

ABBREVIATIONS

ACT	ACOUSTICAL CEILING TILE	NO OR #	NUMBER
A/C	AIR CONDITIONING	NOM.	NOMINAL
ADJ	ADJUSTABLE	N I C	NOT IN CONTRACT
AFF	ABOVE FINISHED FLOOR	NSF	NET SQUARE FEET
A.B.E.	ABOVE BENCHMARK ELEVATION	N.T.S.	NOT TO SCALE
A.H.U.	AIR HANDLING UNIT		
ALUM	ALUMINUM	O.C.	ON CENTER
APPROX	APPROXIMATE	OPNG.	OPENING
ARCH	ARCHITECTURAL		
@	AT	P-LAM	PLASTIC LAMINATE
		PLYWD	PLYWOOD
B.C.	BASE CABINET	P.T.	PORCELAIN TILE
BD	BOARD	PTD.	PAINTED
BITUM.	BITUMINOUS		
BLDG.	BUILDING	REF.	REFRIGERATOR
BLK	BLOCK	REQD	REQUIRED
BLKD	BULKHEAD	R.H.	RIGHT HAND
BLKG	BLOCKING	RM	ROOM
C	CENTER LINE	SF	SQUARE FEET
C.B.	CHALK BOARD	S.G.T.	STRUCTURAL GLAZED TILE
CL	CLOSET	SHT	SHEET
CLG	CEILING	SIM	SIMILAR
CMU	CONCRETE MASONRY UNIT	S.O.G.	SLAB ON GRADE
COL	COLUMN	SNT	SEALANT
CONC.	CONCRETE	SPEC.	SPECIFICATION
CONT.	CONTINUOUS	STD.	STANDARD
C.J.	CONTROL JOINT	STL	STEEL
CPT.	CARPET	S.S.	STAINLESS STEEL
C.T.	CERAMIC TILE	STOR.	STORAGE
		STRUCT.	STRUCTURE
		SQ.	SQUARE
		SUSP.	SUSPENDED
D	DEEP	T & G	TONGUE & GROOVE
DEMO	DEMOLITION	TEMP	TEMPORARY
D.F.	DRINKING FOUNTAIN	TH	THICK
DM	DIMENSION	T.O.S.	TOP OF SLAB
DN	DOWN	T.O.J.	TOP OF JOIST
DTL	DETAIL	TLT.	TOILET
DA	DIAMETER	TYP.	TYPICAL
DS	DOWN SPOUT		
DWG.	DRAWING		
E.J.	EXPANSION JOINT	U.N.O.	UNLESS NOTED OTHERWISE
EL	ELEVATOR		
ELEC.	ELECTRICAL	V.C.T.	VINYL COMPOSITION TILE
ELEV.	ELEVATION	VERT.	VERTICAL
ETC	ETCETERA	V.I.F.	VERIFY IN FIELD
E.T.R.	EXISTING TO REMAIN	V.I.F.W.A.	VERIFY IN FIELD WITH ARCHITECT
EQUIP.	EQUIPMENT		
EXIST.	EXISTING		
EXT	EXTERIOR		
F.E.C.	FIRE EXTINGUISHER CABINET	W	WITH
		W	WIDTH
F.D.	FLOOR DRAIN	W.B.	WALL BOARD
F.F.E.	FINISH FLOOR ELEVATION	W.C.	WATER CLOSET
FIN	FINISH	WD	WOOD
FL OR FLR	FLOOR	W/O	WITHOUT
FOM	FACE OF MASONRY		
FT	FOOT, FEET		
F.V.W.A.	FIELD VERIFY WITH ARCHITECT		
GA	GAUGE		
GALV	GALVANIZED		
GYP. BD	GYSUM BOARD		
GSF	GROSS SQUARE FEET		
GWB	GYSUM WALL BOARD		
GT	GLAZING TYPE		
H OR HT	HEIGHT		
HC	HANDICAPPED		
H.M.	HOLLOW METAL		
HORIZ.	HORIZONTAL		
HR	HOUR		
HVAC	HEATING/VENTILATION, AIR CONDITIONING		
IN	INCH		
INSUL	INSULATION		
INT	INTERIOR		
JAN	JANITOR		
JT	JOINT		
L	LENGTH		
LAV.	LAVATORY		
L.H.	LEFT HAND		
MACH	MACHINE		
MATL	MATERIAL		
MAX	MAXIMUM		
M.E.	MATCH EXISTING		
MECH	MECHANICAL		
MEP	MECHANICAL/ELECTRICAL/PLUMBING		
MIN	MINIMUM		
MISC.	MISCELLANEOUS		
M.O.	MASONRY OPENING		
MTD	MOUNTED		
MTL	METAL		

# HOLT PARK BUILDING IMPROVEMENTS

34 ELMONT AVE  
BALTIMORE, MD, 21206

100% CONSTRUCTION DOCUMENT  
NOVEMBER 4, 2025

ARCHITECT  
MURPHY & DITTENHAFFER ARCHITECTS  
226 WEST MARKET ST.  
YORK, PENNSYLVANIA 17401

TEL. 717.848.8627

COST ESTIMATOR  
MK CONSULTING ENGINEERS  
1801 PORTER STREET, SUITE 401  
BALTIMORE, MD 21230

TEL. 667.309.6193

STRUCTURAL ENGINEER  
COLUMBIA ENGINEERING, INC.  
6210 OLD DUBBIN LANE, SUITE 150  
COLUMBIA, MD 21045

TEL. 410.992.9970

MEP ENGINEER  
BOWMAN  
300 EAST JOPPA RD, SUITE 501  
TOWSON, MD 21286

TEL. 410.494.1111

VICINITY MAP



SITE LOCATION

LOCATION MAP



SITE LOCATION

SYMBOLS

	DRAWING #	BUILDING SECTION		RIGID INSULATION
	SHEET #	WALL SECTION		BATT INSULATION
	DRAWING #	BUILDING ELEVATION		BRICK
	SHEET #	INTERIOR ELEVATIONS		EXISTING WALLS (TO BE REMOVED)
	DRAWING #	DETAIL		NEW PARTITION
	SHEET #	DETAIL		PARTITION TYPE
		NEW SUSP. A.C.T. CEILING & GRID		EXISTING DOOR (TO BE REMOVED)
		EXISTING DOOR		NEW DOOR
		COMPACTED SUBGRADE		CONCRETE
		C.M.U.		ROUGH WOOD
		PLYWOOD		FINISHED WOOD

	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHT.	DRAWING SCALE	PROPERTY MANAGEMENT	
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.						ROW NO.	PNW	35NW40	PLAN SCALE 1/2" = 1'-0"	APPROVED BY:	
	LICENSE NO. 6657-A EXPIRATION DATE: 06/13/2025		CONTRACT COMPLETION BOX								DATE: 11/6/2025	PROPERTY MANAGER
	FRANK ELWOOD DITTENHAFFER II		DON BY: KCG	BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	
AS-BUILT PER RECORDED PRINT		DWN BY: MNP	REVIEWED BY:									
DATE		CHKD BY: RLM	DATE REVIEWED:									

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT

HOLT PARK ENHANCEMENTS

COVER SHEET

BUILDING IMPROVEMENTS

34 ELMONT AVE., BALTIMORE, MD 21206

ELECTION DIST. NO.: 14c6

**Murphy & Dittenhafer ARCHITECTS**

SHEET DESIGNATION: CS-1 CONTRACT NUMBER: 25054GX0

JOB ORDER NUMBER: 0000971385

SHEET 01 OF 54

DRAWING NUMBER: 2025-1535

FILE NO.: 8

C:\Users\jag\Documents\241001 Holt Park Improvements - jag\A01A.rvt

DRAWING NUMBER	SHEET DESIGNATION	SHEET NAME
<b>GENERAL</b>		
2025-1535	CS-1	COVER SHEET
2025-1536	CS-2	SHEET LIST
2025-1537	CS-3	CODE SUMMARY
<b>ARCHITECTURAL</b>		
2025-1538	AD-101	ART CENTER AND GREEN HOUSE - DEMOLITION FLOOR PLAN
2025-1539	AD-102	GARDEN CABIN DEMOLITION PLAN
2025-1540	AD-103	NATURE CABIN DEMOLITION PLANS
2025-1541	AD-104	112 McCORMICK DEMOLITION PLAN
2025-1542	A-100	SITE PLAN
2025-1543	A-101	ART CENTER & GREEN HOUSE - FLOOR PLAN
2025-1544	A-102	GARDEN CABIN FLOOR PLAN
2025-1545	A-103	NATURE CABIN FLOOR PLAN
2025-1546	A-104	112 Mc CORMICK FLOOR PLAN
2025-1547	A-105	GARAGE FLOOR PLAN AND ELEVATIONS
2025-1548	A-106	GARDEN CABIN - REFLECTED CEILING PLAN
2025-1549	A-107	112 McCORMICK - REFLECTED CEILING PLAN
2025-1550	A-108	GARDEN CABIN - FINISH PLAN
2025-1551	A-109	112 McCORMICK - FINISH PLAN
2025-1552	A-200	GREEN HOUSE ELEVATION
2025-1553	A-201	GARDEN CABIN ELEVATION
2025-1554	A-202	NATURE CABIN ELEVATIONS
2025-1555	A-203	112 McCORMICK ELEVATIONS
2025-1556	A-204	ENLARGED PLANS / INTERIOR ELEVATIONS
2025-1557	A-205	ENLARGED PLANS / INTERIOR ELEVATIONS
2025-1558	A-206	NATURE CABIN - SHELVING
2025-1559	A-300	BUILDING SECTIONS - GREEN HOUSE
2025-1560	A-301	BUILDING SECTIONS - ADA RESTROOM
2025-1561	A-302	BUILDING SECTIONS - NATURE CABIN PORCH SECTIONS
2025-1562	A-303	NATURE CABIN BASEMENT SECTIONS
2025-1563	A-400	ENLARGED WALL SECTIONS
2025-1564	A-500	SECTION DETAILS
2025-1565	A-501	SECTION DETAILS
2025-1566	A-502	GREEN HOUSE - ENLARGED SECTIONS AND DETAILS
2025-1567	A-503	RAMP SECTIONS AND DETAILS - 112 MCCORMICK
2025-1568	A-504	RAMP SECTIONS AND DETAILS - 112 MCCORMICK
2025-1569	A-600	DOOR AND WINDOW SCHEDULE
<b>MECHANICAL</b>		
2025-1570	M001	MECHANICAL COVER SHEET
2025-1571	M201	ART CENTER & GREENHOUSE - BASEMENT - MECHANICAL
2025-1572	M202	ART CENTER & GREENHOUSE - FIRST FLOOR - MECHANICAL
2025-1573	M203	GARDEN CABIN - BASEMENT - MECHANICAL
2025-1574	M204	GARDEN CABIN FIRST FLOOR - MECHANICAL
2025-1575	M205	NATURE CABIN - FIRST FLOOR - MECHANICAL
2025-1576	M206	NATURE CABIN - FIRST FLOOR - MECHANICAL
2025-1577	M207	112 Mc CORMICK CABIN - FIRST FLOOR - MECHANICAL
2025-1578	M601	CONTROLS
2025-1579	M701	DETAILS
2025-1580	M702	DETAILS
2025-1581	M703	DETAILS
2025-1582	M704	DETAILS
2025-1583	M801	SCHEDULES
<b>ELECTRICAL</b>		
2025-1584	E001	ELECTRICAL COVER SHEET
2025-1585	E201	ART CENTER & GREENHOUSE - DEMOLITION & NEW WORK - ELECTRICAL
2025-1586	E202	GARDEN CABIN - DEMOLITION & NEW WORK - ELECTRICAL
2025-1587	E203	NATURE CABIN - DEMOLITION & NEW WORK - ELECTRICAL
2025-1588	E204	112 McCORMICK CABIN - DEMOLITION & NEW WORK - ELECTRICAL

	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT	
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	LICENSE NO. 6607 EXPIRATION DATE 06/13/2027								PROFILE SCALE: _____	DATE: _____	
	FRANK ELWOOD DITTENHAFER, II		DGN BY: KCG	BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER
AS-BUILT PER RECORD PRINT		DWN BY: MWP	REVIEWED BY:								
BY: _____	DATE: _____	CHKD BY: ELM	DATE REVIEWED:								

**BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT**  
 HOLT PARK ENHANCEMENTS  
**SHEET LIST**  
 BUILDING IMPROVEMENTS  
 34 ELMONT AVE., BALTIMORE, MD 21206  
 ELECTION DIST. NO.: 14 c 6  
 SUBDIVISION: OVERLEA

488 North Charles Street, Baltimore, Maryland 21201  
 410-528-0232 voice 410-528-0174 fax 410-528-0498

SHEET DESIGNATION	CONTRACT NUMBER
<b>CS-2</b>	<b>25054GX0</b>
JOB ORDER NUMBER	<b>0000971385</b>
SHEET 02 OF 54	DRAWING NUMBER
<b>2025-1536</b>	FILE NO.: 8

**CODE SUMMARY  
APPLICABLE CODES:**

2021 ICC CODES, WITH LOCAL AMENDMENTS  
2021 INTERNATIONAL EXISTING BUILDING CODE (IEBC)  
NFPA 101 LIFE SAFETY CODE 2018, as amended by Bill 14-21  
NFPA 1 FIRE PREVENTION CODE 2018, as amended by Bill 14-21  
AMERICANS WITH DISABILITY ACT Accessibility Guidelines (ADAAG 2010)  
MARYLAND ACCESSIBILITY CODE set forth in COMAR 05.02.02, AS AMENDED

**ARTS CENTER & GREENHOUSE**

SCOPE: ALTERATION - LEVEL 1 RENOVATION WORK INCLUDES REPLACEMENT OF THE EXTERIOR STOREFRONT SYSTEM AT THE GREENHOUSE, REPAIRS TO BRICK PAVERS AND ENTRY PORCH, AND REPLACEMENT OF MECHANICAL EQUIPMENT IN KIND.

- BUILDING FLOOR AREA: 35 GSF THREE-STORIES WITH BASEMENT
- BUILDING CONSTRUCTION TYPE: TYPE VB (SPRINKLERED)
- OCCUPANCY CLASSIFICATION: A3

**GARDEN CABIN**

SCOPE: ALTERATION - LEVEL 2 RENOVATION WORK INCLUDES THE ADDITION OF A NEW ADA RESTROOM, EXTERIOR REPAIRS, REPLACEMENT OF EXTERIOR SIDING, AND REPLACEMENT OF THE HOT WATER HEATER.

- BUILDING FLOOR AREA: 1599 GSF TWO-STORIES WITH BASEMENT
- BUILDING CONSTRUCTION TYPE: TYPE VB (UNSPRINKLERED)
- OCCUPANCY CLASSIFICATION: B

**NATURE CABIN**

SCOPE: ALTERATION - LEVEL 1 RENOVATION WORK INCLUDES THE RECONSTRUCTION/ STABILIZATION OF THE FRONT PORCH, INTERIOR STRUCTURAL REPAIRS, EXTERIOR REPAIRS, REPLACEMENT OF EXTERIOR SIDING, AND REPLACEMENT OF THE HOT WATER HEATER.

- BUILDING FLOOR AREA: 1556 GSF TWO-STORIES WITH BASEMENT
- BUILDING CONSTRUCTION TYPE: TYPE VB (UNSPRINKLERED)
- OCCUPANCY CLASSIFICATION: B

**112 MCCORMICK CABIN**

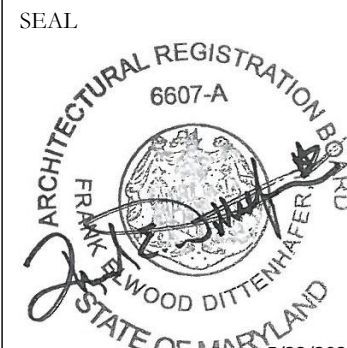
SCOPE: ALTERATION - LEVEL 3 RENOVATION WORK INCLUDES INTERIOR MODIFICATIONS TO RAISE THE FLOOR IN THE EXISTING KITCHEN, RECONFIGURE THE ADDITION TO PROVIDE AN ADA RESTROOM, EXTERIOR REPAIRS, REPLACEMENT OF EXTERIOR SIDING, AND REPLACEMENT OF MECHANICAL EQUIPMENT.

- BUILDING FLOOR AREA: 713 GSF ONE-STORY (UNSPRINKLERED)
- BUILDING CONSTRUCTION TYPE: TYPE VB (UNSPRINKLERED)
- OCCUPANCY CLASSIFICATION: B

**GARAGE**

SCOPE: ALTERATION - LEVEL 1 RENOVATION WORK INCLUDES MINOR REPAIRS, INSTALLATION OF NEW SHELVING

- BUILDING FLOOR AREA: 382 GSF ONE-STORY (UNSPRINKLERED)
- BUILDING CONSTRUCTION TYPE: TYPE VB (UNSPRINKLERED)
- OCCUPANCY CLASSIFICATION: U

	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT
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	LICENSE NO. 6607 EXPIRATION DATE 06/13/2027								PROFILE SCALE: _____	DATE: _____
	FRANK ELWOOD DITTENHAFER, II		DGN BY: KCG	BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER
AS-BUILT PER RECORD PRINT		DWN BY: MWP	REVIEWED BY:							
BY: _____		CHKD BY: RLM	DATE REVIEWED:							
DATE: 5/23/2025										

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT

HOLT PARK ENHANCEMENTS

CODE SUMMARY

BUILDING IMPROVEMENTS

34 ELMONT AVE., BALTIMORE, MD 21206

SUBDIVISION: OVERLEA

ELECTION DIST. NO.: 14 c 6



660 South Charles Street, Baltimore, Maryland 21201  
410-528-0233 ext. 4102/5411 fax 410-528-0236

SHEET DESIGNATION	CONTRACT NUMBER
CS-3	25054GX0
JOB ORDER NUMBER	
0000971385	
SHEET 03 OF 54	
DRAWING NUMBER	
2025-1537	
FILE NO.: 8	

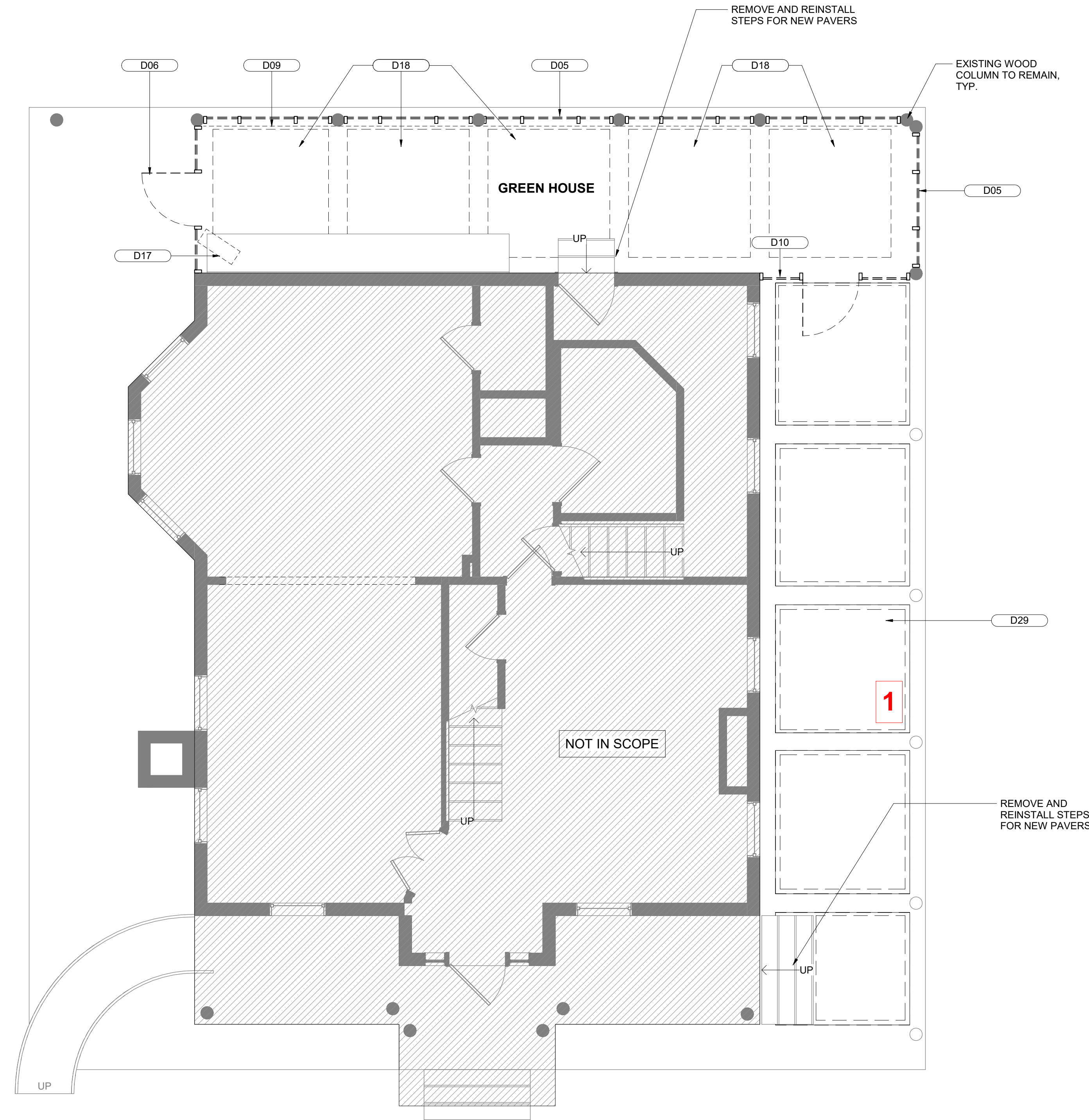


KEYNOTE LEGEND	
TAG	DESCRIPTION
D05	COMPLETE REMOVAL OF SLIDER DOORS / DOOR FRAMES, & ALL ASSOCIATED HARDWARE, PATCH & REPAIR ANY DAMAGE ASSOCIATED WITH DEMOLITION AS REQUIRED TO MATCH ADJACENT FINISH. PREP AREA FOR NEW WORK
D06	REMOVE DOOR AND HARDWARE ALONG WITH FRAME
D09	DEMOLITION OF EXISTING FLUORESCENT STRIP LIGHTING, PREP FOR INSTALLATION OF NEW FIXTURE
D10	REMOVE EXISTING WINDOW IN ITS ENTIRETY
D17	DEMOLISH EXISTING HEATER, SEE MECH. DRAWINGS
D18	REMOVE, SALVAGE PAVERS & REPAIR SUNKEN WALKWAY, ADDRESS EXISTING SUB-BASE FOR COMPACTION
D29	REMOVE SUNKEN CONCRETE DIVIDER. REMOVE AND SALVAGE BRICK PAVERS. GC TO REFER TO NEW-WORK NOTES.

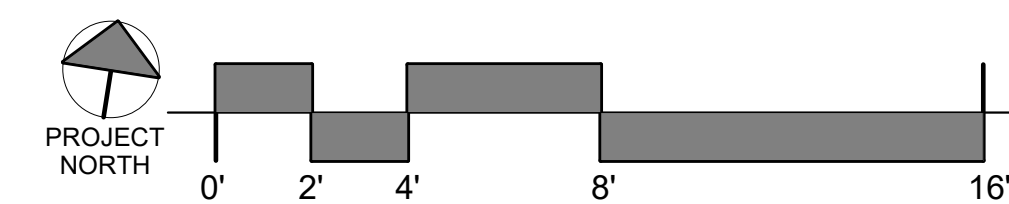
- DEMOLITION GENERAL NOTES
1. CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT SPACES. PROTECT ALL EXISTING ITEMS, SURFACES AND FINISHES TO REMAIN.
  2. PROVIDE SHORING AND BRACING WHERE NECESSARY. FOR SAFE REMOVAL
  3. REMOVE AND SALVAGE EXISTING FIXTURES AND DOORS. COORDINATE WITH OWNER FOR REUSE OF MATERIALS.
  4. COORDINATE AND DISCONNECT UTILITIES. COORDINATE WITH MEP DRAWINGS.



NOTE:  
PURPOSE OF THE PHOTOGRAPH IS TO SHOW THE EXISTING WALKWAY CONDITION FOR REPAIR



1 102 McCORMICK - ART CENTER & GREEN HOUSE DEMOLITION PLAN  
1/4" = 1'-0"



**Murphy & Dittenhafer**  
ARCHITECTS

488 South Chesapeake Street, Baltimore, Maryland 21201  
410-526-0233 ext. 410-526-0170 fax 410-526-0488

SHEET DESIGNATION	CONTRACT NUMBER
AD-101	25054GX0
JOB ORDER NUMBER	'0000971385
SHEET 04 OF 54	DRAWING NUMBER
	2025-1538
FILE NO.: 8	

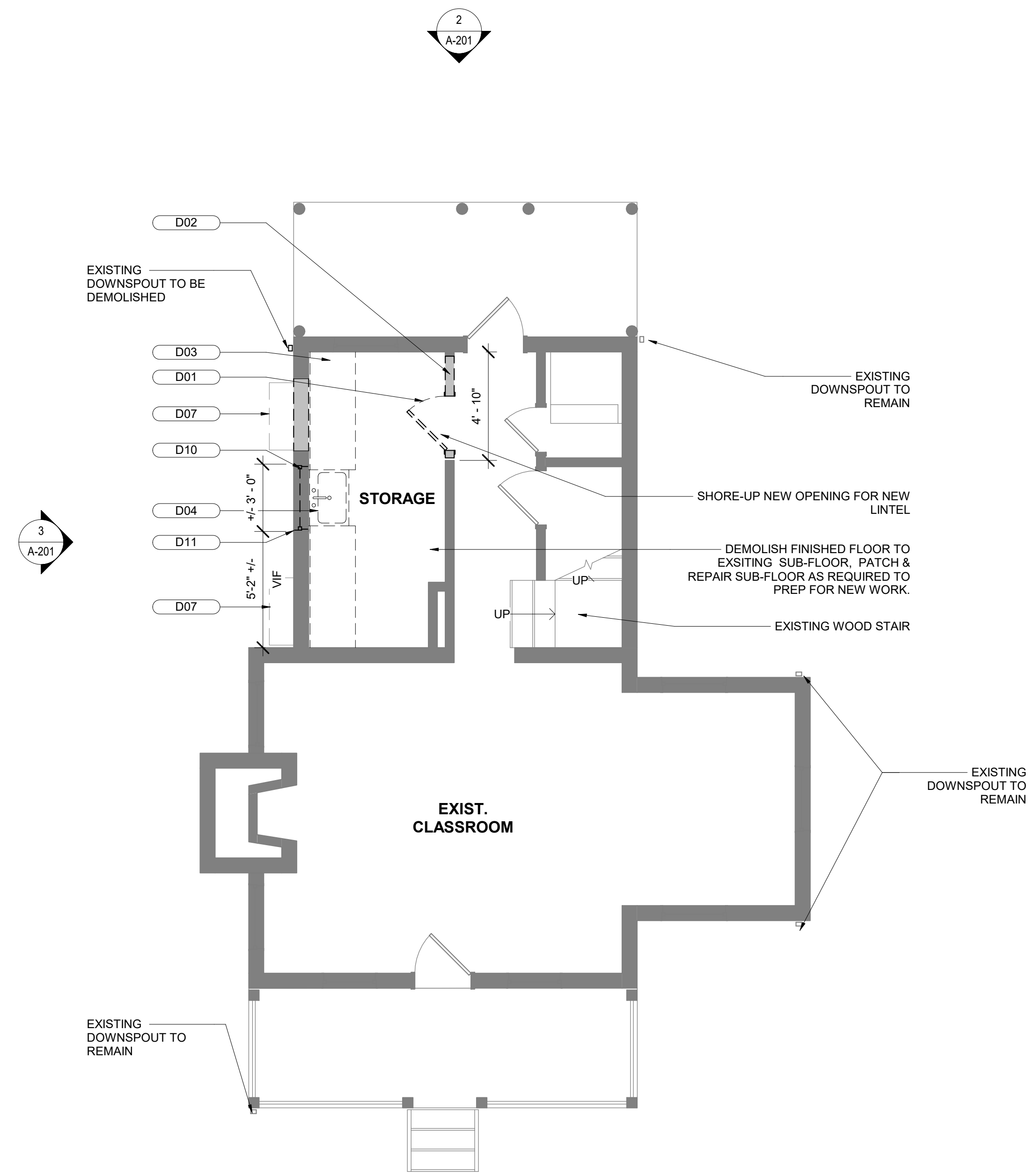
SEAL	PROFESSIONAL CERTIFICATION	AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT		
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									PROFILE SCALE: _____	DATE: _____	

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT  
 HOLT PARK ENHANCEMENTS  
 ART CENTER AND GREEN HOUSE - DEMOLITION FLOOR PLAN  
 BUILDING IMPROVEMENTS  
 34 ELMONT AVE., BALTIMORE, MD 21206  
 ELECTION DIST. NO.: 14 c 6

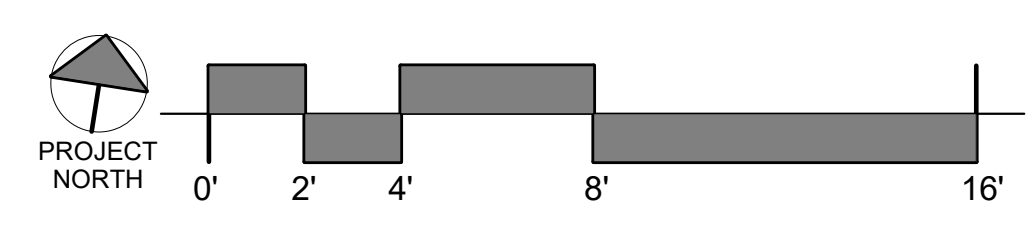
SUBDIVISION: OVERLEA

KEYNOTE LEGEND	
TAG	DESCRIPTION
D01	DEMOLISH DOOR, DOOR FRAME, & REMOVE ALL DOOR HARDWARE.
D02	DEMOLISH SELECT PORTION OF EXISTING WALL, TO WIDEN ENTRANCE FOR ADA CLEARANCE
D03	COMPLETE REMOVAL OF COUNTERTOP, CABINETRY, & ASSOCIATED HARDWARE. PATCH & REPAIR LOG WALL/ FLOOR AS REQUIRED. PREP AREA FOR NEW WORK.
D04	SALVAGE SINK & FIXTURE FOR RELOCATION
D07	DEMOLISH LIGHTWELL IN ITS ENTIRETY, INFILL EXISTING FOUNDATION WALL WITH CMU BLOCK, PREP FOR NEW WORK
D10	REMOVE EXISTING WINDOW IN ITS ENTIRETY
D11	SELECT REMOVAL OF EXTERIOR WALL TO CREATE OPENING, PREP FOR NEW WORK, REFERENCE ELEVATION DWGS FOR SIZE

- DEMOLITION GENERAL NOTES
- CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT SPACES. PROTECT ALL EXISTING ITEMS, SURFACES AND FINISHES TO REMAIN.
  - PROVIDE SHORING AND BRACING WHERE NECESSARY. FOR SAFE REMOVAL.
  - REMOVE AND SALVAGE EXISTING FIXTURES AND DOORS. COORDINATE WITH OWNER FOR REUSE OF MATERIALS.
  - COORDINATE AND DISCONNECT UTILITIES. COORDINATE WITH MEP DRAWINGS.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL EXISTING UTILITIES WITHIN THE BATHROOM AND CRAWL SPACE ADDITION AREA PRIOR TO COMMENCING ANY EXCAVATION WORK. THE CONTRACTOR MUST USE CAUTION WHEN EXCAVATING IN THE BATHROOM ADDITION AREA. THE CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR AND/OR REPLACE ANY EXISTING UTILITY LINE OR SERVICE THAT GETS DAMAGED IN THE COURSE OF CONSTRUCTION.



1 106 McCORMICK - GARDEN CABIN DEMOLITION PLAN  
1/4" = 1'-0"



**Murphy & Dittenhafer**  
ARCHITECTS

400 North Charles Street, Baltimore, Maryland 21201  
410-528-0233 ext. 410-528-0170 fax 410-528-0488

SHEET DESIGNATION	CONTRACT NUMBER
AD-102	25054GX0
JOB ORDER NUMBER	0000971385
SHEET 05 OF 54	DRAWING NUMBER
2025-1539	FILE NO.: 8

SEAL	PROFESSIONAL CERTIFICATION	AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT	
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									PROFILE SCALE: _____	DATE: _____

**BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT**  
 HOLT PARK ENHANCEMENTS  
**GARDEN CABIN DEMOLITION PLAN**  
 BUILDING IMPROVEMENTS  
 34 ELMONT AVE., BALTIMORE, MD 21206  
 ELECTION DIST. NO.: 14 c 6  
 SUBDIVISION: OVERLEA

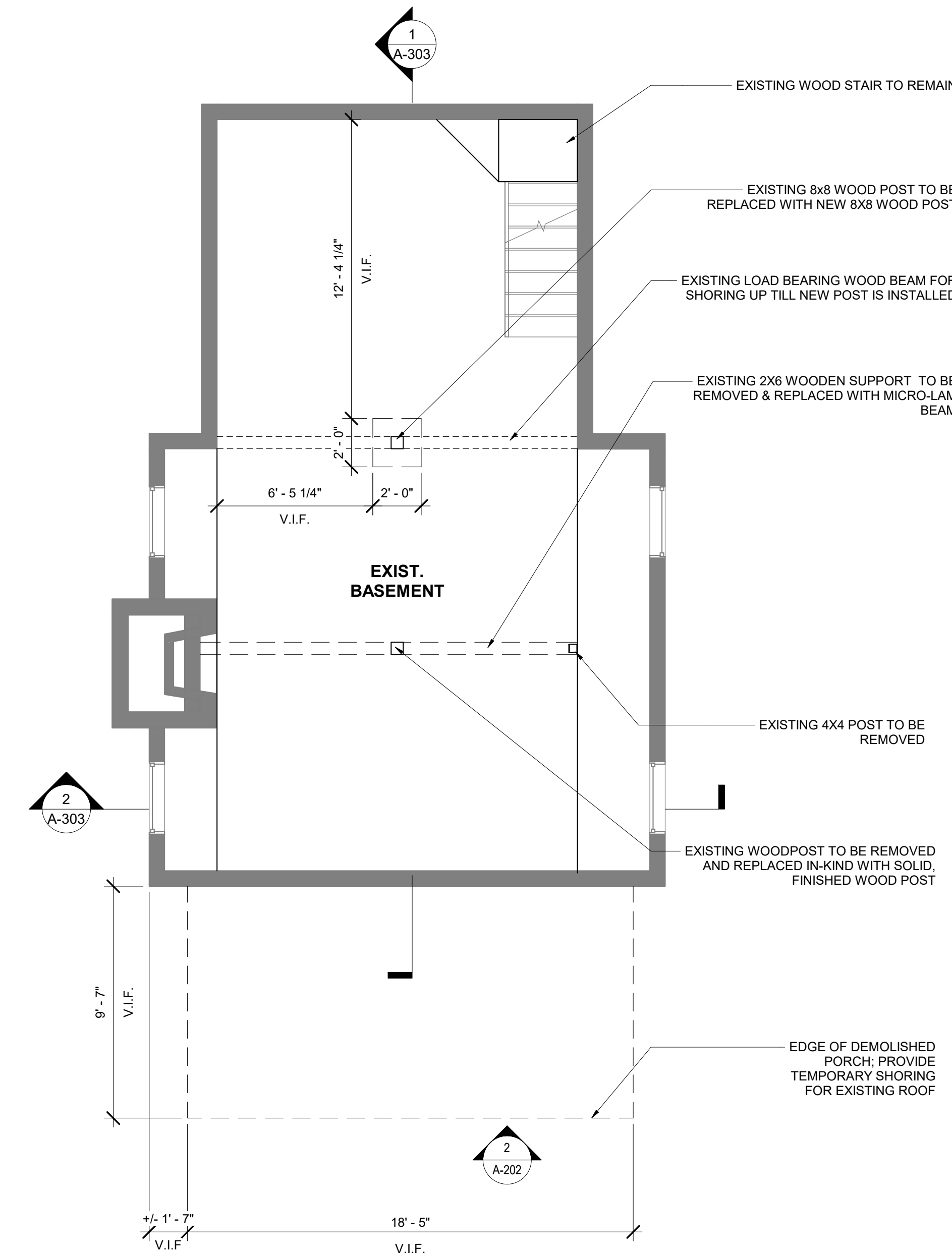
KEYNOTE LEGEND	
TAG	DESCRIPTION
24	EXISTING ANIMAL ENCLOSURES TO REMAIN
D13	REMOVE EXIST. RAILINGS, POSTS, PORCH FLOOR/SLAB AND STEPS. PROVIDE SHORING FOR ROOF.
D25	COMPLETE REMOVAL OF COUNTERTOP, CABINETRY, & ASSOCIATED HARDWARE. PATCH LOG WALLS & FLOOR. PREPARE FOR NEW WORK

DEMOLITION GENERAL NOTES

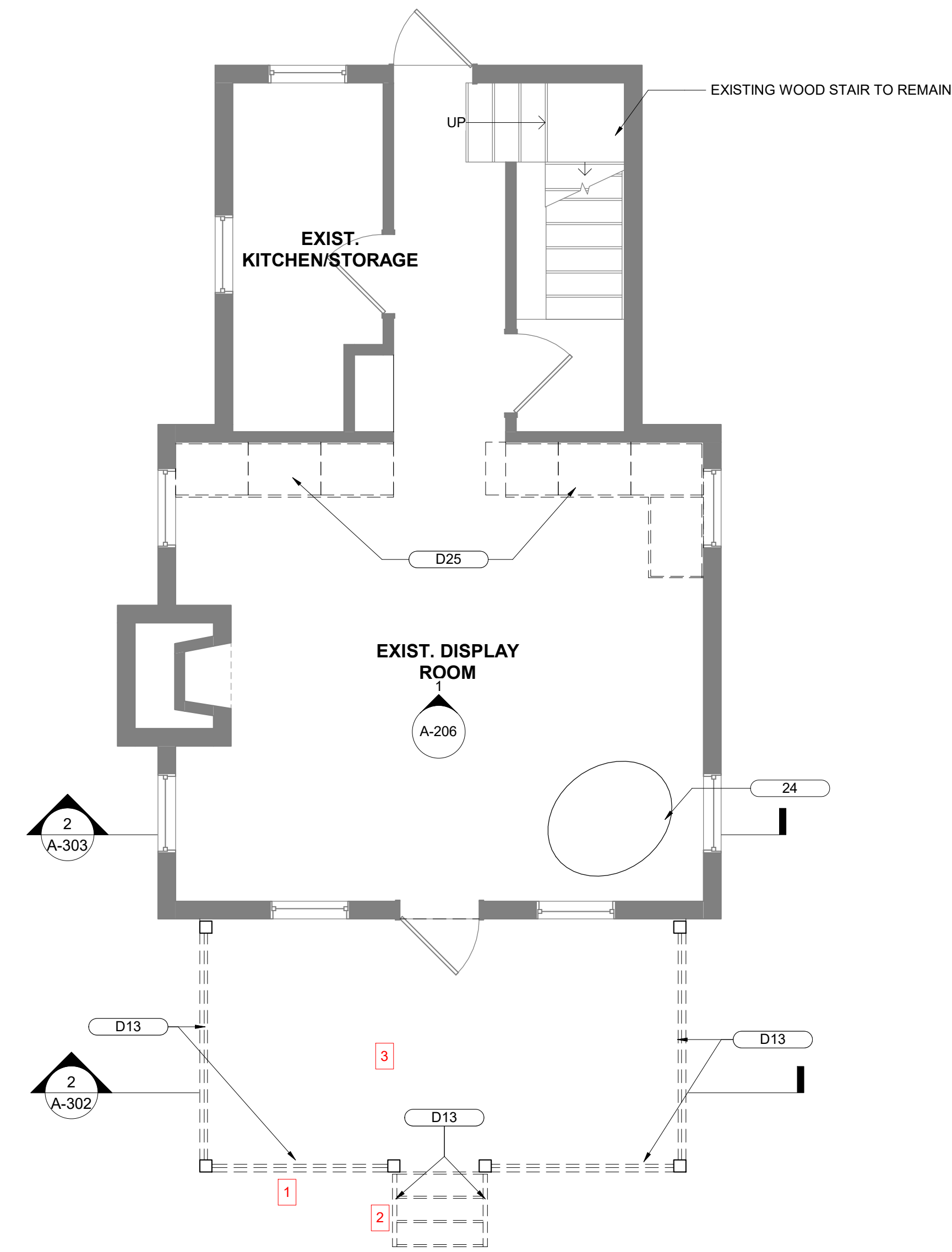
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- PROVIDE SHORING AND BRACING WHERE NECESSARY. FOR SAFE REMOVAL
- REMOVE AND SALVAGE EXISTING FIXTURES AND DOORS. COORDINATE WITH OWNER FOR REUSE OF MATERIALS.
- COORDINATE AND DISCONNECT UTILITIES. COORDINATE WITH MEP DRAWINGS.



