (LIGHTING)
	THREE BUTTON ENTRY ROOM CONTROL STATION (LIGHTING)
	OCCUPANCY SENSOR
	VACANCY SENSOR
	PHOTO SENSOR
	POWER PACK

WIRING NOTES	
A.	BRANCH CIRCUIT WIRING FOR 120 VOLT 20 AMP CIRCUITS WIRED TO 208Y/120V SYSTEMS SHALL BE ADJUSTED FOR DISTANCE VOLTAGE DROP AND LOAD HARMONIC CONTENTS AS FOLLOWS: 1. GENERAL RECEPTACLES AND RESISTIVE LOADS: UP TO 100 FEET IN LENGTH: 3#12, 1#12N, 1#12G - 3/4"C OVER 100 FEET IN LENGTH: 3#10, 1#10N, 1#10G - 3/4"C 2. COMPUTER RECEPTACLES, LED LIGHTING: UP TO 100 FEET IN LENGTH: 3#12, 1#10N, 1#12G - 3/4"C OVER 100 FEET IN LENGTH: 3#10, 1#8N, 1#10G - 3/4"C
B.	ALL WORK IS NEW, UNLESS NOTED OTHERWISE
C.	ALL CONDUIT SHALL BE 3/4" MINIMUM. ALL CONDUCTORS SHALL BE #12 THHN, MINIMUM.

ANNOTATIONS	
	A INDICATES TYPE OF LIGHTING FIXTURE REFER TO FIXTURE SCHEDULE
	a INDICATES SWITCH LEG OR CONTROL ZONE
	3 INDICATES CIRCUIT NUMBER
	a INDICATES SWITCH LEG OR CONTROL ZONE
	3 INDICATES CIRCUIT NUMBER
	INDICATES SPECIAL / KEYED NOTE. UNLESS OTHERWISE NOTED, SPECIAL / KEYED NOTE APPLIES ONLY TO THE DRAWING ON WHICH IT APPEARS.
EGN-x	ELECTRICAL GENERAL NOTE APPLY TO ALL DRAWINGS, UNLESS OTHERWISE NOTED.
EXISTING	EXISTING (INDICATED WITH SLANTED TEXT)
	HOME RUN TO PANELBOARD DISTRIBUTION EQUIPMENT AS INDICATED.
	2,4 NUMBERS INDICATE SOPN NUMBER FOR PANEL
	R INDICATES THE PANEL
	CROSS HATCH LINES INDICATE THE NUMBER OF CURRENT CARRYING CONDUCTORS CROSS HATCH LINES WITH DOT AT END INDICATES THE EQUIPMENT GROUNDING CONDUCTOR (GREEN WIRE) AND SHALL BE SIZED IN ACCORDANCE WITH NEC ARTICLE 250. GREEN GROUNDING WIRE SHALL BE PROVIDED WITH EACH CIRCUIT, AND/OR FEEDER. WHERE NO WIRES ARE INDICATED, PROVIDE 2 (TWO) CURRENT CARRYING # 12 AWG CONDUCTORS AND 1 (ONE) # 12 GROUND FOR BRANCH CIRCUIT WIRING IN MINIMUM 3/4" RACEWAY UNLESS OTHERWISE INDICATED IN THE SCHEDULES.

MOUNTING HEIGHTS	
NOTE: UNLESS OTHERWISE INDICATED, STANDARD MOUNTING HEIGHTS FOR OUTLET BOXES FOR THE FOLLOWING EQUIPMENT/DEVICE SHALL BE ABOVE FINISHED FLOOR AND SHALL BE TO THE CENTER LINE OF EQUIPMENT & FIELD COORDINATED.	
EQUIPMENT/DEVICE	MOUNTING HEIGHT
SWITCHES	48 INCH
RECEPTACLE-GENERAL	18 INCH
RECEPTACLE-SPECIAL	18 INCH
RECEPTACLE-SINGLE	18 INCH
RECEPTACLE-REST ROOM	9 INCH ABOVE BASIN
RECEPTACLE-COUNTER	8 INCH ABOVE COUNTER
RECEPTACLE- MONITOR (DISPLAY)	78 INCH OR DIRECTED BY OWNER
RECEPTACLE-EXTERIOR	30 INCH
CABLE TV OUTLET	78 INCH, 18 INCH FOR APARTMENTS, UON
TELEPHONE/DATA-GENERAL	18 INCH
TELEPHONE-WALL TYPE	54 INCH, (48 INCH ADA ACCESSIBLE)
FIRE ALARM PULL STATION	48 INCH
FIRE ALARM AUDIO/VISUAL DEVICE	80 INCH
CARD READER	40 INCH
EXIT LIGHT WALL MOUNTED	MAX. 90 INCH
SAFETY SWITCH	72 INCH TO HANDLE
PANELBOARD	72 INCH TO TOP CB
MANUAL MOTOR STARTER	48 INCH
PUSH BUTTON	48 INCH
AUTOMATIC DOOR OPENER	36 INCH
APARTMENT UNITS	
TELEPHONE/DATA, KITCHEN ONLY	48 INCH
REFRIGERATOR RECEPTACLE	48 INCH
WASHER/DRYER RECEPTACLE	36 INCH

<div>SEAL</div> <div></div> <div>DATE: 5/01/25</div>	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHT	DRAWING SCALE		<div>APPROVED BY: <i>Mihai T Petrisor</i></div> <div>DATE: 03/26/2025</div> <div>PROPERTY MANAGEMENT</div> <div>APPROVED BY:</div> <div>DATE:</div>	
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.		BID/ PERMIT			3/30/25	-	MSW	ENGINEER	PLAN SCALE:	NONE		
	LICENSE NO. 44604 EXPIRATION DATE: 06-18-2025						-	R.O.W NO.	-	PROFILE SCALE:	-		
	ENGINEER: TA CHHILIN, PE PRINCIPAL ELECTRICAL ENGINEER C.C. JOHNSON & SONS, P.C. 400 EAST PRUITT STREET, SUITE 605 BALTIMORE, MARYLAND 21202 (P) 410-981-0900		BUREAU OF ENGINEERING AND CONSTRUCTION					STRUCTURES					
	DGN BY: CCM DWN BY: CCM CHKD BY: CCM		REVIEWED BY:					STORM DRAINS					
DATE: 5/01/25													CHIEF

		SHEET DESIGNATION		CONTRACT NUMBER	
		E001		25034 PF0 RE-BID	
BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT				JOB ORDER NUMBER	
FULLERTON FIRE STATION #8 - RENOVATION & ADDITION				241-220-0054-0012	
SYMBOLS AND ABBREVIATIONS				SHEET 49 of 58	
				DRAWING NUMBER	
				2022-2365	
SUBDIVISION: FULLERTON		4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236		ELECTION DIST. NO.: 14C5	
				FILE NO.: 20-120	
				REV: 10/14	
				2/28/2025 2:27:03 PM	

POWER AND SYSTEMS DEMOLITION GENERAL NOTES

1.

EXISTING ELECTRICAL SYSTEM IS DESCRIBED BASED ON SITE CONDITIONS VISIBLE AT THE TIME OF THE SURVEY. THE CONTRACTOR SHALL VISIT THE JOB SITE TO FAMILIARIZE HIMSELF WITH THE EXTENT OF EXISTING WORK TO BE DEMOLISHED
2.

ELECTRICAL CONTRACTOR SHALL REMOVE ALL ELECTRICAL EQUIPMENT AFFECTED BY THE DEMOLITION. COORDINATE EXACT SCOPE OF WORK WITH ARCHITECTURAL, MECHANICAL AND PLUMBING DRAWINGS
3.

ALL EXPOSED CONDUITS, HANGERS, SUPPORTS, ETC. THAT ARE ABANDONED SHALL BE REMOVED. CONDUIT WHICH IS BURIED IN CONCRETE OR OTHERWISE INACCESSIBLY POSITIONED MAY BE ABANDONED. IN SUCH CASES, WIRE SHALL BE PULLED OUT OF THE CONDUIT AND THE CONDUIT ITSELF PLUGGED AT EACH END
4.

WHERE EXISTING DEVICES, CONDUIT WIRE, SUPPORTS, HANGERS AND OTHER ELECTRICAL EQUIPMENT MUST BE REMOVED AS A RESULT OF THE ALTERATIONS, THEY SHALL BE COMPLETELY REMOVED, BACK TO THE FIRST OUTLET WHICH IS LEFT UNAFFECTED. IF REMOVED BACK TO THE PANEL, LABEL THAT CIRCUIT AS SPACE
5.

PATCH ALL HOLES IN SLABS, WALLS AND CEILING WHERE ELECTRICAL DEVICES AND/OR CONDUIT ARE REMOVED. IF THE REMOVAL OF CONDUIT, BOXES, EQUIPMENT, ETC. COMPROMISES THE FIRE RATING OF THESE ITEMS, THE CONTRACTOR SHALL SEAL OPENINGS WITH CODE APPROVED FIRE STOPPING MATERIAL
6.

WHERE EXISTING ELECTRICAL WORK PREVENTS PROPER CONSTRUCTION OF NEW WORK, REMOVE, REROUTE, RELOCATE, OR IN OTHER WAYS ALTER EXISTING WORK TO ACCOMMODATE
7.

SOME EXCEPTIONS MAY ARISE WHEREIN EQUIPMENT, EITHER IN ALTERED AREAS OR OTHER AREAS, MUST BE KEPT IN SERVICE, REQUIRING THAT FEEDERS, SIGNAL CONDUCTORS, CONDUITS, BOXES ETC. SERVING THE SAME ALSO BE KEPT IN SERVICE. IN SUCH CASES, THE ELECTRICAL FEEDERS, SIGNAL CONDUCTORS, CONDUITS, ETC. SHALL BE REROUTED AND RECONNECTED BEFORE PRESENT WORK IS REMOVED. IF THIS IS NOT POSSIBLE, TEMPORARY WIRING SHALL BE PROVIDED TO ALLOW FOR INSTALLATION OF NEW WORK, AFTER WHICH TEMPORARY WIRING SHALL BE REMOVED
8.

ALL PROPOSED DEMOLITION WORK SHALL BE THOROUGHLY COORDINATED WITH ALL OTHER TRADES
9.

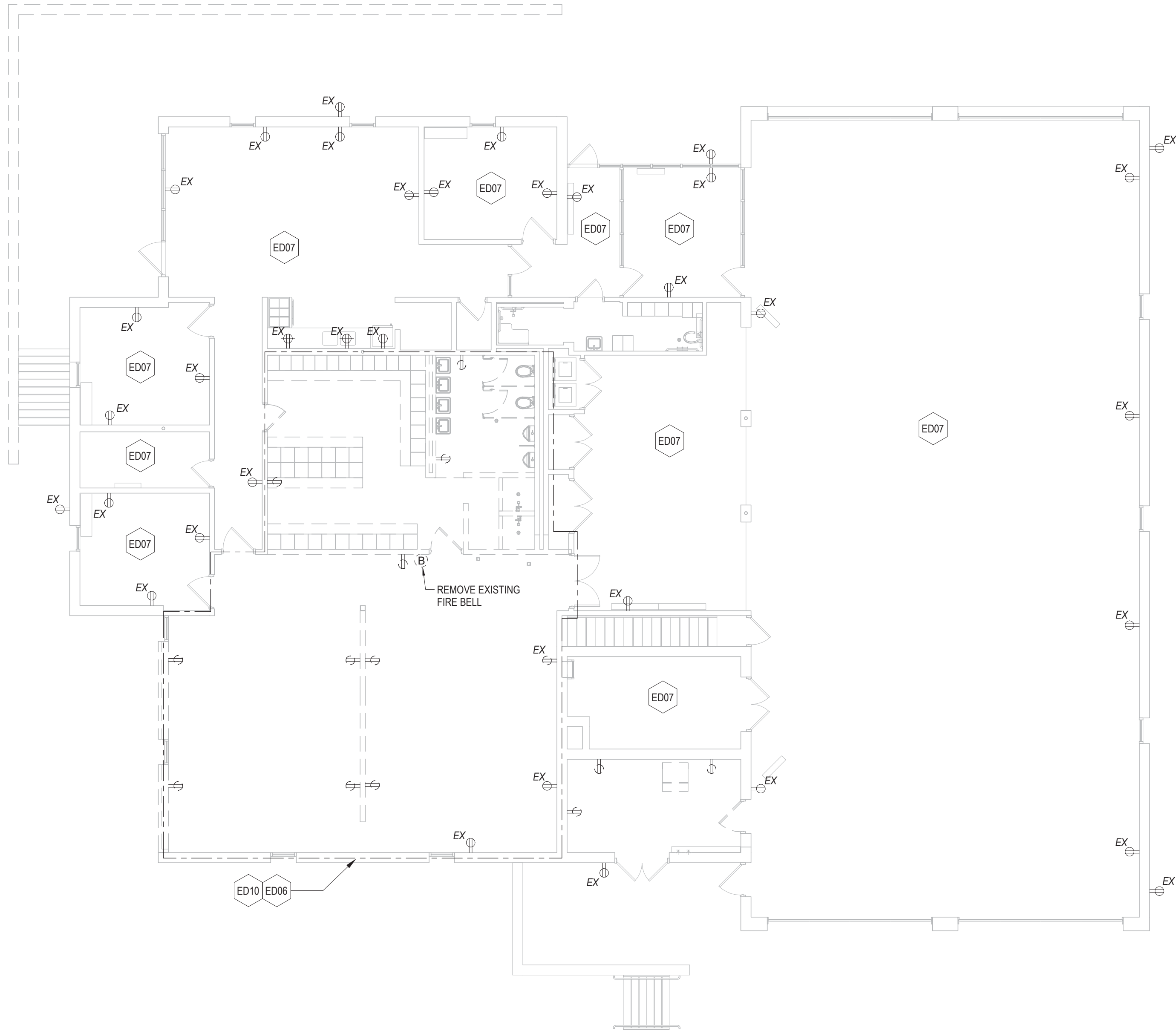
CONTRACTOR IS TO PERFORM DEMOLITION WORK IN A NEAT, SKILLFUL, AND CAREFUL MANNER SO AS NOT TO DAMAGE OR DEFACE EXISTING CONSTRUCTION THAT IS TO REMAIN
10.