NOTE:  
PURPOSE OF THE IMAGES IS TO AID IN THE DOCUMENTATION OF EXISTING CONDITIONS IN ADDITION TO PROVIDING CONTEXTUAL VISUAL INFORMATION FOR REPAIR

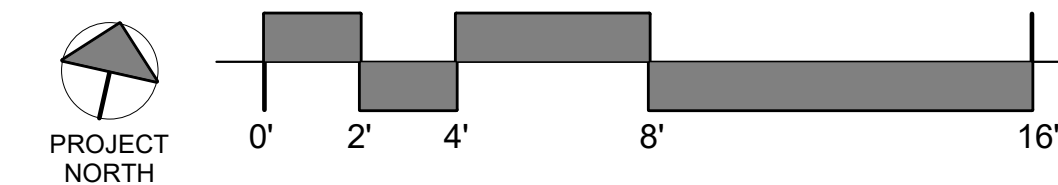


2 1108 McCORMICK - NATURE CABIN BASEMENT DEMOLITION PLAN  
1/4" = 1'-0"



1 108 McCORMICK - NATURE CABIN DEMOLITION PLAN  
1/4" = 1'-0"

NOTE: SALVAGE PIECES OF EXISTING STONE TO USE AS REFERENCE TO MATCH NEW FLAGSTONE TO EXISTING TYPE, SIZE, THICKNESS, ETC.



SEAL	PROFESSIONAL CERTIFICATION	AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 6607 EXPIRATION DATE 06/13/2027					PNW	35NW40	PLAN SCALE: 1/4" = 1'-0"	APPROVED BY: _____
									PROFILE SCALE: _____
	FRANK ELWOOD DITTENHAFER, II		DGN BY: KCG						PROPERTY MANAGER
	AS-BUILT PER RECORD PRINT		DWN BY: MWP						
	BY: _____		CHKD BY: RLM						
	DATE: _____								

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT

HOLT PARK ENHANCEMENTS  
NATURE CABIN DEMOLITION PLANS

BUILDING IMPROVEMENTS  
34 ELMONT AVE., BALTIMORE, MD 21206

SUBDIVISION: OVERLEA

ELECTION DIST. NO.: 14 c 6

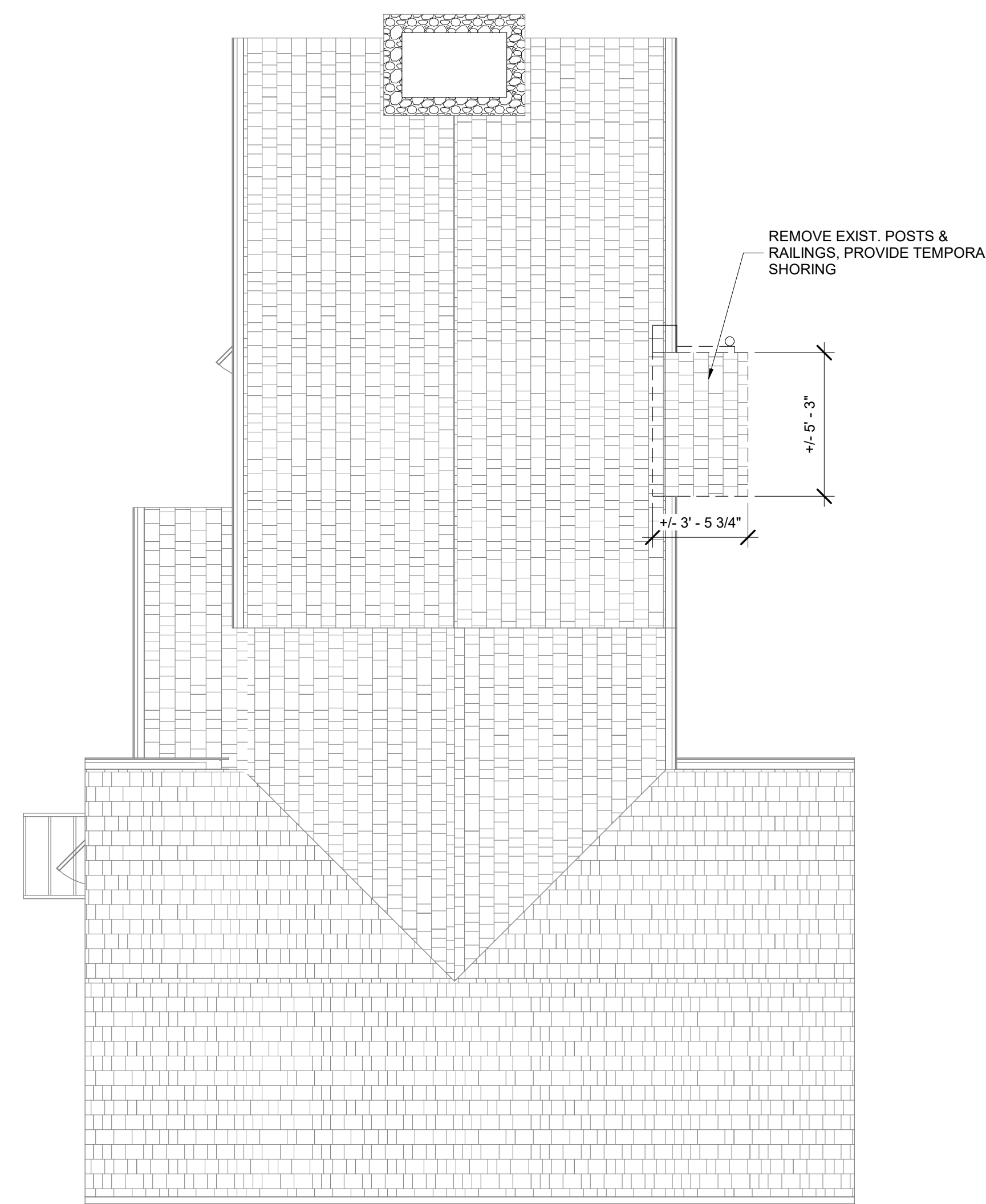
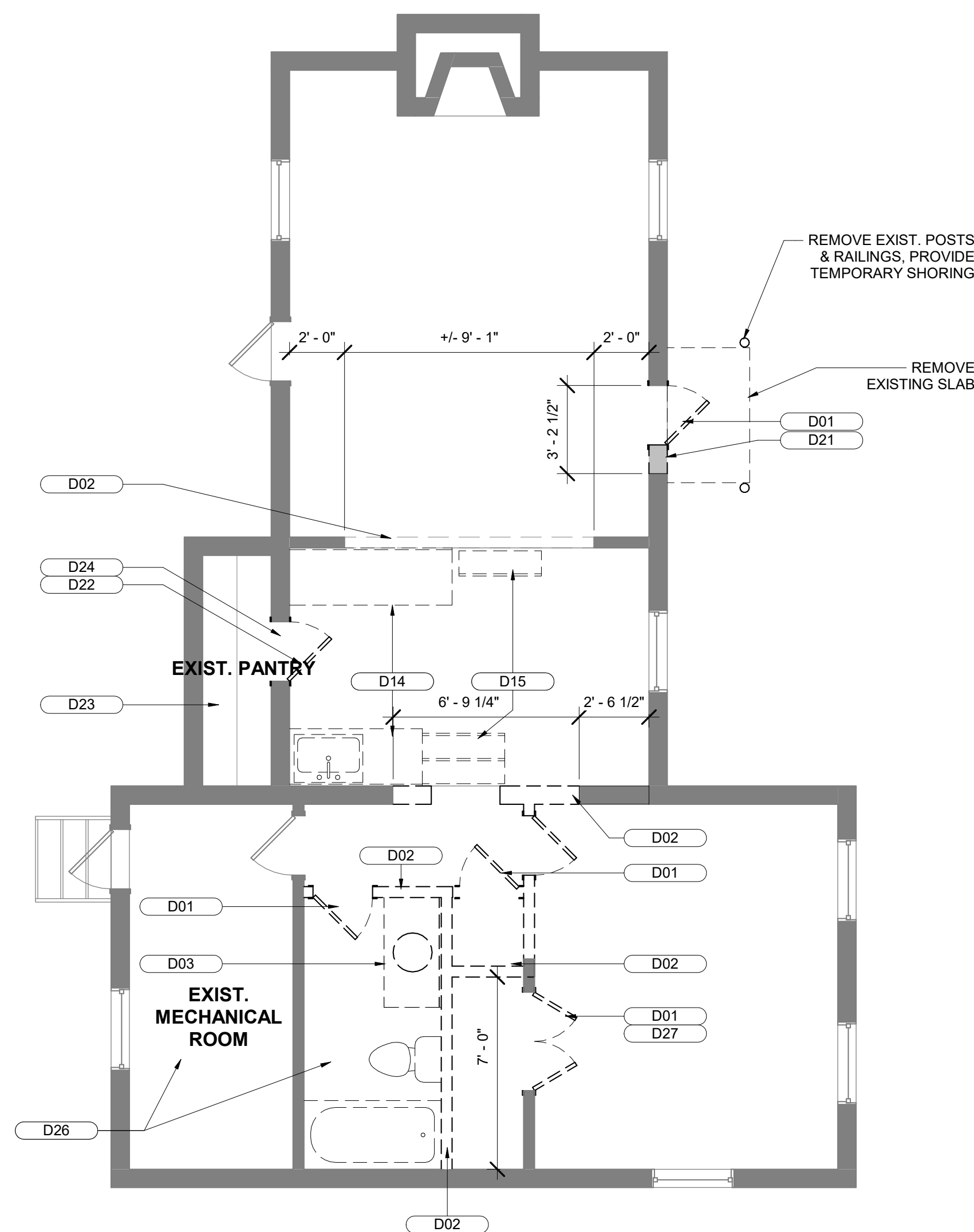
**Murphy & Dittenhafer**  
ARCHITECTS

488 South Chesapeake Street, Baltimore, Maryland 21201  
410-548-0233 ext. 410-548-0174 fax 410-548-0174

SHEET DESIGNATION	CONTRACT NUMBER
AD-103	25054GX0
JOB ORDER NUMBER	0000971385
SHEET 06 OF 54	DRAWING NUMBER
	2025-1540
FILE NO.: 8	

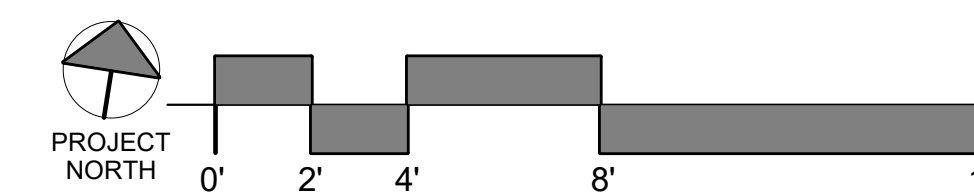
KEYNOTE LEGEND	
TAG	DESCRIPTION
D01	DEMOLISH DOOR, DOOR FRAME, & REMOVE ALL DOOR HARDWARE.
D02	DEMOLISH SELECT PORTION OF EXISTING WALL, TO WIDEN ENTRANCE FOR ADA CLEARANCE
D03	COMPLETE REMOVAL OF COUNTERTOP, CABINETRY, & ASSOCIATED HARDWARE. PATCH & REPAIR LOG WALL/ FLOOR AS REQUIRED. PREP AREA FOR NEW WORK.
D14	COMPLETE REMOVAL OF SINK, COUNTERTOP, CABINETRY, & ASSOCIATED HARDWARE. PREP PLUMBING FOR NEW WORK
D15	DEMOLISH STEPS, PREP FOR NEW WORK
D21	
D22	REMOVE, SALVAGE DOOR AND DOOR HARDWARE
D23	REMOVE, SALVAGE SHELVING AND ASSOCIATED HARDWARE
D24	PREPARE EXISTING OPENING FOR NEW DOOR HEIGHT
D26	COMPLETE REMOVAL OF FLOOR FINISH, SUBFLOOR TO REMAIN. PREPARE FOR NEW WORK
D27	REMOVE DOOR AND FRAME. PREPARE FOR NEW WORK

- DEMOLITION GENERAL NOTES**
- CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT SPACES. PROTECT ALL EXISTING ITEMS, SURFACES AND FINISHES TO REMAIN.
  - PROVIDE SHORING AND BRACING WHERE NECESSARY, FOR SAFE REMOVAL
  - REMOVE AND SALVAGE EXISTING FIXTURES AND DOORS. COORDINATE WITH OWNER FOR REUSE OF MATERIALS.
  - COORDINATE AND DISCONNECT UTILITIES. COORDINATE WITH MEP DRAWINGS.



1 112 McCORMICK FLOOR PLAN - DEMOLITION  
1/4" = 1'-0"

2 112 McCORMICK DEMO ROOF PLAN  
1/4" = 1'-0"



**Murphy & Dittenhafer**  
ARCHITECTS

488 North Charles Street, Baltimore, Maryland 21201  
410-528-0233 ext. 410-528-0170 ext. 410-528-0170

SHEET DESIGNATION	CONTRACT NUMBER
AD-104	25054GX0
JOB ORDER NUMBER	0000971385
SHEET 07 OF 54	DRAWING NUMBER
	2025-1541
FILE NO.: 8	

SEAL	PROFESSIONAL CERTIFICATION	AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT		
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 6607 EXPIRATION DATE 06/13/2027 FRANK ELWOOD DITTENHAFER, II AS-BUILT PER RECORD PRINT BY: DATE:					PNW	35NW40	PLAN SCALE: 1/4" = 1'-0"	APPROVED BY: _____ PROPERTY MANAGER		
									PROFILE SCALE: _____	DATE: _____	

**BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT**  
 HOLT PARK ENHANCEMENTS  
 112 McCORMICK DEMOLITION PLAN  
 BUILDING IMPROVEMENTS  
 34 ELMONT AVE., BALTIMORE, MD 21206  
 SUBDIVISION: OVERLEA

ELECTION DIST. NO.: 14 c 6



**HOLT PARK SITE MAP**

C:\Users\legj\Documents\241001 Holt Park Improvements\_14pMDA.rvt

SEAL



PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT
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FRANK ELWOOD DITTENHAFER, II		BUREAU OF ENGINEERING AND CONSTRUCTION		TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER
AS-BUILT PER RECORD PRINT		REVIEWED BY:							
BY: DATE: _____		CHKD BY: RLM		DATE REVIEWED:					

**BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT**

HOLT PARK ENHANCEMENTS

**SITE PLAN**

BUILDING IMPROVEMENTS

34 ELMONT AVE., BALTIMORE, MD 21206

SUBDIVISION: OVERLEA

ELECTION DIST. NO.: 14 c 6



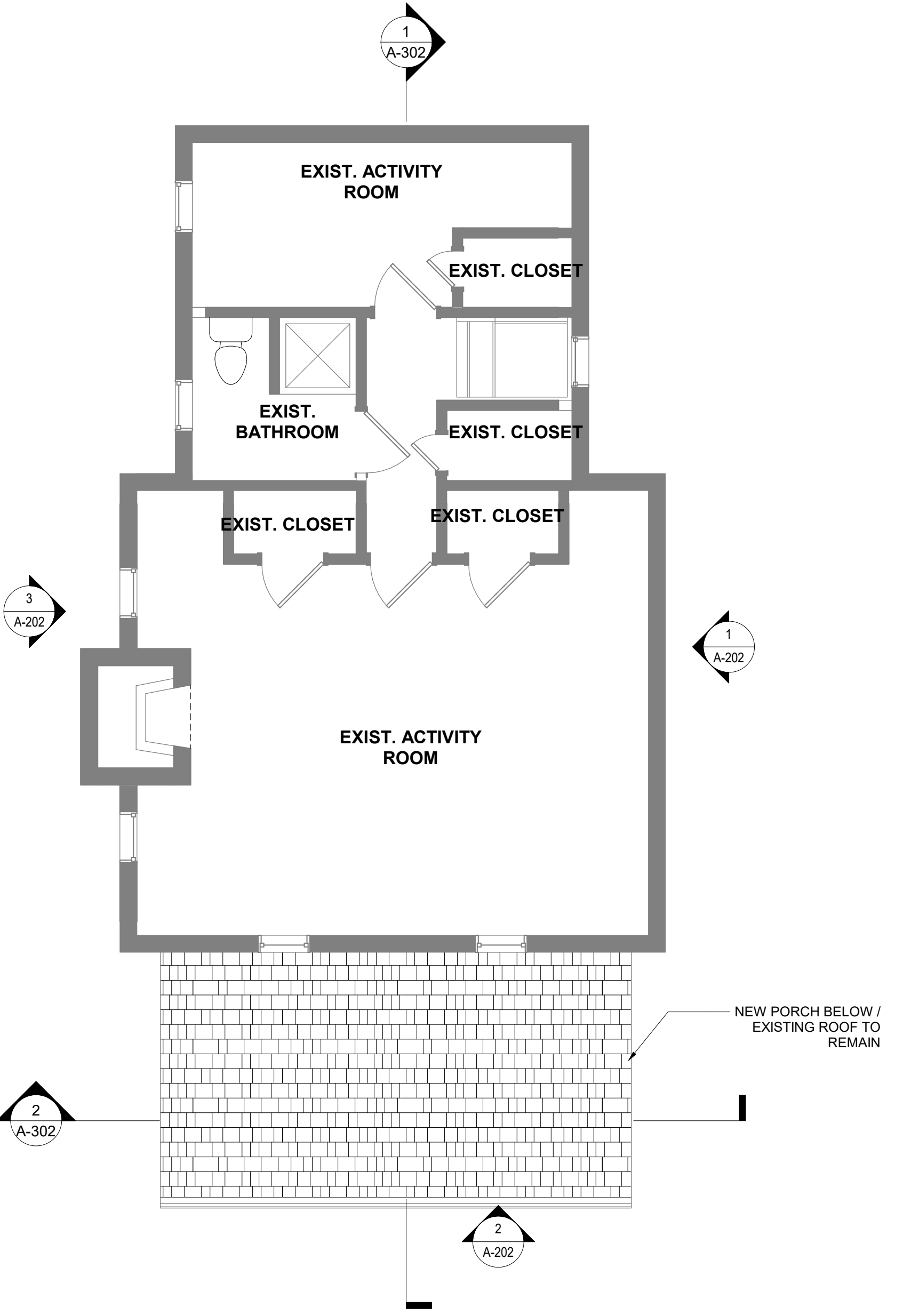
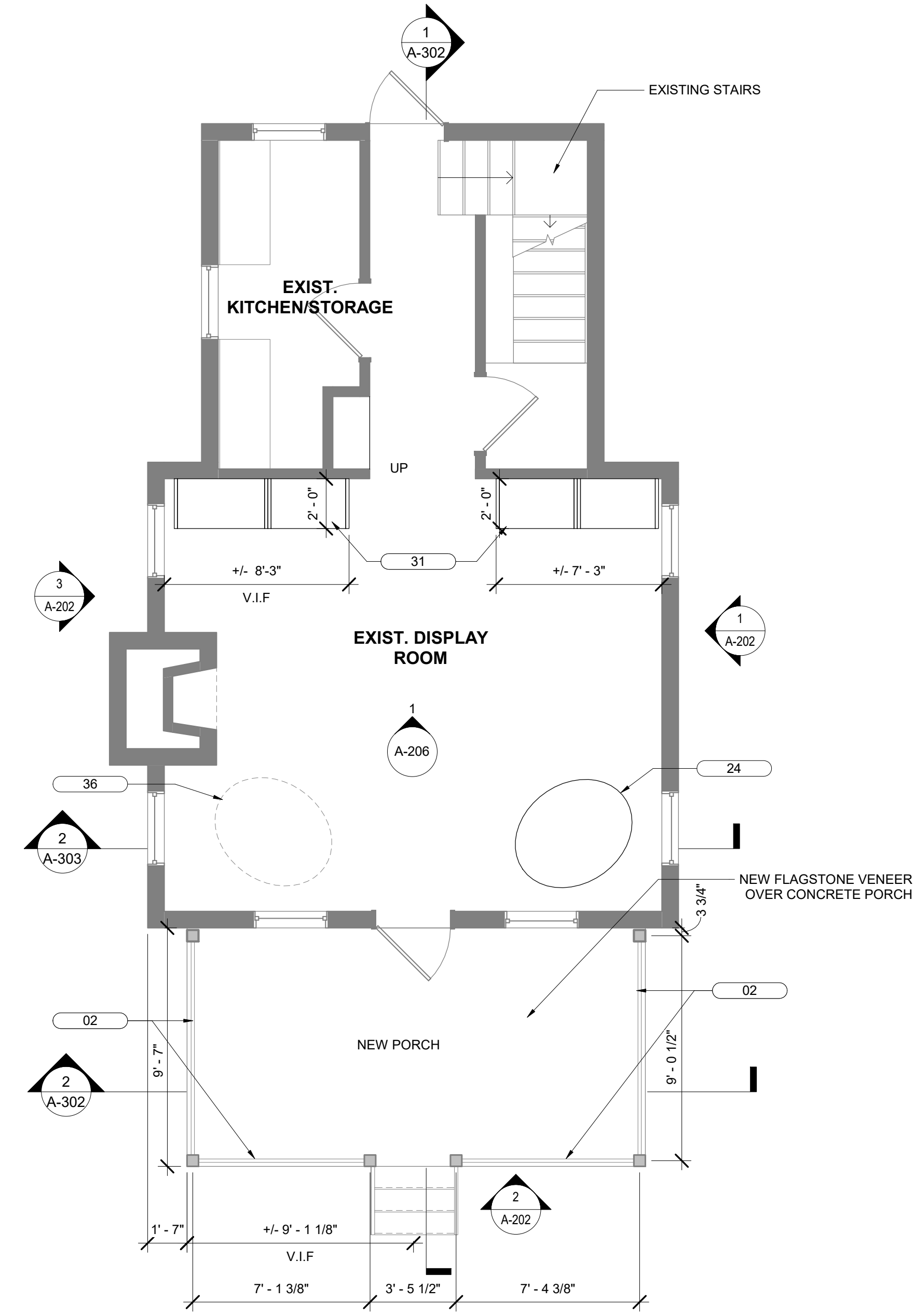
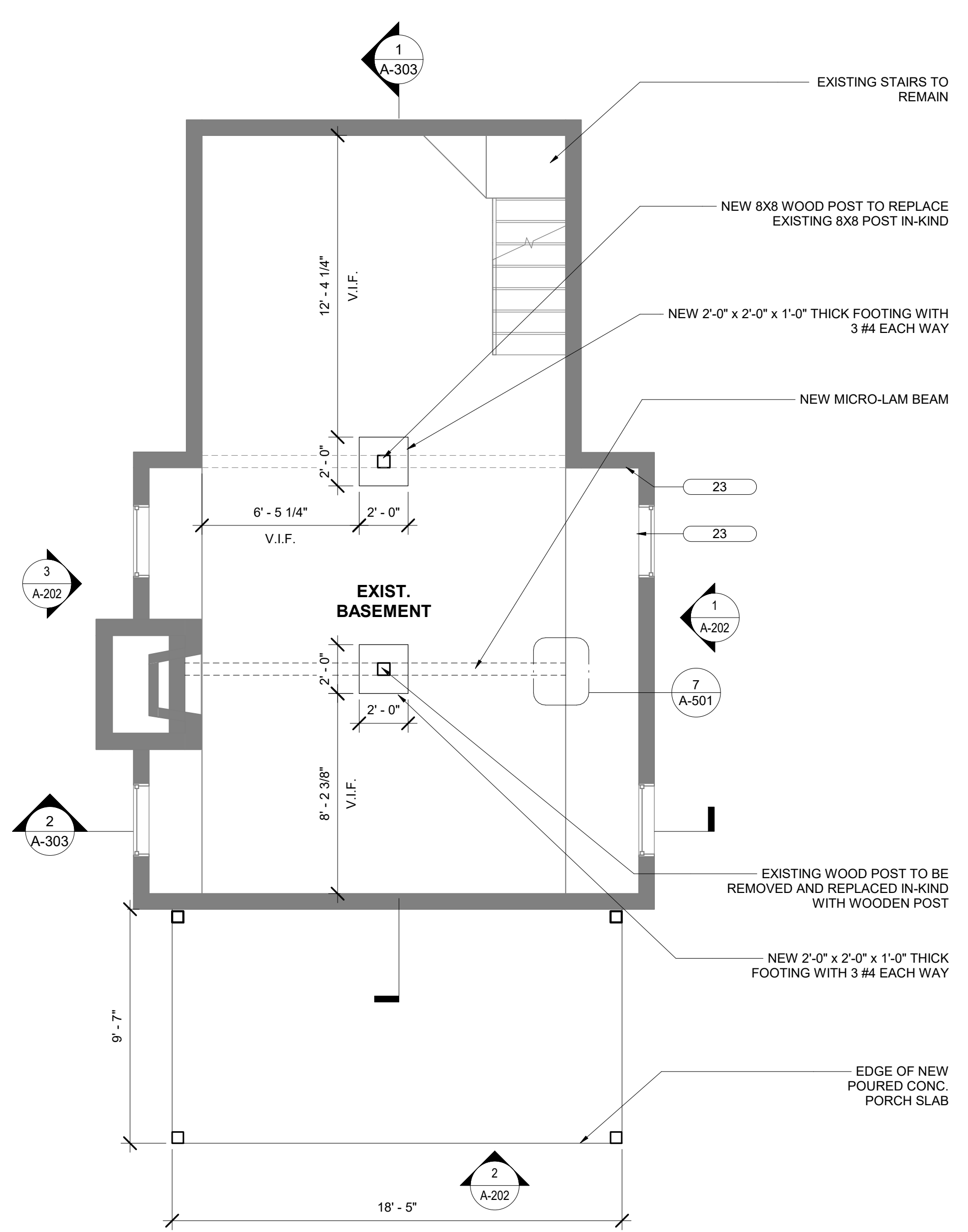
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A-100	25054GX0
JOB ORDER NUMBER	
0000971385	
SHEET 08 OF 54	
DRAWING NUMBER	
2025-1542	
FILE NO.: 8	







KEYNOTE LEGEND	
TAG	DESCRIPTION
02	NEW WD HAND RAIL TO MATCH GARDEN CABIN
23	REPAIR & PATCH FOUNDATIONAL WALL CRACKS, PAINT & FINISH TO MATCH EXISTING
24	EXISTING ANIMAL ENCLOSURES TO REMAIN
31	BUILT-IN HEAVY DUTY SHELVING
36	PROPOSED TANK LOCATION, TANK BY OTHERS



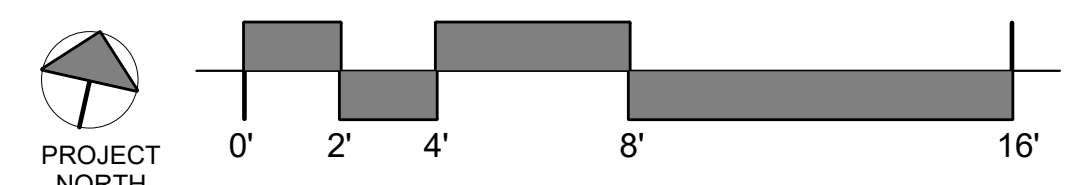
1 1108 McCORMICK - NATURE CABIN NEW WORK - BASEMENT FLOOR PLAN  
1/4" = 1'-0"

2 108 McCORMICK - NATURE CABIN NEW WORK - FIRST FLOOR PLAN  
1/4" = 1'-0"

3 108 McCORMICK - NATURE CABIN - SECOND FLOOR PLAN  
1/4" = 1'-0"

SEAL	PROFESSIONAL CERTIFICATION	AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT	
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									PROFILE SCALE: _____	DATE: _____

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT  
 HOLT PARK ENHANCEMENTS  
 NATURE CABIN FLOOR PLAN  
 BUILDING IMPROVEMENTS  
 34 ELMONT AVE., BALTIMORE, MD 21206  
 SUBDIVISION: OVERLEA



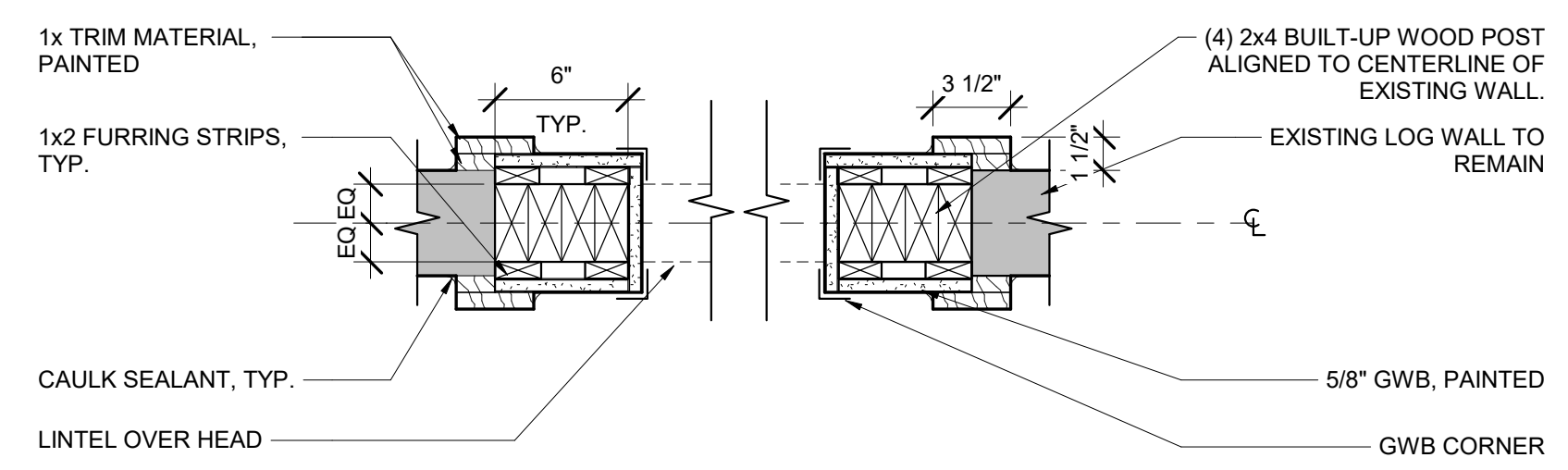
**Murphy & Dittenhafer**  
ARCHITECTS

488 South Chesapeake Street, Baltimore, Maryland 21201  
410-542-4232  
717-646-8233

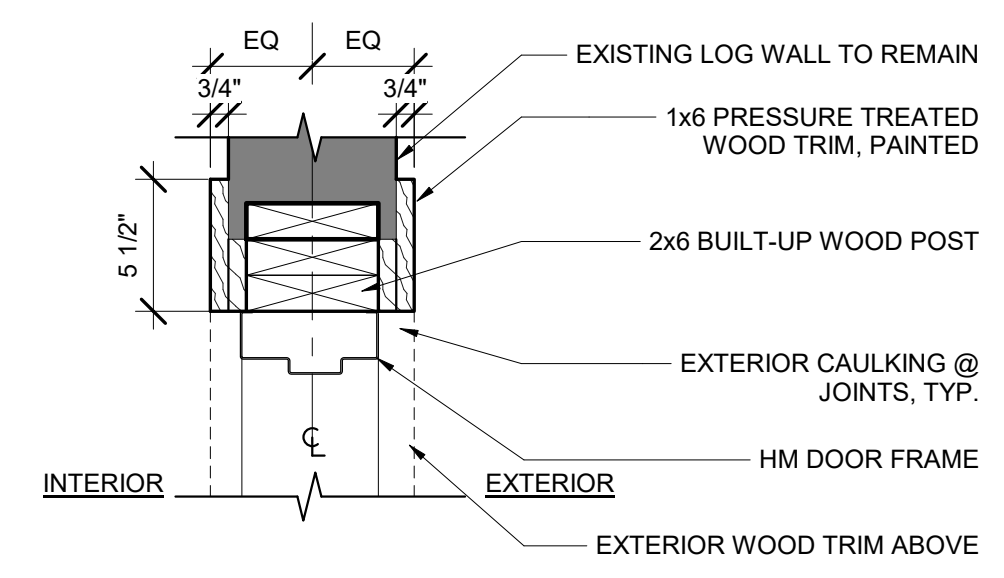
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A-103	25054GX0
JOB ORDER NUMBER	0000971385
SHEET 11 OF 54	DRAWING NUMBER
	2025-1545
FILE NO.: 8	

C:\Users\legj\Documents\241001 Holt Park Improvements\_10pMDA.rvt

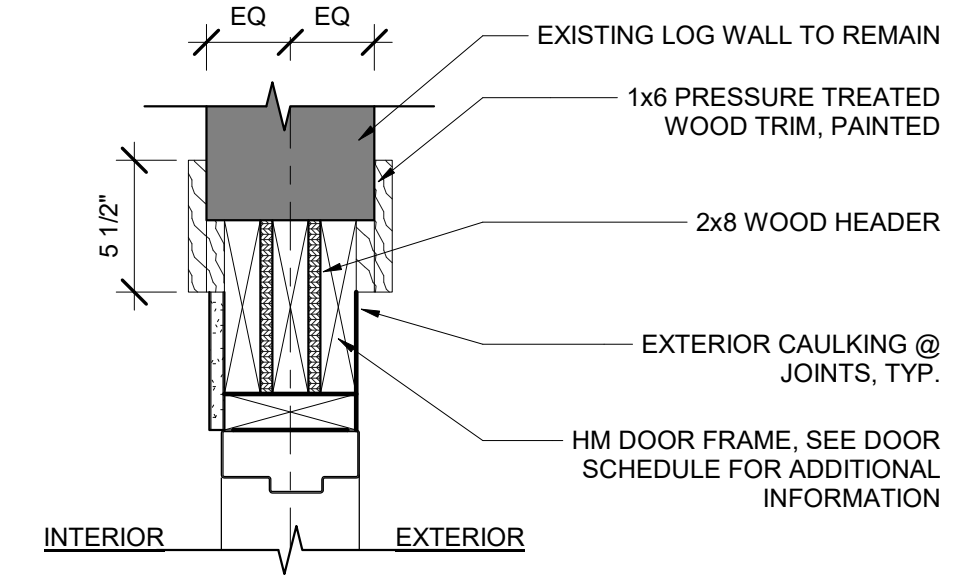
KEYNOTE LEGEND	
TAG	DESCRIPTION
22	WALL MOUNTED SINK
28	INFILL FLOOR AREA WITH WOOD JOISTS, HARDWOOD FLOORING STAINED & FINISHED. INFILLED FLOOR FINISHED SURFACE TO SIT LEVEL WITH EXISTING ADJACENT FLOOR
33	RE-INSTALL SALVAGED DOOR
34	RE-INSTALL SALVAGED SHELING
35	SAND & REFINISH WOOD FLOORING TO MATCH FINISH OF ADJACENT WOOD FLOORING
41	NEW 3-PLY 2X10 WOOD LINTEL



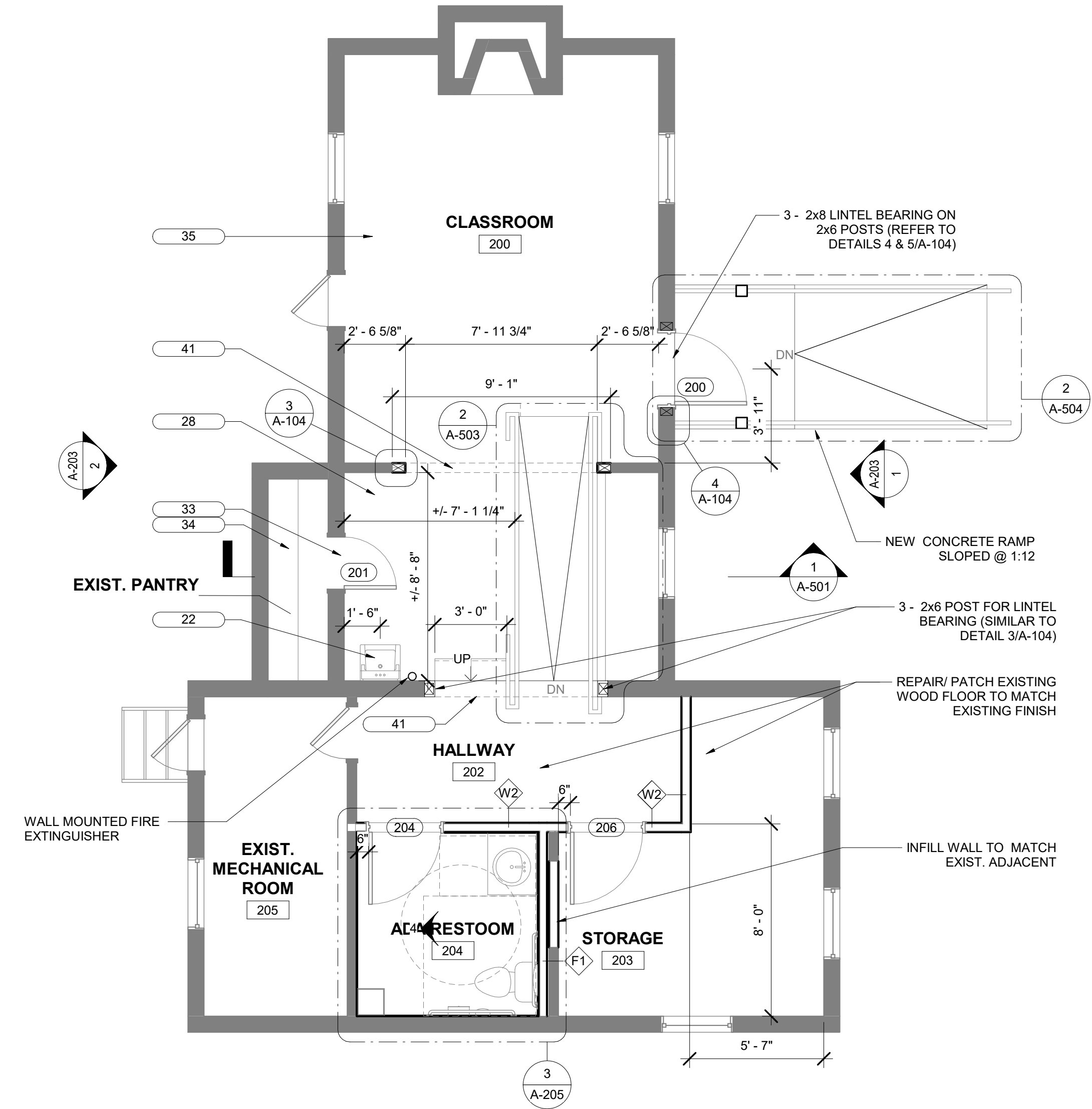
3 2x4 BUILT-UP POST PLAN DETAIL  
1 1/2" = 1'-0"