CONFIRM WITH THE MANUFACTURERS OF EXISTING EQUIPMENT THAT IS TO BE REVISED OR EXTENDED. ENSURE THAT EXISTING EQUIPMENT COMPLIES WITH NEW WORK REQUIREMENTS
11.

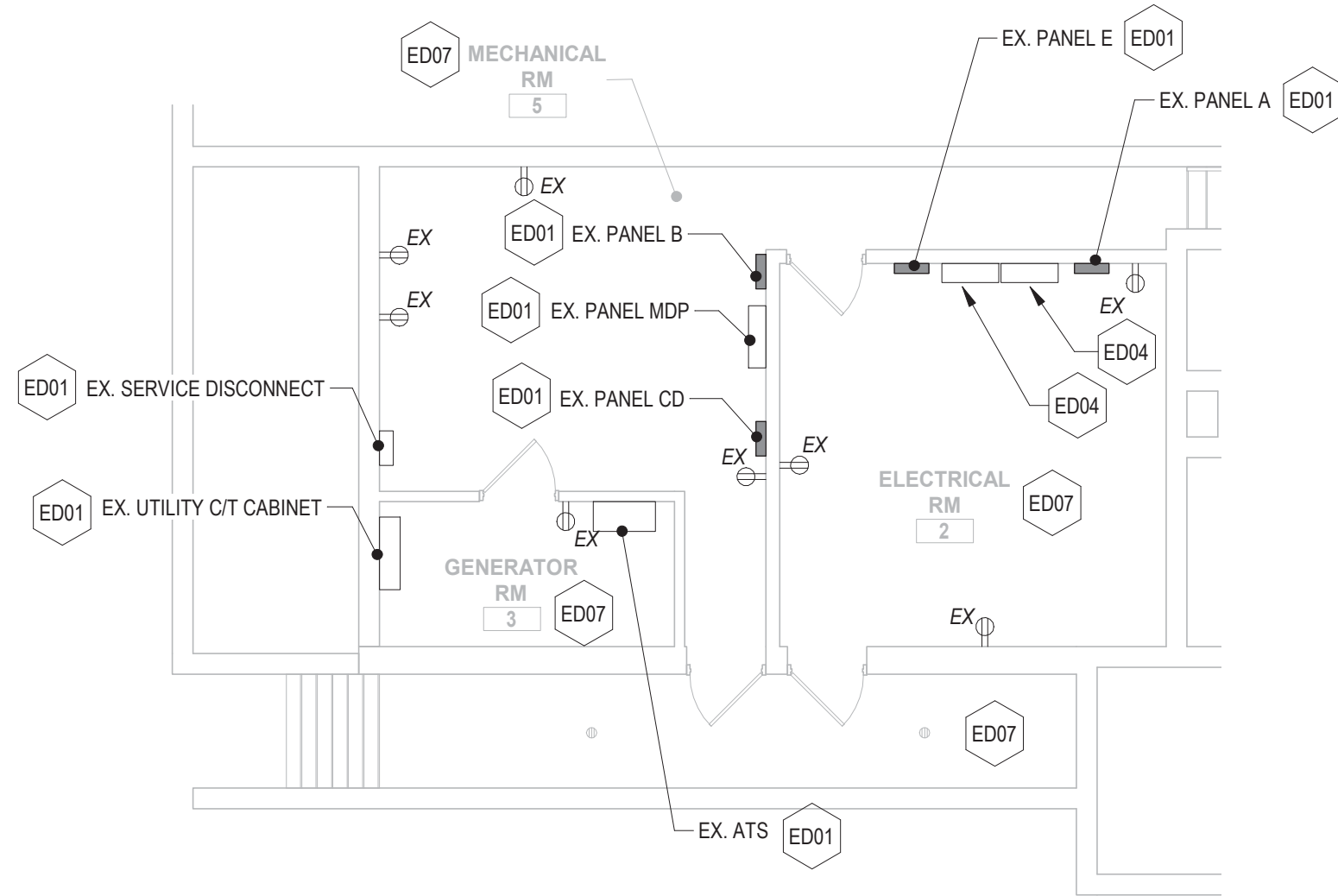
ELECTRICAL CONTRACTOR TO REROUTE, AND REFEED ALL EXISTING EQUIPMENT/DEVICES TO REMAIN BUT MAY BE AFFECTED BY EQUIPMENT BEING DEMOLISHED

ELECTRICAL DEMOLITION KEYNOTES

ED01	EXISTING PANEL TO REMAIN.
ED04	EXISTING RELAY CABINET TO REMAIN.
ED06	REMOVE ALL ELECTRICAL DEVICES, INCLUDING BUT NOT LIMITED TO RECEPTACLES, COMMUNICATION OUTLETS, AND DEVICES, AND ASSOCIATED WIRING AND CONDUIT IN THEIR ENTIRETY IN THIS AREA AS SHOWN UNLESS OTHERWISE NOTED.
ED07	EXISTING ELECTRICAL EQUIPMENT IN THIS AREA TO REMAIN UNLESS OTHERWISE INDICATED. FOR MECHANICAL OR PLUMBING EQUIPMENT TO BE DEMOLISHED, COORDINATE WITH MECHANICAL AND PLUMBING DEMOLITION DRAWINGS; CONTRACTOR SHALL REMOVE ASSOCIATED DISCONNECT SWITCHES, WIRING, CONDUITS, AND CONTROL SWITCHES OF EQUIPMENT TO BE REMOVED IN THEIR ENTIRETY. ASSOCIATED CIRCUIT BREAKER TO REMAIN AND BE SET AS SPARE. UPDATE ASSOCIATED PANEL SCHEDULES ACCORDINGLY.
ED10	DISCONNECT AND REMOVE ALL ASSOCIATED DISCONNECT SWITCH, CONTROLS, WIRING, AND CONDUIT, ETC. FOR EXISTING BASEBOARD HEATER(S) TO BE REMOVED IN THIS AREA. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH MECHANICAL DEMOLITION DRAWINGS FOR BASEBOARD HEATER TO BE REMOVED.



1 ELECTRICAL - FIRST FLOOR PLAN - DEMOLITION
1/8" = 1'-0"



2 ELECTRICAL - BASEMENT FLOOR PLAN - DEMOLITION
1/8" = 1'-0"

<div>SEAL</div> <div></div> <div>DATE: 3/01/25</div>	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SH	DRAWING SCALE		APPROVED BY: <i>Mihai T Petrisor</i> DIRECTOR DATE: 03/26/2025
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.		BID/PERMIT			3/01/25	-	MSW	ENGINEER	PLAN SCALE:	AS INDICATED	
	LICENSE NO. 44964 EXPIRATION DATE: 06-18-2025						-	-	-	PROFILE SCALE:	-	
	ENGINEER: TA CHHILIN, PE PRINCIPAL ELECTRICAL ENGINEER C.C. JOHNSON & MALHOTRA, P.C. 600 EAST PRATT STREET, SUITE 605 BALTIMORE, MARYLAND 21202 (P) 410-491-0900											
	DGN BY: CCM		BUREAU OF ENGINEERING AND CONSTRUCTION				HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER
DWN BY: CCM		REVIEWED BY:										
CHKD BY: CCM		DATE REVIEWED:										
												APPROVED BY: _____ CHIEF DATE: _____

SUBDIVISION: FULLERTON

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT

FULLERTON FIRE STATION #8 - RENOVATION & ADDITION

POWER AND SYSTEMS - FIRST & BASEMENT FLOOR PLANS - DEMOLITION

4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236

ELECTION DIST. NO.: 14C5

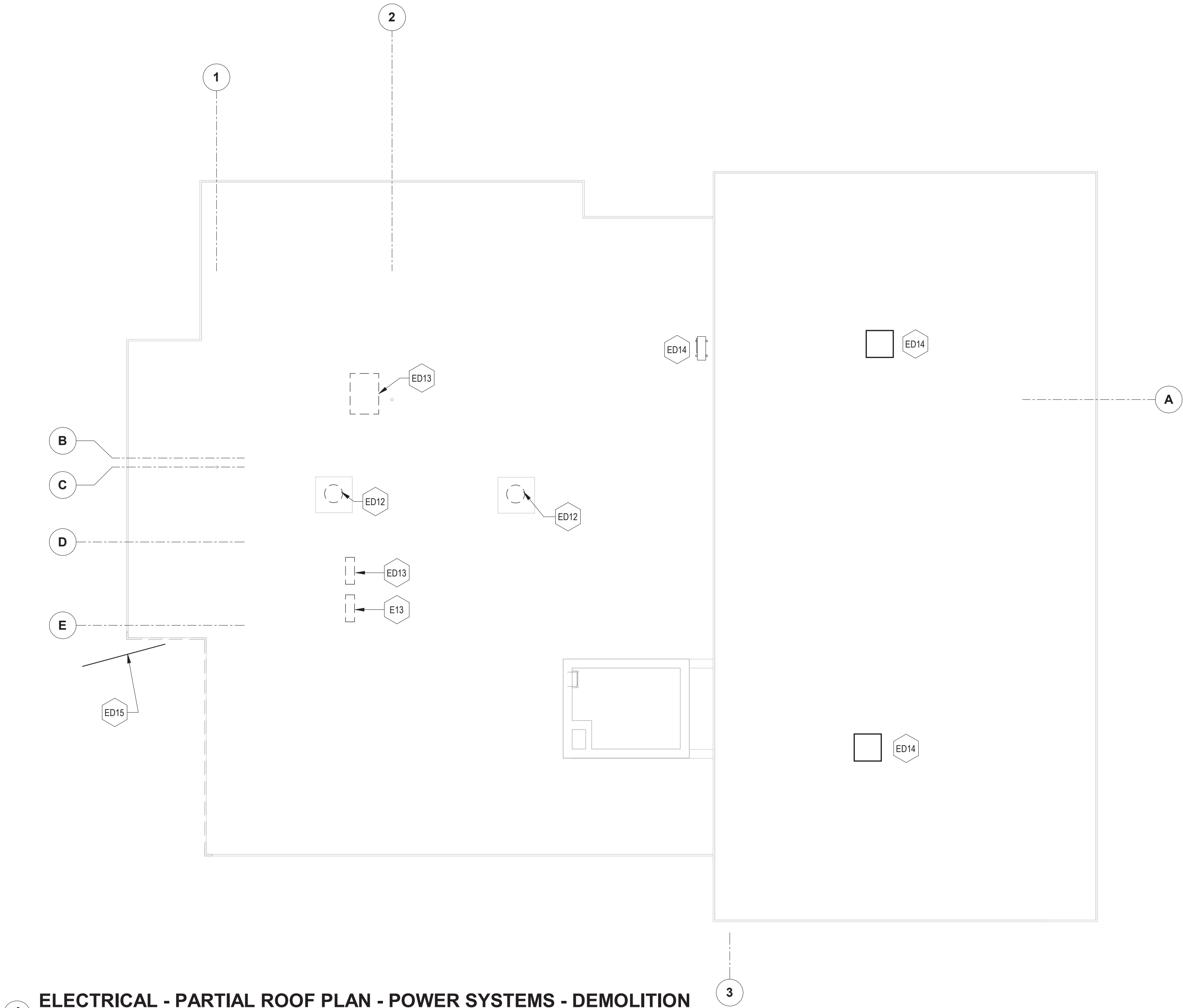
SHEET DESIGNATION	CONTRACT NUMBER
ED100	25034 PF0 RE-BID
	JOB ORDER NUMBER
	241-220-0054-0012
	SHEET 50 of 58
	DRAWING NUMBER
	2022-2366
	FILE NO.: 20-120 REV: 0014

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POWER AND SYSTEMS DEMOLITION GENERAL NOTES

1. SEE ED100 FOR ADDITIONAL POWER AND SYSTEMS DEMOLITION GENERAL NOTES

ELECTRICAL DEMOLITION KEYNOTES	
ED12	REMOVE EXISTING EXHAUST FAN AND ASSOCIATED DISCONNECT, WIRING, AND CONDUIT BACK TO SOURCE. COORDINATE ALL WORK WITH MECHANICAL CONTRACTOR.
ED13	REMOVE EXISTING MECHANICAL EQUIPMENT, HEAT PUMP UNIT, AND ASSOCIATED INDOOR UNIT, DISCONNECT SWITCH, WIRING, AND CONDUIT BACK TO SOURCE. COORDINATE ALL WORK WITH MECHANICAL CONTRACTOR.
ED14	EXISTING TO REMAIN
ED15	EXISTING INCOMING CABLES TO REMAIN AND BE REROUTED. DISCONNECT EXISTING CABLES AND MAKE READY FOR REROUTING. ASSOCIATED TERMINATION POINT TO REMAIN AND BE RECONNECTED. SEE NEW WORK PLAN FOR ADDITIONAL INFORMATION.