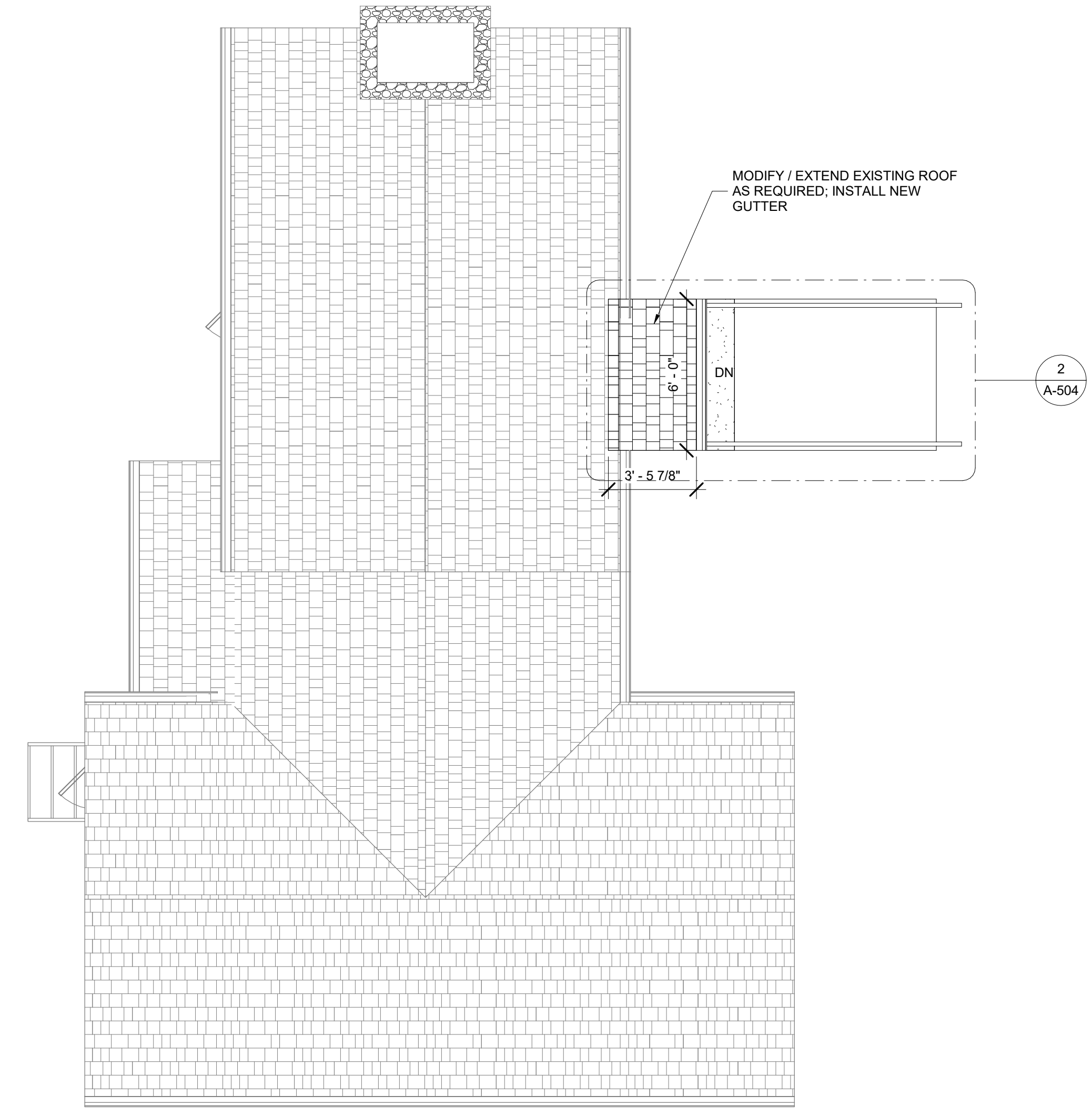
4 2x6 BUILT-UP POST PLAN DETAIL  
1 1/2" = 1'-0"



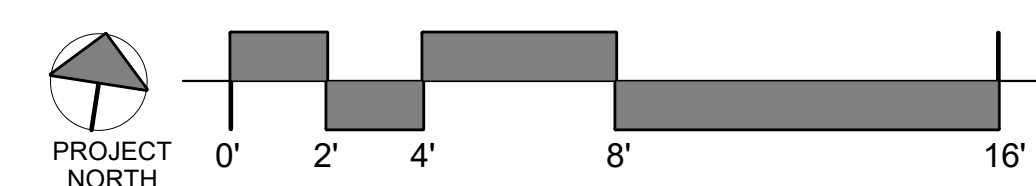
5 2x8 HEADER SECTION DETAIL  
1 1/2" = 1'-0"



2 112 McCORMICK CABIN NEW WORK - FIRST FLOOR PLAN  
1/4" = 1'-0"



1 112 McCORMICK CABIN NEW WORK - ROOF PLAN  
1/4" = 1'-0"



	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT	
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	FRANK ELWOOD DITTENHAFER, II		DGN BY: KGC	BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER
	AS-BUILT PER RECORD PRINT		DWN BY: MWP	REVIEWED BY:							
BY: _____ DATE: _____		CHKD BY: RLM	DATE REVIEWED:								

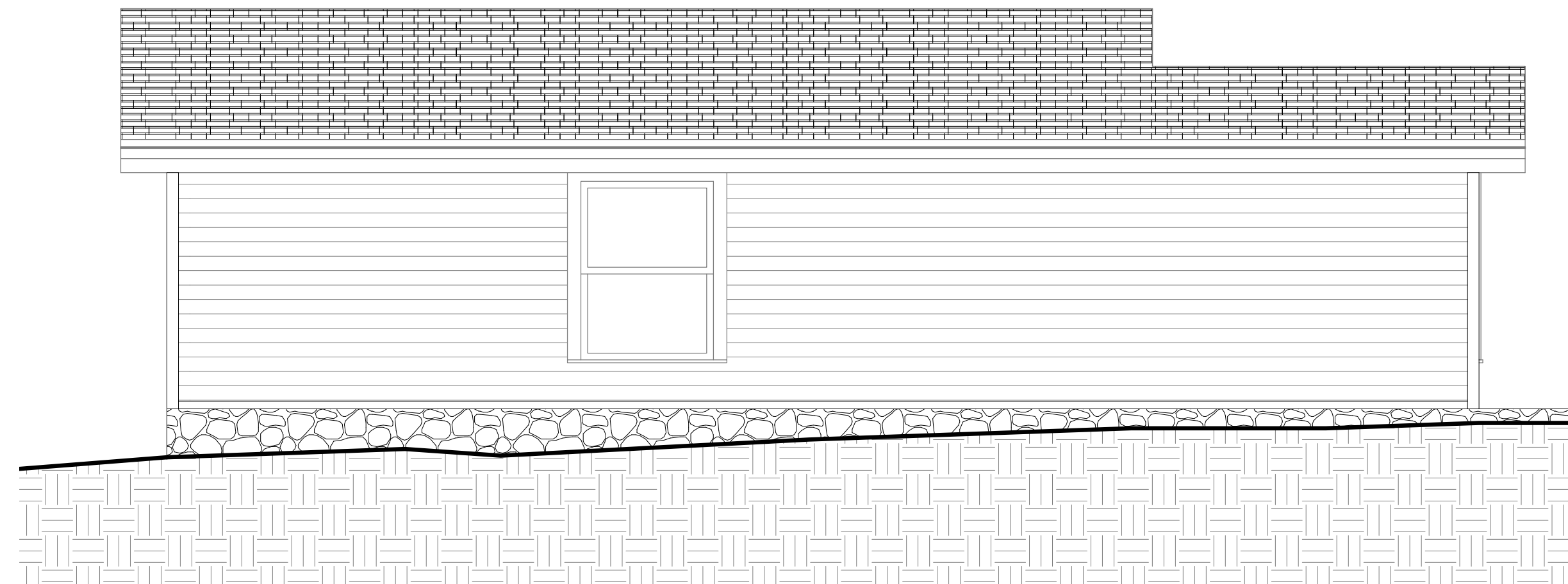
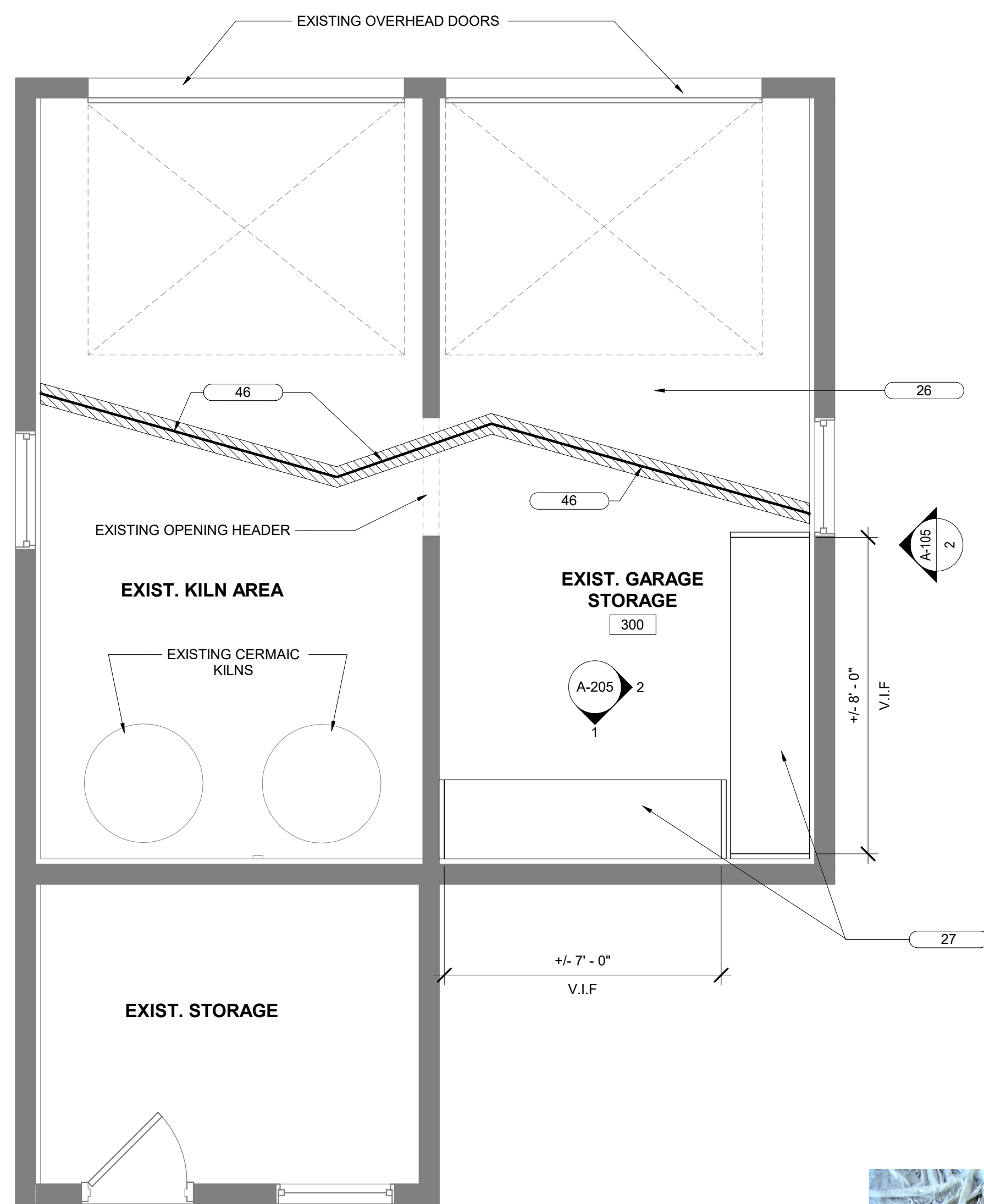
BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT  
 HOLT PARK ENHANCEMENTS  
 112 McCORMICK FLOOR PLAN  
 BUILDING IMPROVEMENTS  
 34 ELMONT AVE., BALTIMORE, MD 21206  
 ELECTION DIST. NO.: 14 c 6

**Murphy & Dittenhafer**  
 ARCHITECTS  
 408 North Charles Street, Baltimore, Maryland 21201  
 410-546-0233 (cell) 410-546-0170 (fax) 410-546-0233 (office)

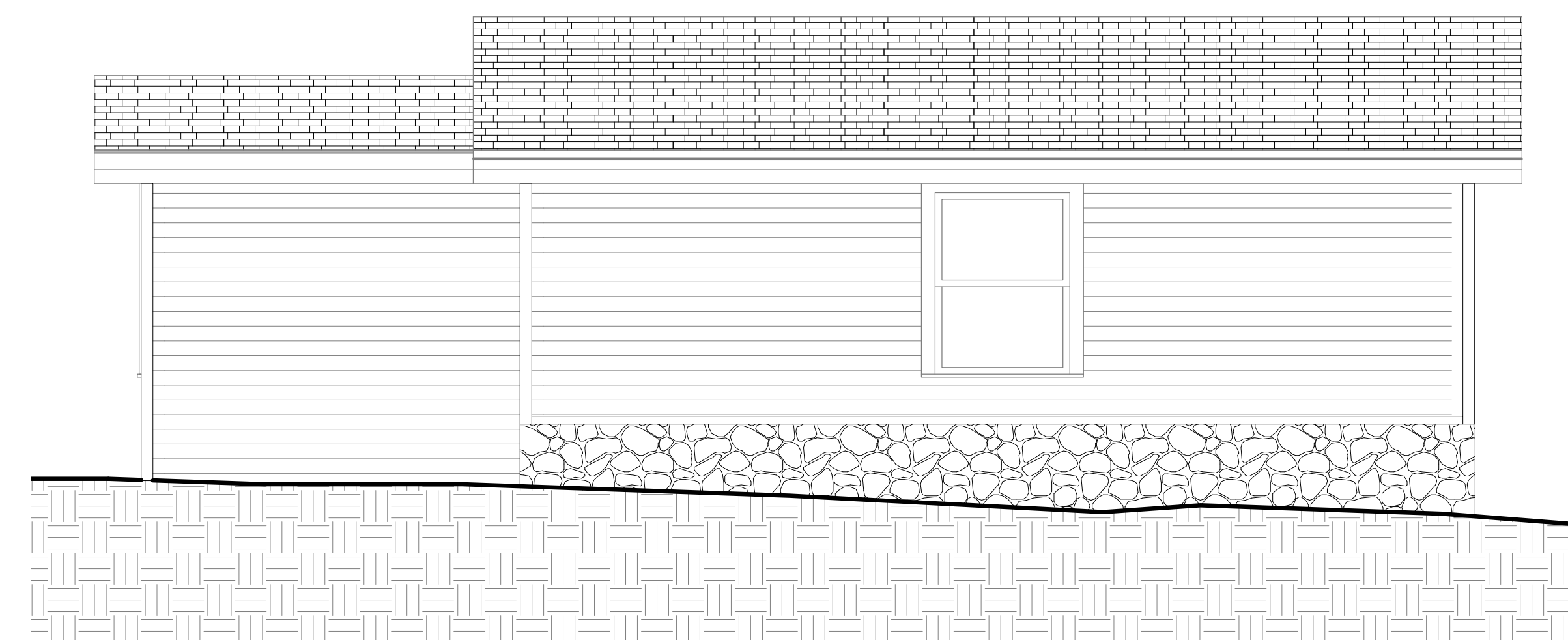
SHEET DESIGNATION	CONTRACT NUMBER
A-104	25054GX0
JOB ORDER NUMBER	'0000971385
SHEET 12 OF 54	DRAWING NUMBER
2025-1546	FILE NO.: 8

C:\Users\legj\Documents\241001 Holt Park Improvements\_1.dwg (A-104).prt

KEYNOTE LEGEND	
TAG	DESCRIPTION
26	SEAL EXISTING CONCRETE SLAB
27	NEW FREE STANDING SHELVING UNITS
46	REPAIR EXISTING CRACK IN CONCRETE SLAB. REMOVE LOOSE PIECES OF EXISTING CONCRETE AND RAKE OUT EXISTING CRACK IN CONCRETE FLOOR SLAB. FILL EXISTING CRACK WITH NON-SHRINK HIGH STRENGTH GROUT TO BE FLUSH AND LEVEL WITH ADJACENT EXISTING CONCRETE SLAB (BASIS OF DESIGN - SIKADUR CRACK FIX).

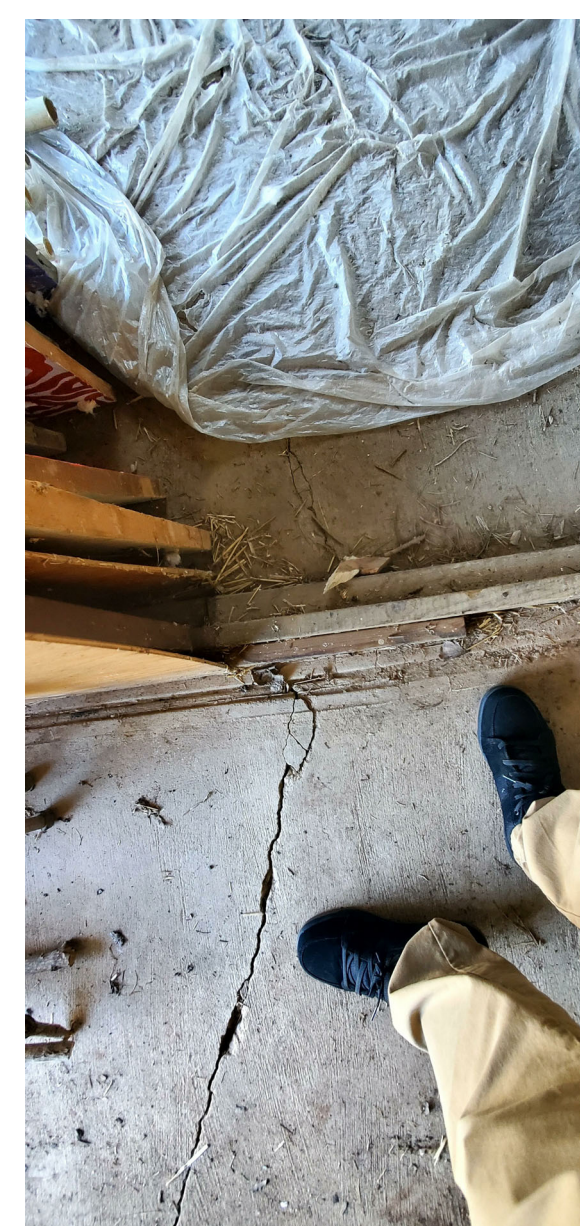


3 GARAGE SIDE ELEVATION  
3/8" = 1'-0"

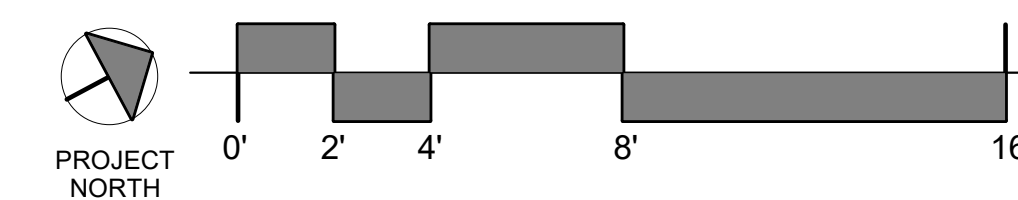


2 GARAGE SIDE ELEVATION  
3/8" = 1'-0"

1 112 McCORMICK GARAGE FLOOR PLAN - NEW WORK  
3/8" = 1'-0"



IMAGES OF THE EXISTING CRACK IN THE CONCRETE FLOOR SLAB OF THE GARAGE (FOR REFERENCE ONLY)



**Murphy & Dittenhafer**  
ARCHITECTS

488 South Chesapeake Street, Baltimore, Maryland 21201  
410-548-4232 ext. 410-548-4174 fax 410-548-3484

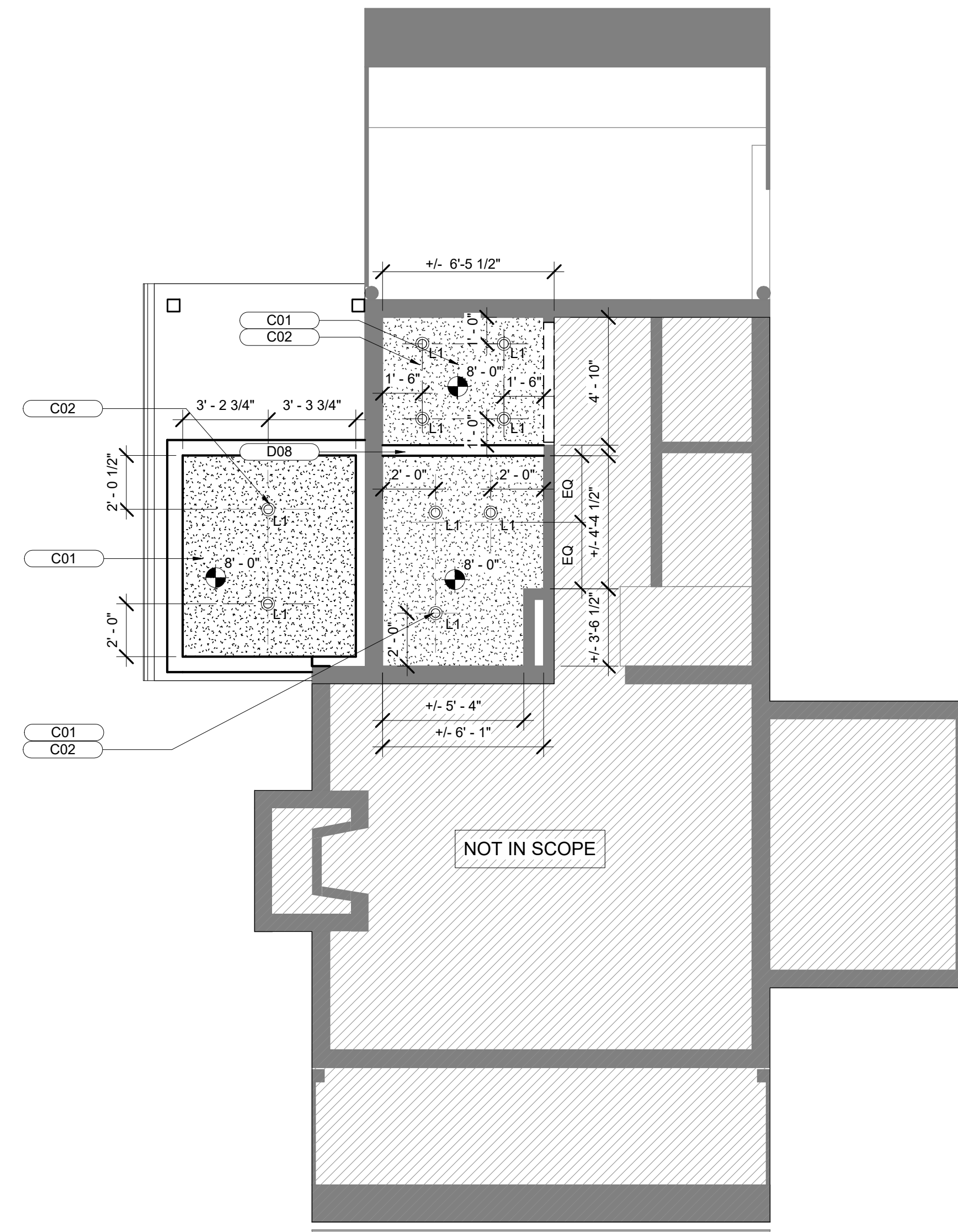
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JOB ORDER NUMBER	0000971385
SHEET 13 OF 54	DRAWING NUMBER
2025-1547	FILE NO.: 8

SEAL	PROFESSIONAL CERTIFICATION	AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT	
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 6607 EXPIRATION DATE 06/13/2027					PNW	35NW40	PLAN SCALE: 3/8" = 1'-0"	APPROVED BY: _____ PROPERTY MANAGER	
									PROFILE SCALE: _____	DATE: _____
	FRANK ELWOOD DITTENHAFER, II	DGN BY: KCG	BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER
	AS-BUILT PER RECORD PRINT	DWN BY: MWP	REVIEWED BY:							
	BY: _____	CHKD BY: ELM	DATE REVIEWED:							
	DATE: _____									

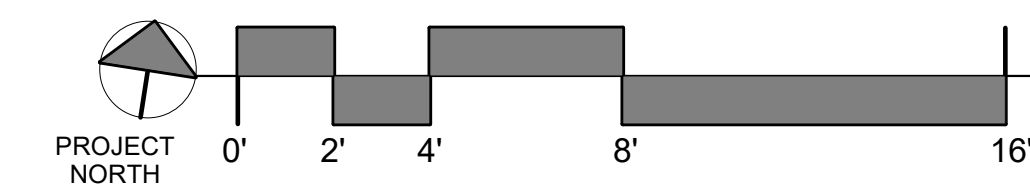
BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT  
 HOLT PARK ENHANCEMENTS  
 GARAGE FLOOR PLAN AND ELEVATIONS  
 BUILDING IMPROVEMENTS  
 34 ELMONT AVE., BALTIMORE, MD 21206  
 ELECTION DIST. NO.: 14 c 6

SUBDIVISION: OVERLEA

KEYNOTE LEGEND	
TAG	DESCRIPTION
C01	NEW 5/8" GYPSUM ON MTL. FRAME CEILING.
C02	L1 - 4" RECESSED LED DOWNLIGHT
D08	DEMO EXISTING CEILING LIGHT FIXTURES, PREP FOR NEW WORK.



1 GARDEN CABIN REFLECTED CEILING PLAN - NEW WORK  
1/4" = 1'-0"



SEAL	PROFESSIONAL CERTIFICATION	AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT	
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	FRANK ELWOOD DITTENHAFER, II AS-BUILT PER RECORD PRINT	DGN BY: KCG						PROFILE SCALE: _____	DATE: _____	
	BY: _____ DATE: _____	DWN BY: MWP	BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER
		CHKD BY: ELM	REVIEWED BY: _____							

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT

HOLT PARK ENHANCEMENTS  
GARDEN CABIN - REFLECTED CEILING PLAN

BUILDING IMPROVEMENTS  
34 ELMONT AVE., BALTIMORE, MD 21206

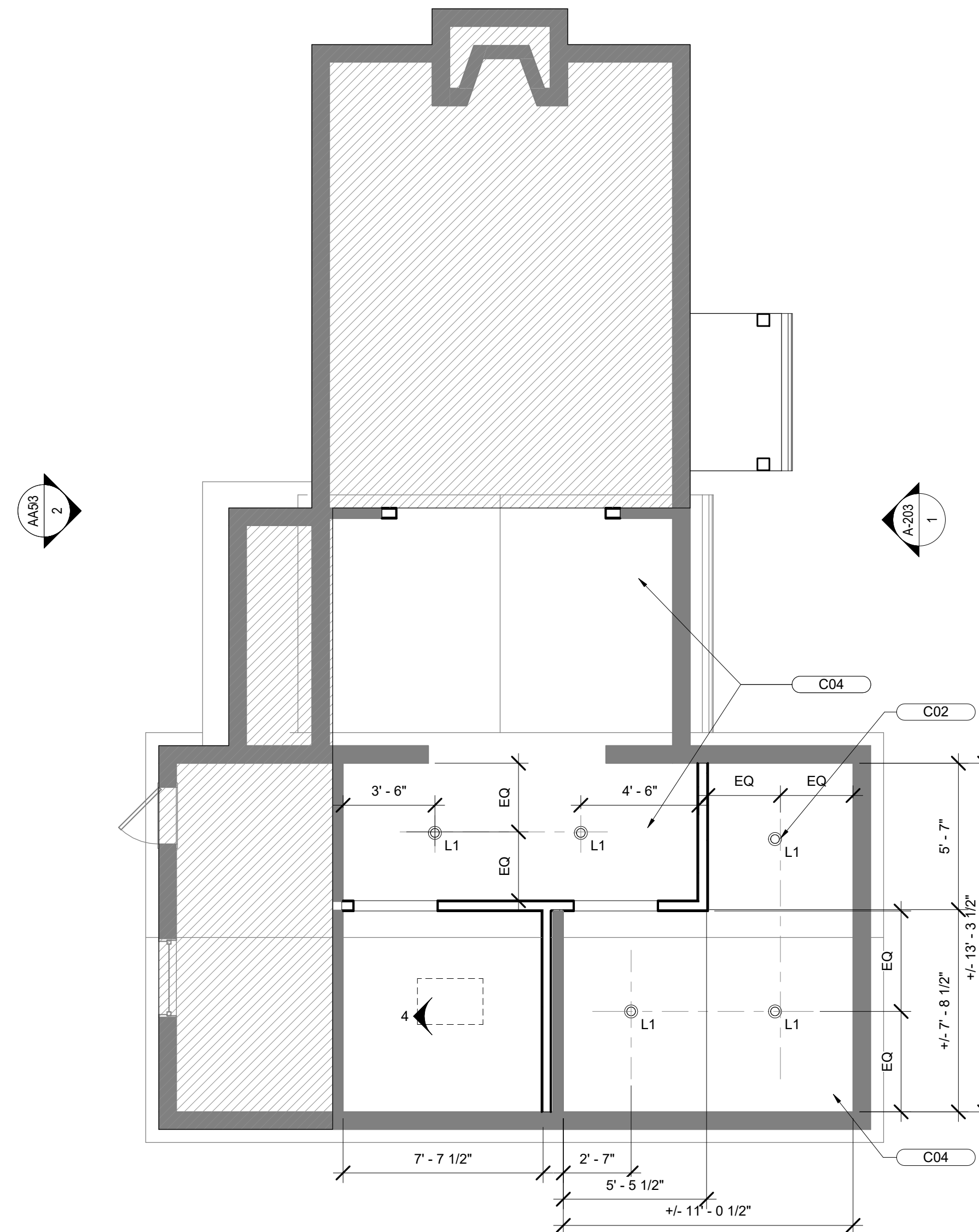
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ELECTION DIST. NO.: 14 c 6

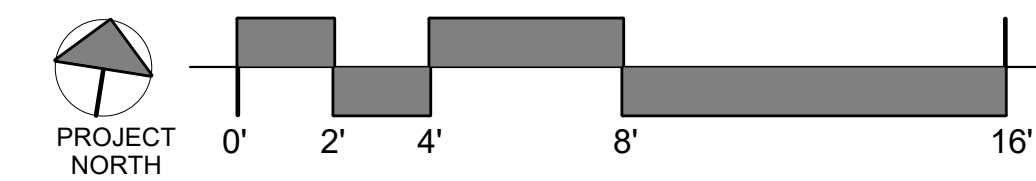
SHEET DESIGNATION	CONTRACT NUMBER
A-106	25054GX0
JOB ORDER NUMBER	
0000971385	
SHEET 14 OF 54	
DRAWING NUMBER	
2025-1548	
FILE NO.: 8	



KEYNOTE LEGEND	
TAG	DESCRIPTION
C02	L1 - 4" RECESSED LED DOWNLIGHT
C04	PATCH, REPAIR, PAINT & TEXTURE DAMAGED CEILING AT DEMOLISHED WALLS AND FIXTURES



1 112 McCORMICK REFLECTED CEILING PLAN - NEW WORK  
1/4" = 1'-0"



**Murphy & Dittenhafer**  
ARCHITECTS

488 North Charles Street, Baltimore, Maryland 21201  
410-528-8222 ext. 410-528-8174 fax 410-528-3484

SHEET DESIGNATION	CONTRACT NUMBER
A-107	25054GX0
JOB ORDER NUMBER	0000971385
SHEET 15 OF 54	DRAWING NUMBER
2025-1549	FILE NO.: 8

SEAL	PROFESSIONAL CERTIFICATION	AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT	
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	FRANK ELWOOD DITTENHAFER, II AS-BUILT PER RECORD PRINT							PROFILE SCALE: _____	DATE: _____	
	DGN BY: KCG DWN BY: MWP CHKD BY: RLM	BUREAU OF ENGINEERING AND CONSTRUCTION TRAFFIC HIGHWAYS STRUCTURES STORM DRAINS SEWER WATER FIELD ENGINEER								
	BY: _____ DATE: _____	REVIEWED BY: _____ DATE REVIEWED: _____								

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT

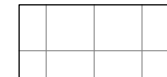

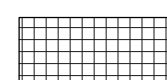
HOLT PARK ENHANCEMENTS  
112 McCORMICK - REFLECTED CEILING PLAN

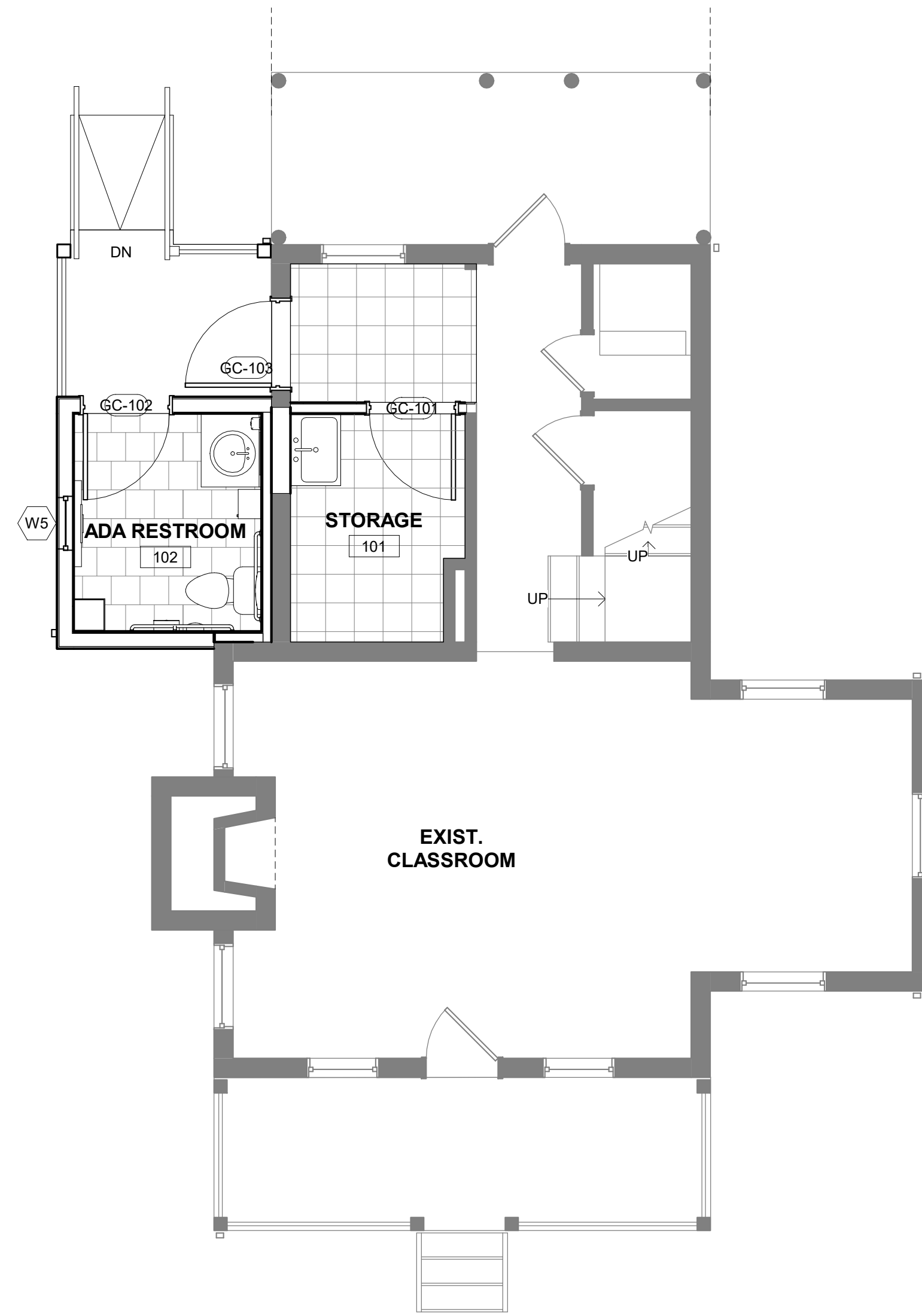
BUILDING IMPROVEMENTS  
34 ELMONT AVE., BALTIMORE, MD 21206

SUBDIVISION: OVERLEA

ELECTION DIST. NO.: 14 c 6

**FINISH LEGEND**

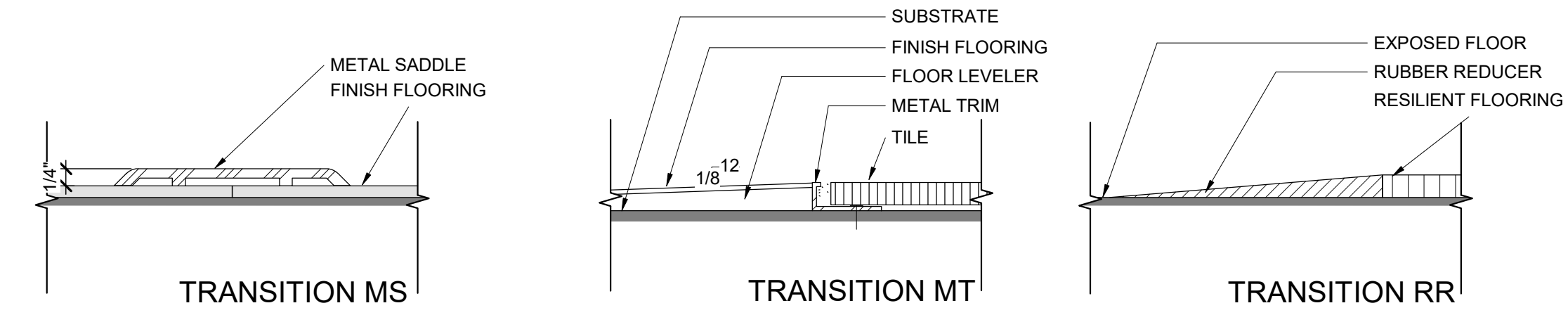
-  VCT FLOORING
-  HARDWOOD FLOORING
-  CERAMIC FLOOR TILE



1 GARDEN CABIN - FINISH PLAN  
1/4" = 1'-0"

**ROOM FINISH SCHEDULE - GARDEN CABIN**

ROOM NUMBER	ROOM NAME	FLOOR		BASE		WALLS								REMARKS
		FINISH	MAT'L	FINISH	MAT'L	NORTH		EAST		SOUTH		WEST		
						FINISH	COLOR	FINISH	COLOR	FINISH	COLOR	FINISH	COLOR	
100	STORAGE	-	VCT	-	RUBBER	PAINT	WHITE	PAINT	WHITE	PAINT	WHITE	PAINT	WHITE	
101	STORAGE	-	VCT	-	RUBBER	PAINT	WHITE	PAINT	WHITE	PAINT	WHITE	PAINT	WHITE	
102	ADA RESTROOM	-	CERAMIC TILE	-	CERAMIC TILE	PAINT / TILE	WHITE	PAINT / TILE	WHITE	PAINT / TILE	WHITE	PAINT / TILE	WHITE	



**NOTES:**

WHERE THRESHOLDS OR SADDLES ARE USED IN OPENINGS, MATCH DEPTH OF THRESHOLD / SADDLE WITH DEPTH OF (FRAMED) OPENING.