1 ELECTRICAL - PARTIAL ROOF PLAN - POWER SYSTEMS - DEMOLITION
1/8" = 1'-0"

<div>SEAL</div> <div></div> <div>DATE: 3/01/25</div>	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHT	DRAWING SCALE		APPROVED BY: <i>Mihai T. Petrisor</i> DIRECTOR DATE: 03/26/2025
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 44964 EXPIRATION DATE: 06-18-2025		BID/PERMIT		3/19/25	-	MSW	ENE21	PLAN SCALE:	NONE	
									PROFILE SCALE:		
ENGINEER: TA CHHILIN, PE PRINCIPAL ELECTRICAL ENGINEER C.C. JOHNSON & MALHOTRA, P.C. 600 EAST PRUITT STREET, SUITE 600 BALTIMORE, MARYLAND 21202 (P) 410-981-0900	DGN BY: CCM	BUREAU OF ENGINEERING AND CONSTRUCTION	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	PROPERTY MANAGEMENT		APPROVED BY: _____ CHIEF
	DWN BY: CCM	REVIEWED BY:									DATE: _____
	CHKD BY: CCM	DATE REVIEWED:									

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT

FULLERTON FIRE STATION #8 - RENOVATION & ADDITION

POWER AND SYSTEMS - ROOF PLAN - DEMOLITION

4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236

SUBDIVISION: FULLERTON

SHEET DESIGNATION	CONTRACT NUMBER
ED101	25034 PFO RE-BID
	JOB ORDER NUMBER
	241-220-0054-0012
	SHEET 51 of 58
	DRAWING NUMBER
	2022-2367
	FILE NO.: 20-120 REV: 001



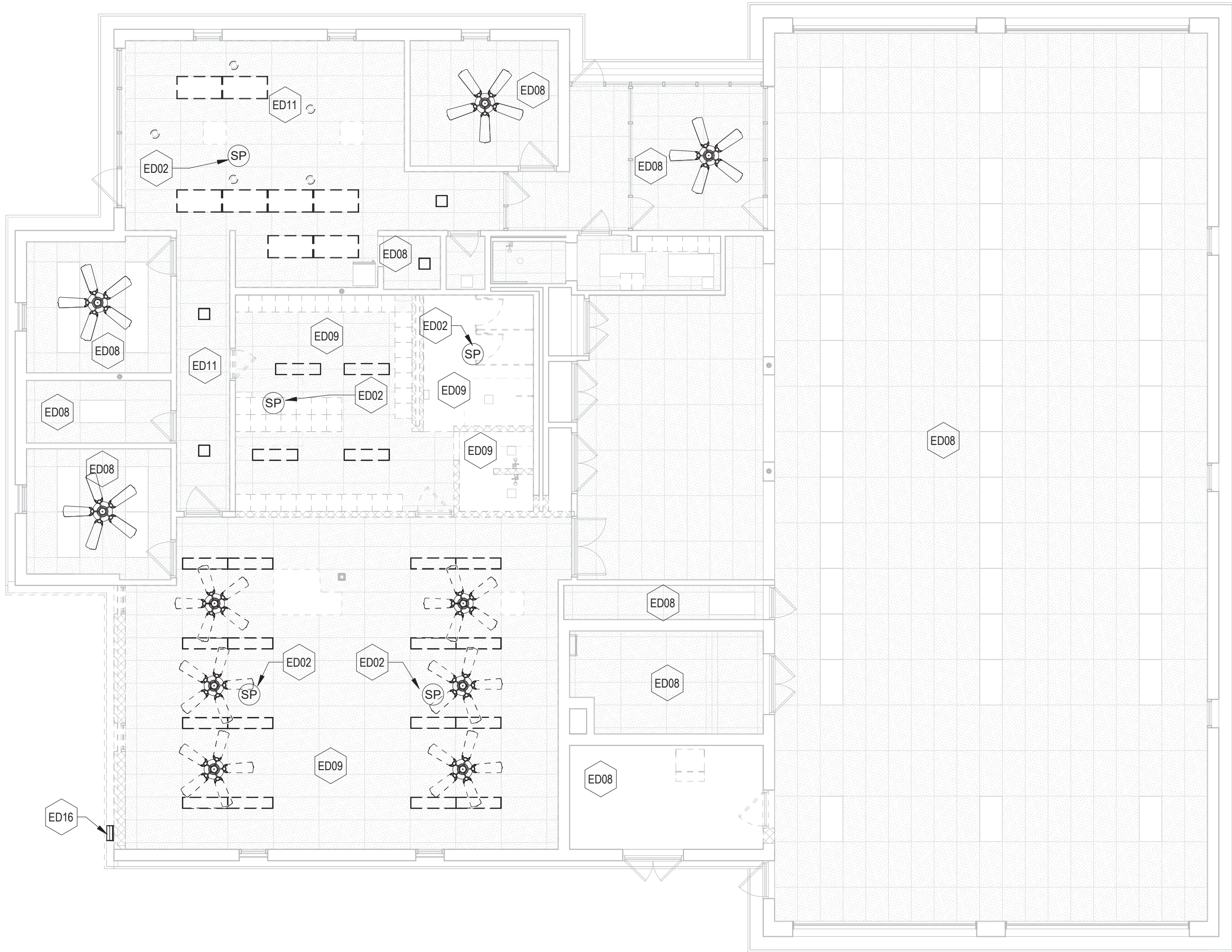
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LIGHTING GENERAL DEMOLITION NOTES

1.
- BEFORE THE PERFORMANCE OF ANY DEMOLITION WORK, THE ELECTRICAL CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS OF LIGHT FIXTURES. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING, INSTALLING, AND MAINTAINING ALL SUPPORTS AND BRACING REQUIRED TO COMPLETE THE WORK.
2.
- LIGHTING DEMOLITION WORK IS INDICATED IN THE DRAWING BELOW. IT IS THE ELECTRICAL CONTRACTOR RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DOCUMENTS FOR ALL DISCIPLINES FOR ANY ADDITIONAL DEMOLITION WORK.
3.
- THE OWNER SHALL BE MAINTAINING OCCUPANCY OF THE SITE AND PORTIONS OF THE BUILDING DURING THE CONSTRUCTION PROCESS. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER AND THE OWNER'S REPRESENTATIVE THROUGHOUT THE CONSTRUCTION TO MINIMIZE ANY DISRUPTIONS IN THE OWNER'S WORKING PROCEDURES. PHASING SHALL BE DETERMINED BY THE ELECTRICAL CONTRACTOR AND SHALL NOT BE A REASON FOR ADDITIONAL FEES. THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH THE OWNER A MINIMUM OF 72 HOURS BEFORE ANY DISRUPTION OF SERVICES/UTILITIES IS REQUIRED TO COMPLETE THE WORK.
4.
- ALL LIGHTING INDICATED TO BE REMOVED SHALL REMAIN THE PROPERTY OF THE OWNER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER OF ANY ITEMS TO BE REMOVED AND RETAINED BY THE OWNER BEFORE ANY DEMOLITION WORK IS PERFORMED. ALL ITEMS TO BE RETAINED BY THE OWNER SHALL BE REMOVED BY THE CONTRACTOR AND DELIVERED TO THE OWNER IN THE CONDITION FOUND. ALL OTHER ITEMS INDICATED TO BE REMOVED SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR IN A LAWFUL MANNER.

ELECTRICAL DEMOLITION KEYNOTES

ED02	EXISTING INTERCOMMUNICATION DEVICE TO BE RELOCATED TO NEW LOCATION AS INDICATED ON NEW WORK PLAN. CAREFULLY DISCONNECT DEVICE AND ASSOCIATED CABLING AND MAKE READY FOR REINSTALLATION AT NEW LOCATION.
ED08	EXISTING LIGHTING FIXTURES, INCLUDING COMBINATION LIGHT AND CEILING FANS, IN THIS AREA AND ASSOCIATED WIRING, CONDUIT, AND LIGHTING CONTROL DEVICES TO REMAIN. CONTRACTOR TO FIELD VERIFY ALL ELECTRICAL EQUIPMENT AND EXISTING LIGHTING TO DETERMINE WORKING CONDITIONS.
ED09	REMOVE EXISTING LIGHTING FIXTURES IN THIS AREA AND ASSOCIATED WIRING, CONDUIT, AND LIGHTING CONTROL DEVICES BACK TO SOURCE. EXISTING COMBINATION LIGHT AND CEILING FANS IN THE AREA TO BE CAREFULLY REMOVED, SALVAGED, AND RETURNED TO OWNER.
ED11	EXISTING LIGHTING FIXTURES IN THIS AREA ARE TO BE RELOCATED. CAREFULLY REMOVE EXISTING LIGHTING FIXTURE AND MAKE READY FOR INSTALLATION AT NEW LOCATION. REMOVE ASSOCIATED WIRING AND CONDUIT BACK TO JUNCTION POINT. ASSOCIATED LIGHTING CONTROL DEVICE TO REMAIN AND BE REUSED. CONTRACTOR TO COORDINATE WITH ARCHITECTURAL DRAWING BEFORE INSTALLATION. EXISTING COMBINATION LIGHT AND CEILING FANS IN THE AREA TO BE CAREFULLY REMOVED, SALVAGED, AND RETURNED TO OWNER.
ED16	EXISTING OUTDOOR LIGHT FIXTURE TO BE RELOCATED. CAREFULLY DISCONNECT FIXTURE AND REMOVE ASSOCIATED WIRING AND CONDUIT AS REQUIRED FOR FIXTURE RELOCATION. SEE NEW WORK PLAN FOR ADDITIONAL INFORMATION.



1 ELECTRICAL - FIRST FLOOR PLAN - LIGHTING DEMOLITION
1/8" = 1'-0"

<div>SEAL</div> <div></div> <div>DATE: 3/01/25</div>	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SH1	DRAWING SCALE		APPROVED BY: <i>Mihai T. Petrisor</i> DIRECTOR	
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 44664 EXPIRATION DATE: 06-18-2025		BID / PERMIT			3/19/25	-	MSW	ENGINEER	PLAN SCALE: AS INDICATED	DATE: 03/26/2025		
							-	-	-	PROFILE SCALE: -			
							-	-	-	-			
							-	-	-	-			
ENGINEER: TA CHHILIN, PE PRINCIPAL ELECTRICAL ENGINEER C.C. JOHNSON & MALHOTRA, P.C. 600 EAST PRUITT STREET, SUITE 600 BALTIMORE, MARYLAND 21202 (P) 410-461-0900		DGN BY: CCM	BUREAU OF ENGINEERING AND CONSTRUCTION		HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	PROPERTY MANAGEMENT		
DWN BY: CCM		REVIEWED BY:									APPROVED BY: _____ CHIEF		
CHKD BY: CCM		DATE REVIEWED:									DATE: _____		

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT

FULLERTON FIRE STATION #8 - RENOVATION & ADDITION

LIGHTING - FIRST FLOOR PLAN - DEMOLITION

4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236

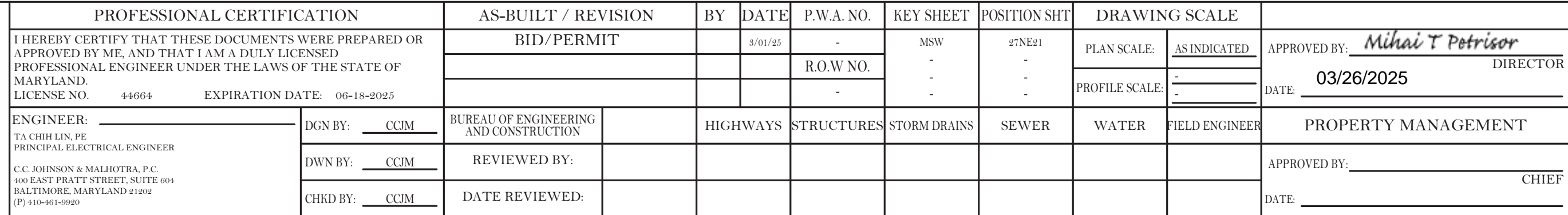
SUBDIVISION: FULLERTON

SHEET DESIGNATION	CONTRACT NUMBER
ED102	25034 PF0 RE-BID
	JOB ORDER NUMBER
	241-220-0054-0012
	SHEET 52 of 58
	DRAWING NUMBER
	2022-2368
	FILE NO.: 20-120 REV: 001

1. SEE E601 FOR ADDITIONAL POWER AND SYSTEMS NEW WORK GENERAL NOTES.
2. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE INTEGRITY AND CONDITION OF THE EXISTING BRANCH CIRCUIT. WIRING IS TO BE REUSED FOR NEW EQUIPMENT CIRCUITING ACCORDING TO THE NATIONAL ELECTRIC CODE. ALL DAMAGED WIRING OR WIRING FOUND TO BE NONFUNCTIONAL SHALL BE REPLACED.
3. EXISTING BRANCH CIRCUITS SHALL BE EXTENDED AND CONNECTED TO ALL EXISTING RELOCATED EQUIPMENT, AS REQUIRED FOR A COMPLETE WORKING SYSTEM.
4. RECONNECT ALL EXISTING CIRCUITING THAT ORIGINATES OR PASSES THROUGH THE RENOVATED AREAS BUT SERVES OTHER AREAS NOT BEING RENOVATED. EXTEND THESE CIRCUITS AS MAY BE NECESSARY TO THE EXISTING DESIGNATED PANELBOARDS. UTILIZE SPARE CIRCUIT BREAKERS.
5. DRAWINGS ARE DIAGRAMMATIC ONLY: EXACT LOCATIONS, MOUNTING HEIGHTS OF EQUIPMENT, AND ROUTING OF RACEWAYS SHALL BE COORDINATED WITH EQUIPMENT SPECIFICATIONS AND FIELD CONDITIONS.
6. THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL INCIDENTAL ACCESSORIES NECESSARY TO MAKE ELECTRICAL WORK COMPLETE AND READY TO OPERATE.
7. ALL ELECTRICAL WORK SHALL BE DONE PER THE NATIONAL ELECTRICAL CODE AND LOCAL GOVERNING AUTHORITIES.
8. THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH THE HVAC AND PLUMBING DRAWINGS FOR THE EXACT LOCATION AND ROUGH IN DIMENSIONS; ALL EQUIPMENT SHALL MAKE ALL FINAL POWER CONNECTIONS AS REQUIRED, I.E., POWER, CONTROLS, INTERLOCKS, ETC.



ELECTRICAL NEW WORK KEYNOTES	
E06	PROVIDE AND INSTALL 3 PHASE, 30A, 208V, FUSIBLE DISCONNECT SWITCH IN NEMA 4X ENCLOSURE, FUSED @ 15A, FOR WASHER EXTRACTOR.
E07	PROVIDE AND INSTALL 3 PHASE, 60A, 208V, FUSIBLE DISCONNECT SWITCH IN NEMA 4X ENCLOSURE, FUSED @ 35A, FOR DRYER.
E09	PROVIDE 2#12 + 1#12G IN 3/4" TO AREA GFI BATHROOM RECEPTACLE CIRCUIT.
E10	RUN 2#12 + 1#12G IN 3/4" TO AREA DORM RECEPTACLE CIRCUIT MADE SPARE DURING DEMOLITION AT PANEL A-17. FIELD VERIFY CIRCUIT LOCATION AND LOAD.
E11	PROVIDE 2#12 + 1#12G IN 3/4" FOR RECEPTABLES IN THIS ROOM TO AREA DORM RECEPTACLE CIRCUIT MADE SPARE DURING DEMOLITION AT PANEL A-17. FIELD VERIFY CIRCUIT LOCATION AND LOAD.
E12	COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR. LOCATE DEVICE MINIMUM 3 FEET AWAY FROM ANY AND ALL CEILING FANS IN THE AREA. CONNECT TO EXISTING SMOKE DETECTOR CIRCUIT ON PANEL A WITH 2#12 + 1#12G IN 3/4".
E13	REINSTALL SALVAGED OR NEW INTERCOMMUNICATION SYSTEM DEVICE, FIRE BELL, COMPATIBLE WITH EXISTING SYSTEM AND RECONNECT TO EXISTING INTERCOMMUNICATION SYSTEM. PROVIDE ADDITIONAL WIRING AND RACEWAYS AS REQUIRES FOR A COMPLETE AND FULLY OPERATIONAL SYSTEM.
E14	PROVIDE 15 AMP, 208 VOLT, 2 POLE DISCONNECT AND MOUNT ON THE UNIT OR NEAR THE UNIT WITH BRAND AND WIRING RATING AS INDICATED. COORDINATE LOCATION WITH THE MECHANICAL CONTRACTOR IN THE FIELD BEFORE ROUGH-INS TO MEET ALL THE WORKING CLEARANCE REQUIREMENTS

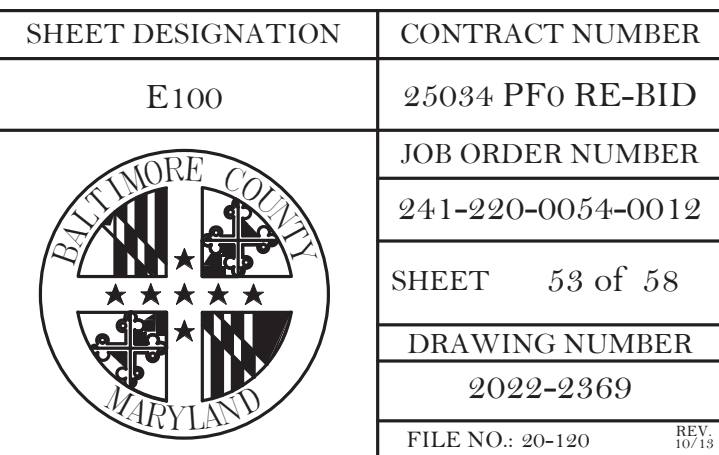


CLIMATE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT

FULLERTON FIRE STATION #8 - RENOVATION & ADDITION

POWER AND SYSTEMS - FIRST & BASEMENT FLOOR PLANS - NEW WORK

ELECTION DIST. NO.: 14C5

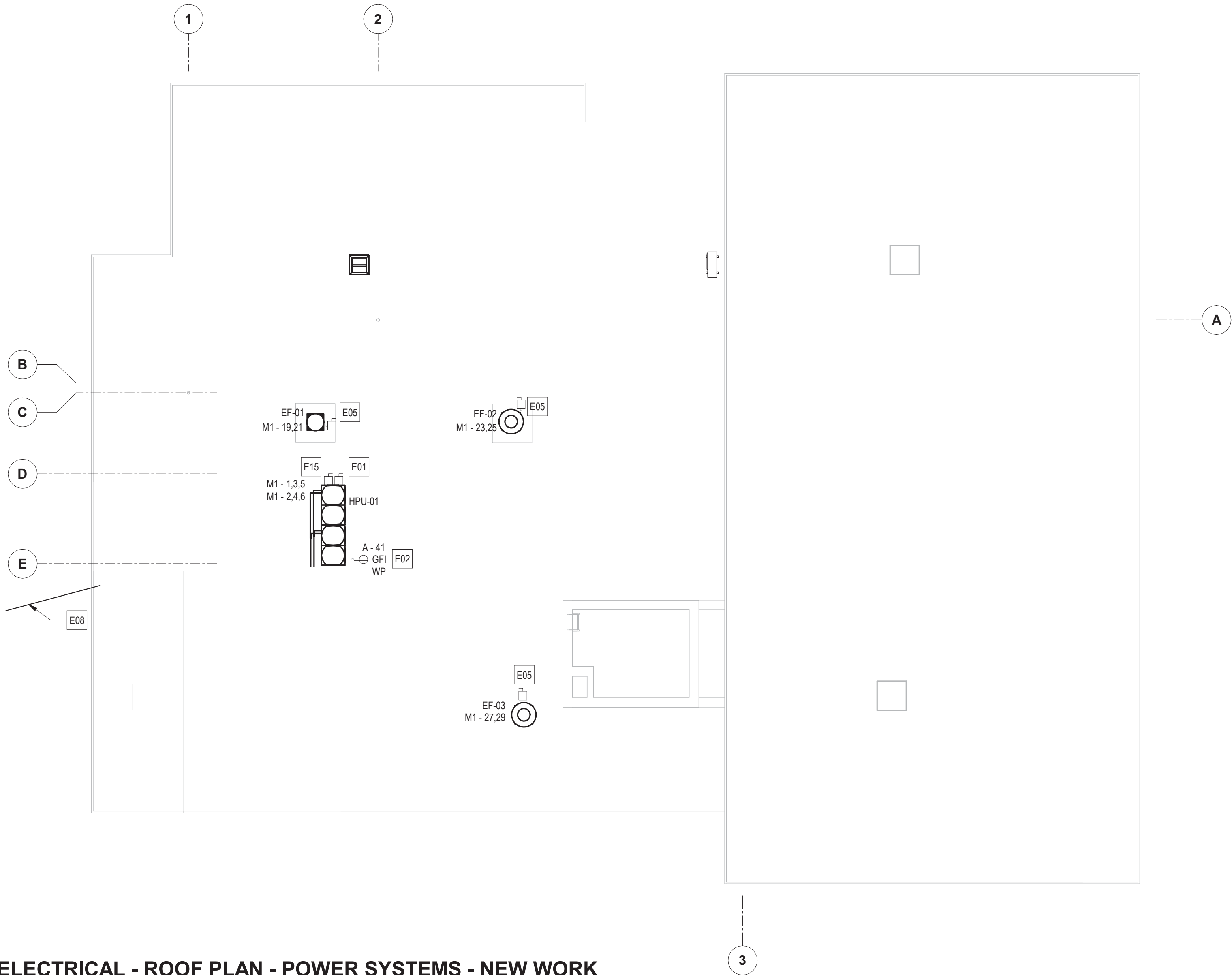


REV.	2	R	D	R	DWG.	20-120
10/15					FILENAME:	

ELECTRICAL NEW WORK KEYNOTES	
E01	FURNISH AND INSTALL 3 PHASE, 100A, 208V, FUSIBLE DISCONNECT SWITCH IN NEMA 3R ENCLOSURE, FUSED AT 90A. PROVIDE INDEPENDANT SUPPORTS.
E02	PROVIDE INDEPENDENT SUPPORTS FOR ROOFTOP RECEPTACLE. PROVIDE 2#12 + 1#12G IN 3/4"C TO PANEL AS INDICATED.
E05	PROVIDE AND INSTALL 1 PHASE, 30A, 208V, NON-FUSIBLE DISCONNECT SWITCH IN NEMA 3R ENCLOSURE, FOR EXHAUST FAN.
E08	RECONNECT EXISTING CABLING TO ASSOCIATED TERMINATION POINTS. PROVIDE ADDITIONAL CONNECTORS, SPLITTERS, AND COMPATIBLE ACCESSORIES AS REQUIRED TO RESTORE CONTINUITY OF CABLING TO ASSOCIATED TERMINATION POINTS. COORDINATE EXACT ROUTING OF CABLING IN THE FIELD.
E15	FURNISH AND INSTALL 3 PHASE, 100A, 208V, FUSIBLE DISCONNECT SWITCH IN NEMA 3R ENCLOSURE, FUSED AT 80A. PROVIDE INDEPENDANT SUPPORTS.