TRANSITIONS  
6" = 1'-0"

SEAL



PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 6607 EXPIRATION DATE 06/13/2027						PNW	35NW40	PLAN SCALE: As indicated	APPROVED BY: _____
FRANK ELWOOD DITTENHAFER, II								PROFILE SCALE: _____	PROPERTY MANAGER
AS-BUILT PER RECORD PRINT								DATE: _____	
BY: _____	DGN BY: KCG	BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER
DATE: _____	CHKD BY: RLM	REVIEWED BY: _____							
		DATE REVIEWED: _____							

SUBDIVISION: OVERLEA

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT

HOLT PARK ENHANCEMENTS  
GARDEN CABIN - FINISH PLAN

BUILDING IMPROVEMENTS  
34 ELMONT AVE., BALTIMORE, MD 21206

ELECTION DIST. NO.: 14 c 6





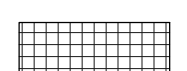
SHEET DESIGNATION: A-108

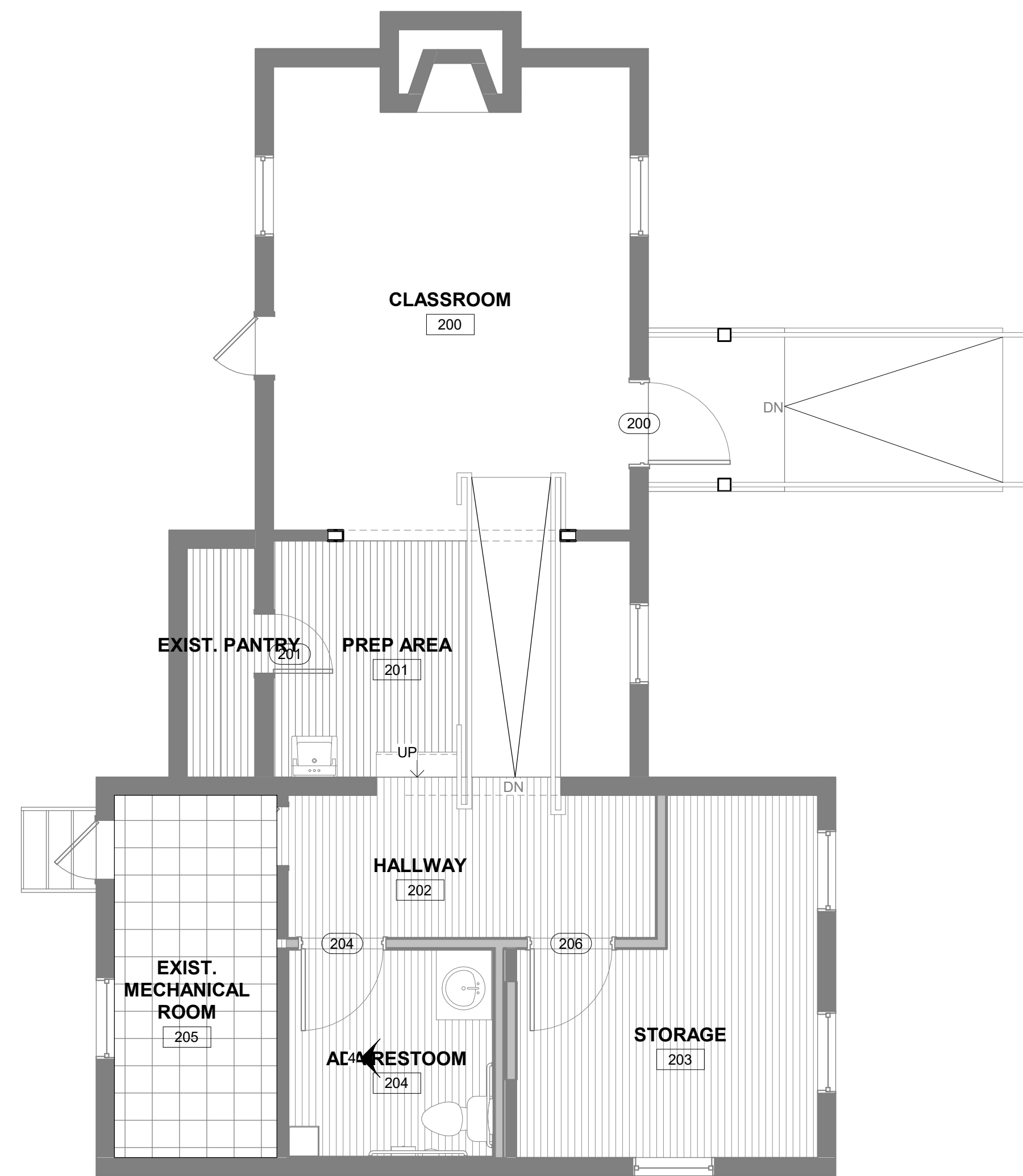
CONTRACT NUMBER: 25054GX0

JOB ORDER NUMBER	0000971385
SHEET 16 OF 54	
DRAWING NUMBER	2025-1550
FILE NO.: 8	



**FINISH LEGEND**

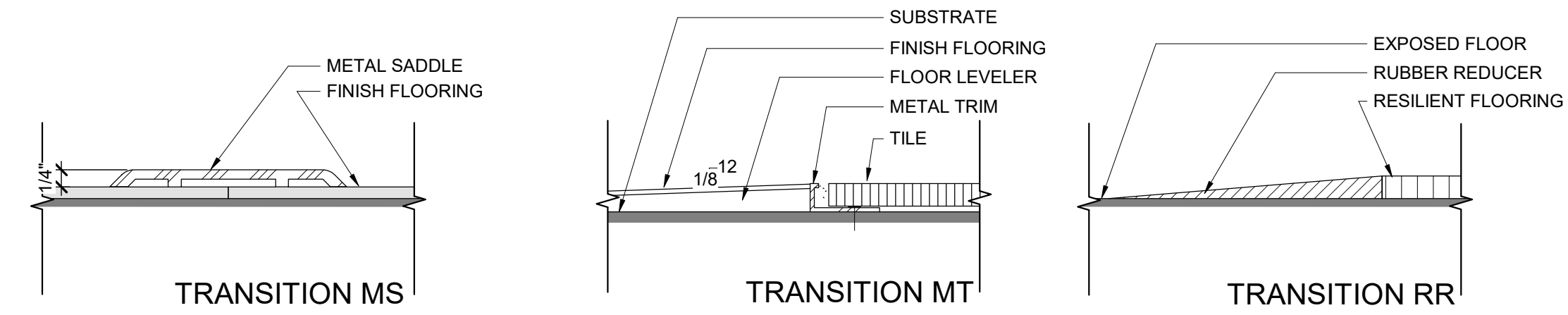
-  VCT FLOORING
-  HARDWOOD FLOORING
-  CERAMIC FLOOR TILE



1 112 McCORMICK CABIN FLOOR PLAN -FINISH PLAN  
1/4" = 1'-0"

**ROOM FINISH SCHEDULE - NATURE CABIN**

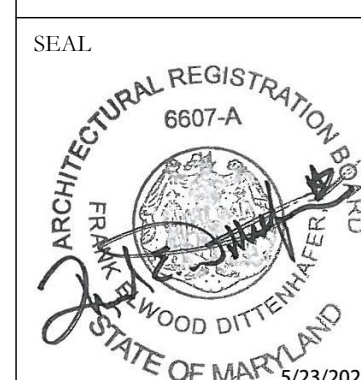
ROOM NUMBER	ROOM NAME	FLOOR		BASE		WALLS								REMARKS	
		FINISH	MAT'L	FINISH	MAT'L	NORTH		EAST		SOUTH		WEST			
						FINISH	COLOR	FINISH	COLOR	FINISH	COLOR	FINISH	COLOR		
200	CLASSROOM	EXISTING	EXISTING	EXISTING	-	-	-	-	-	-	-	-	-	-	-
201	PREP AREA	STAIN HARDWOOD	PLANK	PAINT	WOOD	PAINT	TBD	PAINT	TBD	PAINT	TBD	PAINT	TBD	PAINT	TBD
202	HALLWAY	STAIN HARDWOOD	PLANK	PAINT	WOOD	PAINT	TBD	PAINT	TBD	PAINT	TBD	PAINT	TBD	PAINT	TBD
203	STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	PAINT	WHITE	PAINT	WHITE	PAINT	WHITE	PAINT	WHITE	PAINT	WHITE
204	ADA RESTROOM	-	CERAMIC TILE	-	CERMAIC TILE	PAINT / TILE	WHITE	PAINT / TILE	WHITE	PAINT / TILE	WHITE	PAINT / TILE	WHITE	PAINT / TILE	WHITE
205	EXIST. MECHANICAL ROOM	-	VCT	PAINT	WOOD	PAINT	WHITE	PAINT	WHITE	PAINT	WHITE	PAINT	WHITE	PAINT	WHITE





**NOTES:**

WHERE THRESHOLDS OR SADDLES ARE USED IN OPENINGS, MATCH DEPTH OF THRESHOLD / SADDLE WITH DEPTH OF (FRAMED) OPENING.

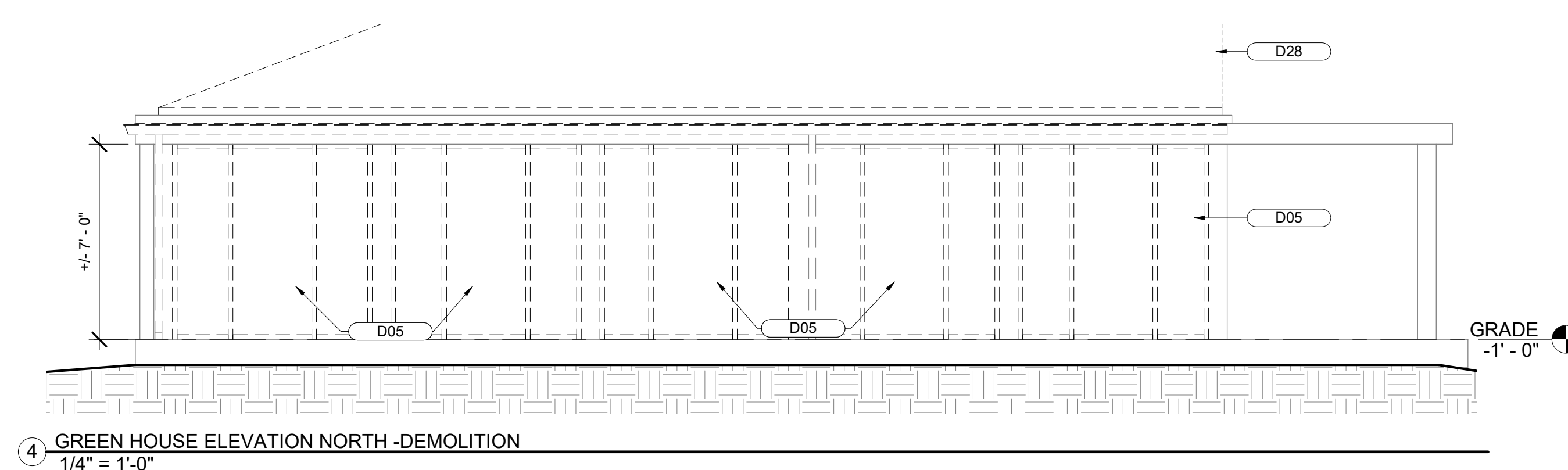
2 TRANSITION DETAILS  
6" = 1'-0"

	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.						PNW	35NW40	PLAN SCALE: As indicated	APPROVED BY: _____
	LICENSE NO. 6607 EXPIRATION DATE 06/13/2027								PROFILE SCALE: _____	DATE: _____
	FRANK ELWOOD DITTENHAFER, II		DGN BY: KCG	BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER
AS-BUILT PER RECORD PRINT		DWN BY: MWP	REVIEWED BY:							
BY: _____		CHKD BY: RLM	DATE REVIEWED:							
DATE: _____										

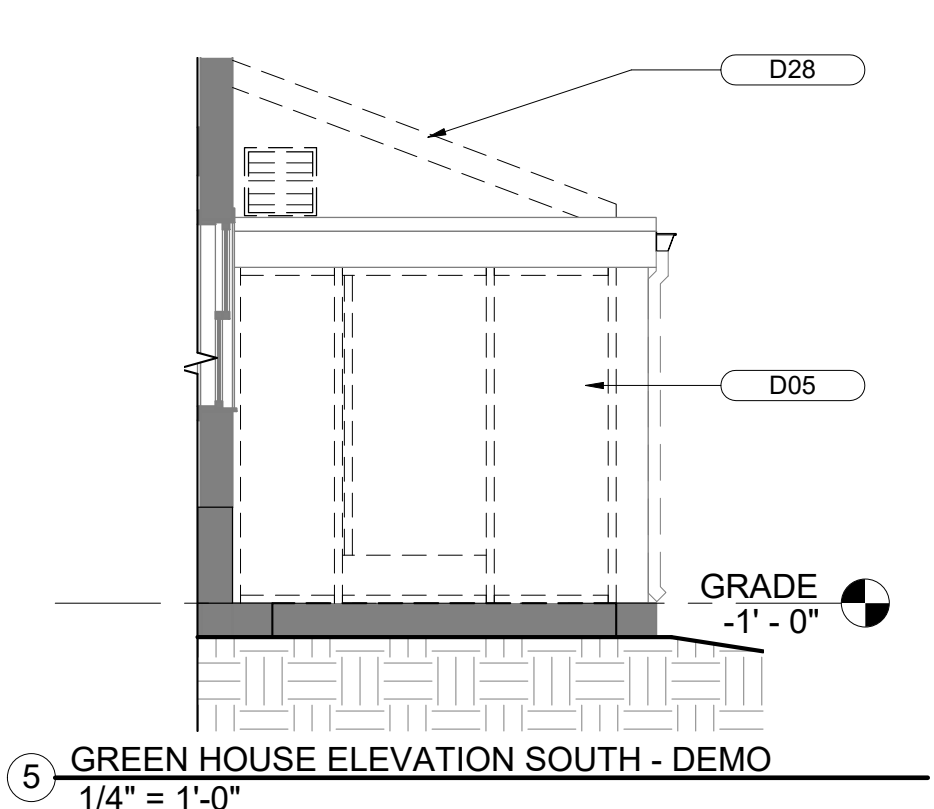
	
SHEET DESIGNATION	CONTRACT NUMBER
A-109	25054GX0
BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT HOLT PARK ENHANCEMENTS 112 McCORMICK - FINISH PLAN BUILDING IMPROVEMENTS 34 ELMONT AVE., BALTIMORE, MD 21206 ELECTION DIST. NO.: 14 c 6	
	JOB ORDER NUMBER 0000971385 SHEET 17 OF 54 DRAWING NUMBER 2025-1551 FILE NO.: 8

KEYNOTE LEGEND	
TAG	DESCRIPTION
09	NEW MECHANICAL LOUVER; CONCEAL INSULATION @ LOUVER PLENUM
10	NEW POLYCARBONATE ROOF PANELS OVER PRESSURE TREATED WOOD FRAMING. NEW FRAMING MEMEBERS PAINTED TO MATCH ADJACENT PAINT & FINISH
29	NEW ALUMINUM STOREFRONT W/ 1" INSUL. GLASS
D05	COMPLETE REMOVAL OF SLIDER DOORS / DOOR FRAMES, & ALL ASSOCIATED HARDWARE. PATCH & REPAIR ANY DAMAGE ASSOCIATED WITH DEMOLITION AS REQUIRED TO MATCH ADJACENT FINISH. PREP AREA FOR NEW WORK
D28	COMPLETE REMOVAL OF POLYCARBONATE ROOF PANELS & ADJACENT DAMAGED/ROTTED WOOD RAFTERS. PREPARE FOR NEW WORK

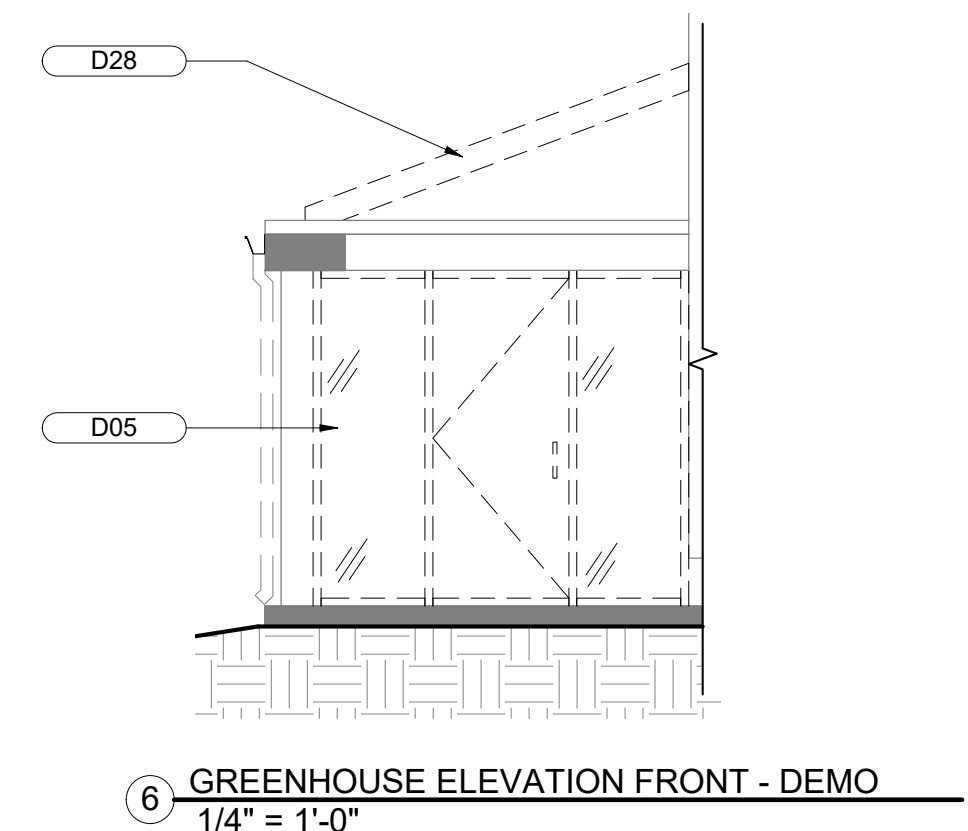
- DEMOLITION GENERAL NOTES**
- CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT SPACES. PROTECT ALL EXISTING ITEMS, SURFACES AND FINISHES TO REMAIN.
  - PROVIDE SHORING AND BRACING WHERE NECESSARY. FOR SAFE REMOVAL
  - REMOVE AND SALVAGE EXISTING FIXTURES AND DOORS. COORDINATE WITH OWNER FOR REUSE OF MATERIALS.
  - COORDINATE AND DISCONNECT UTILITIES. COORDINATE WITH MEP DRAWINGS.



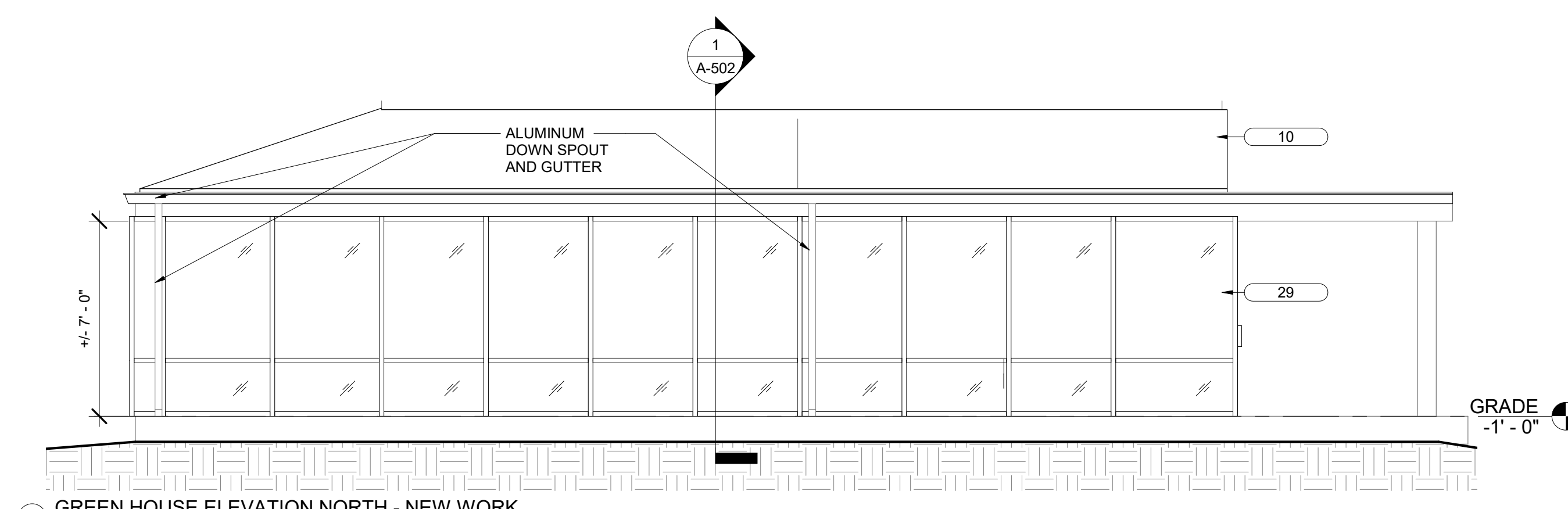
4 GREEN HOUSE ELEVATION NORTH - DEMOLITION  
1/4" = 1'-0"



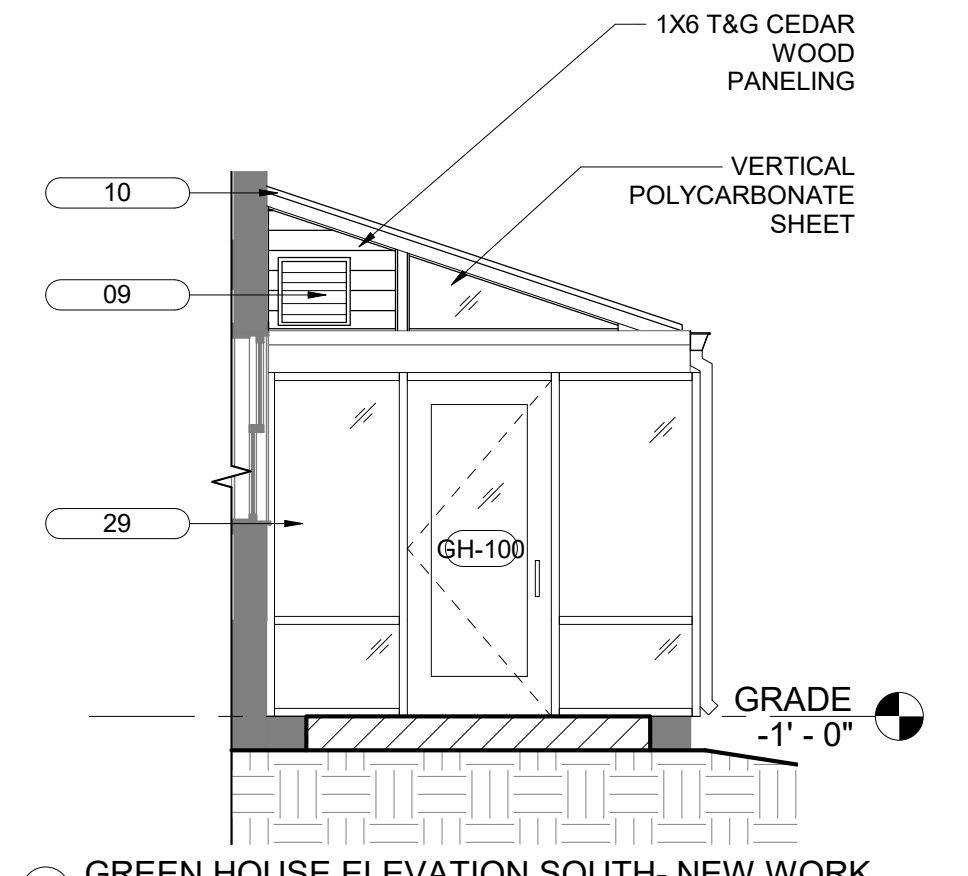
5 GREEN HOUSE ELEVATION SOUTH - DEMO  
1/4" = 1'-0"



6 GREENHOUSE ELEVATION FRONT - DEMO  
1/4" = 1'-0"



1 GREEN HOUSE ELEVATION NORTH - NEW WORK  
1/4" = 1'-0"



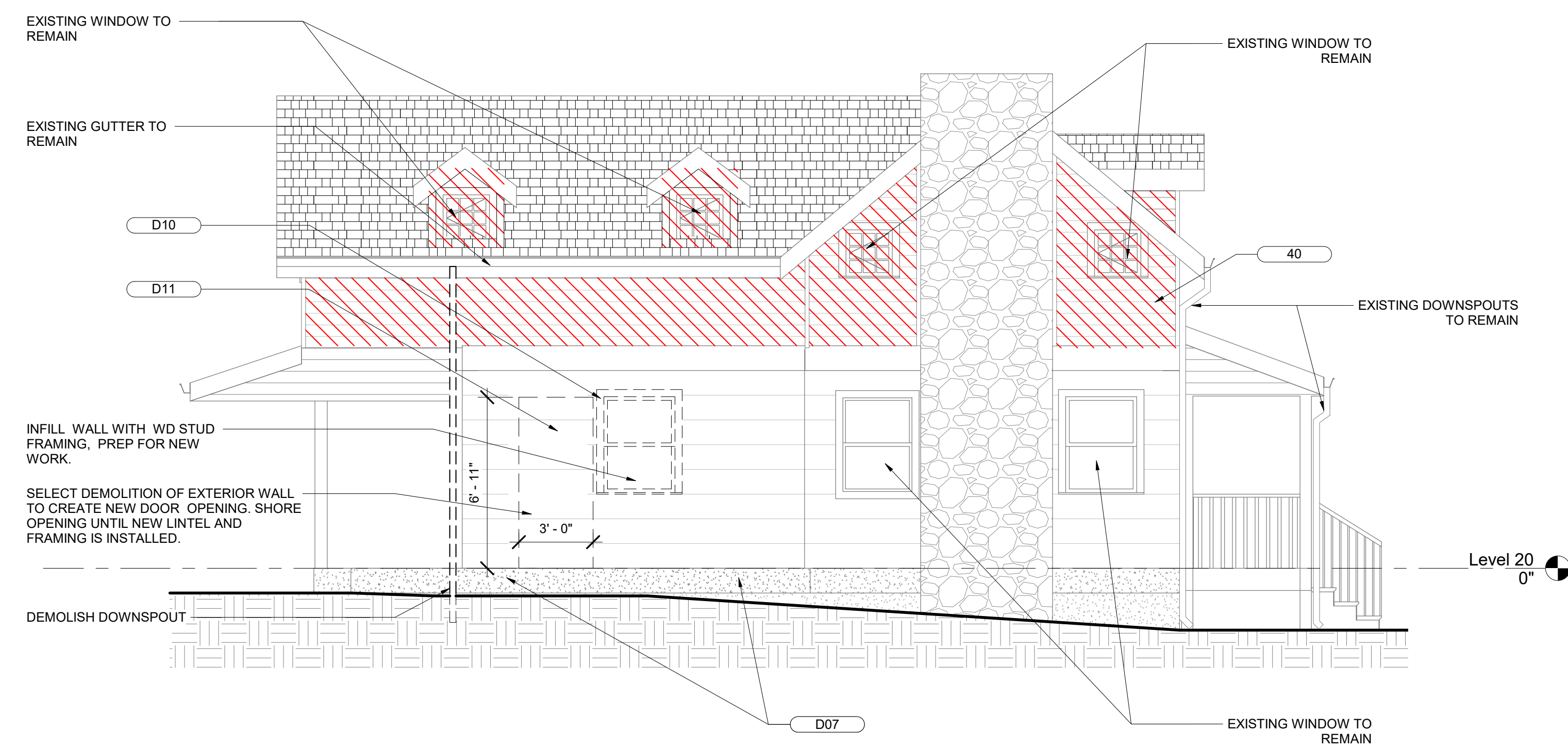
2 GREEN HOUSE ELEVATION SOUTH - NEW WORK  
1/4" = 1'-0"

SEAL	PROFESSIONAL CERTIFICATION	AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT	
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 6607      EXPIRATION DATE 06/13/2027					PNW	35NW40	PLAN SCALE: 1/4" = 1'-0"	APPROVED BY: _____	
									PROFILE SCALE: _____	DATE: _____
										PROPERTY MANAGER
	FRANK ELWOOD DITTENHAFER, II AS-BUILT PER RECORD PRINT BY: _____ DATE: _____	BUREAU OF ENGINEERING AND CONSTRUCTION TRAFFIC    HIGHWAYS    STRUCTURES    STORM DRAINS    SEWER    WATER    FIELD ENGINEER								

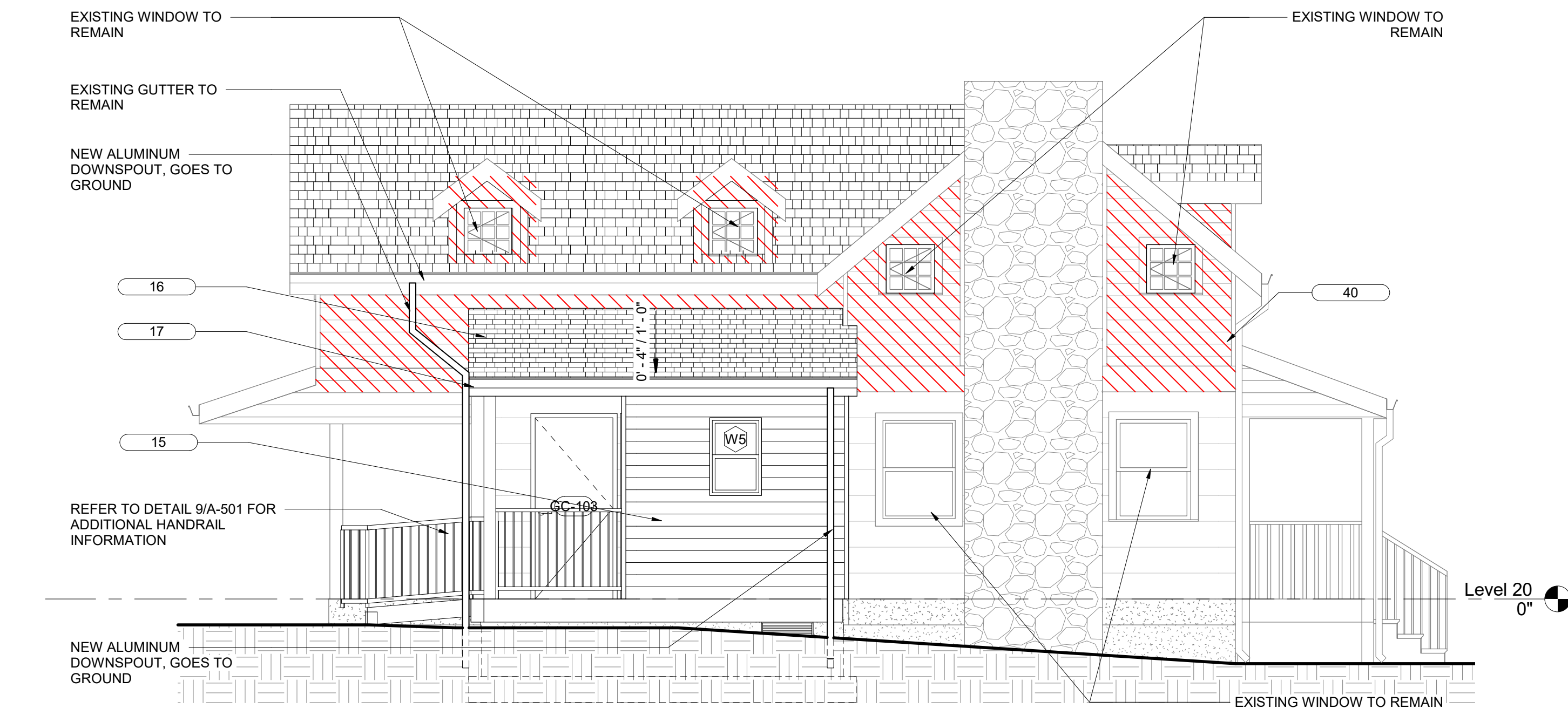
**BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT**  
 HOLT PARK ENHANCEMENTS  
**GREEN HOUSE ELEVATIONS**  
 BUILDING IMPROVEMENTS  
 34 ELMONT AVE., BALTIMORE, MD 21206  
 ELECTION DIST. NO.: 14 c 6

SHEET DESIGNATION: **A-200**      CONTRACT NUMBER: **25054GX0**  
 JOB ORDER NUMBER: **0000971385**  
 SHEET **18** OF **54**  
 DRAWING NUMBER: **2025-1552**  
 FILE NO.: 8

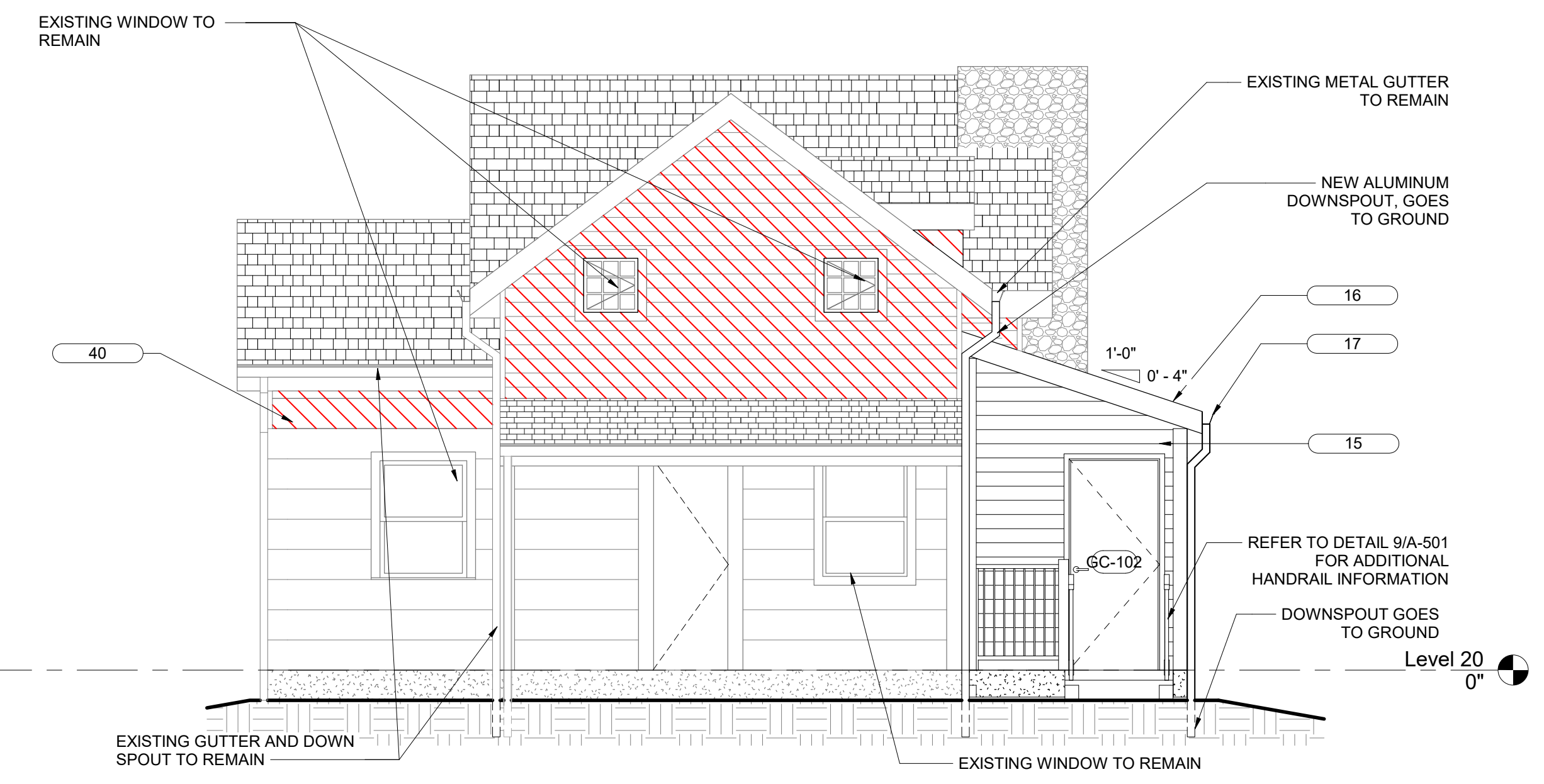
KEYNOTE LEGEND	
TAG	DESCRIPTION
15	NEW CEMENT BD. PLANK SIDING
16	ASPHALT SHINGLE ROOF, T&G 5/8" PLYWOOD SHEATHING.
17	ALUMINUM GUTTER & DOWNSPOUT
40	DEMOLITION & REMOVAL OF EXISTING WOOD SIDING (CROSS HATCHED ARE), REPLACE WITH 5/8" PLYWOOD SHEATHING & CEMENT BOARD SIDING. EXISTING WINDOW TRIM IS TO BE DEMOLISHED & REMOVED ALONG WITH THE EXISTING SIDING, REPLACE WITH NEW CEMENT BOARD WINDOW TRIM.
D07	DEMOLISH LIGHTWELL IN ITS ENTIRETY, INFILL EXISTING FOUNDATION WALL WITH CMU BLOCK, PREP FOR NEW WORK
D10	REMOVE EXISTING WINDOW IN ITS ENTIRETY
D11	SELECT REMOVAL OF EXTERIOR WALL TO CREATE OPENING, PREP FOR NEW WORK, REFERENCE ELEVATION DWGS FOR SIZE



3 GARDEN CABIN SIDE ELEVATION -EXISTING  
1/4" = 1'-0"



1 GARDEN CABIN SIDE ELEVATION - NEW WORK  
1/4" = 1'-0"



2 GARDEN CABIN REAR ELEVATION - NEW WORK  
1/4" = 1'-0"

SEAL	PROFESSIONAL CERTIFICATION	AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT		
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 6607 EXPIRATION DATE 06/13/2027 FRANK ELWOOD DITTENHAFER, II AS-BUILT PER RECORD PRINT BY: DATE:					PNW	35NW40	PLAN SCALE: 1/4" = 1'-0"	APPROVED BY: _____ PROPERTY MANAGER		
									PROFILE SCALE: _____	DATE: _____	

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT  
 HOLT PARK ENHANCEMENTS  
 GARDEN CABIN ELEVATIONS  
 BUILDING IMPROVEMENTS  
 34 ELMONT AVE., BALTIMORE, MD 21206  
 ELECTION DIST. NO.: 14 c 6

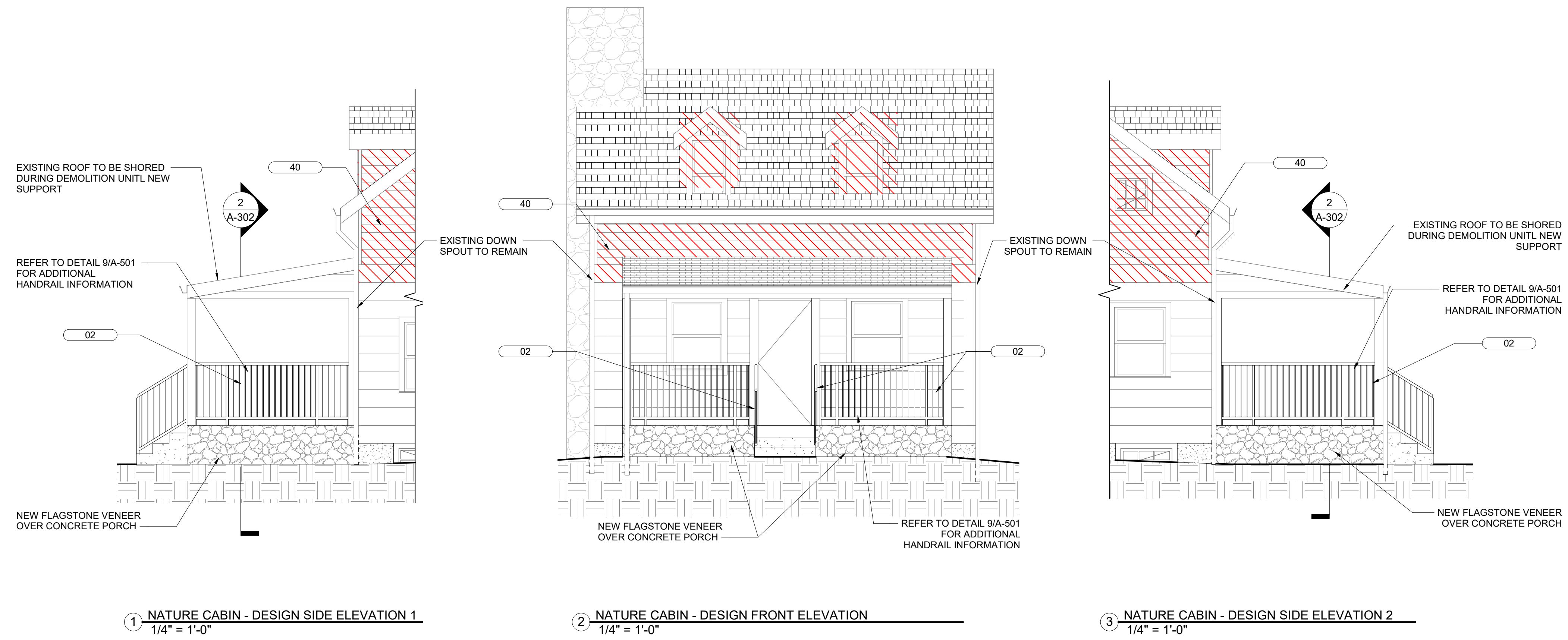
**Murphy & Dittenhafer**  
 ARCHITECTS

488 South Chesapeake Street, Baltimore, Maryland 21201  
 410-528-0233 ext. 410-528-0174 fax 410-528-0168

SHEET DESIGNATION	CONTRACT NUMBER
A-201	25054GX0
JOB ORDER NUMBER	0000971385
SHEET 19 OF 54	DRAWING NUMBER
	2025-1553
FILE NO.: 8	

C:\Users\legj\Documents\241001 Holt Park Improvements\_14c6.rvt

KEYNOTE LEGEND	
TAG	DESCRIPTION
02	NEW WD HAND RAIL TO MATCH GARDEN CABIN
40	DEMOLITION & REMOVAL OF EXISTING WOOD SIDING (CROSS HATCHED ARE), REPLACE WITH 5/8" PLYWOOD SHEATHING & CEMENT BOARD SIDING. EXISTING WINDOW TRIM IS TO BE DEMOLISHED & REMOVED ALONG WITH THE EXISTING SIDING, REPLACE WITH NEW CEMENT BOARD WINDOW TRIM.



NOTE:  
PURPOSE OF THE PHOTOGRAPH IS TO SHOW THE EXISTING WALK WAY CONDITION

SEAL	PROFESSIONAL CERTIFICATION	AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT		
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									PROFILE SCALE: _____	DATE: _____	

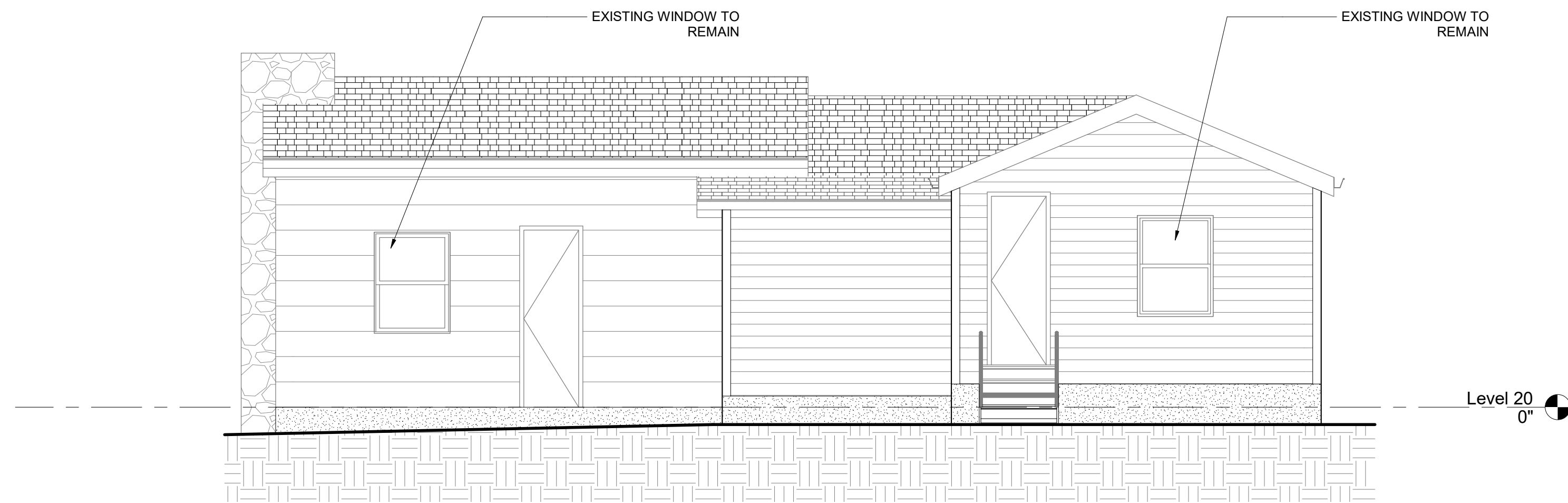
BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT  
 HOLT PARK ENHANCEMENTS  
**NATURE CABIN ELEVATIONS**  
 BUILDING IMPROVEMENTS  
 34 ELMONT AVE., BALTIMORE, MD 21206  
 ELECTION DIST. NO.: 14 c 6

**Murphy & Dittenhafer**  
ARCHITECTS

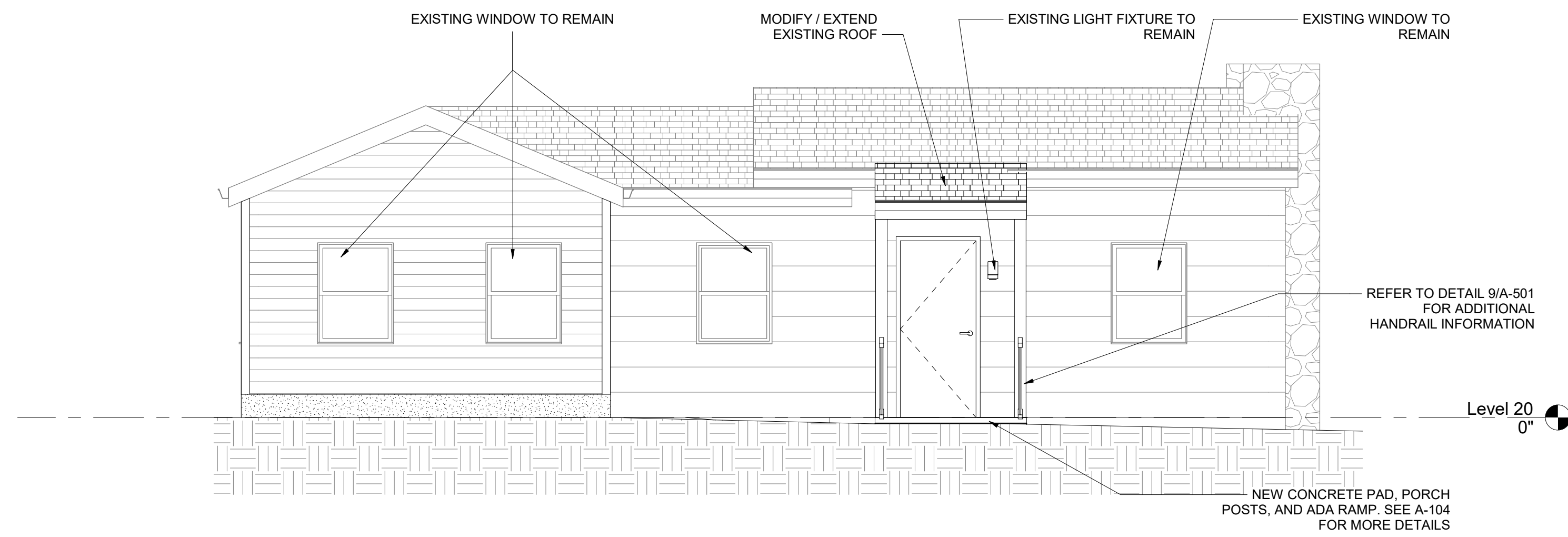
660 North Charles Street, Baltimore, Maryland 21201  
410-528-0232 ext. 410-528-0174 fax 410-528-0488

SHEET DESIGNATION	CONTRACT NUMBER
A-202	25054GX0
JOB ORDER NUMBER	0000971385
SHEET 20 OF 54	DRAWING NUMBER
	2025-1554
FILE NO.: 8	

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② 112 McCORMICK REAR ELEVATION  
1/4" = 1'-0"



① 112 McCORMICK FRONT ELEVATION  
1/4" = 1'-0"

SEAL



PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 6607 EXPIRATION DATE 06/13/2027						PNW	35NW40	PLAN SCALE: 1/4" = 1'-0"	APPROVED BY: _____
FRANK ELWOOD DITTENHAFFER, II					R.O.W. NO.			PROFILE SCALE: _____	PROPERTY MANAGER
AS-BUILT PER RECORD PRINT					CONTRACT COMPLETION BOX			DATE: _____	
BY: _____	DGN BY: KCG	BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER
DATE: _____	CHKD BY: ELM	REVIEWED BY: _____							
		DATE REVIEWED: _____							

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT

HOLT PARK ENHANCEMENTS  
112 McCORMICK ELEVATIONS

BUILDING IMPROVEMENTS  
34 ELMONT AVE., BALTIMORE, MD 21206


SUBDIVISION: OVERLEA

ELECTION DIST. NO.: 14 c 6

**Murphy & Dittenhafer**  
ARCHITECTS

488 South Charles Street, Baltimore, Maryland 21201  
410-528-0222 ext. 410-528-0174 fax 410-528-0486

SHEET DESIGNATION	CONTRACT NUMBER
A-203	25054GX0
JOB ORDER NUMBER	0000971385
SHEET 21 OF 54	DRAWING NUMBER
	2025-1555
FILE NO.: 8	

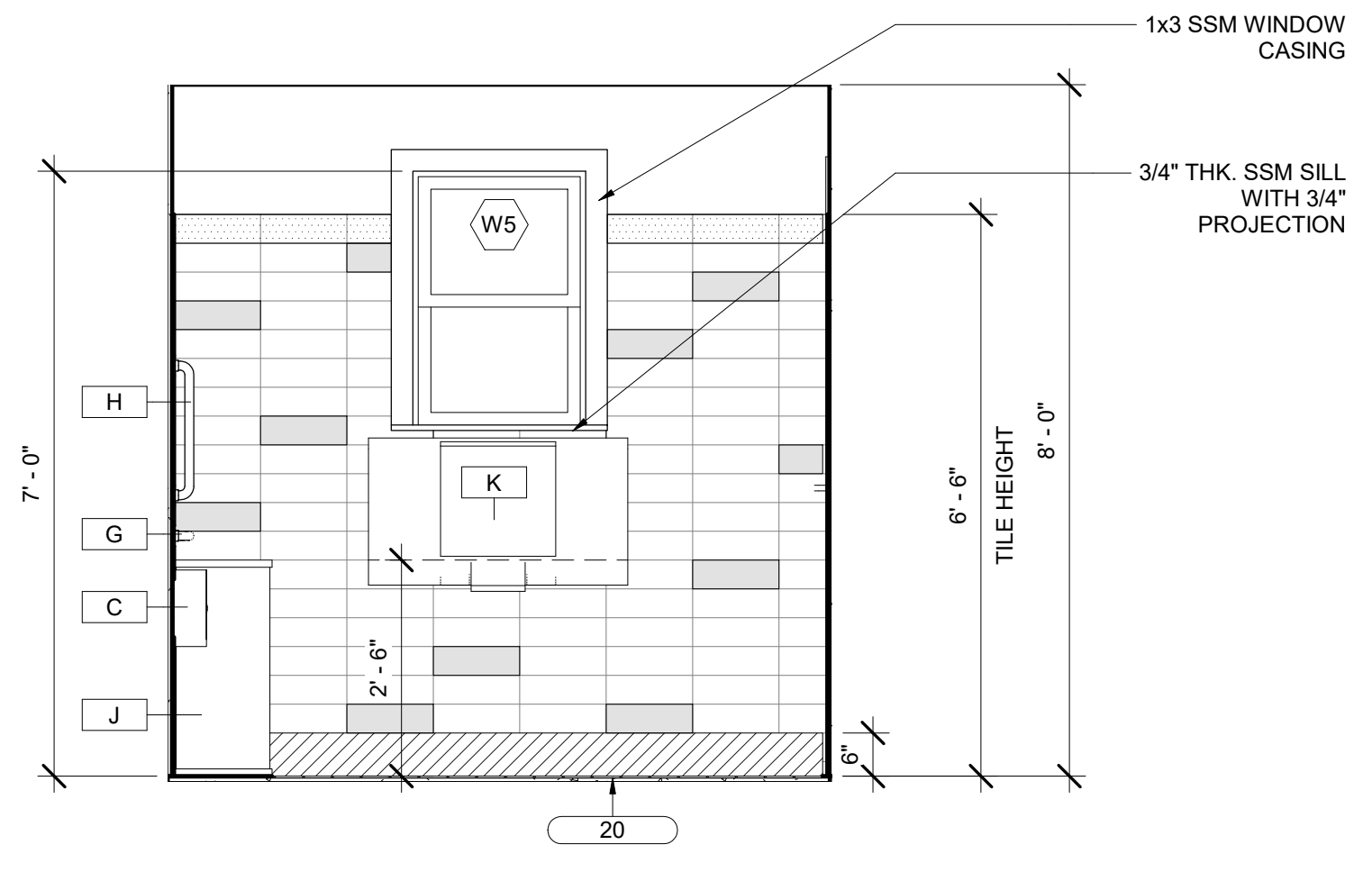
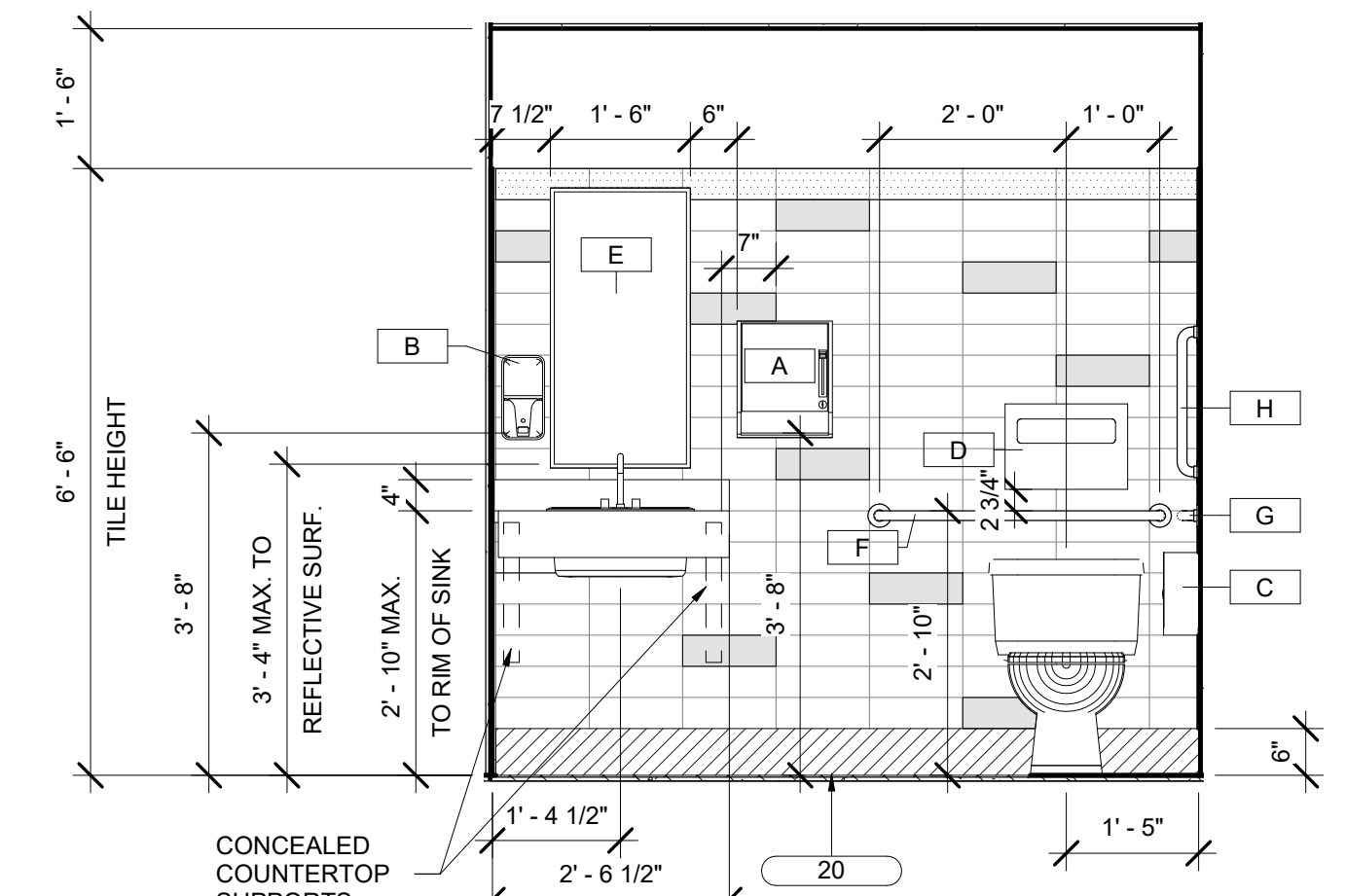
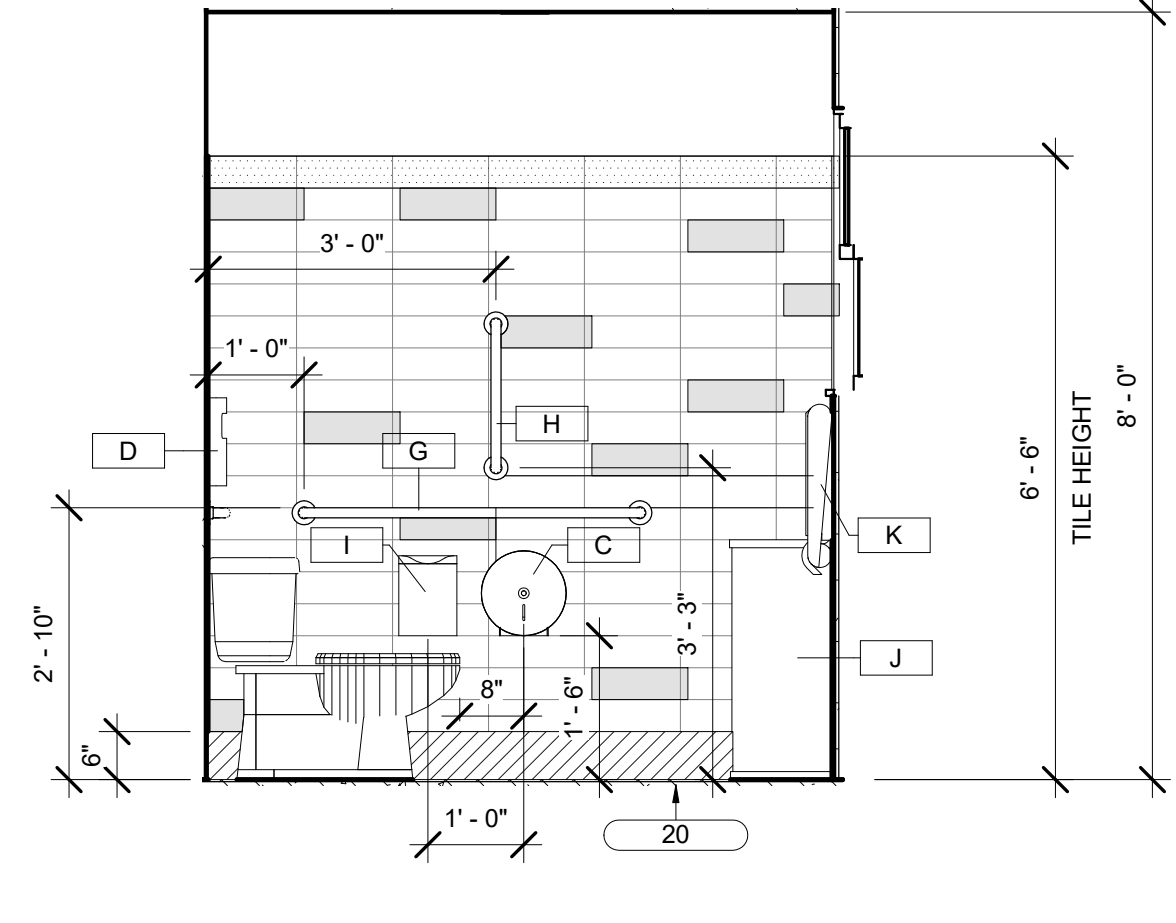
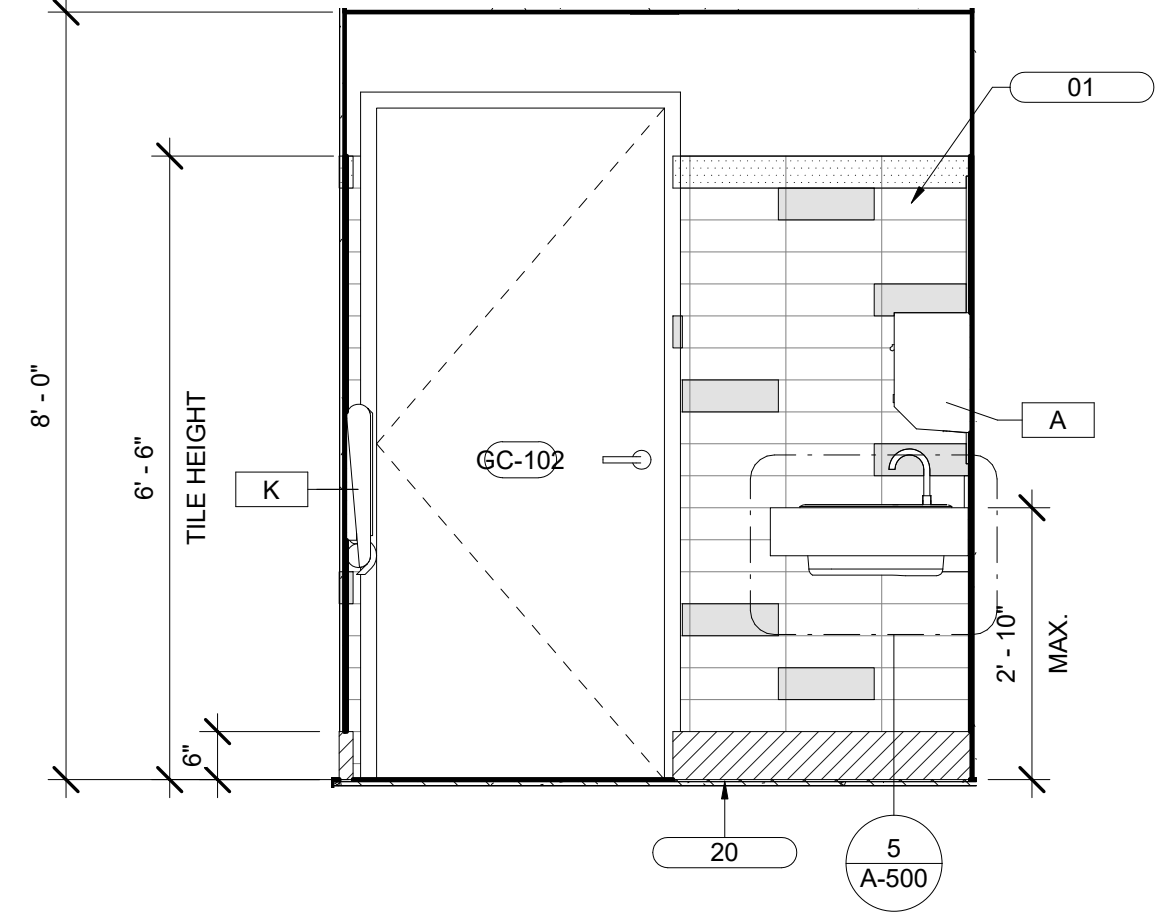
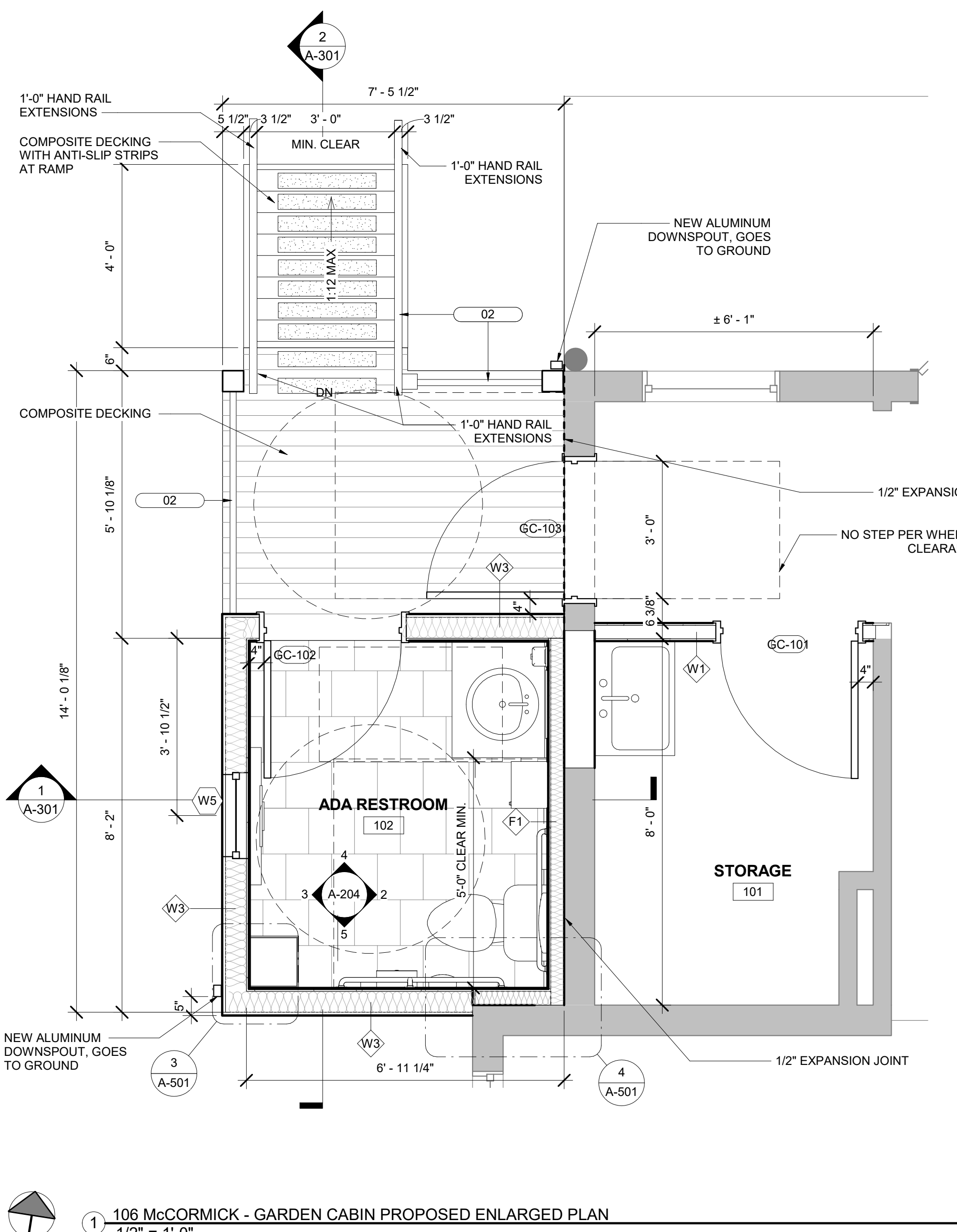


TOILET ACCESSORIES SCHEDULE						
MARK	DESCRIPTION	MOUNTING	MOUNTING HEIGHT	FURNISHED BY	INSTALLED BY	COMMENTS
A	PAPER TOWEL DISPENSER-ROLL	SURFACE	3'-8" MAX TO DISPENSER OPENING	CONTRACTOR	CONTRACTOR	
B	SOAP DISPENSER - MANUAL	SURFACE	3'-8" MAX TO BOTTOM OF OPERATING BUTTON	CONTRACTOR	CONTRACTOR	
C	TOILET TISSUE DISPENSER-JUMBO	SURFACE	1'-6" TO BOTTOM	CONTRACTOR	CONTRACTOR	
D	TOILET SEAT COVER DISPENSER	SURFACE	3'-8" MAX TO DISPENSER OPENING	CONTRACTOR	CONTRACTOR	
E	MIRROR-18"x36" FRAMED	SURFACE	3'-4" MAX TO BOTTOM OF REFLECTIVE SURFACE	CONTRACTOR	CONTRACTOR	
F	BACK WALL GRAB BAR-36"	SURFACE	2'-10" TO TOP OF BAR	CONTRACTOR	CONTRACTOR	
G	SIDE WALL GRAB BAR-42"	SURFACE	2'-10" TO TOP OF BAR	CONTRACTOR	CONTRACTOR	
H	VERTICAL GRAB BAR-18"	SURFACE	3'-3" TO BOTTOM OF BAR	CONTRACTOR	CONTRACTOR	
I	SANITARY NAPKIN DISPOSAL	SURFACE	1'-6" TO BOTTOM	CONTRACTOR	CONTRACTOR	
J	WASTE RECEPTACLE	FREE STANDING	FLOOR MOUNTED	CONTRACTOR	CONTRACTOR	
K	DIAPER DECK-SURFACE	SURFACE	2'-10" MAX TO WORK SURFACE WHEN OPEN	CONTRACTOR	CONTRACTOR	

NOTE: TOILET ACCESSORIES SCHEDULE INCLUDES ITEMS IN THE RESTROOM IN THE GARDEN CABIN (A-204) AND THE RESTROOM IN 112 McCORMICK CABIN (A-205)

CERAMIC TILE LEGEND	
	CT-2 (WALL FIELD)
	CT-3 (WALL ACCENT)
	CT-4 (COVE BASE)
	CT-5 (BULLNOSE)

KEYNOTE LEGEND	
TAG	DESCRIPTION
01	4"x12" CERAMIC WALL TILE
02	NEW WD HAND RAIL TO MATCH GARDEN CABIN
18	SOLID SURFACE COUNTERTOP
20	CERAMIC TILE FLOORING



1 106 McCORMICK - GARDEN CABIN PROPOSED ENLARGED PLAN  
1/2" = 1'-0"

4 ADA RESTROOM - NORTH ELEVATION  
1/2" = 1'-0"

5 ADA RESTROOM - SOUTH ELEVATION  
1/2" = 1'-0"

2 ADA RESTROOM - EAST ELEVATION  
1/2" = 1'-0"

3 ADA RESTROOM - WEST ELEVATION  
1/2" = 1'-0"

	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT
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	LICENSE NO. 6607 EXPIRATION DATE 06/13/2027								PROFILE SCALE: _____	DATE: _____
	FRANK ELWOOD DITTENHAFER, II AS-BUILT PER RECORD PRINT		DGN BY: KGC	BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER
BY: _____ DATE: _____		DWN BY: MWP	REVIEWED BY: _____							
		CHKD BY: RLM	DATE REVIEWED: _____							

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT  
HOLT PARK ENHANCEMENTS  
ENLARGED PLANS/INTERIOR ELEVATIONS  
BUILDING IMPROVEMENTS  
34 ELMONT AVE., BALTIMORE, MD 21206  
SUBDIVISION: OVERLEA

**Murphy & Dittenhafer**  
ARCHITECTS

388 South Chesapeake Street, Baltimore, Maryland 21201  
410-542-4232 (fax) 410-542-4114 (tel) 410-542-4114 (cell)

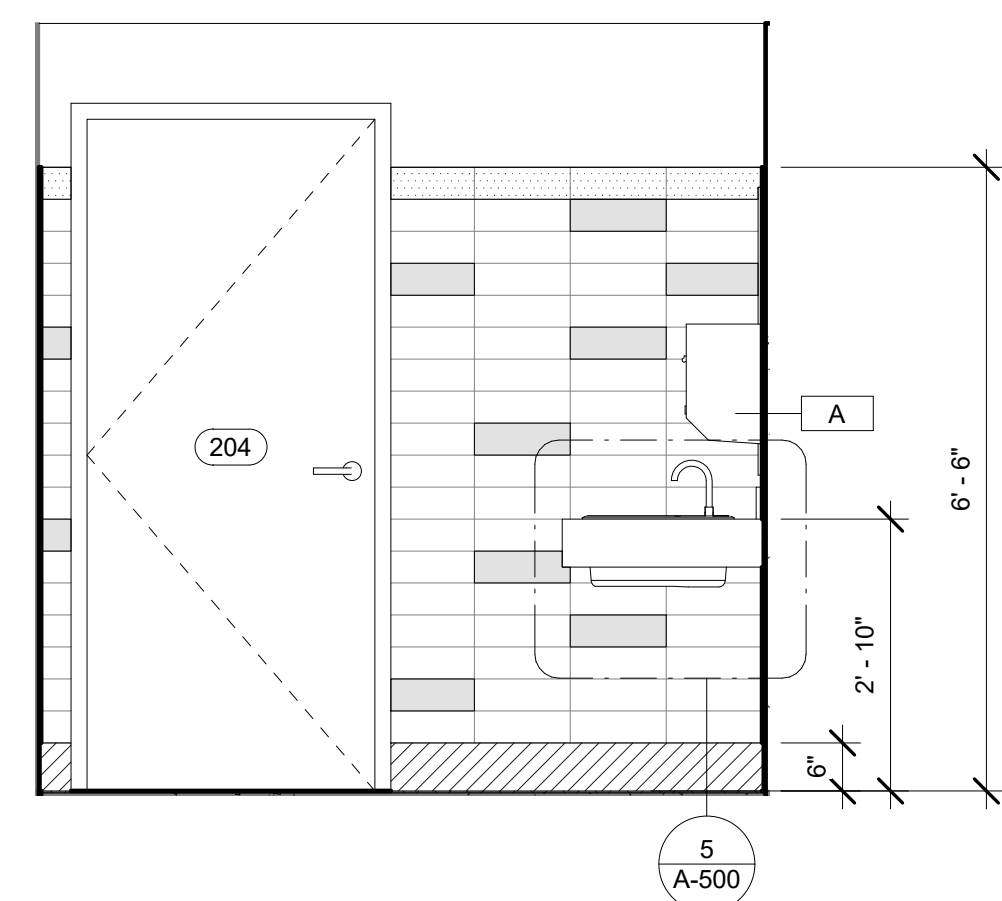
SHEET DESIGNATION	CONTRACT NUMBER
A-204	25054GX0
JOB ORDER NUMBER	
'0000971385	
SHEET 22 OF 54	
DRAWING NUMBER	
2025-1556	
FILE NO.: 8	

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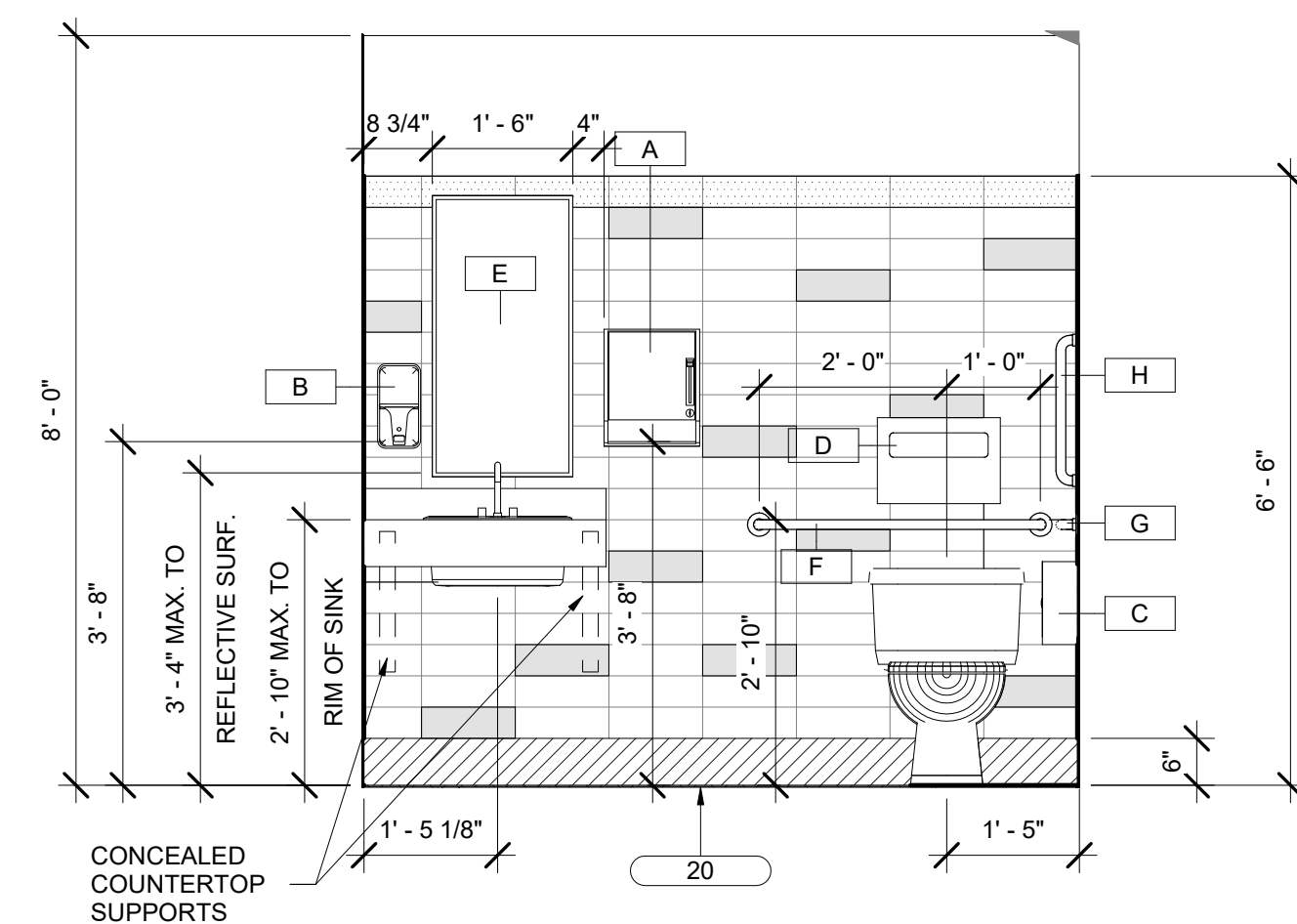
KEYNOTE LEGEND	
TAG	DESCRIPTION
20	CERAMIC TILE FLOORING
27	NEW FREE STANDING SHELVING UNITS