POWER AND SYSTEMS NEW WORK GENERAL NOTES

- SEE E601 FOR ADDITIONAL POWER AND SYSTEMS NEW WORK GENERAL NOTES.
- THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE INTEGRITY AND CONDITION OF THE EXISTING BRANCH CIRCUIT. WIRING IS TO BE REUSED FOR NEW EQUIPMENT CIRCUITING ACCORDING TO THE NATIONAL ELECTRIC CODE. ALL DAMAGED WIRING OR WIRING FOUND TO BE NONFUNCTIONAL SHALL BE REPLACED.
- EXISTING BRANCH CIRCUITS SHALL BE EXTENDED AND CONNECTED TO ALL EXISTING RELOCATED EQUIPMENT, AS REQUIRED FOR A COMPLETE WORKING SYSTEM.
- RECONNECT ALL EXISTING CIRCUITING THAT ORIGINATES OR PASSES THROUGH THE RENOVATED AREAS BUT SERVES OTHER AREAS NOT BEING RENOVATED. EXTEND THESE CIRCUITS AS MAY BE NECESSARY TO THE EXISTING DESIGNATED PANELBOARDS. UTILIZE SPARE CIRCUIT BREAKERS.
- DRAWINGS ARE DIAGRAMMATIC ONLY; EXACT LOCATIONS, MOUNTING HEIGHTS OF EQUIPMENT, AND ROUTING OF RACEWAYS SHALL BE COORDINATED WITH EQUIPMENT SPECIFICATIONS AND FIELD CONDITIONS.
- THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL INCIDENTAL ACCESSORIES NECESSARY TO MAKE ELECTRICAL WORK COMPLETE AND READY TO OPERATE.
- ALL ELECTRICAL WORK SHALL BE DONE PER THE NATIONAL ELECTRICAL CODE AND LOCAL GOVERNING AUTHORITIES.
- THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH THE HVAC AND PLUMBING DRAWINGS FOR THE EXACT LOCATION AND ROUGH IN DIMENSIONS. ALL EQUIPMENT SHALL MAKE ALL FINAL POWER CONNECTIONS AS REQUIRED, I.E., POWER, CONTROLS, INTERLOCKS, ETC.



1 ELECTRICAL - ROOF PLAN - POWER SYSTEMS - NEW WORK
1/8" = 1'-0"

<div>SEAL</div> <div></div> <div>DATE: 3/01/25</div>	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHT	DRAWING SCALE		APPROVED BY: <i>Mihai T. Petrisor</i> DIRECTOR		BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT	
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.		BID/PERMIT			3/19/25	-	MSW	ENE21	PLAN SCALE: NONE	DATE: 03/26/2025				
	LICENSE NO. 44964 EXPIRATION DATE: 06-18-2025										PROFILE SCALE: 1"=10'			FULLERTON FIRE STATION #8 - RENOVATION & ADDITION POWER AND SYSTEMS - ROOF PLAN - NEW WORK 4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236 SUBDIVISION: FULLERTON	
	ENGINEER: TA CHHILIN, PE PRINCIPAL ELECTRICAL ENGINEER C.C. JOHNSON & MALHOTRA, P.C. 600 EAST PRITT STREET, SUITE 605 BALTIMORE, MARYLAND 21202 (P) 410-961-0900		BUREAU OF ENGINEERING AND CONSTRUCTION		HIGHWAYS		STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	PROPERTY MANAGEMENT			
	DGN BY: CCM		REVIEWED BY:									APPROVED BY: _____ CHIEF			
DWN BY: CCM		DATE REVIEWED:									DATE: _____		ELECTION DIST. NO.: 14C5		
CHKD BY: CCM													FILE NO.: 20-120 REV: 0014		

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LIGHTING NEW WORK GENERAL NOTES

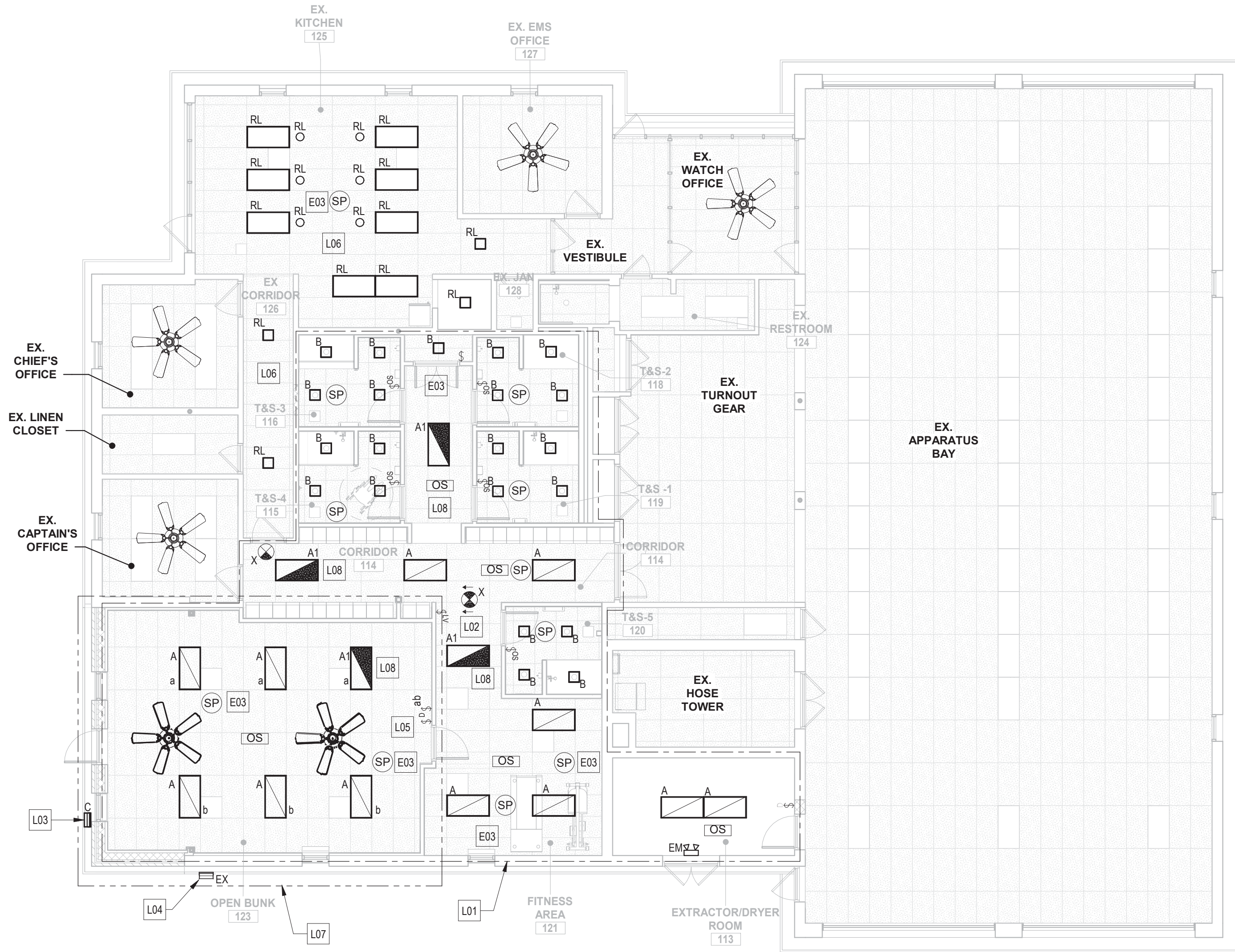
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL LIGHTING FIXTURES COMPLETE WITH MOUNTING ACCESSORIES TO MEET JOB REQUIREMENTS.
- THE ELECTRICAL CONTRACTOR SHALL VERIFY FIXTURE MOUNTING AND LOCATION WITH AN ARCHITECTURAL REFLECTED CEILING PLAN. CONFIRM THE EXACT LOCATION OF ALL FIXTURES WITH THE ARCHITECT BEFORE ROUGHING IN.
- REFER TO LIGHTING FIXTURE SCHEDULE ON ELECTRICAL DRAWING E601 FOR LIGHTING ELECTRICAL SPECIFICATIONS, VOLTAGE, AND LAMP REQUIREMENTS.

ELECTRICAL NEW WORK KEYNOTES

E03	REINSTALL SALVAGED OR NEW INTERCOMMUNICATION SYSTEM DEVICE COMPATIBLE WITH EXISTING SYSTEM AND RECONNECT TO EXISTING INTERCOMMUNICATION SYSTEM. PROVIDE ADDITIONAL WIRING AND RACEWAYS AS REQUIRES FOR A COMPLETE AND FULLY OPERATIONAL SYSTEM.
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LIGHTING NEW WORK KEYNOTES

L01	PROVIDE 2#12 + 1#12G IN 3/4"C TO EXISTING AREA LIGHTING CIRCUIT IN THIS AREA UNLESS FIXTURE IS DESIGNATED AS AN EMERGENCY OR EXIT LIGHT FIXTURE.
L02	EMERGENCY OR EXIT LIGHT FIXTURE. PROVIDE 2#12 + 1#12G IN 3/4"C TO EXISTING AREA EMERGENCY LIGHTING CIRCUIT.
L03	CONNECT NEW EXTERIOR LIGHT FIXTURE TO EXISTING 120V. EXTERIOR LIGHTING BRANCH CIRCUIT WITH 2#12 + 1#12G IN 3/4"C. ELECTRICAL CONTRACTOR SHALL VERIFY FIXTURE MOUNTING HEIGHT AND LOCATION WITH ARCHITECTURAL PLANS. EXACT LOCATION OF ALL FIXTURES SHALL BE CONFIRMED PRIOR TO BID.
L04	EXISTING EXTERIOR FIXTURE AT NEW LOCATION. SPLICE, EXTEND, AND PROVIDE WIRING AND CONDUIT TO EXISTING EXTERIOR LIGHTING CIRCUIT. WIRING AND CONDUIT TO EQUAL EXISTING BUT NOT LESS THAN WHAT IS REQUIRED BY THE NEC. LIGHTING CONTROL TO BE RESTORED TO EXISTING OPERATIONAL CONDITION AND SCHEDULE.
L05	PROVIDE 120V WALL CONTROL BY FAN SUPPLIER FOR CEILING FAN(S) INSTALLED IN THIS AREA. SEE MECHANICAL DRAWINGS FOR CEILING FAN EXACT MOUNTING LOCATIONS AND SPECIFICATIONS.
L06	REINSTALL EXISTING LIGHTING FIXTURES IN THIS AREA AT NEW LOCATIONS AT NEW CEILING AS INDICATED. PROVIDE 2#12 + 1#12G IN 3/4"C TO EXISTING AREA LIGHTING CIRCUIT. RECONNECT FIXTURES TO ASSOCIATED LIGHTING CONTROL DEVICES. LIGHTING CONTROL SCHEME TO MATCH EXISTING.
L07	PROVIDE CONTROL RELAY FOR LIGHTING FIXTURES IN THIS AREA TO CONTROL LIGHTS VIA FIREMAN'S MASTER CONTROL STATION.
L08	EMERGENCY LIGHT FIXTURE WITH UL924 GENERATOR TRANSFER DEVICE ON LOCAL AREA CONTROL. PROVIDE 2#12 + 1#12G IN 3/4"C FOR NORMAL POWER OF FIXTURE TO AREA LIGHTING CIRCUIT. PROVIDE 2#12 + 1#12G IN 3/4"C FOR EMERGENCY POWER OF FIXTURE TO UNSWITCHED AREA EMERGENCY LIGHTING CIRCUIT. UPON NORMAL POWER LOSS, EMERGENCY LIGHTING FIXTURE TO BE POWERED TO FULL ILLUMINATION.