NOTE: REFER TO TOILET ACCESSORIES SCHEDULE ON SHEET A-204

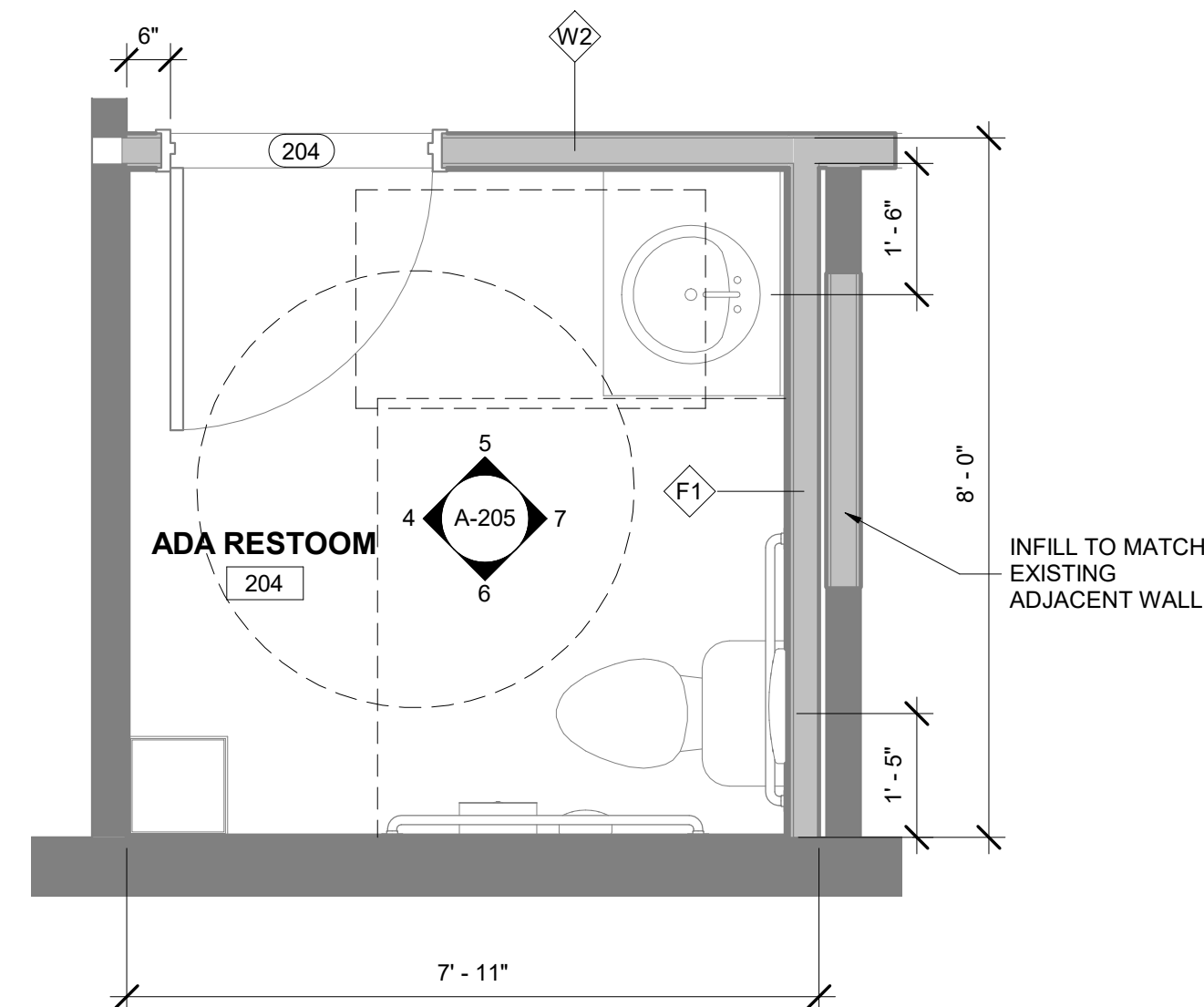
CERAMIC TILE LEGEND	
	CT-2 (WALL FIELD)
	CT-3 (WALL ACCENT)
	CT-4 (COVE BASE)
	CT-5 (BULLNOSE)



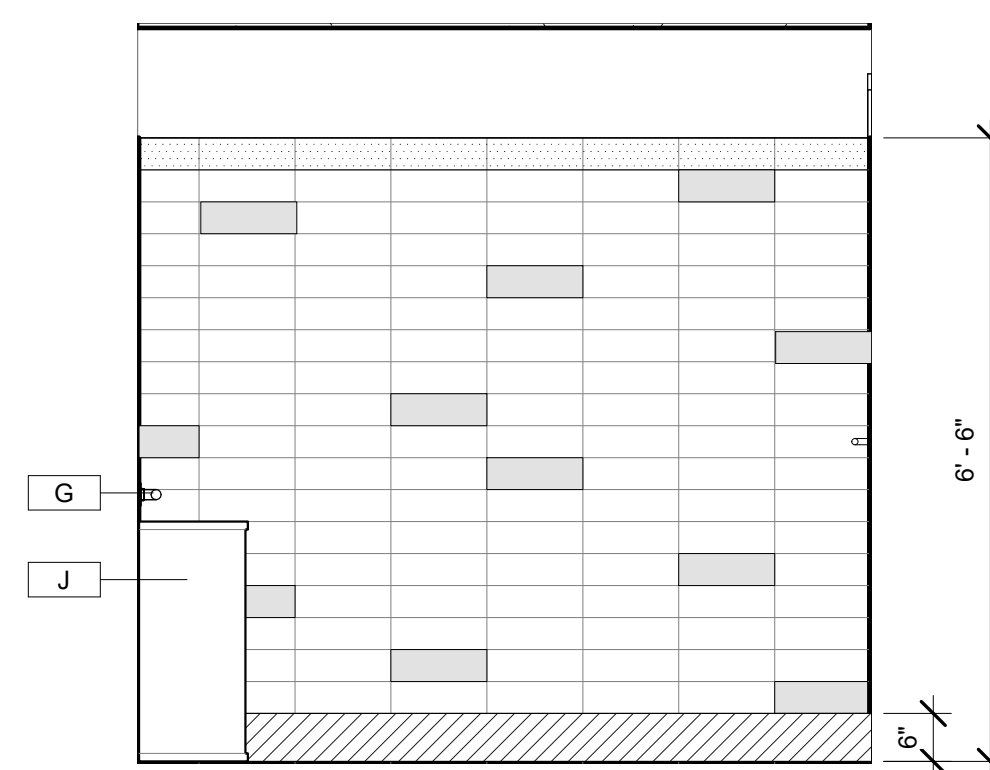
5 NORTH ELEVATION  
1/2" = 1'-0"



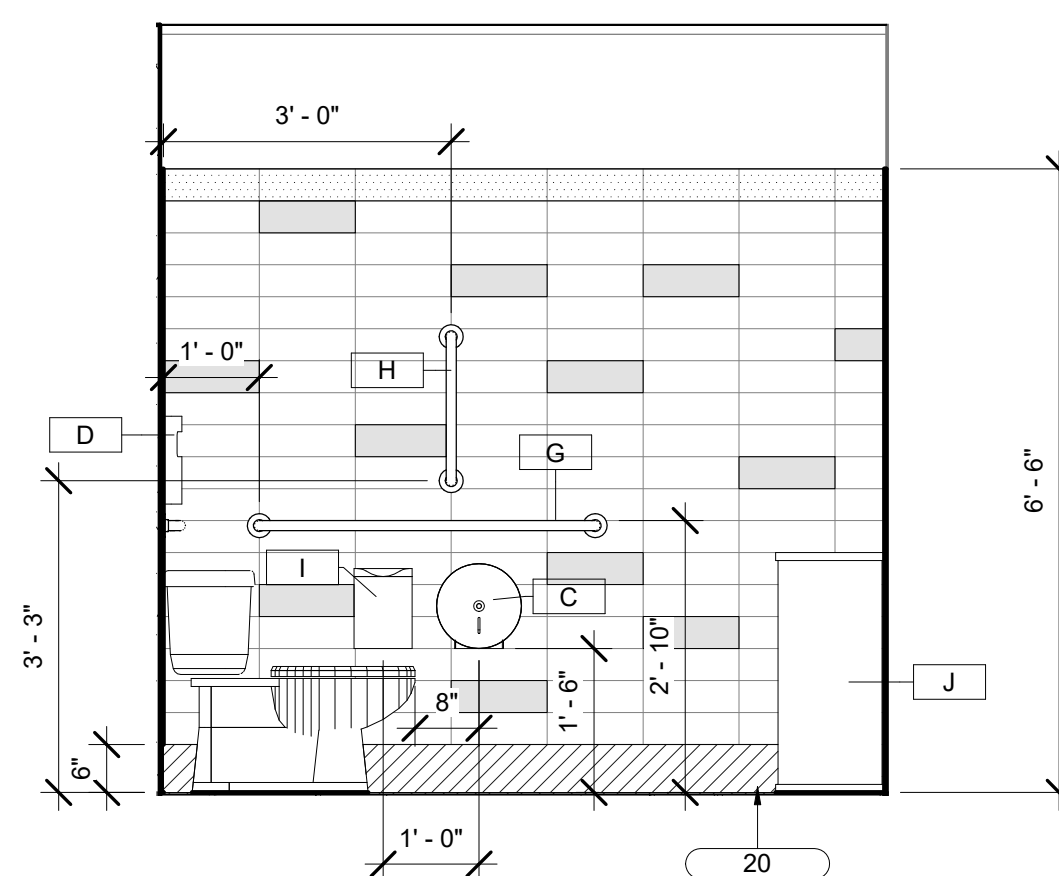
7 EAST ELEVATION  
1/2" = 1'-0"



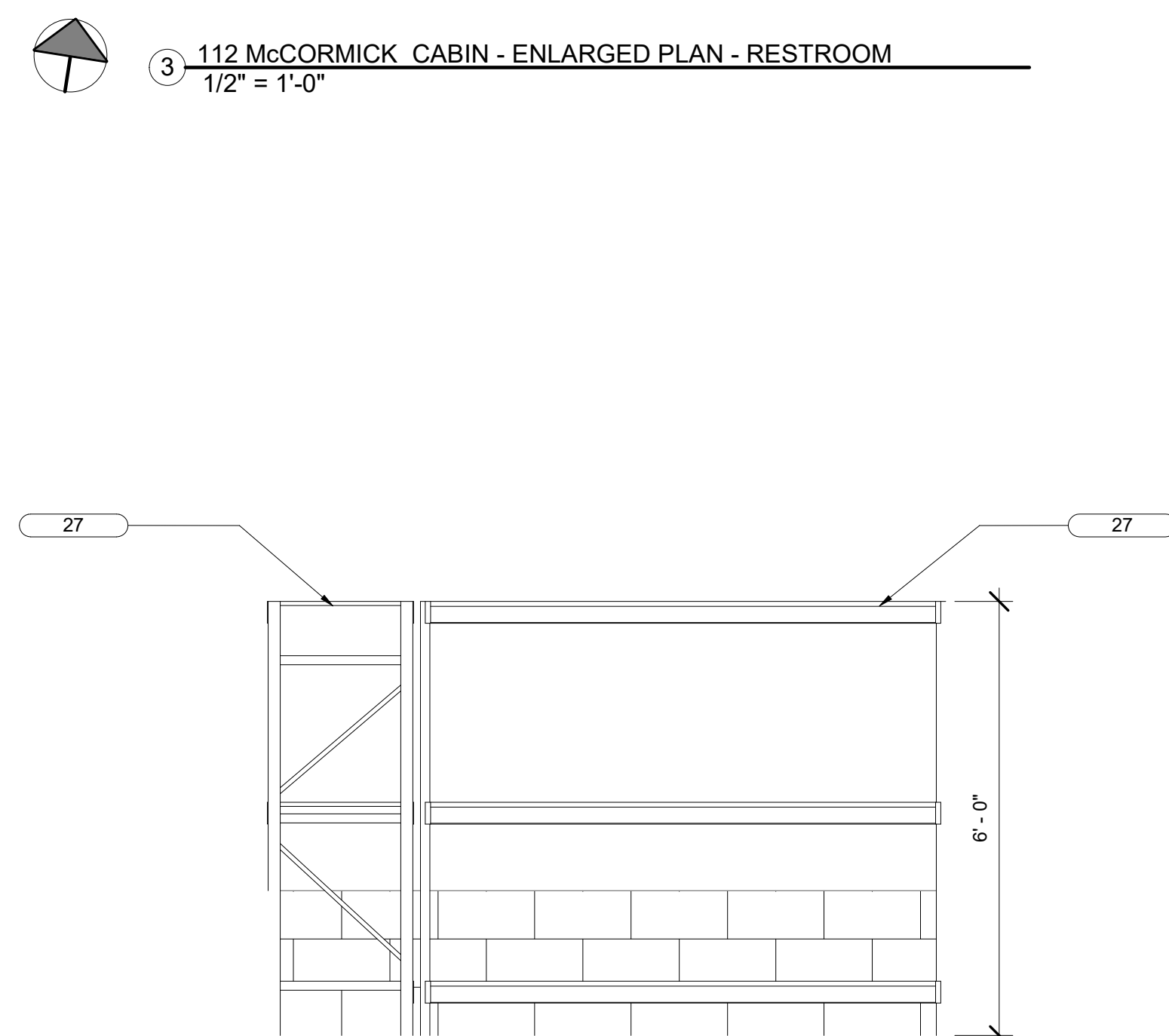
3 112 McCORMICK CABIN - ENLARGED PLAN - RESTROOM  
1/2" = 1'-0"



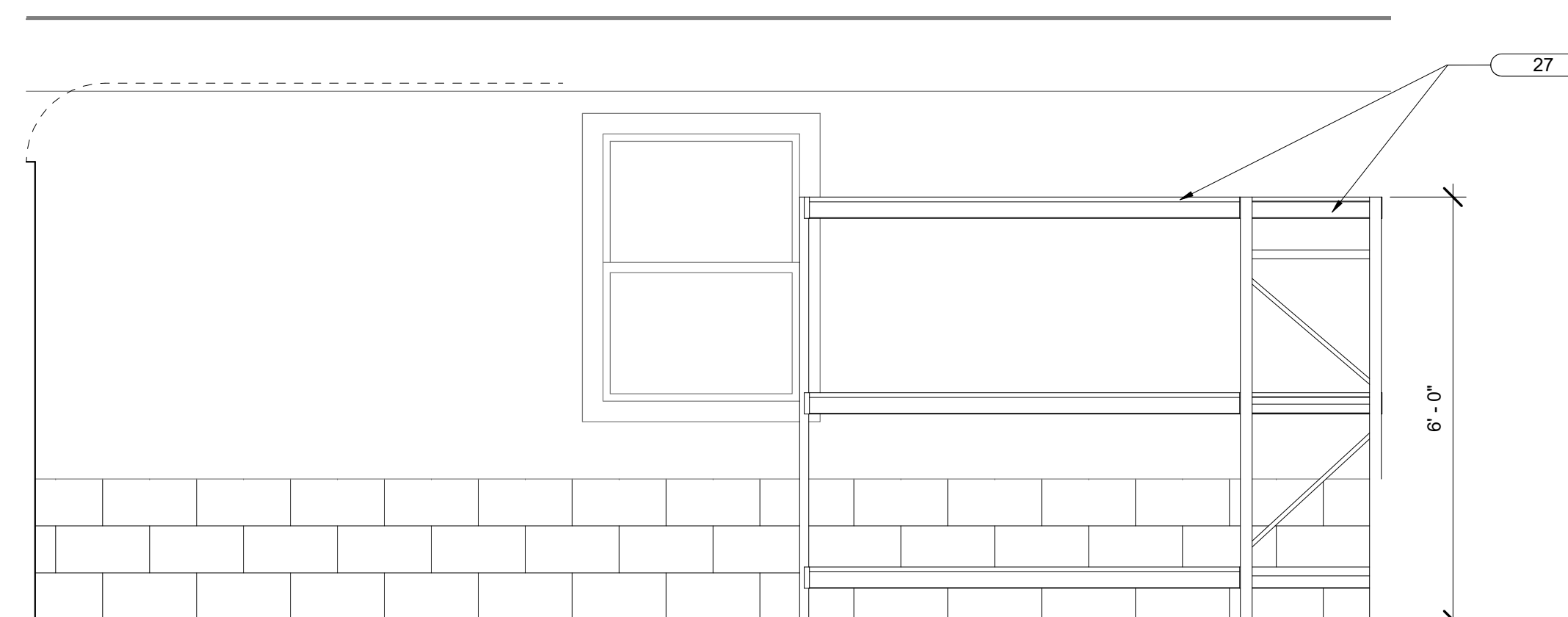
4 WEST ELEVATION  
1/2" = 1'-0"



6 SOUTH ELEVATION  
1/2" = 1'-0"



1 GARAGE INTERIOR 1  
1/2" = 1'-0"



2 GARAGE INTERIOR 2  
1/2" = 1'-0"

SEAL	PROFESSIONAL CERTIFICATION	AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT	
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 6607 EXPIRATION DATE 06/13/2027.					PNW	35NW40	PLAN SCALE: 1/2" = 1'-0"	APPROVED BY: _____	
									PROFILE SCALE: _____	DATE: _____
										PROPERTY MANAGER
	FRANK ELWOOD DITTENHAFER, II	DGN BY: KEG	BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER
	AS-BUILT PER RECORD PRINT	DWN BY: WWP	REVIEWED BY:							
	BY: _____	CHKD BY: ELM	DATE REVIEWED:							
	DATE: _____									

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT

HOLT PARK ENHANCEMENTS

ENLARGED PLANS/INTERIOR ELEVATIONS

BUILDING IMPROVEMENTS

34 ELMONT AVE., BALTIMORE, MD 21206

ELECTION DIST. NO.: 14 c 6

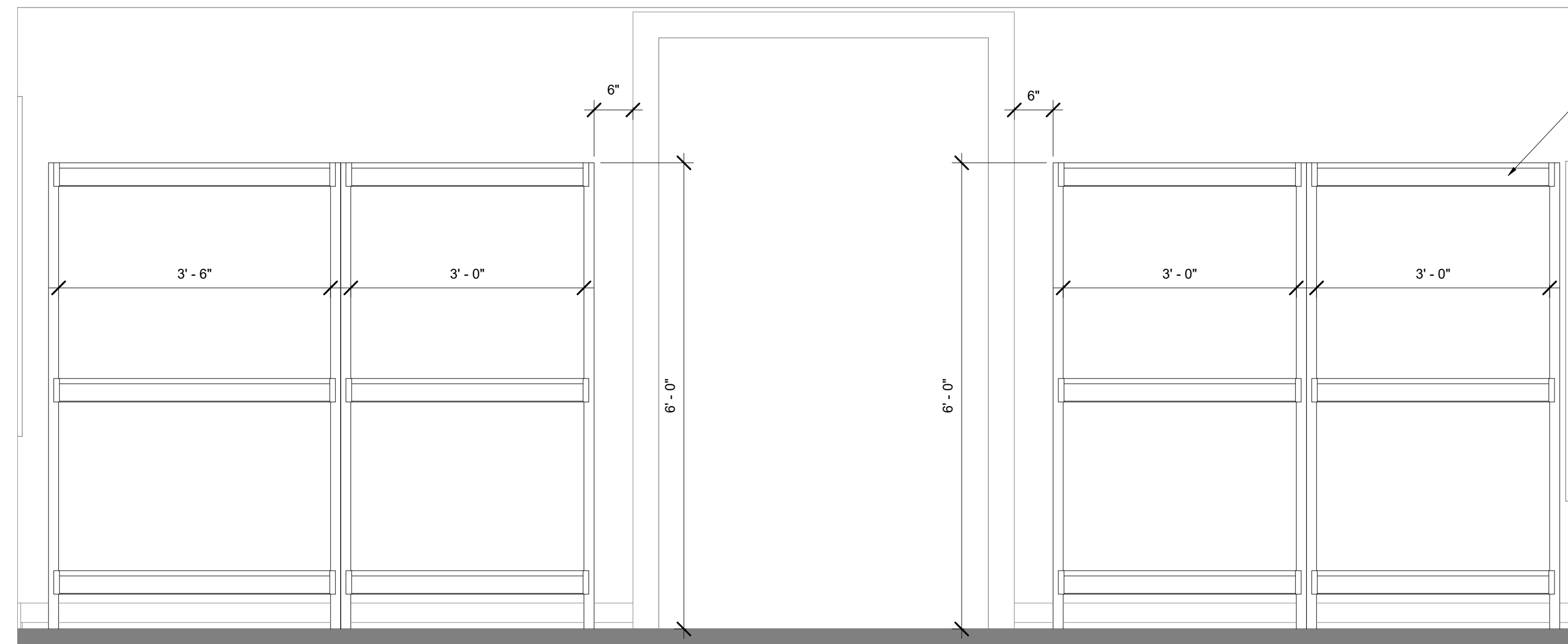
SUBDIVISION: OVERLEA

**Murphy & Dittenhafer**  
ARCHITECTS

488 South Chesapeake Street, Baltimore, Maryland 21201  
410-542-0233 ext. 410-542-0174 fax 410-542-0486

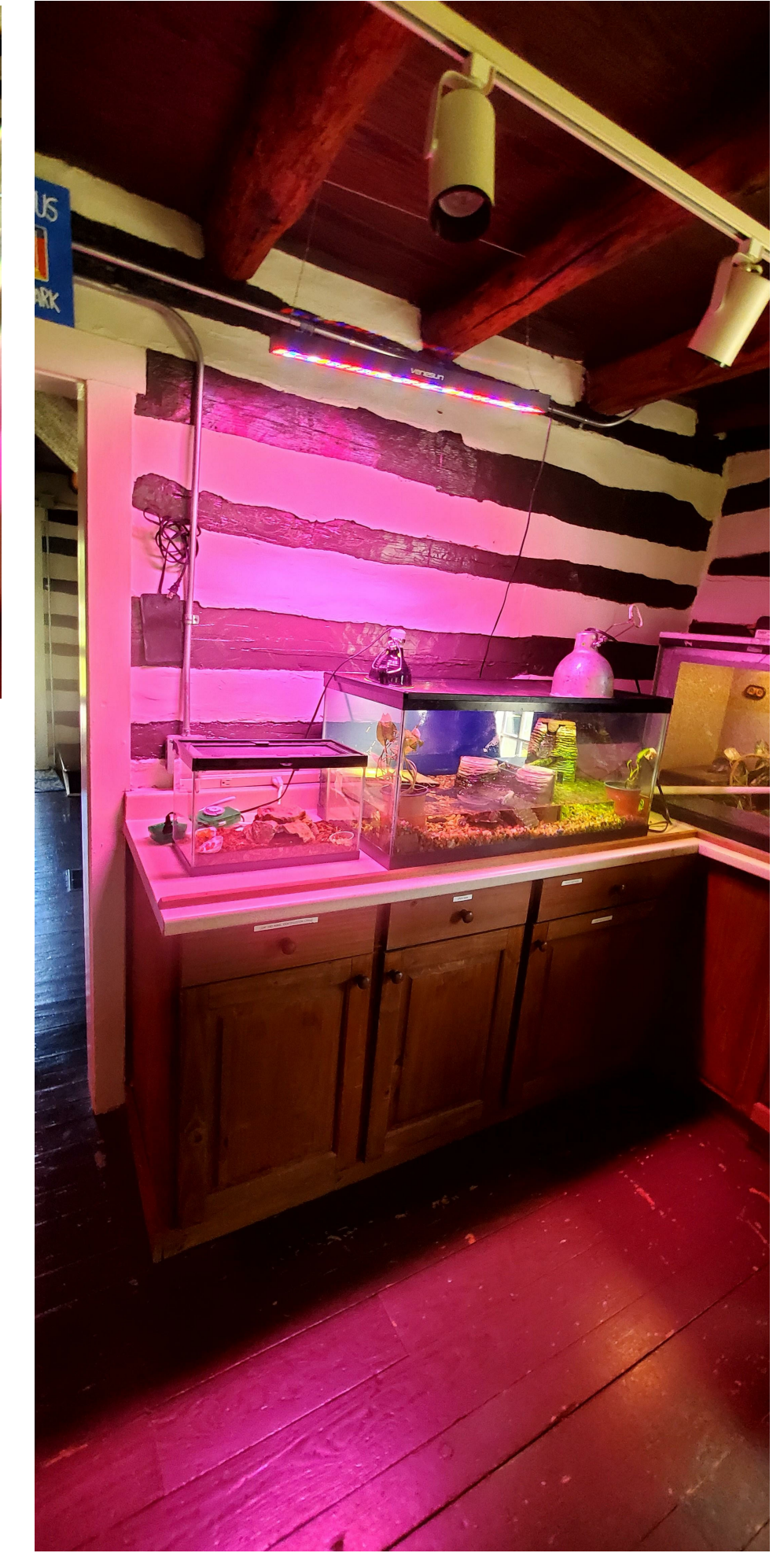
309 West Mount Street, Suite 200, Pikesville, MD 21076  
410-426-4233 ext. 410-426-4174 fax 410-426-4186

SHEET DESIGNATION	CONTRACT NUMBER
A-205	25054GX0
	JOB ORDER NUMBER
	0000971385
	SHEET 23 OF 54
	DRAWING NUMBER
	2025-1557
	FILE NO.: 8



ADJUSTABLE METAL SHELVING FOR ANIMAL TANK DISPLAY

EXISTING DISPLAY CONDITIONS



1 NATURE CABIN ELEVATION - TANK SHELVING  
3/4" = 1'-0"



Full Height HD Utility Panel

Introducing the Full Height HD Utility Panel – a polished piece that’s ready to make your end of aisle shelving shine! With holes at every 1” c/c, assembly is effortless and fast. You’ve got options too – this panel is compatible with our light duty hooks: WM9F, WM9G, WM9H, WM9J, and WM9L as well as our heavy duty hooks: WM9A and WM9B. Plus it can handle up to 50 lb/square foot (with a maximum of 500 lb evenly distributed), so you can use it for a variety of purposes. Get witty with this new shelf panel – get yours today!

SPACESAVERS - ADJUSTABLE METAL SHELVING

	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT	
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 6607 EXPIRATION DATE 06/13/2027						PNW	35NW40	PLAN SCALE: 3/4" = 1'-0"	APPROVED BY: _____	
	FRANK ELWOOD DITTENHAFER, II AS-BUILT PER RECORD PRINT		DGN BY: KCG	BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER
	BY: _____ DATE: 5/23/2025		DWN BY: MWP	REVIEWED BY: _____							

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT  
 HOLT PARK ENHANCEMENTS  
 NATURE CABIN - SHELVING  
 BUILDING IMPROVEMENTS  
 34 ELMONT AVE., BALTIMORE, MD 21206

SUBDIVISION: OVERLEA

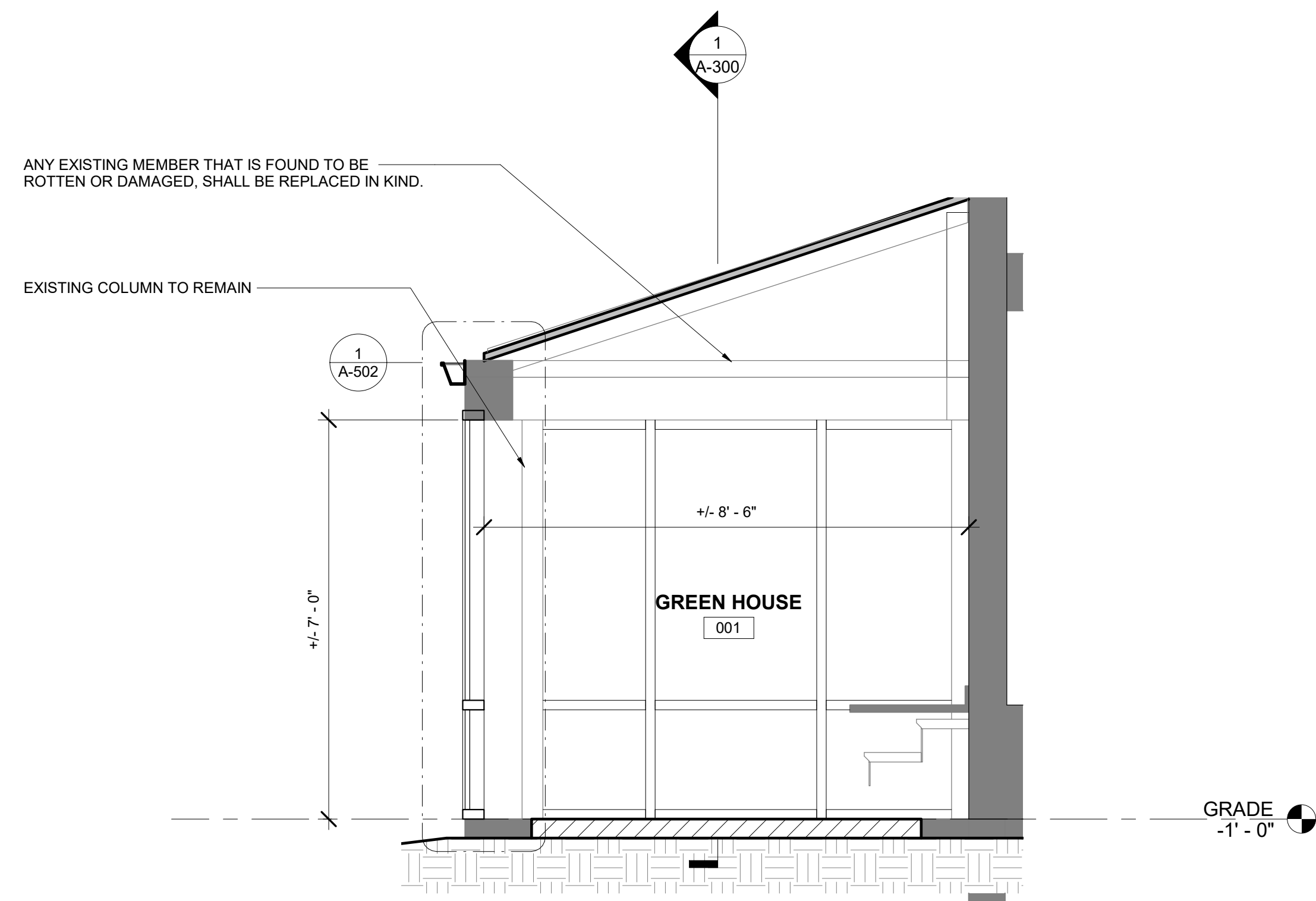
ELECTION DIST. NO.: 14 c 6

**Murphy & Dittenhafer**  
ARCHITECTS

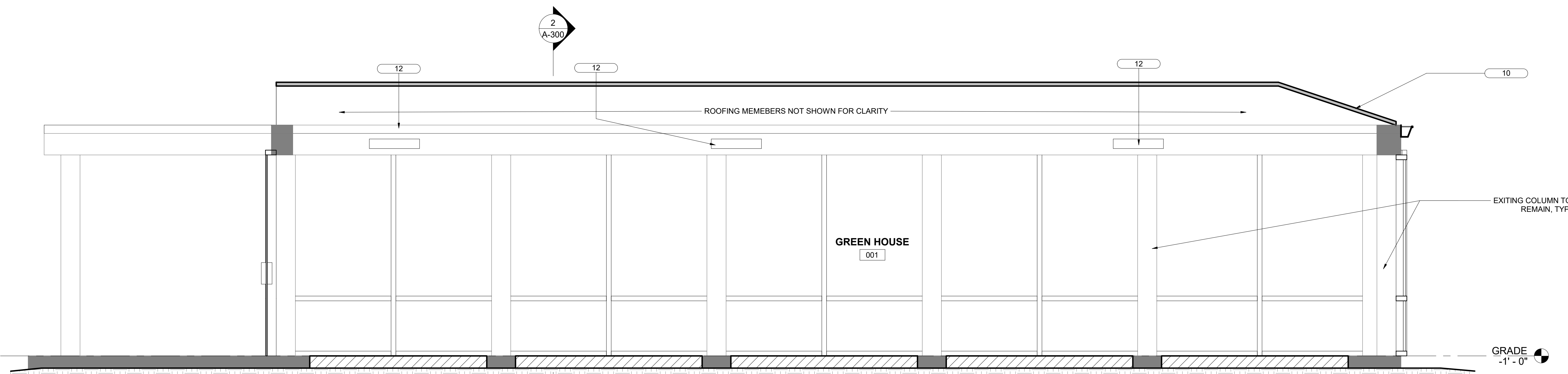
488 South Charles Street, Baltimore, Maryland 21201  
410-528-0232 ext. 410-528-0174 fax 410-528-0486

SHEET DESIGNATION	CONTRACT NUMBER
A-206	25054GX0
JOB ORDER NUMBER	0000971385
SHEET 24 OF 54	DRAWING NUMBER
	2025-1558
	FILE NO.: 8

KEYNOTE LEGEND	
TAG	DESCRIPTION
10	NEW POLYCARBONATE ROOF PANELS OVER PRESSURE TREATED WOOD FRAMING, NEW FRAMING MEMEBERS PAINTED TO MATCH ADJACENT PAINT & FINISH
12	NEW LED STRIP LIGHTING



2 GREEN HOUSE CROSS SECTION - NEW WORK  
1/2" = 1'-0"



1 GREEN HOUSE SECTION - NEW WORK  
1/2" = 1'-0"

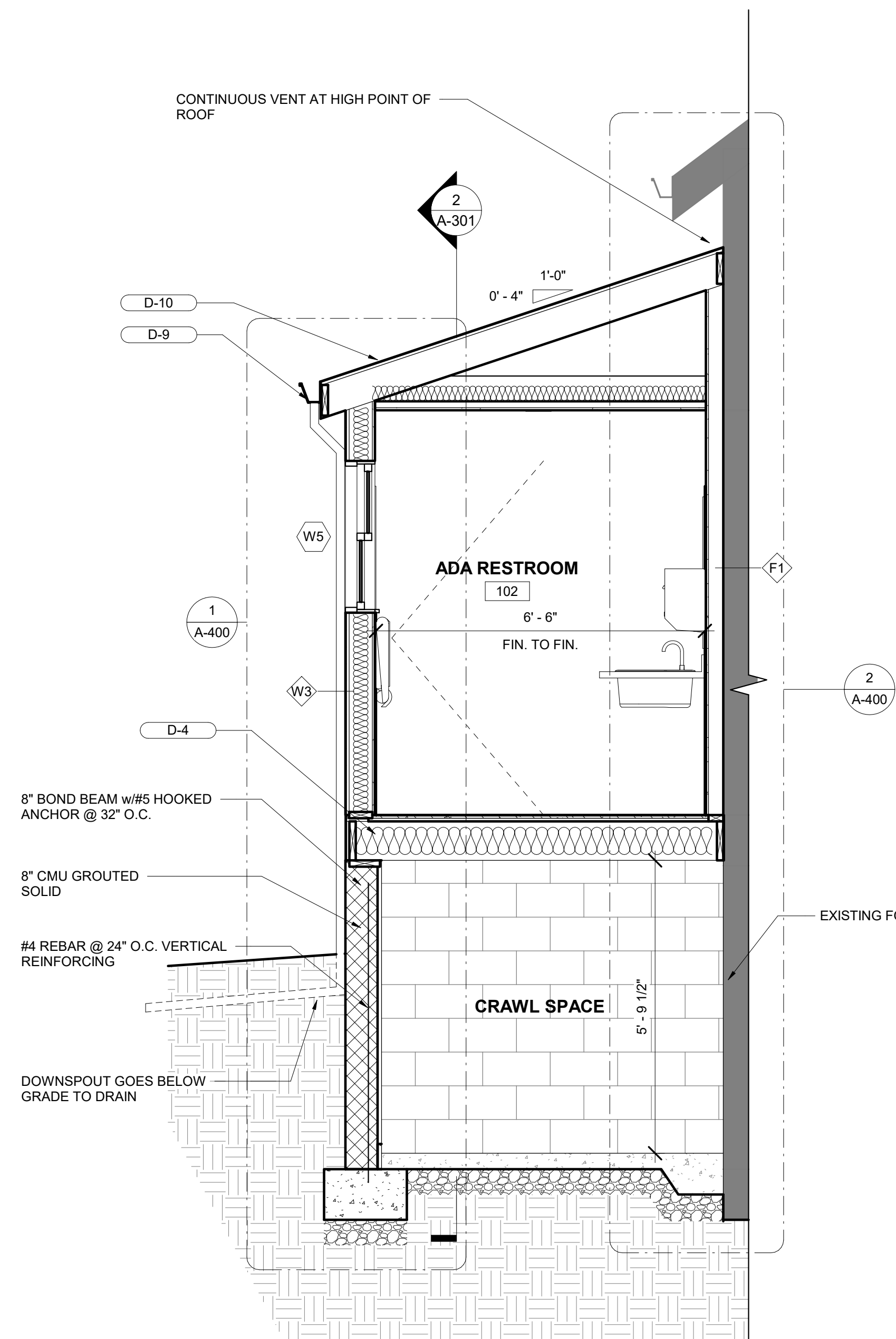
SEAL	PROFESSIONAL CERTIFICATION	AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT		
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 6607 EXPIRATION DATE 06/13/2027 FRANK ELWOOD DITTENHAFER, II AS-BUILT PER RECORD PRINT BY: DATE:					PNW	35NW40	PLAN SCALE: 1/2" = 1'-0"	APPROVED BY: _____ PROPERTY MANAGER		
									PROFILE SCALE: _____	DATE: _____	
		BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER		

**BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT**  
 HOLT PARK ENHANCEMENTS  
**BUILDING SECTIONS - GREEN HOUSE**  
 BUILDING IMPROVEMENTS  
 34 ELMONT AVE., BALTIMORE, MD 21206  
 SUBDIVISION: OVERLEA

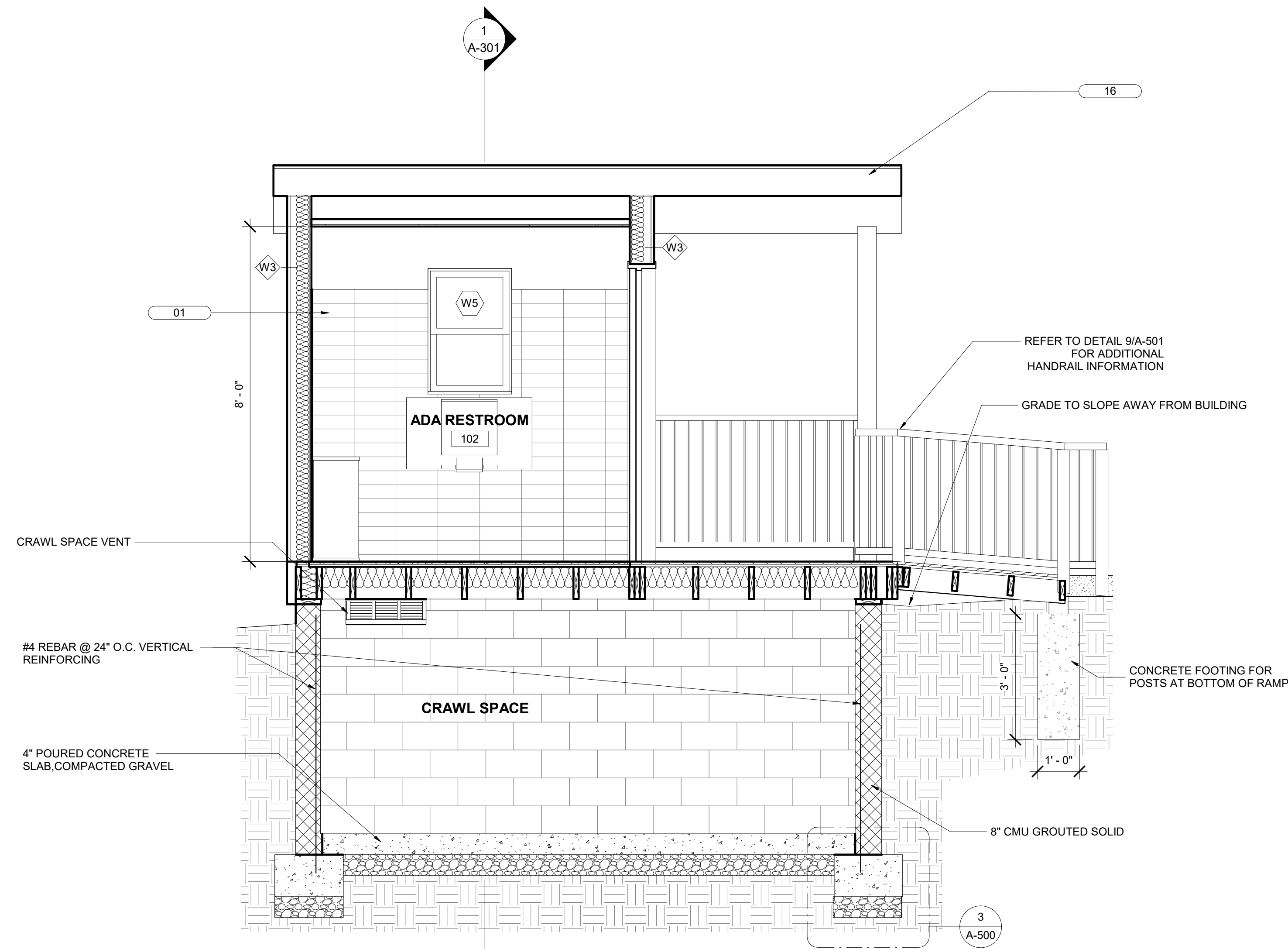
SHEET DESIGNATION: **A-300** CONTRACT NUMBER: **25054GX0**  
 JOB ORDER NUMBER: **0000971385**  
 SHEET **25** OF **54**  
 DRAWING NUMBER: **2025-1559**  
 FILE NO.: 8

C:\Users\legj\Documents\241001 Holt Park Improvements\_14pMDA.rvt

KEYNOTE LEGEND	
TAG	DESCRIPTION
01	4"x12" CERAMIC WALL TILE
16	ASPHALT SHINGLE ROOF, T&G 5/8" PLYWOOD SHEATHING,
D-4	6" KRAFT-FACED BATT INSULATION
D-9	ALUMINUM GUTTER & DOWNSPOUT TO MATCH EXISTING
D-10	ARCHITECTURAL ASPHALT SHINGLES TO MATCH EXISTING ADHERED WRB, 3/4" EXT. GR. PLYWOOD, WD



1 GARDEN CABIN - ADA BATHROOM SECTION 2  
1/2" = 1'-0"



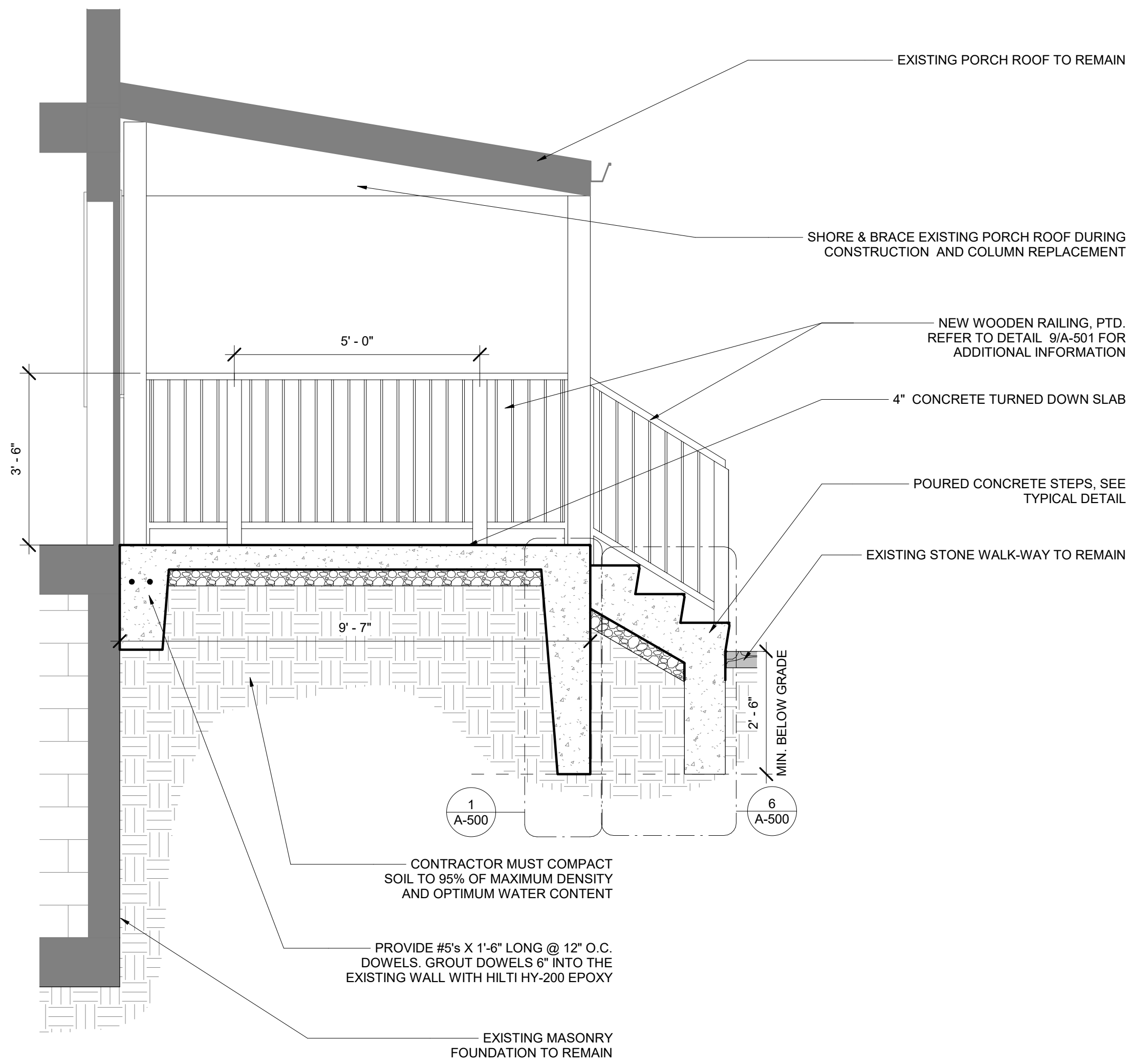
2 GARDEN CABIN - ADA BATHROOM SECTION 1  
1/2" = 1'-0"

SEAL	PROFESSIONAL CERTIFICATION	AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT		
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 6607 EXPIRATION DATE 06/13/2027 FRANK ELWOOD DITTENHAFER, II AS-BUILT PER RECORD PRINT BY: DATE:					PNW	35NW40	PLAN SCALE: 1/2" = 1'-0"	APPROVED BY: _____ PROPERTY MANAGER		
									PROFILE SCALE: _____	DATE: _____	

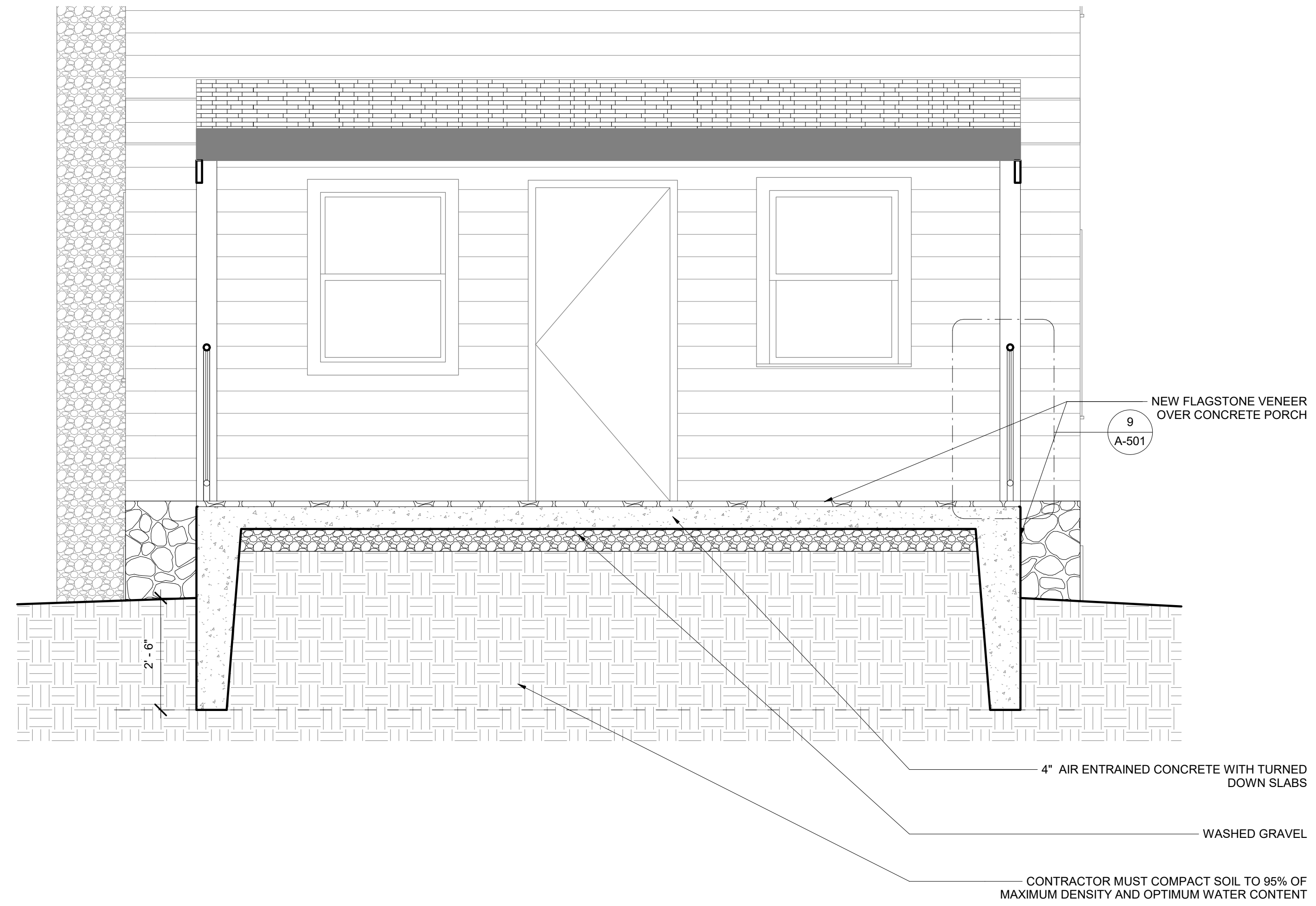
**BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT**  
 HOLT PARK ENHANCEMENTS  
**BUILDING SECTIONS - ADA RESTROOM**  
 BUILDING IMPROVEMENTS  
 34 ELMONT AVE., BALTIMORE, MD 21206  
 ELECTION DIST. NO.: 14 c 6

SUBDIVISION: OVERLEA

SHEET DESIGNATION: **A-301**  
 CONTRACT NUMBER: **25054GX0**  
 JOB ORDER NUMBER: **0000971385**  
 SHEET **26** OF **54**  
 DRAWING NUMBER: **2025-1560**  
 FILE NO.: 8



① NATURE CABIN PORCH - SECTION  
1/2" = 1'-0"



② NATURE CABIN PORCH - CROSS SECTION  
1/2" = 1'-0"

SEAL



PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 6607 EXPIRATION DATE 06/13/2027						PNW	35NW40	PLAN SCALE: 1/2" = 1'-0"	APPROVED BY: _____
FRANK ELWOOD DITTENHAFER, II					R.O.W. NO.		PROFILE SCALE: _____	DATE: _____	
AS-BUILT PER RECORD PRINT					CONTRACT COMPLETION BOX			PROPERTY MANAGER	
BY: _____	DGN BY: KCG	BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER
DATE: _____	CHKD BY: RLM	REVIEWED BY: _____							
		DATE REVIEWED: _____							

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT

HOLT PARK ENHANCEMENTS

BUILDING SECTIONS - NATURE CABIN PORCH SECTIONS

BUILDING IMPROVEMENTS

34 ELMONT AVE., BALTIMORE, MD 21206

ELECTION DIST. NO.: 14 c 6

SUBDIVISION: OVERLEA

**Murphy & Dittenhafer**  
ARCHITECTS

608 South Chesapeake Street, Baltimore, Maryland 21201  
410-636-0233 ext. 410-636-0174 fax 410-636-0174

SHEET DESIGNATION CONTRACT NUMBER

A-302 25054GX0

JOB ORDER NUMBER

'0000971385

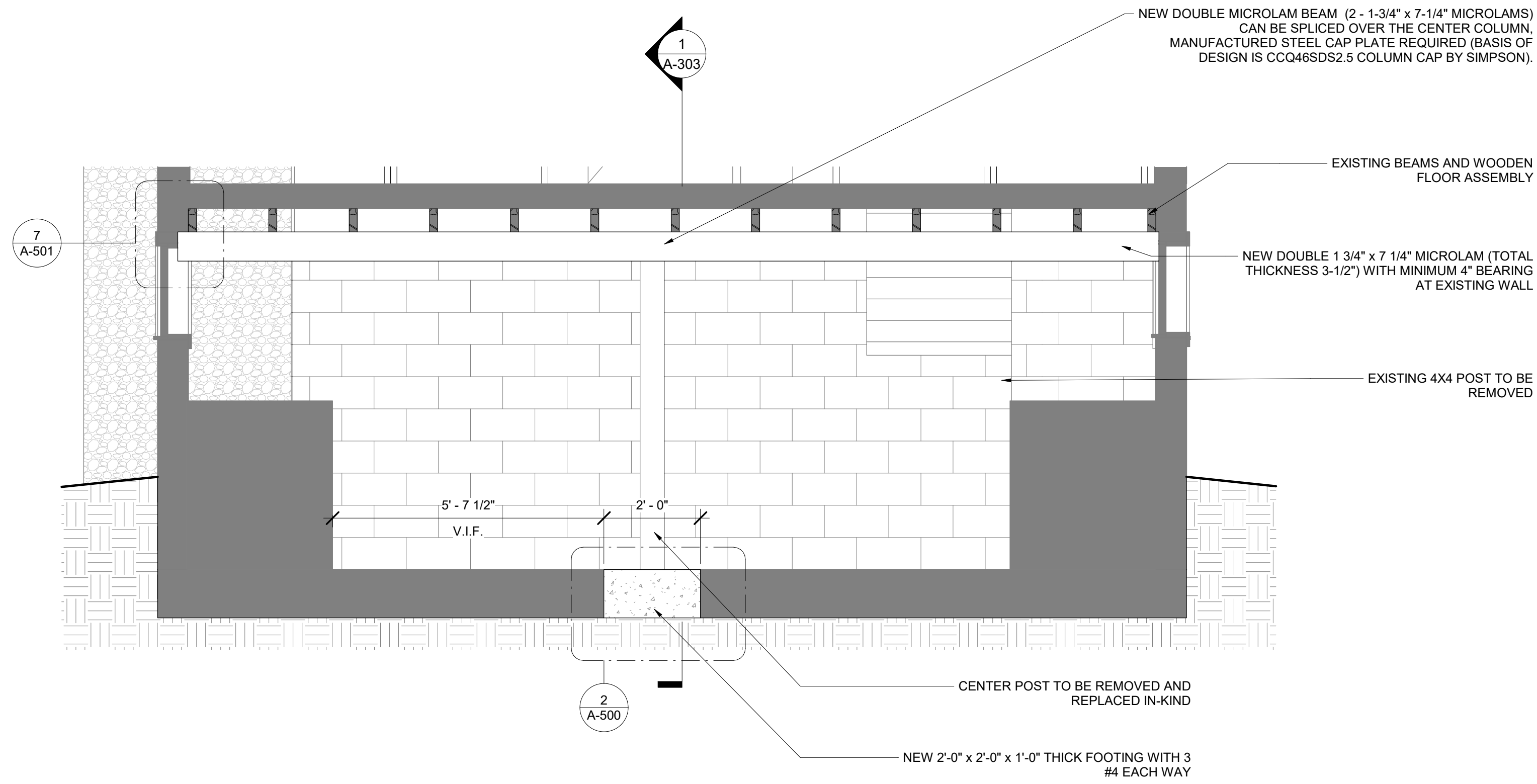
SHEET 27 OF 54

DRAWING NUMBER

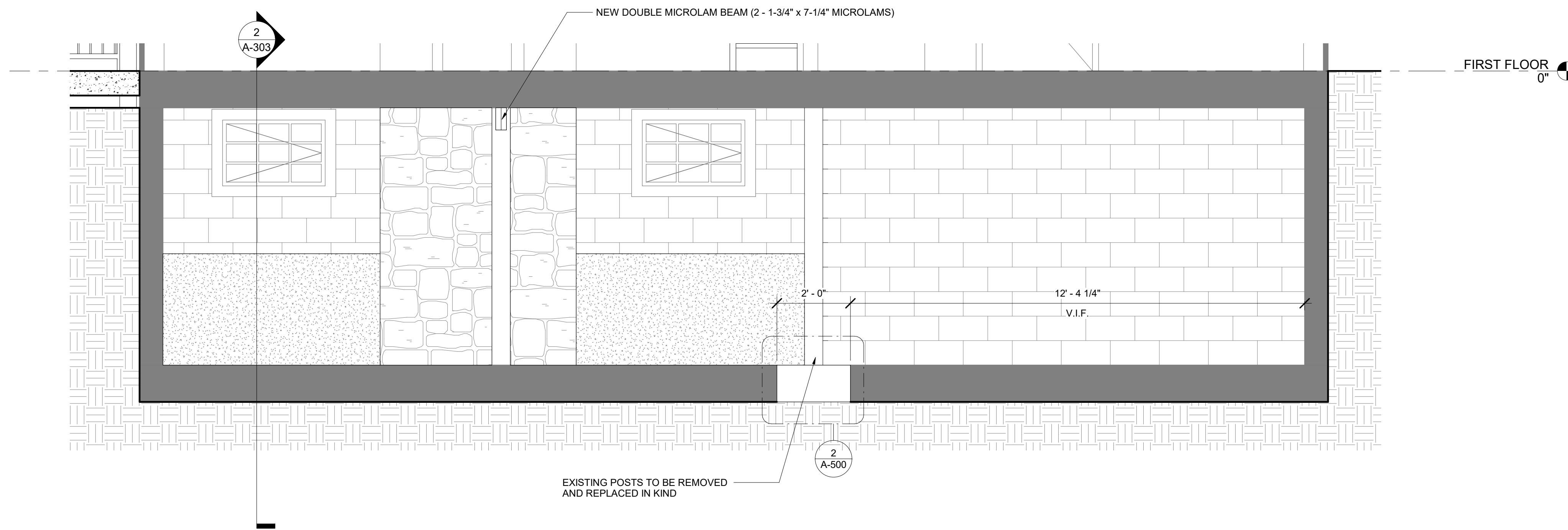
2025-1561

FILE NO.: 8





2 NATURE CABIN CROSS SECTION  
1/2" = 1'-0"



1 NATURE CABIN BASEMENT SECTION  
1/2" = 1'-0"

SEAL	PROFESSIONAL CERTIFICATION	AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT		
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									PROFILE SCALE: _____	DATE: _____	
		BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER		

SUBDIVISION: OVERLEA

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT  
 HOLT PARK ENHANCEMENTS  
 NATURE CABIN BASEMENT SECTIONS  
 BUILDING IMPROVEMENTS  
 34 ELMONT AVE., BALTIMORE, MD 21206

ELECTION DIST. NO.: 14 c 6

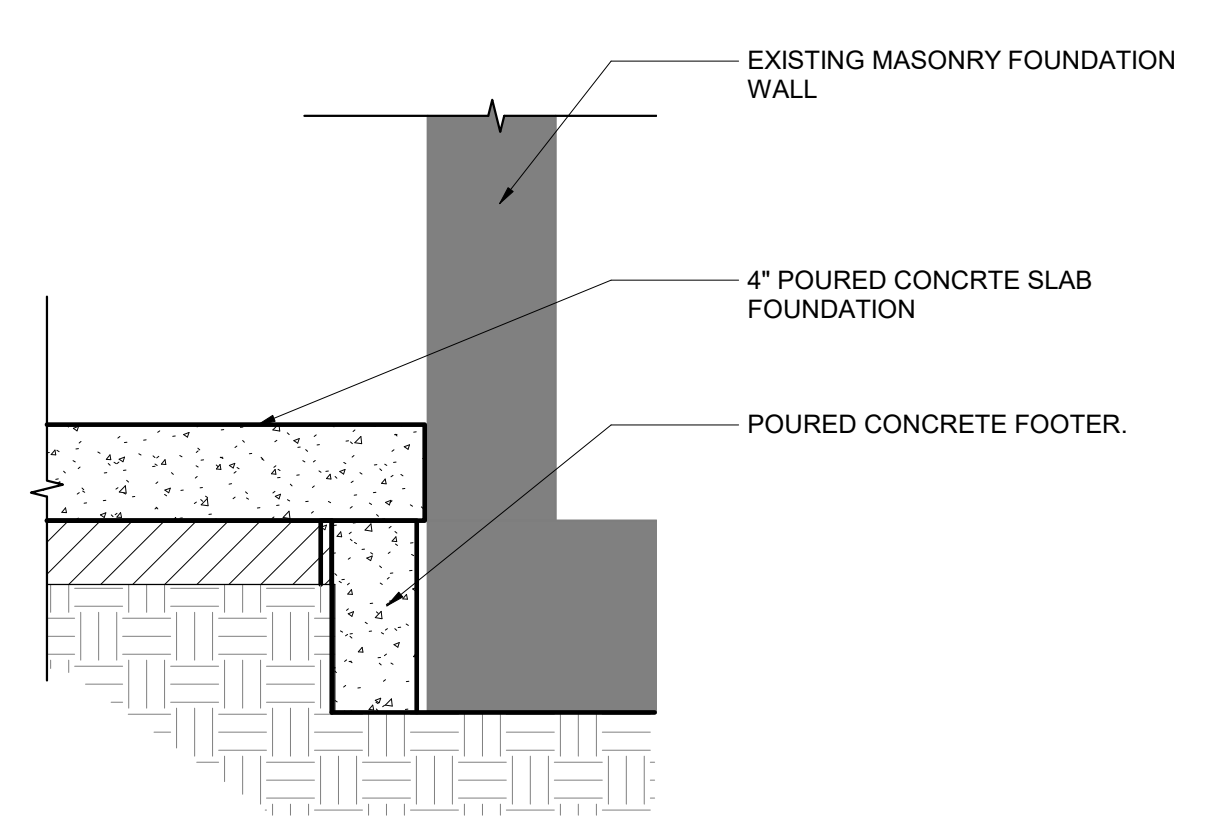
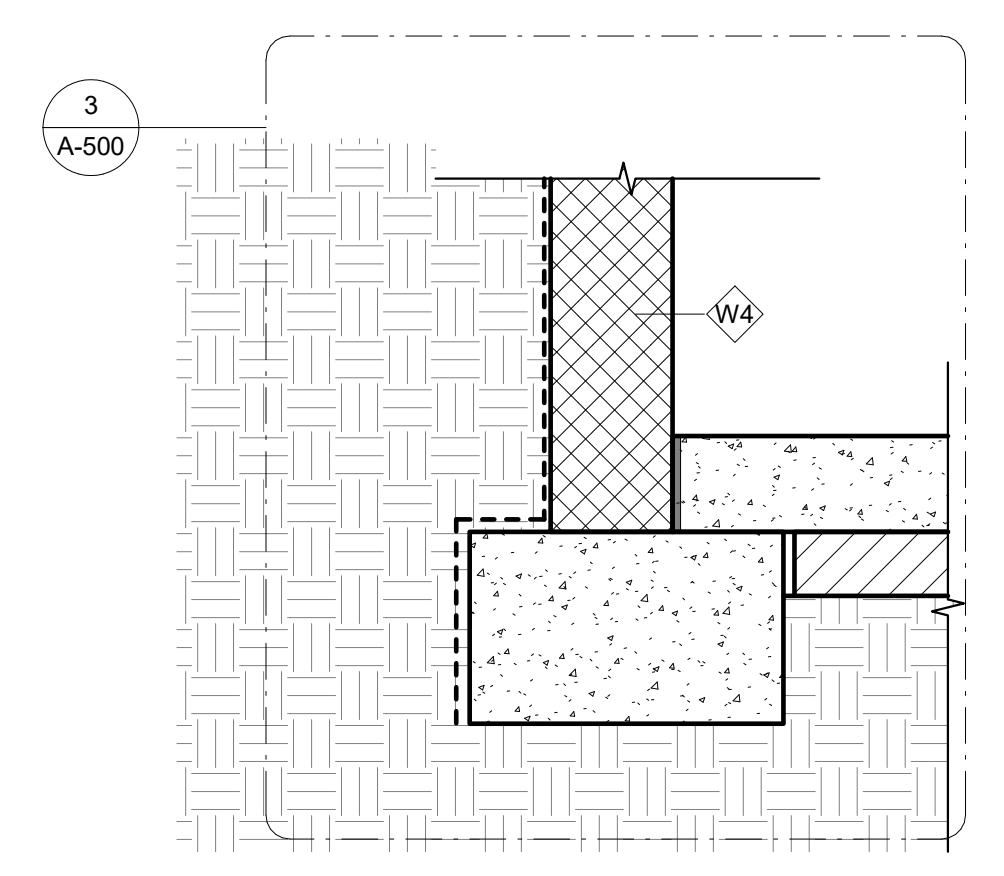
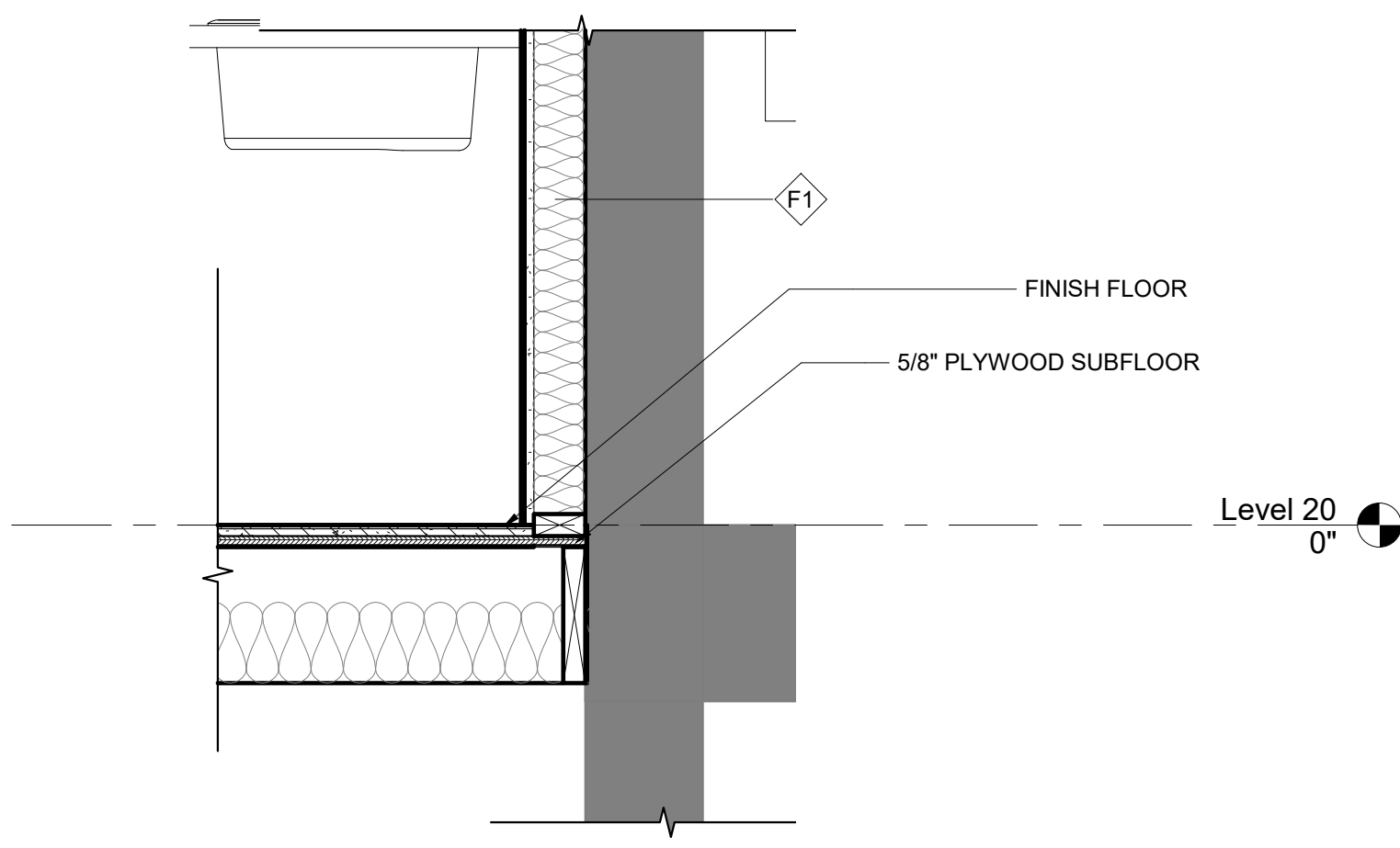
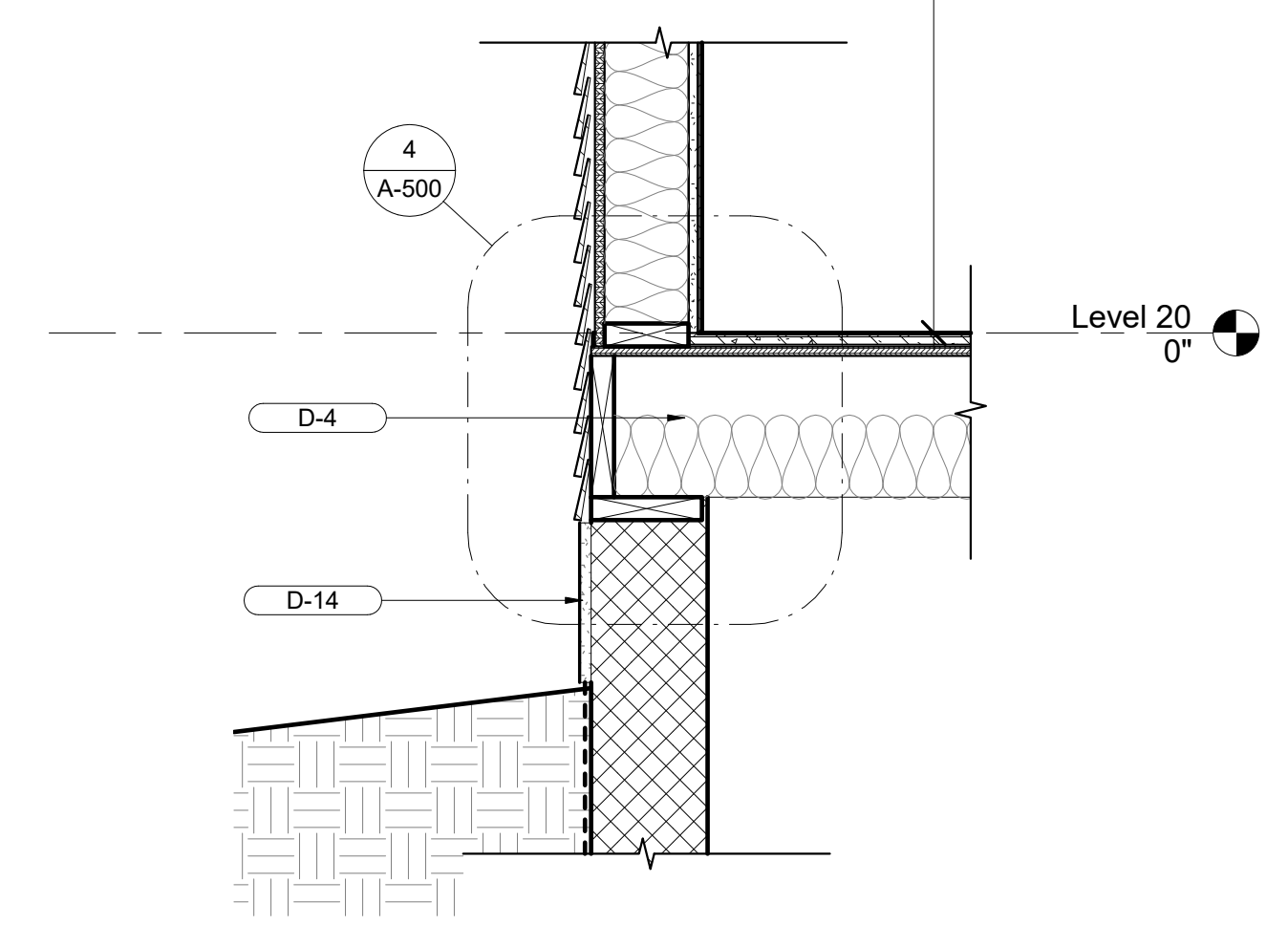
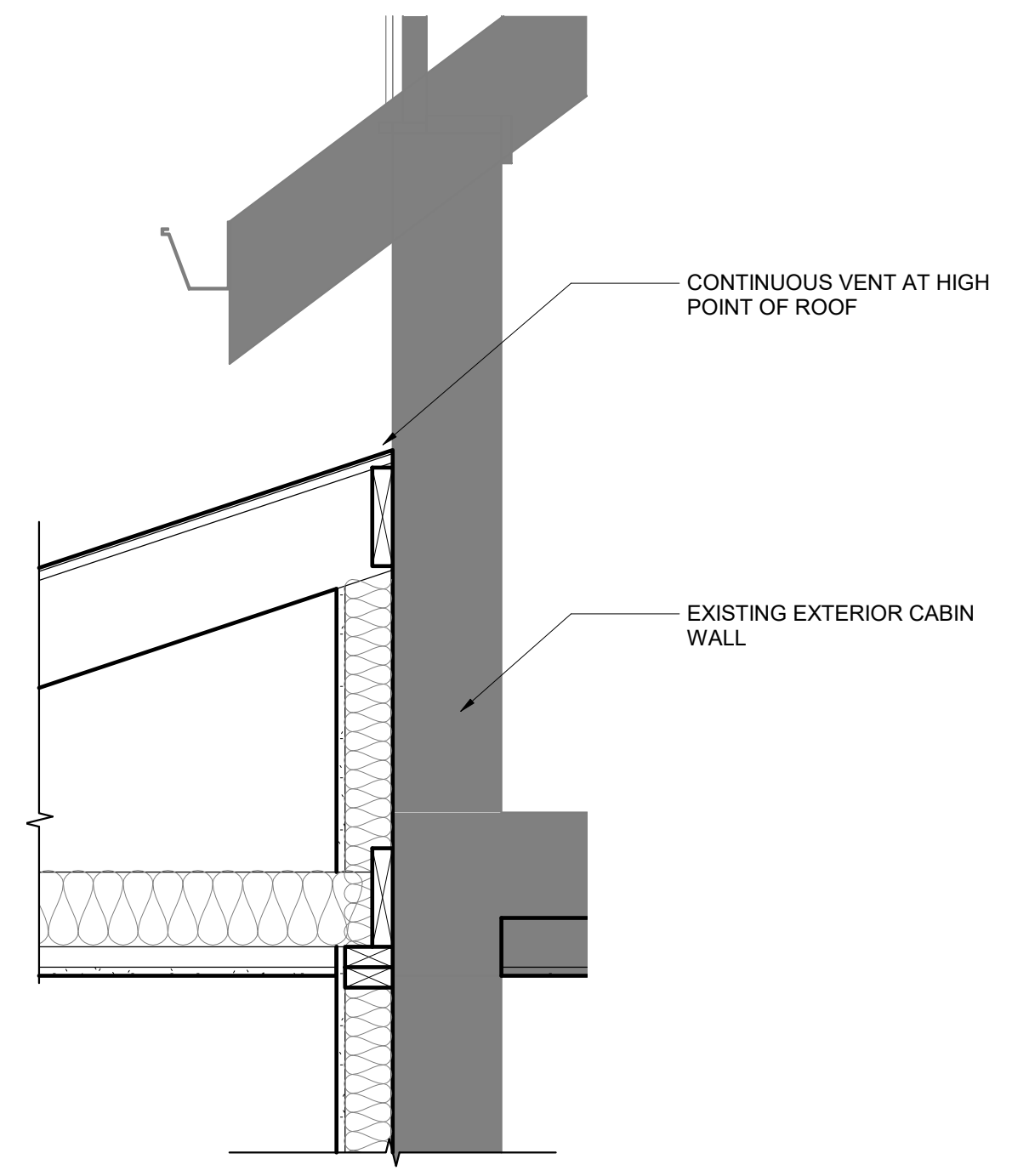
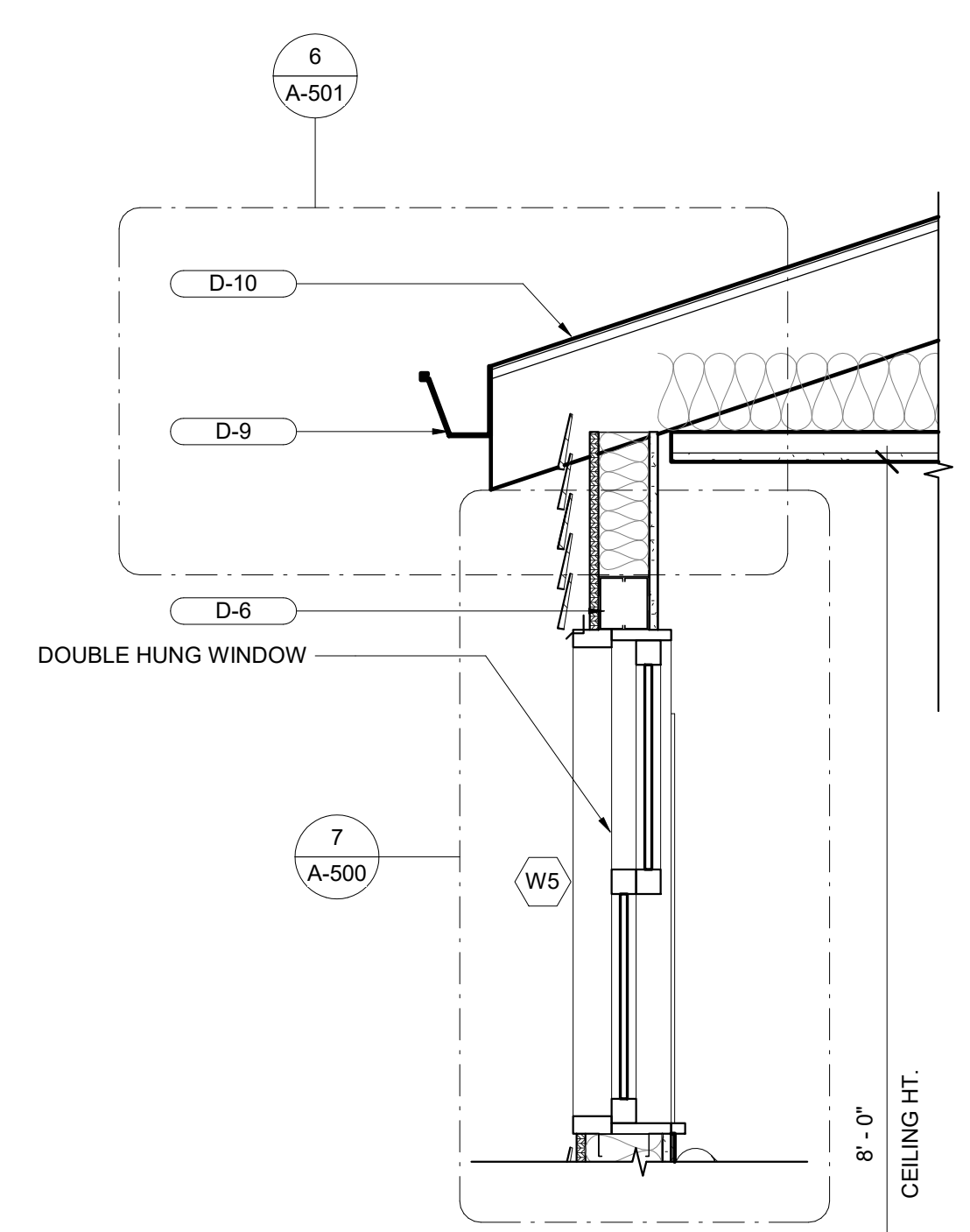
**Murphy & Dittenhafer**  
ARCHITECTS

660 North Charles Street, Baltimore, Maryland 21201  
410.528.4232 ext. 4102 or 4110 ext. 4102

200 West Howard Street, Suite 1100, Pikesville, MD 21110  
771.646.0211 ext. 1110 or 1100

SHEET DESIGNATION	CONTRACT NUMBER
A-303	25054GX0
JOB ORDER NUMBER	0000971385
SHEET 28 OF 54	DRAWING NUMBER
	2025-1562
FILE NO.: 8	

KEYNOTE LEGEND	
TAG	DESCRIPTION
D-4	6" KRAFT-FACED BATT INSULATION
D-6	BOX BEAM
D-9	ALUMINUM GUTTER & DOWNSPOUT TO MATCH EXISTING
D-10	ARCHITECTURAL ASPHALT SHINGLES TO MATCH EXISTING ADHERED WRB, 3/4" EXT. GR. PLYWOOD, WD
D-14	8" CMU GROUTED SOLID



① ADA RESTROOM WALL SECTION -1  
1" = 1'-0"

② ADA RESTROOM WALL SECTION -2  
1" = 1'-0"

SEAL	PROFESSIONAL CERTIFICATION	AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT		
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									PROFILE SCALE:	DATE: _____	