1 ELECTRICAL - FIRST FLOOR PLAN - LIGHTING NEW WORK
1/8" = 1'-0"

<div>SEAL</div> <div></div> <div>DATE: 5/01/25</div>	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHT	DRAWING SCALE		APPROVED BY: <i>Mihai T. Petrisor</i> DIRECTOR DATE: 03/26/2025
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.		BID/PERMIT			3/19/25	-	MSW	17NE21	PLAN SCALE: AS INDICATED		
	LICENSE NO. 44664 EXPIRATION DATE: 06-18-2025						-	R.O.W NO.	-	PROFILE SCALE: -		
	ENGINEER: TA CHHILIN, PE PRINCIPAL ELECTRICAL ENGINEER C.C. JOHNSON & MALHOTRA, P.C. 600 EAST PRUITT STREET, SUITE 605 BALTIMORE, MARYLAND 21202 (P) 410-981-0900											
	DGN BY: CCM	BUREAU OF ENGINEERING AND CONSTRUCTION						HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER
	DWN BY: CCM	REVIEWED BY:										PROPERTY MANAGEMENT
	CHKD BY: CCM	DATE REVIEWED:										APPROVED BY: _____ CHIEF

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT

FULLERTON FIRE STATION #8 - RENOVATION & ADDITION

LIGHTING - FIRST FLOOR PLAN - NEW WORK

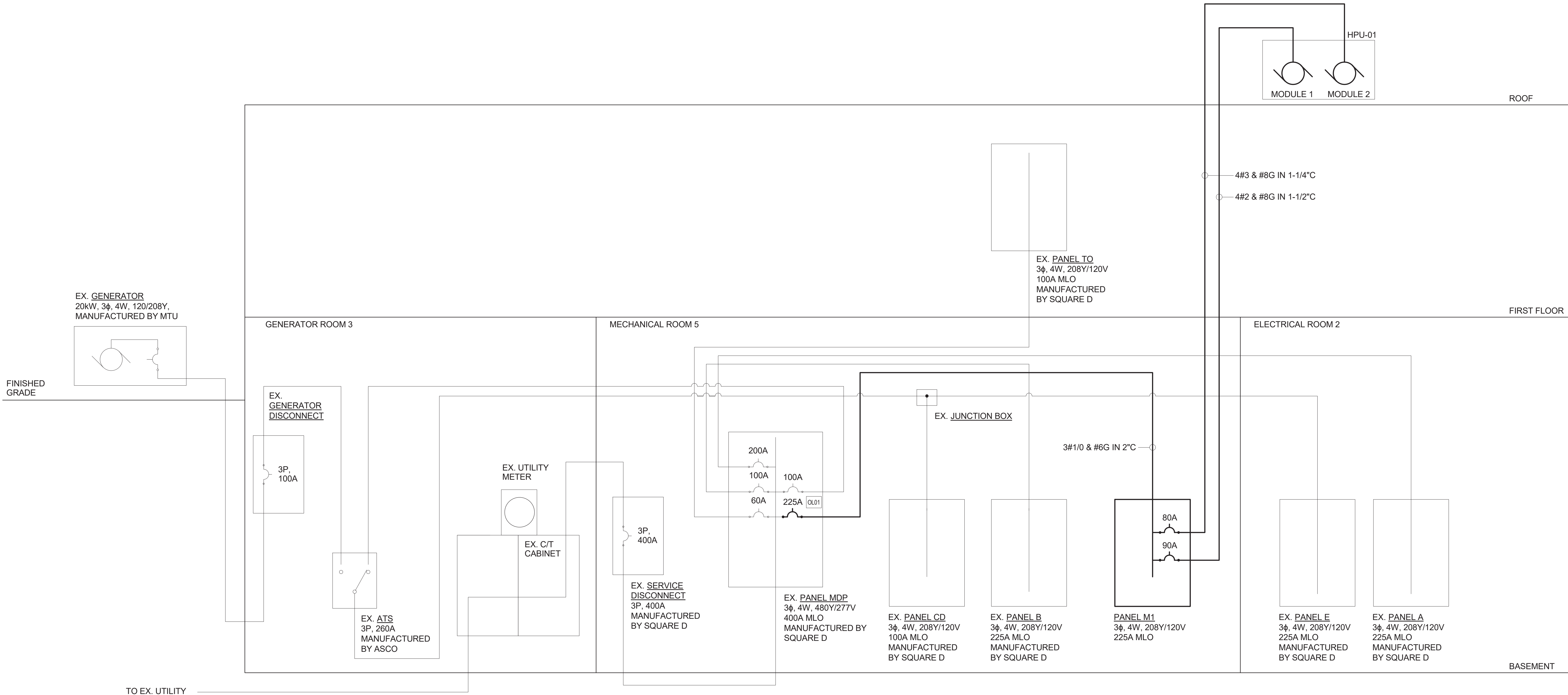
4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236

ELECTION DIST. NO.: 14C5

SUBDIVISION: FULLERTON

SHEET DESIGNATION	CONTRACT NUMBER
E102	25034 PFO RE-BID
JOB ORDER NUMBER	
241-220-0054-0012	
SHEET 55 of 58	
DRAWING NUMBER	
2022-2371	
FILE NO.: 20-120 REV: 10/14	

DWG. FILENAME: 2/28/2025 2:27:10 PM



1 ELECTRICAL - ONE-LINE DIAGRAM - NEW WORK
NOT TO SCALE

ONE-LINE DIAGRAM NEW WORK KEYNOTES	
OL01	PROVIDE COMPATIBLE CIRCUIT BREAKER AT EXISTING PANEL AS INDICATED. RELOCATE EXISTING CIRCUIT BREAKERS AND REROUTE EXISTING CIRCUITS AS REQUIRED TO ACCOMMODATE NEW BREAKER FRAME SIZE. NEW CIRCUIT BREAKER MANUFACTURER TO MATCH EXISTING EQUIPMENT MANUFACTURER.

<div>SEAL</div> <div></div> <div>DATE: 3/01/25</div>	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHT	DRAWING SCALE		APPROVED BY: <i>Mihai T Petrisor</i> DIRECTOR DATE: 03/26/2025		
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 44664 EXPIRATION DATE: 06-18-2025		BID/PERMIT			3/10/25	-	MSW	ENE21	PLAN SCALE: NONE				
							R.O.W. NO.	-	-	PROFILE SCALE: 1"=100'				
							-	-	-					
							-	-	-					
		ENGINEER: T.A. CHHILLUN, PE PRINCIPAL ELECTRICAL ENGINEER C.C. JOHNSON & MALHOTRA, P.C. 600 EAST PRATT STREET, SUITE 605 BALTIMORE, MARYLAND 21202 (P) 410-981-0900		DGN BY: CCM		BUREAU OF ENGINEERING AND CONSTRUCTION		HIGHWAYS		STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER
		DWN BY: CCM		REVIEWED BY:										PROPERTY MANAGEMENT
		CHKD BY: CCM		DATE REVIEWED:										APPROVED BY: _____ CHIEF
														DATE: _____

SUBDIVISION: FULLERTON

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT

FULLERTON FIRE STATION #8 - RENOVATION & ADDITION

ELECTRICAL RISER DIAGRAM

4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236

ELECTION DIST. NO.: 14C5

SHEET DESIGNATION	CONTRACT NUMBER
E501	25034 PFO RE-BID
JOB ORDER NUMBER	
241-220-0054-0012	
SHEET 56 of 58	
DRAWING NUMBER	
2022-2372	
FILE NO.: 20-120 REV: 10/14	

DWG. FILENAME: 20-120

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Ex. Branch Panel: A						Location: ELECTRICAL RM 2								Volts: 120/208 Wye				A.I.C. Rating: 10 kAIC				
						Supply From:								Phases: 3				Mains Type: MLO				
						Mounting: Surface								Wires: 4				Mains Rating: 225 A				
						Enclosure: Type 1												MCB Rating: N/A				
Notes: SUPPLIED FROM 3P, 200A BREAKER AT PANEL MDP																						
CKT	Circuit Description	Wire Size	Conduit t Size	Trip	Poles	A	B	C	Poles	Trip	Conduit t Size	Wire Size	Circuit Description	CKT								
3	DORM CEILING	--	--	20 A	1	0 VA	0 VA			1	20 A	--	BATHROOM LIGHTING	2								
3	FIRE WATCH RECEPTACLE	--	--	20 A	1	0 VA	0 VA			1	20 A	--	TOWER LIGHTING	4								
5	LOOKER RECEPTACLE	--	--	20 A	1			0 VA	0 VA	1	20 A	--	FIRE WATCH LIGHT	6								
7	REC ROOM RECEPTACLE	--	--	20 A	1	0 VA	0 VA			1	20 A	--	MICROWAVE	8								
9	HEATER	--	--	20 A	2			0 VA	0 VA	1	20 A	--	ICE MAKER	10								
11	--	--	--	--	--					1	20 A	1-#12, 1-#12, 1-#12	RECEPT EXERCISE 106...	12								
13	UNIT HEATER #1	--	--	20 A	1	0 VA	0 VA			1	20 A	--	HALLWAY LIGHTS	14								
15	DORM RECEPTACLE	--	--	20 A	1			0 VA	0 VA	1	20 A	--	DRIVERS ROOM LIGHTS	16								
17	DORM RECEPTACLE	--	--	20 A	1					1	20 A	--	DRIVEWAY LIGHTS	18								
19	DORM RECEPTACLE	--	--	20 A	1	0 VA	0 VA			1	20 A	--	CHIEF'S ROOM LIGHTS	20								
21	SHOP RECEPTACLE(S)	--	--	20 A	1			0 VA	0 VA	1	20 A	--	CAPTAIN ROOM LIGHTS	22								
23	EQUIP. RECEPTACLE	--	--	20 A	1					1	20 A	--	LIGHTS	24								
25	UNIT HEATER #2	--	--	20 A	1	0 VA	0 VA			1	20 A	--	DORM LIGHTS	26								
27	SMOKE DETECTOR	--	--	20 A	1			0 VA	0 VA	1	20 A	--	LIGHTS	28								
29	KITCHEN HOOD FAN	--	--	20 A	1					1	20 A	--	DRIVEWAY LIGHTS	30								
31	REFRIGERATOR	--	--	20 A	1	0 VA	0 VA			1	20 A	--	REC ROOM LIGHTS	32								
33	KITCHEN RECEPTACLE(S)	--	--	20 A	1			0 VA	0 VA	1	20 A	--	CAPTAIN ROOM...	34								
35	WATER COOLER	--	--	20 A	1					1	20 A	--	RECEPTACLE(S)	36								
37	RECEP. OPEN BUNK 123	1-#12, 1-#12, 1-#12	3/4"	20 A	1	720 VA	370 VA			1	20 A	3/4"	EW-C 1 EXERCISE 106	38								
39	RECEP. OPEN BUNK 123	1-#12, 1-#12, 1-#12	3/4"	20 A	1			720 VA	720 VA	1	20 A	3/4"	RECEPTACLES 106, 105	40								
41	ROOFTOP RECEPT.	1-#12, 1-#12, 1-#12	3/4"	20 A	1					180 VA	0 VA	--	SPACE	42								
						Total Load:	1090 VA	1440 VA	360 VA													
						Total Amps:	10 A	13 A	3 A													
Legend:																						
Load Classification																						

Ex. Branch Panel: B						Location: MECHANICAL RM 5						Volts: 120/208 Wye						A.I.C. Rating: 10 kAIC							
Supply From:						Phases: 3						Mains Type: MLO						Main Type: MLO							
Mounting: Surface						Wires: 4						Mains Rating: 100 A						MCB Rating: N/A							
Enclosure: Type 1																									
Notes: SUPPLIED FROM 3P, 100A BREAKER AT PANEL MDP																									
CKT	Circuit Description	Wire Size	Conduit t Size	Trip	Poles	A	B	C	Poles	Trip	Conduit t Size	Wire Size	Circuit Description	CKT											
2	BASMENT UNIT HEATER	--	20 A	1		0 VA	0 VA			1	20 A	--	BATHROOM GFI	2											
3	EQUIP. AREA UNIT...	--	20 A	1						1	20 A	--	BATHROOM HEATER	4											
5	SPARE	--		20 A	1					1	20 A	--	EXHAUST FAN	6											
7	EQUIP. AREA UNIT...	--	20 A	1	0 VA	0 VA		0 VA	0 VA	1	20 A	--	BOILER RM CIR. PUMP	8											
9	EXISTING LOAD	--	20 A	1			0 VA	0 VA		1	20 A	--	SPARE	10											
11	RECEPTACLES 105, 106	1-#12, 1-#12, 1-#12	3/4"	20 A	1			380 VA	0 VA	1	20 A	--	RECEPTACLES	12											
13	SPARE	--	20 A	1	0 VA	0 VA				1	20 A	--	BOILER ROOM	14											
15	SPARE	--	20 A	1			0 VA	0 VA		1	20 A	--	RECEPTACLES	16											
17	EXISTING LOAD	--	20 A	1				0 VA	0 VA	1	20 A	--	BOILER ROOM	18											
19	SPARE	--	20 A	1	0 VA	0 VA				1	20 A	--	EXHAUST FAN	20											
21	SPARE	--	20 A	1			0 VA	0 VA		1	20 A	--	RECEPTACLES	22											
23	SPARE	--	20 A	1				0 VA	0 VA	1	20 A	--	EXHAUST FAN	24											
25	HEATING UNIT	--	20 A	1	0 VA	0 VA				--	--	--	SPACE	26											
27	HEATING UNIT	--	20 A	2			0 VA	0 VA		--	--	--	SPACE	28											
29	--	--	--	--	--			0 VA	0 VA	2	20 A	--	HEATING UNIT	30											
31	FLOOD LIGHTS	--	20 A	2	0 VA	0 VA				--	--	--	--	32											
33	--	--	--	--	--		0 VA	0 VA		2	20 A	--	EXISTING LOAD	34											
35	SPACE	--	--	--	--			0 VA	0 VA	--	--	--	--	36											
37	SPACE	--	--	--	--	0 VA	0 VA			3	20 A	--	EXISTING LOAD	38											
39	SPARE	--	20 A	2			0 VA	0 VA		--	--	--	--	40											
41	--	--	--	--	--			0 VA	0 VA	--	--	--	--	42											
Total Load:						0 VA	0 VA	380 VA																	
Total Amps:						0 A	0 A	3 A																	
Legend:																									
Load Classification						Connected Load		Demand Factor		Estimated Demand		Panel Totals													

Ex. Branch Panel: E																											
Location: ELECTRICAL RM 2								Volts: 120/208 Wye				A.I.C. Rating: 10 kAIC															
Supply From:								Phases: 3				Mains Type: MLO															
Mounting: Surface								Wires: 4				Mains Type: 225 A															
Enclosure: Type 1								MCB Rating: N/A																			
Notes:																											
PANEL BACKED UP BY EXISTING 30KW GENERATOR. SUPPLIED FROM 3P, 100A CIRCUIT BREAKER AT PANEL MDP. BREAKER IS SHARED WITH EXISTING PANEL CD.																											
CKT	Circuit Description	Wire Size	Conduit Size	Trip	Poles	A		B		C		Poles	Trip	Conduit Size	Wire Size	Circuit Description	CKT										
3	DORM LIGHTS	--	20 A	1		0 VA	0 VA					1	20 A	--	--	LOCKER ROOM LIGHTS	2										
3	REC ROOM	--	20 A	1				0 VA	0 VA			1	20 A	--	--	HALLWAY EMER. LIGHTS	4										
5	CAPTIAN ROOM LIGHTS	--	20 A	1						0 VA	0 VA	1	20 A	--	--	DRIVER LIGHTS	6										
7	DRIVEWAY LIGHTS	--	20 A	1		0 VA	0 VA					1	20 A	--	--	DRIVER LIGHTS	8										
9	CANOPY LIGHTS	--	20 A	1				0 VA	0 VA			1	20 A	--	--	CANOPY LIGHTS	10										
11	RELAY CABINET (LOW...	--	20 A	1						0 VA	0 VA	1	20 A	--	--	LIGHTS	12										
13	EMERGENCY...	--	20 A	1		0 VA	0 VA					1	20 A	--	--	CHIEF ROOM LIGHTS	14										
15	TURRET	--	20 A	1				0 VA	0 VA			2	20 A	--	--	FIRE WATCH	16										
17	EXIT LIGHT	--	20 A	1						0 VA	0 VA	--	--	--	--	--	18										
19	TELEPHONE RECETAPCLE	--	20 A	1		0 VA	0 VA					1	20 A	--	--	ELECTRIC HEATING UNIT	20										
21	RACK RECEPTACLE	--	20 A	1				0 VA	0 VA			3	40 A	--	--	AIR COMPRESSOR	22										
23	SUB PANEL BOILER	--	20 A	2						0 VA	0 VA	--	--	--	--	--	24										
25	--	--	--	--		0 VA	0 VA					--	--	--	--	--	26										
27	MOTORIZED DOOR	--	40 A	2				0 VA	0 VA			1	20 A	--	--	MODEM HPONET...	28										
29	--	--	--	--						0 VA	0 VA	1	20 A	--	--	MAIN TOILET OVERHEAD	30										
31	UNKNOWN CIRCUIT	--	20 A	3		0 VA	0 VA					3	20 A	--	--	UNKNOWN CIRCUIT...	32										
33	--	--	--	--				0 VA	0 VA			--	--	--	--	--	34										
35	--	--	--	--						0 VA	0 VA	--	--	--	--	--	36										
37	UNKNOWN CIRCUIT	--	20 A	3		0 VA	0 VA					3	20 A	--	--	UNKNOWN CIRCUIT	38										
39	--	--	--	--				0 VA	0 VA			--	--	--	--	--	40										
41	--	--	--	--						0 VA	0 VA	--	--	--	--	--	42										
Total Load:						0 VA		0 VA		0 VA																	
Total Amps:						0 A		0 A		0 A																	
Legend:																											

[illegible]

Branch Panel: M1																			
Location: MECHANICAL RM 5 Supply From: PANEL MDP Mounting: Surface Enclosure: Type 1										Volts: 120/208 Wye Phases: 3 Wires: 4									
										A.I.C. Rating: 22KAIC Mains Type: MLO Mains Rating: 225 A MCB Rating: N/A									
Notes:																			
CKT	Circuit Description	Wire Size	Conduit Size	Trip	Poles	A		B		C		Poles	Trip	Conduit Size	Wire Size	Circuit Description		CKT	
1	HPU-01 (MODULE 1)	3#2, 1#2, 1#8	1-1/2"	90 A	3	6845 VA	6365...					3	80 A	1-1/4"	3#3, 1#3, 1#8	HPU-01 (MODULE 2)		2	
3	--	--	--	--	--			6845 VA	6365 VA			--	--	--	--			2	
5	--	--	--	--	--					6845...	6365 VA	--	--	--	--			4	
7	SSU - 01, 02	2#14, 1#14, 1#14	3/4"	15 A	2	339 VA	343 VA					2	15 A	3/4"	2#14, 1#14, 1#14	DOAS - 01		6	
9	--	--	--	--	--			339 VA	343 VA			--	--	--	--			8	
11	SSU - 03	2#14, 1#14, 1#14	3/4"	15 A	2					75 VA	86 VA	2	15 A	3/4"	2#14, 1#14, 1#14	BCU-01		10	
13	--	--	--	--	--	75 VA	86 VA					3	15 A	3/4"	--			12	
15	SSU - 04	2#14, 1#14, 1#14	3/4"	15 A	2			219 VA	841 VA			3	15 A	3/4"	3#14, 1#14, 1#14	WASHER EXTRACTOR		14	
17	--	--	--	--	--					219 VA	841 VA	--	--	--	--			16	
19	EF-01	2#12, 1#12, 1#12	3/4"	20 A	2	93 VA	841 VA					3	--	--	--			20	
21	--	--	--	--	--			93 VA	2402 VA			3	35 A	1/2"	3#8, 1#8, 1#10	DRYER		22	
23	EF-02	2#12, 1#12, 1#12	3/4"	20 A	2					186 VA	2402 VA	--	--	--	--			24	
25	--	--	--	--	--	186 VA	2402...					--	--	--	--			26	
27	EF-03	2#12, 1#12, 1#12	3/4"	20 A	2			186 VA	500 VA			1	20 A	3/4"	1#12, 1#12, 1#12	OC-1		28	
29	--	--	--	--	--					186 VA	2600 VA	3	20 A	3/4"	3#10, 1#10, 1#10	EDH-01		30	
31	SPARE	--	--	--	20 A	1	0 VA	2600...				--	--	--	--			32	
33	SPARE	--	--	--	20 A	1		0 VA	2600 VA	0 VA	0 VA	--	--	--	--			34	
35	SPARE	--	--	--	20 A	1				0 VA	0 VA	1	20 A	--	--	SPARE		36	
37	SPACE	--	--	--	--	0 VA	0 VA					1	20 A	--	--	SPACE		38	
39	SPACE	--	--	--	--			0 VA	0 VA			--	--	--	--	SPACE		40	
41	SPACE	--	--	--	--					0 VA	0 VA	--	--	--	--	SPACE		42	
Total Load:						20175 VA		20733 VA		19805 VA									
Total Amps:						169 A		173 A		165 A									

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT			JOB ORDER NUMBER
FULLERTON FIRE STATION #8 - RENOVATION & ADDITION			241-220-0054-06
ELECTRICAL PANEL SCHEDULES			SHEET 57 of 82
SUBDIVISION: FULLERTON 4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236			DRAWING NUMBER
ELECTION DIST. NO.: 14C5			2022-2373
			FILE NO.: 20-120

GENERAL ELECTRICAL NOTES (APPLIES TO ALL ELECTRICAL WORK)