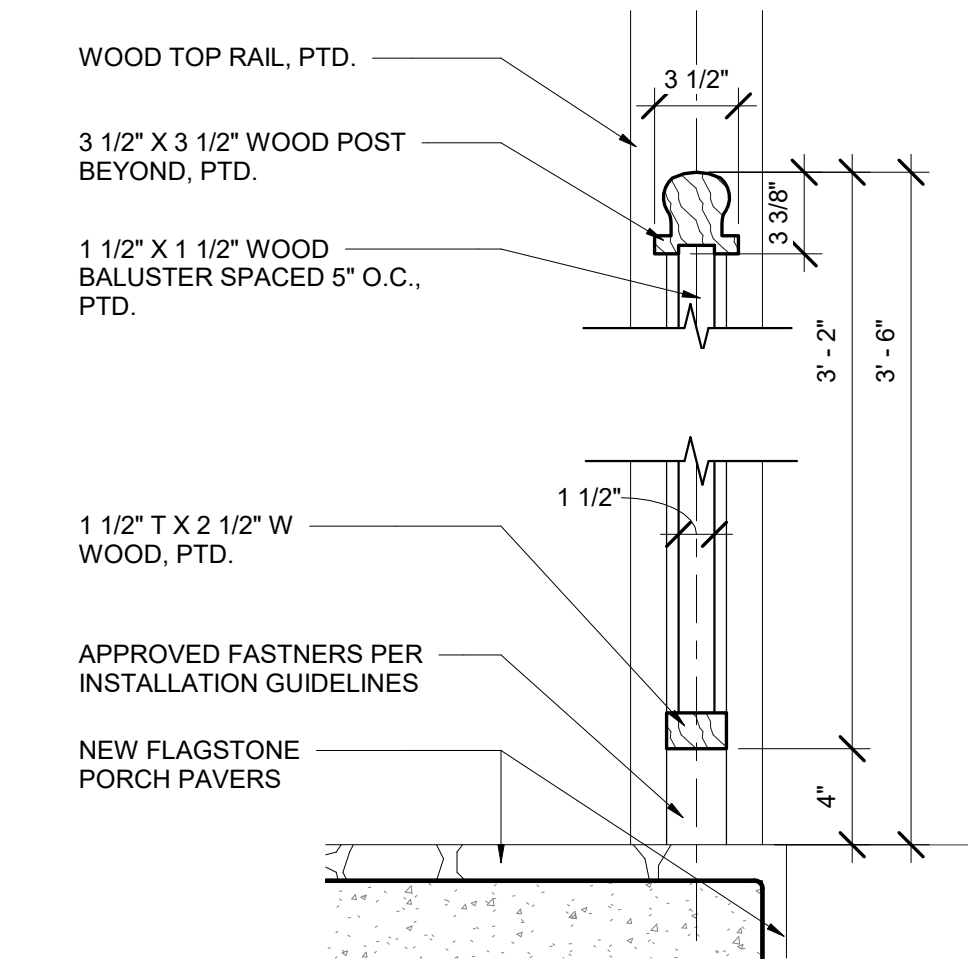
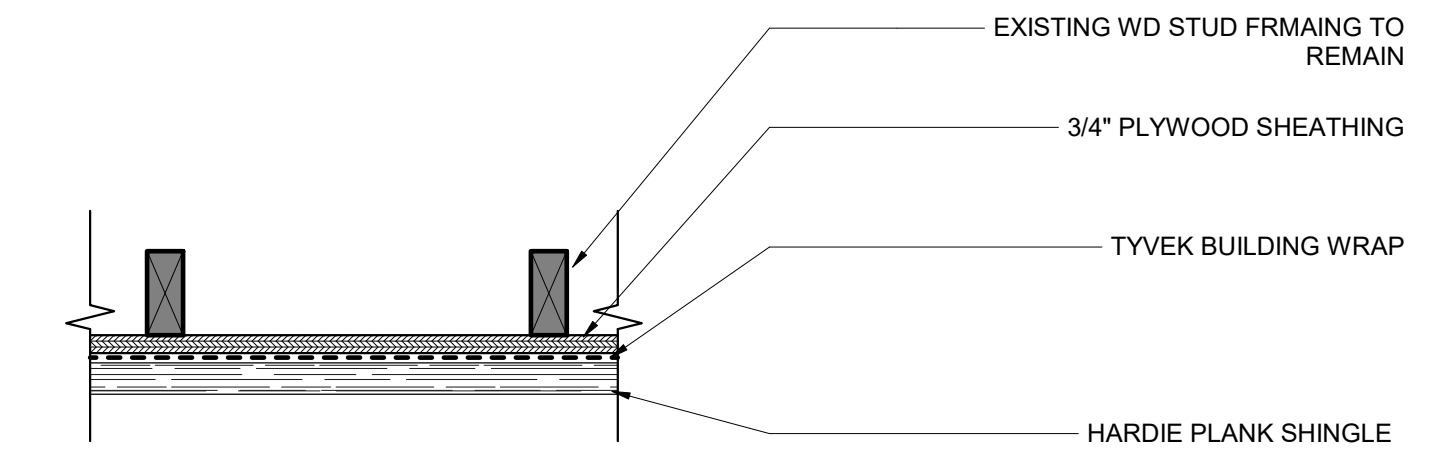
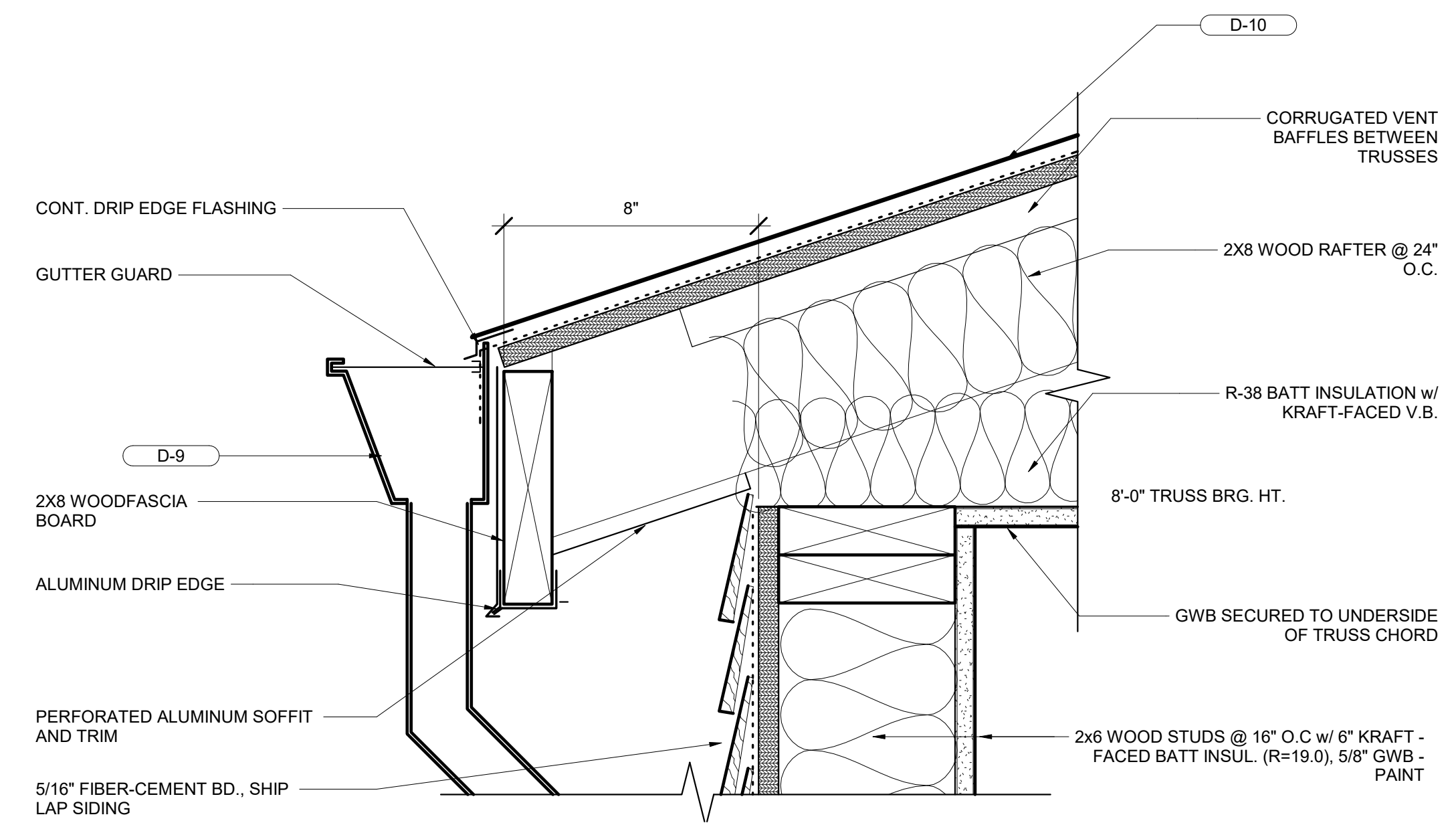
**BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT**  
 HOLT PARK ENHANCEMENTS  
**ENLARGED WALL SECTIONS**  
 BUILDING IMPROVEMENTS  
 34 ELMONT AVE., BALTIMORE, MD 21206  
 SUBDIVISION: OVERLEA

SHEET DESIGNATION: **A-400** CONTRACT NUMBER: **25054GX0**  
 JOB ORDER NUMBER: **0000971385**  
 SHEET 29 OF 54  
 DRAWING NUMBER: **2025-1563**  
 FILE NO.: 8

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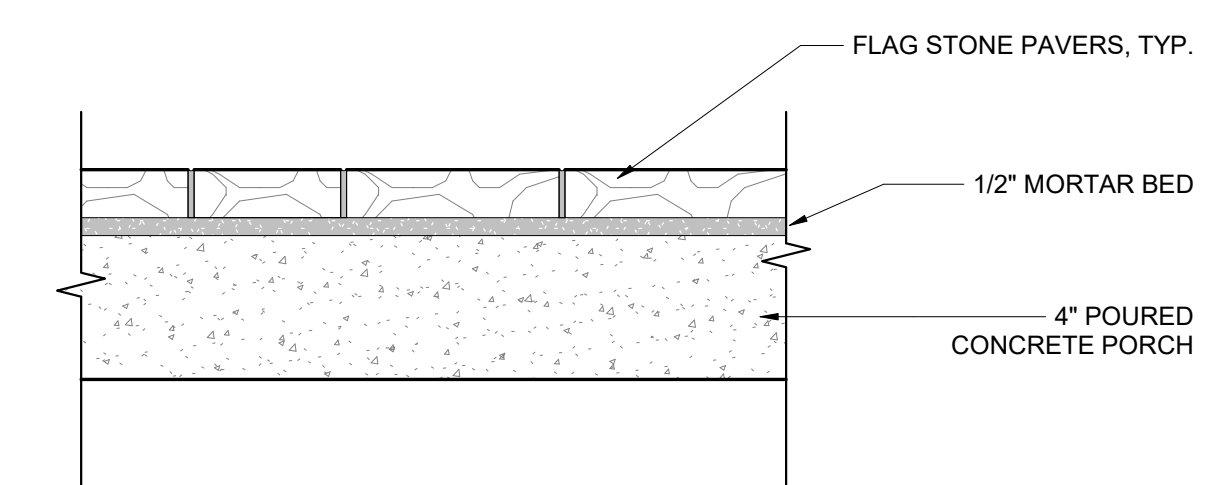
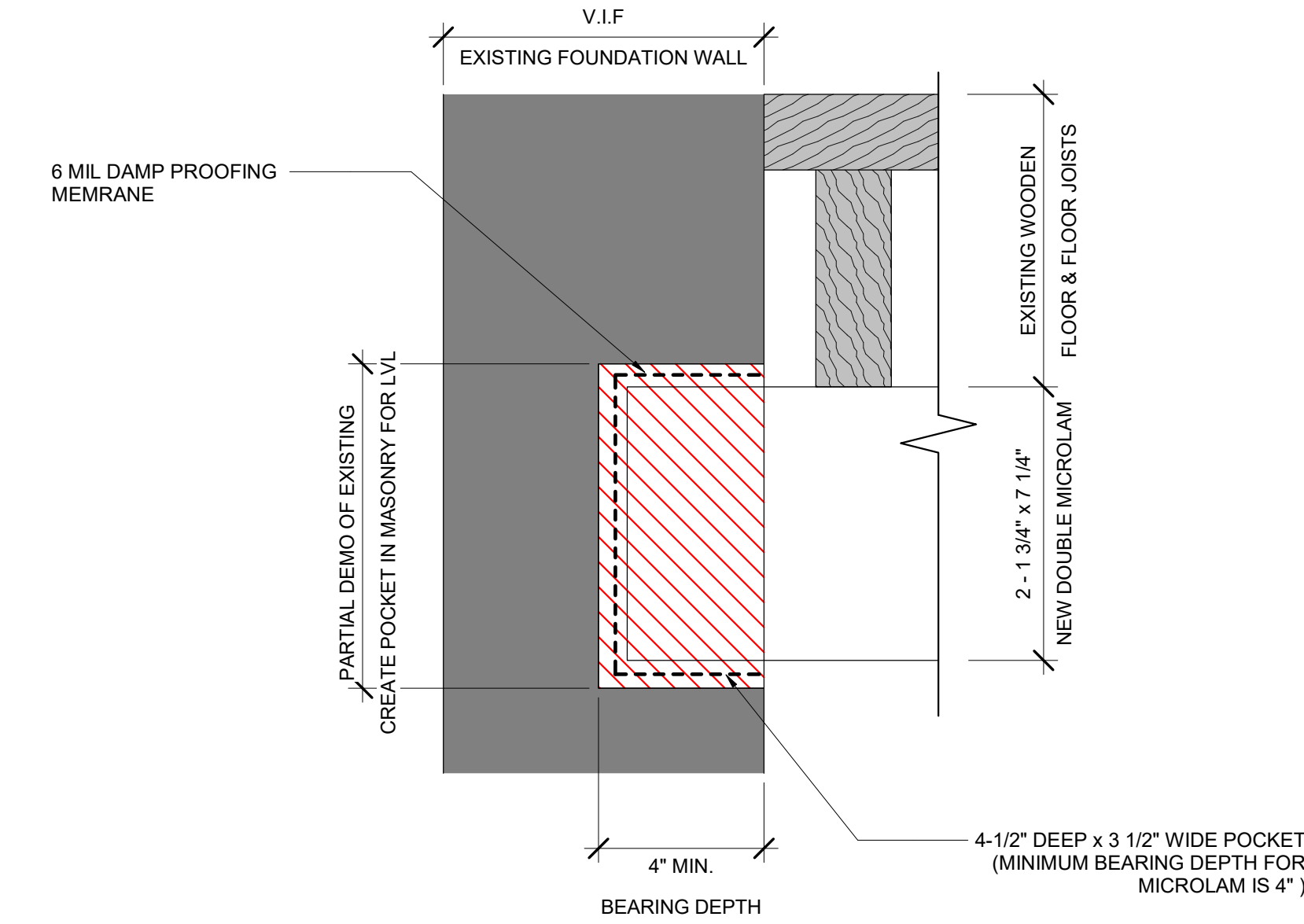
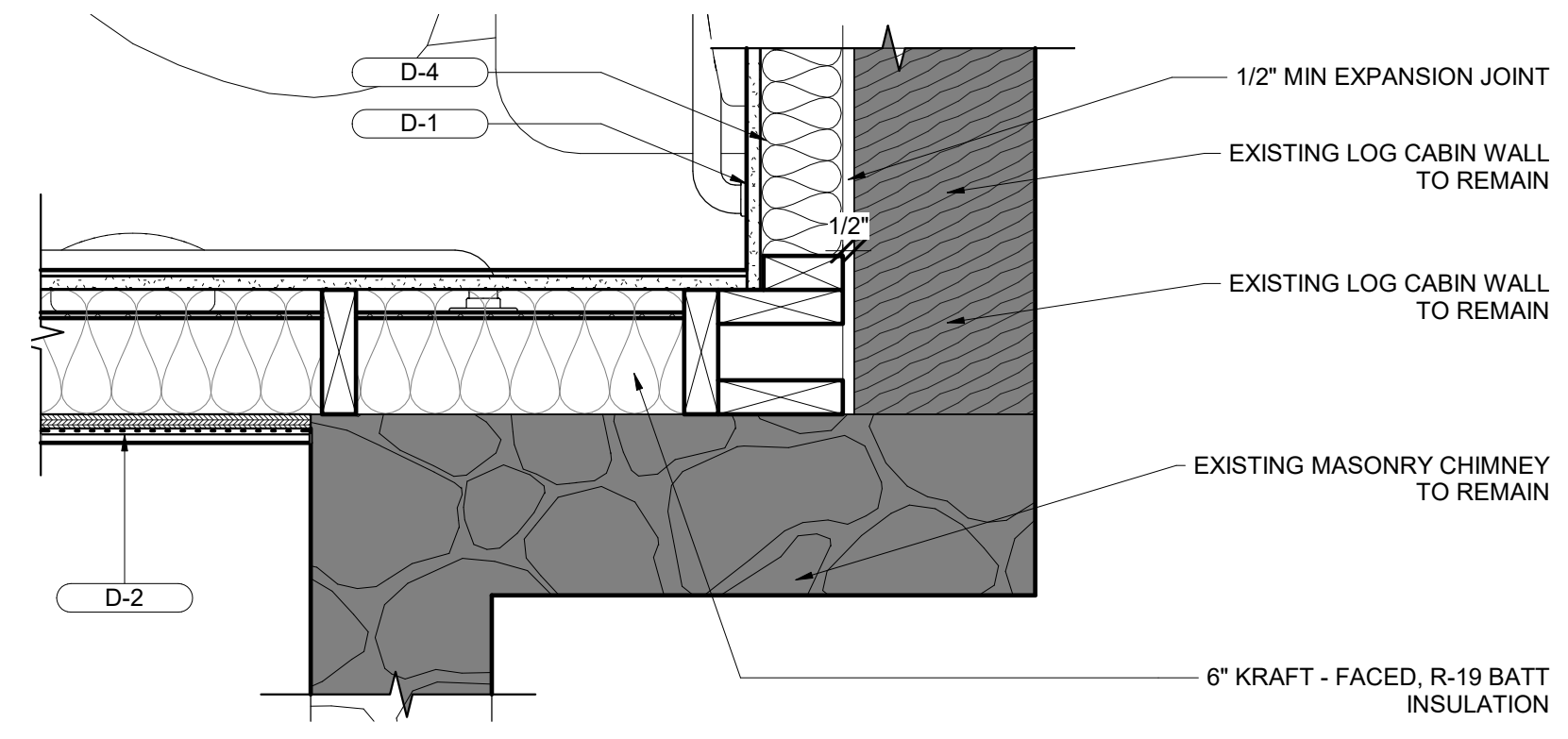
KEYNOTE LEGEND	
TAG	DESCRIPTION
D-1	5/8" GYP. WALL BOARD
D-2	7/16" OSB SHEATHING
D-4	6" KRAFT-FACED BATT INSULATION
D-5	2x6 WOOD STUDS @ 16" O.C.
D-9	ALUMINUM GUTTER & DOWNSPOUT TO MATCH EXISTING
D-10	ARCHITECTURAL ASPHALT SHINGLES TO MATCH EXISTING ADHERED WRB, 3/4" EXT. GR. PLYWOOD, WD



6 EAVE SECTION DETAIL  
3" = 1'-0"

5 HARDIE PLANK SIDING PLAN DETAIL  
1 1/2" = 1'-0"

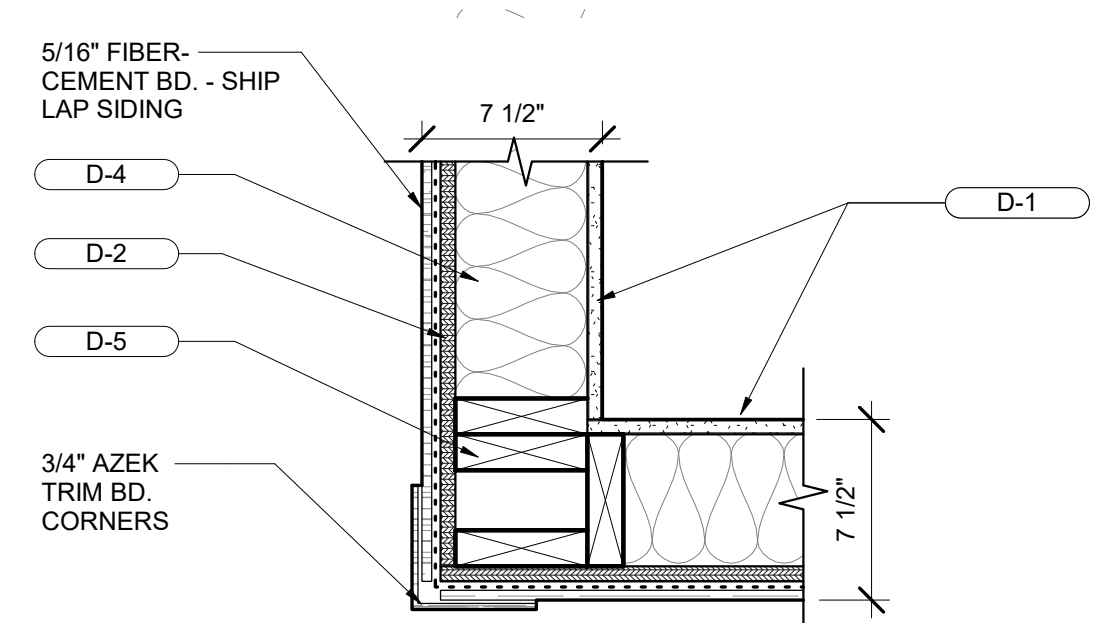
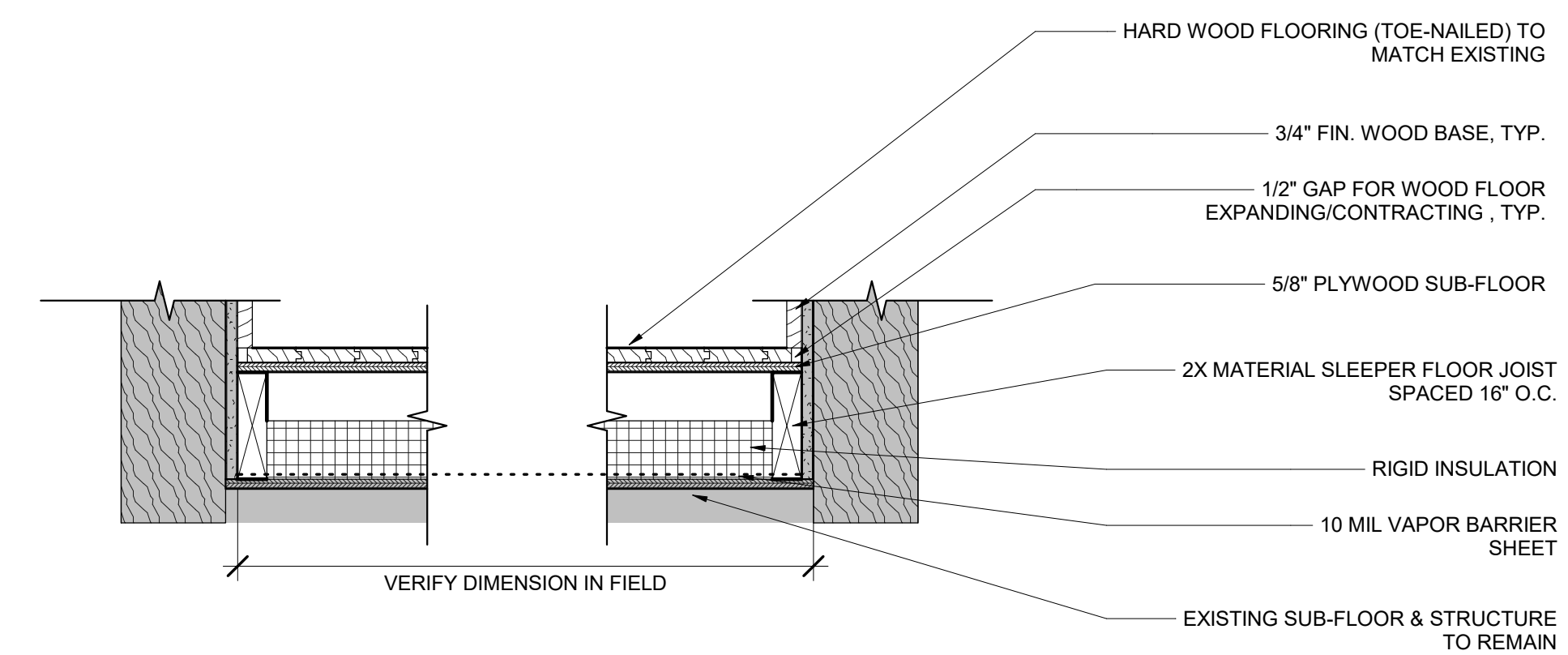
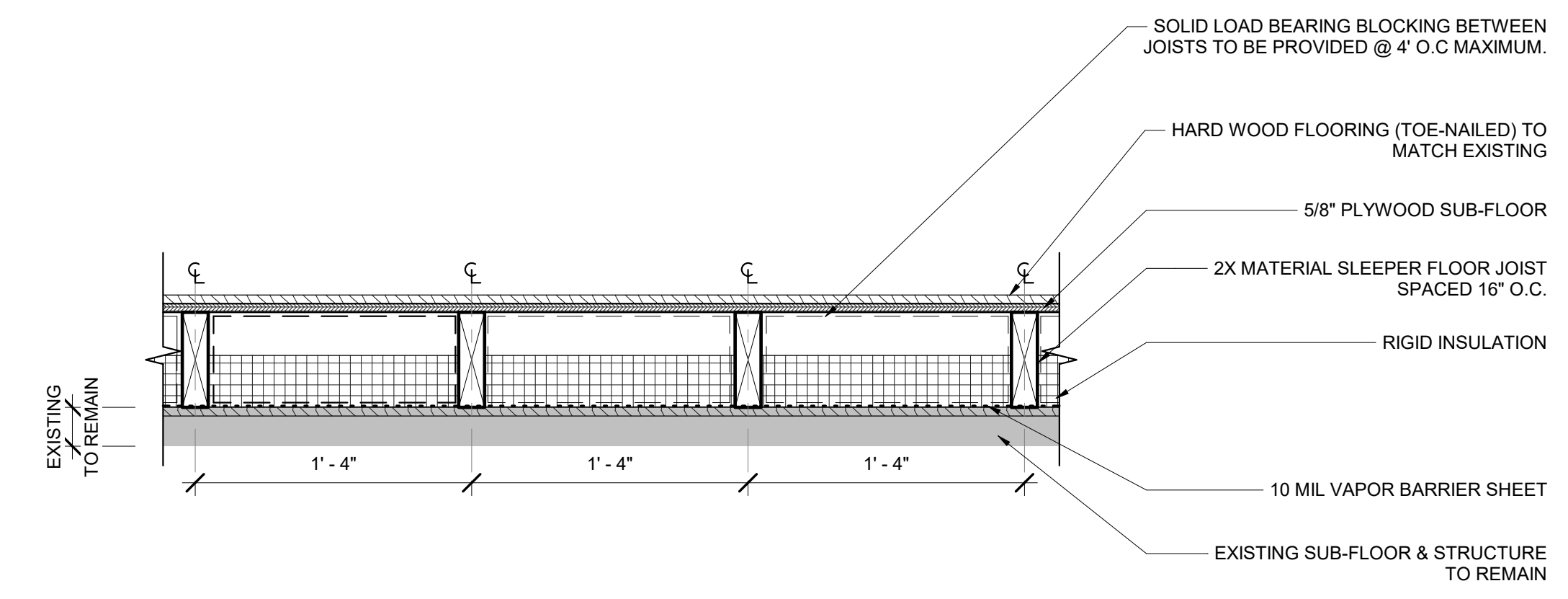
9 RAILING DETAIL  
1 1/2" = 1'-0"



4 PLAN CORNER DETAIL - 2  
1 1/2" = 1'-0"

7 BEAM POCKET DETAIL  
3" = 1'-0"

8 FLAG STONE PORCH DETAIL  
1 1/2" = 1'-0"



1 SLEEPER SECTION DETAILS  
1 1/2" = 1'-0"

2 SLEEPER CROSS SECTION DETAIL  
1 1/2" = 1'-0"

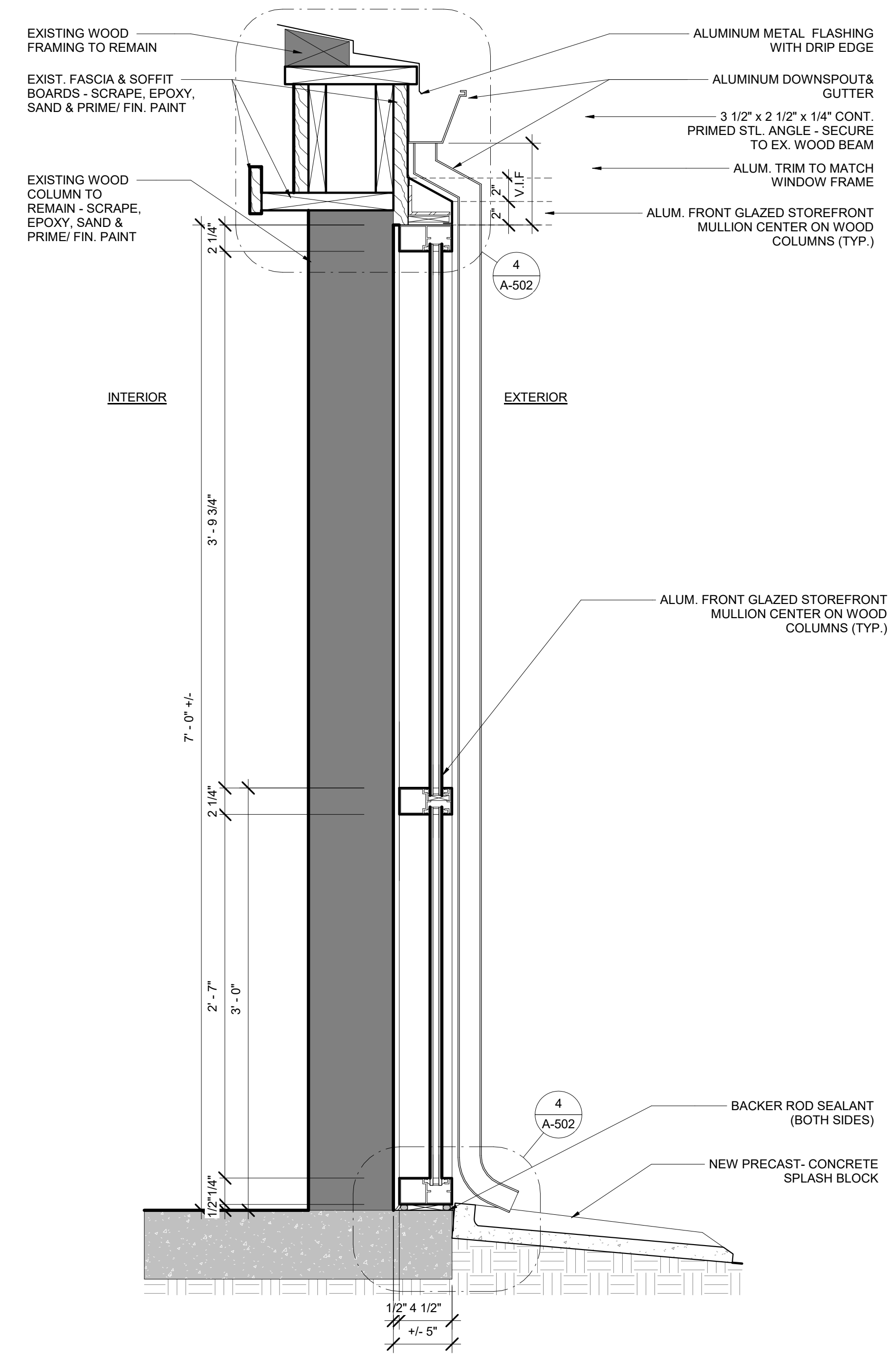
3 PLAN EXTERIOR CORNER DETAIL - 1  
1 1/2" = 1'-0"

SEAL	PROFESSIONAL CERTIFICATION	AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT	
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									PROFILE SCALE: _____	DATE: _____
										PROPERTY MANAGER
	FRANK ELWOOD DITTENHAFER, II AS-BUILT PER RECORD PRINT BY: _____ DATE: _____ CHD BY: ELM DATE REVIEWED: _____									

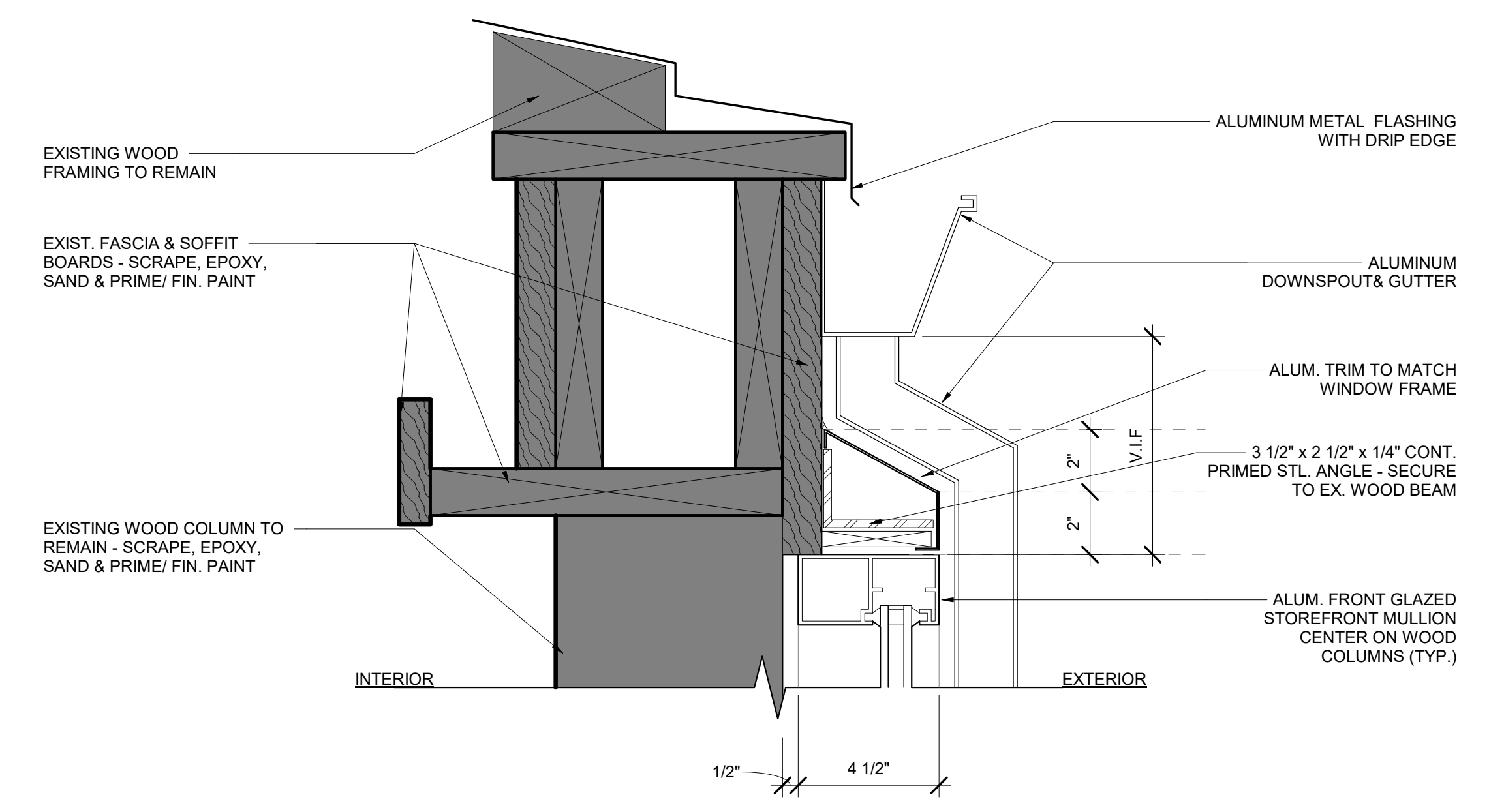
**BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT**  
 HOLT PARK ENHANCEMENTS  
 SECTION DETAILS  
 BUILDING IMPROVEMENTS  
 34 ELMONT AVE., BALTIMORE, MD 21206  
 ELECTION DIST. NO.: 14 c 6  
 SUBDIVISION: OVERLEA

SHEET DESIGNATION: A-501  
 CONTRACT NUMBER: 25054GX0  
 JOB ORDER NUMBER: 0000971385  
 SHEET 31 OF 54  
 DRAWING NUMBER: 2025-1565  
 FILE NO.: 8

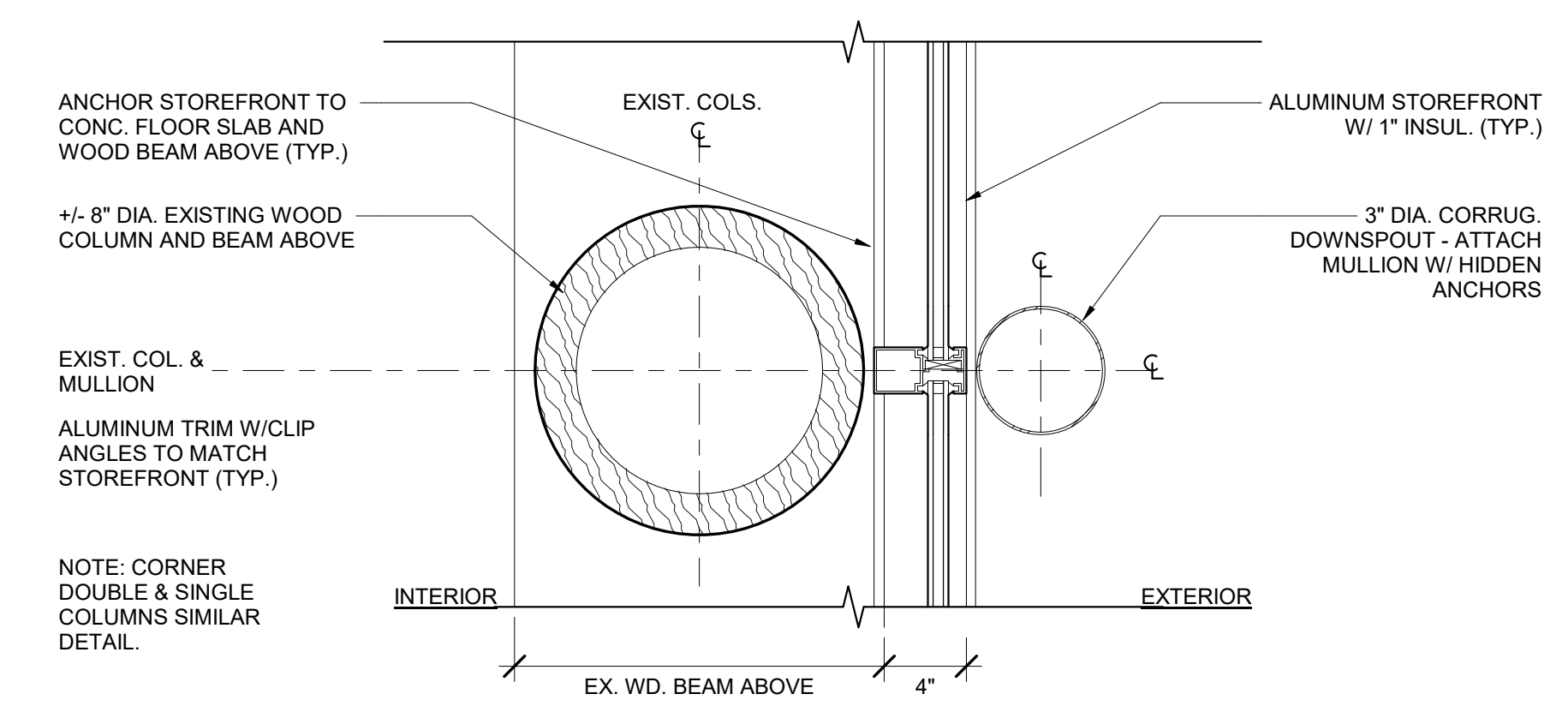
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