1.	ALL DOCUMENTS AND PUBLICATIONS (SUCH AS, BUT NOT LIMITED TO, MANUALS, HANDBOOKS, CODES, STANDARDS AND SPECIFICATIONS) WHICH ARE CITED IN THIS CONTRACT OR THE SPECIFICATIONS INCORPORATED HEREIN, FOR THE PURPOSE OF ESTABLISHING REQUIREMENTS APPLICABLE TO EQUIPMENT, MATERIALS OR WORKMANSHIP UNDER THIS CONTRACT SHALL BE DEEMED TO BE INCORPORATED HEREIN AS FULLY AS IF PRINTED AND BOUND WITH THIS CONTRACT. WHEREVER REFERENCE IS MADE TO ANY SUCH DOCUMENT, THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS SET OUT IN THE EDITION SPECIFIED IN THIS CONTRACT, OR IF NOT SPECIFIED, THE LATEST EDITION OR REVISION THEREOF, AS WELL AS THE LATEST AMENDMENT OR SUPPLEMENT OR SUPPLEMENT THERETO, EXCEPT AS MODIFIED BY, OR OTHERWISE PROVIDED IN THE SPECIFICATIONS OR THIS CONTRACT.	17.	VERIFY CLEARANCES FOR ALL NEW ELECTRICAL WORK BEFORE PROCEEDING WITH CONSTRUCTION. COORDINATE USAGE OF AVAILABLE SPACE WITH ALL TRADES. IN THE EVENT OF CONFLICTS, NOTIFY THE ARCHITECT/ENGINEER AND OWNER BEFORE PROCEEDING WITH THE WORK.
2.	CONTRACTOR SHALL COORDINATE THE WORK WITH EXISTING FIELD CONDITIONS & THE WORK OF OTHER TRADES. UNRESOLVABLE CONFLICTS OR INTERFERENCES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT/ENGINEER AND OWNER.	18.	SEAL ALL NEW WALL AND FLOOR CONDUIT PENETRATIONS.
3.	ALL AUXILIARY ELECTRICAL COMPONENTS, OR CONTROL & POWER WIRING, REQUIRED TO ENSURE THE FUNCTIONALITY OF THE ITEMS SHOWN ON THE DRAWINGS SHALL BE PROVIDED, EVEN IF NOT SPECIFICALLY SHOWN ON THE DRAWINGS. THIS INCLUDES SUCH ITEMS AS LOW VOLTAGE CONTROL POWER AND WIRING TO REMOTE MOUNTED INTERLOCK DEVICES. CONTRACTOR SHALL CONSULT ALL TRADES FURNISHING EQUIPMENT & OBTAIN FROM THEM ALL DATA AND INSTALLATION INSTRUCTIONS TO ENSURE THAT ALL ELECTRICAL REQUIREMENTS ARE INCLUDED.	19.	CIRCUITS ARE SIZED ASSUMING THAT NO MORE THAN THREE CURRENT CARRYING CONDUCTORS ARE IN A SINGLE CONDUIT. FOR CONDUITS CONTAINING MORE THAN THREE, PROVIDE APPROPRIATE DERATING OF CONDUCTORS PER CODE.
4.	DRAWINGS ARE DIAGRAMMATIC AND DO NOT SHOW ALL OF THE RACEWAY, BOXES, PENETRATIONS, SUPPORTS AND OTHER COMPONENTS THAT ARE REQUIRED TO COMPLETE THE WORK. ONLY MAJOR ITEMS ARE SHOWN ON THE DRAWINGS. PROVIDE ALL WORK AS REQUIRED FOR A COMPLETE AND FULLY FUNCTIONAL ELECTRICAL SYSTEM.	20.	NUMBERED CIRCUITS ARE CREATED FOR THE CONVENIENCE OF DESIGN ONLY. DESIGN INTENT MUST BE FOLLOWED THROUGHOUT. INDICATE THE CIRCUIT NUMBERS AND CORRESPONDING ROOM NUMBERS USED ON THE "AS-BUILT" DRAWINGS. EMERGENCY PANEL CIRCUIT NUMBERS MAY VARY, ACTUAL FIELD CONDITIONS SHALL BE VERIFIED.
5.	EQUIPMENT MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS AND ALL LABELS AND WARNINGS AFFIXED TO THE INSTALLED EQUIPMENT SHALL BE STRICTLY ADHERED TO.	21.	NO WIRING SHALL BE INSTALLED PRIOR TO THE CONTRACTOR'S REVIEW OF THE PROJECT EQUIPMENT SHOP DRAWINGS AND COORDINATION WITH THE DESIGN DOCUMENTS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT/ENGINEER AND OWNER ATTENTION FOR FINAL RESOLUTION. WORK THAT HAS TO BE REPLACED DUE TO LACK OF PROPER SHOP DRAWINGS COORDINATION SHALL BE DONE AT CONTRACTOR'S EXPENSE.
6.	ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF ALL APPLICABLE CODES & REGULATIONS.	22.	MOTOR SIZES AND LOCATIONS SHOWN ON THE DRAWINGS ARE BASED ON INFORMATION OBTAINED DURING DESIGN. VERIFY THE ACTUAL LOCATIONS AND PROVIDE WIRING AND PROTECTION OF PROPER SIZES AS REQUIRED. WIRE THE MOTORS FOR PROPER DIRECTION OF ROTATION AND CHECK ROTATION AT START-UP.
7.	CONDUCTOR SIZING, BREAKER TRIP RATINGS AND FUSE SIZES FOR MECHANICAL EQUIPMENT FEEDERS AS SHOWN ON THE DRAWINGS ARE BASED ON PRELIMINARY DESIGN INFORMATION. CONTRACTOR SHALL VERIFY THE PROPER SIZING AND RATINGS FROM THE FURNISHED EQUIPMENT WRITTEN DATA OR EQUIPMENT NAMEPLATES PRIOR TO ROUGH IN. IMMEDIATELY ADVISE THE ARCHITECT/ENGINEER AND OWNER OF ANY DISCREPANCIES.	23.	ALL INCOMING POWER & LOW VOLTAGE CONDUCTORS SHALL RUN IN CONCEALED CONDUIT. UTILIZE EXISTING CONDUIT WHERE POSSIBLE.
8.	PROVIDE EQUIPMENT DISCONNECT SWITCHES IN STRICT COMPLIANCE WITH CODE REQUIREMENTS. (NOT ALL LOCAL DISCONNECT SWITCHES ARE SHOWN)	24.	ALL EQUIPMENT INSTALLED IN MECHANICAL AIR PLENUM SPACE SHALL BE RATED FOR THAT USE PER LOCAL REQUIREMENT.
9.	ALL OUTLET BOXES SHALL BE PROVIDED WITH PROPER COVER PLATES.	25.	FOR 15A OR 20A BRANCH CIRCUITS, PROVIDE WIRE SIZES AND RACEWAYS AS PER WIRING NOTES ON DRAWING E001.
10.	IN AREAS WHERE COUNTERS ARE PROVIDED, COORDINATE EXACT LOCATION OF OUTLETS AND WIRING WITH CASEWORK.	26.	NOTIFY ARCHITECT AND OWNER NO FEWER THAN SEVEN (7) DAYS IN ADVANCE OF PROPOSED INTERRUPTION OF ELECTRICAL SERVICE. DO NOT PROCEED WITH INTERRUPTION OF ELECTRICAL SERVICE WITHOUT ARCHITECT'S AND OWNER WRITTEN PERMISSION.
11.	CONDUITS SHALL BE CONCEALED IN WALLS AND CEILINGS TO THE GREATEST EXTENT POSSIBLE. INTERIOR SURFACE METAL RACEWAY (WIREMOLD OR EQUAL) MAY BE USED FOR LIGHTING FIXTURES OR WIRING DEVICES LOCATED ON INACCESSIBLE BUILDING ELEMENTS, SUCH AS CONCRETE CEILINGS OR MASONRY WALLS. SURFACE METAL RACEWAY SHALL BE MOUNTED TIGHT TO WALLS OR CEILINGS. LOCATION AND ROUTING SHALL BE APPROVED BY ARCHITECT AND OWNER. SEE TECHNICAL SPECIFICATION FOR FURTHER INFORMATION.	27.	SURFACE MOUNTED METAL RACEWAYS ONLY PERMISSIBLE ON EXISTING WALLS, WHERE CONDUIT CANNOT BE CONCEALED, IN OCCUPIED, OR NON-OCCUPIED SPACES.
12.	ALL OUTDOOR RECEPTACLES SHALL BE WEATHERPROOF (W.P.) AND THE GFI TYPE.	28.	REFER TO ARCHITECTURAL DRAWINGS FOR TEMPORARY LIVING FACILITY TRAILERS, PROVIDE TRAILERS WITH TEMPORARY ELECTRIC, DATA, SECURITY, FIRE ALARM, AND OTHER UTILITIES THROUGHOUT THE DURATION OF CONSTRUCTION.
13.	ALL OUTDOOR ENCLOSURES SHALL BE NEMA 3R, THE PADLOCKED TYPE WITH TAMPER PROOF SCREWS.		
14.	THE CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS NECESSARY FOR A COMPLETE AND FUNCTIONING ELECTRICAL SYSTEM.		
15.	ALL MATERIALS AND EQUIPMENT SHALL BE ERECTED, INSTALLED, CONNECTED, CLEANED, ADJUSTED, TESTED, CONDITIONED, AND PLACED IN SERVICE IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS AND RECOMMENDATIONS.		
16.	CONDUIT RUNS OR PULL BOXES SHALL NOT BLOCK OR PREVENT FULL COMPLETE ACCESS AND/OR OPERATION OF HVAC EQUIPMENT, ACCESS DOORS, PIPING VAULTS, JUNCTION BOXES MAIN RETURN AIR DUCTS, PULL BOXES, CLEANOUTS, ETC.		

LIGHTING FIXTURE SCHEDULE									
TYPE	DESCRIPTION	BASIS OF DESIGN		LAMP			VOLTAGE	COMMENTS	
		MANUFACTURER	MODEL	TYPE	WATTS	EFFICACY			
A	GTL 2X4 7200 NOMINAL LUMENS A12 LENS 3500K	LITHONIA LIGHTING	2GTL 4 40L A19 E21 LP1835	LED	34 W	149 lm/W			
A1	GTL 2X4 7200 NOMINAL LUMENS A12 LENS 3500K FOR EMERGENCY LIGHTING	LITHONIA LIGHTING	2GTL 4 40L A19 E21 LP1835 N80 BGTD	LED	34 W	149 lm/W			
B	4" SQUARE LED RECESSED DOWNLIGHT UL LISTED FOR WET LOCATION	GOTHAM LIGHTING	EVO4SQSH-SQ-35-20-DFR-SMO-MV/OLT-EZ10	LED	20 W	81 lm/W			
C	EXTERIOR WALL MOUNTED LED	LITHONIA LIGHTING	TWP LED AL0 40K T3M MV/OLT PE SF DBLXD	LED	48 W	149 lm/W			
EM	EMERGENCY BATTERY PACK	LITHONIA LIGHTING	ELM2L-LP220L-W-VU/OLT-SDRT	LED				WALL MOUNTED 7"-11" AFF	
RL	EXISTING FIXTURE RELOCATED TO NEW LOCATION	EXISTING	-	EX	0 W				
X	EXIT DIRECTIONAL SIGN	LITHONIA LIGHTING	LQM S W 1 G MV/OLT	LED			120 V		

1. REFER TO ARCHITECTURAL DRAWING FOR MOUNTING CONSTRUCTION.
2. LISTED CATALOG NUMBER AND MANUFACTURER CONSTITUTES "BASIS OF DESIGN". LISTING OF ALTERNATE MANUFACTURER'S NAMES DOES NOT IMPLY ACCEPTANCE OF THEIR STANDARD PRODUCT. MANUFACTURERS ARE RESPONSIBLE FOR PROVIDING FIXTURES THAT ARE EQUAL IN ALL RESPECTS TO THE "BASIS OF DESIGN" FIXTURES. "INTENT IS TO ALLOW FOR COMPETITIVELY BID LIGHTING PACKAGE, FOR FIXTURES WITH MULTIPLE NAMED MANUFACTURERS."
3. SUBSTITUTIONS OF FIXTURES ONLY ALLOWED WHEN APPROVED IN ADVANCE BEFORE SHOP DRAWINGS SUBMITTAL AND REQUEST FOR SUBSTITUTION IS SUBMITTED IN ACCORDANCE WITH SPECIFICATION REQUIREMENTS.
4. LIGHTING FIXTURES SUBMITTALS SHALL INCLUDE, AS A MINIMUM: A) FIXTURE TYPE (TO MATCH WITH SCHEDULE), DIMENSIONS AND FINISH. B) LAMP DATA/LED DATA FOR EACH TYPE OF FIXTURE INCLUDING: TYPE, QUANTITY, WATTAGE, AND PHOSPHOR COLOR. C) DRIVER FOR EACH FIXTURE TYPE AND FIXTURE VOLTAGE.
5. PROVIDE UNIVERSAL 120/277 VOLT, 0-10V DIMMING DRIVER FOR DIMMING TO 1% UNLESS OTHERWISE INDICATED.
6. VERIFY CEILING/WALL TRIM COMPATIBILITY PRIOR TO SUBMITTING THE FIXTURES. COLOR AND FIXTURE FINISHES AS SELECTED BY ARCHITECT WHETHER SHOWN OR NOT. PROVIDE ADAPTER AND ADDITIONAL MOUNTING EQUIPMENT AS REQUIRED TO MOUNT FIXTURE TO SURFACE.
7. PROVIDE LABOR AND EQUIPMENT FOR FOCUSING OF ADJUSTABLE FIXTURES AND PRESETTING OF LIGHTING CONTROL SYSTEMS. FOCUSING AND PRESETTING SHALL BE DONE IN THE PRESENCE OF THE OWNER AND ARCHITECT/ENGINEER.
8. PROVIDE ALL CONTROL WIRES FOR 0-10V DIMMING. PROVIDE DIMMING BALLAST (DIMMABLE FROM 10%-100%)
9. IF THE CONTRACTOR OPTS TO USE THE FIXTURE OF ALTERNATE MANUFACTURER (WHERE ACCEPTABLE), THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE POINT-TO-POINT CALCULATIONS FOR ALL AREAS AS DIRECTED BY THE ENGINEER AT THE TIME OF SUBSTITUTION REQUEST.
10. PROVIDE ALL CHANNELS, HANGERS, CABLES, SUPPORTS AND OTHER ACCESSORIES AS REQUIRED FOR SUSPENDED FIXTURES FOR COMPLETE WORKING SYSTEM WITHOUT ADDITIONAL COST TO OWNER. PROVIDE SIDE BRACKETS TO MOUNT TO WALL /COVE/SUPPORTS.
11. IF MULTIPLE VOLTAGES ARE INDICATED, FIXTURE IS COMPATIBLE WITH MULTIPLE VOLTAGES. FIXTURE TO BE WIRED TO VOLTAGE INDICATED IN PARENTHESES ().
12. PROVIDE INSTALLED UL LABELS WITH THE MAXIMUM SCHEDULED WATTAGE.
13. LED SHALL BE 3500K COLOR TEMPERATURE.
14. REFER TO LIGHTING PLANS FOR (*) ROW LENGTH.
15. LIGHTING FIXTURES IN EQUIPMENT ROOMS TO BE INSTALLED AFTER ALL EQUIPMENT, PIPING, DUCTWORK, ETC. HAS BEEN INSTALLED SO AS NOT TO CREATE INTERFERENCES AND TO MAXIMIZE ILLUMINATION LEVELS.
16. THE BATTERY BACKUP SYSTEM SHALL MEET LOCAL REQUIREMENTS (MINIMUM 90 MIN. BACKUP TIME, TEST SWITCH & INDICATOR). BALLAST SELECTION FOR ALL FIXTURES SHALL BE COORDINATED WITH THE LIGHTING CONTROL MANUFACTURER BEFORE BID. PROVIDE DIMMING BALLAST AS IT IS INDICATED ON LIGHTING PLANS. MOUNTING METHOD AND HEIGHT FOR PENDANT-TYPE FIXTURES SHALL BE COORDINATED WITH THE ARCHITECT AND ARCHITECTURAL PLANS. PROVIDE PLENUM-RATED FIXTURE WHERE IT IS APPLICABLE. REFER TO MECHANICAL DRAWING FOR INFORMATION.

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT

FULLERTON FIRE STATION #8 - RENOVATION & ADDITION

LIGHT FIXTURE SCHEDULE

SUBDIVISION: FULLERTON

4401 FITCH AVENUE, NOTTINGHAM, MARYLAND, 21236

DWG. 20-120
FILENAME: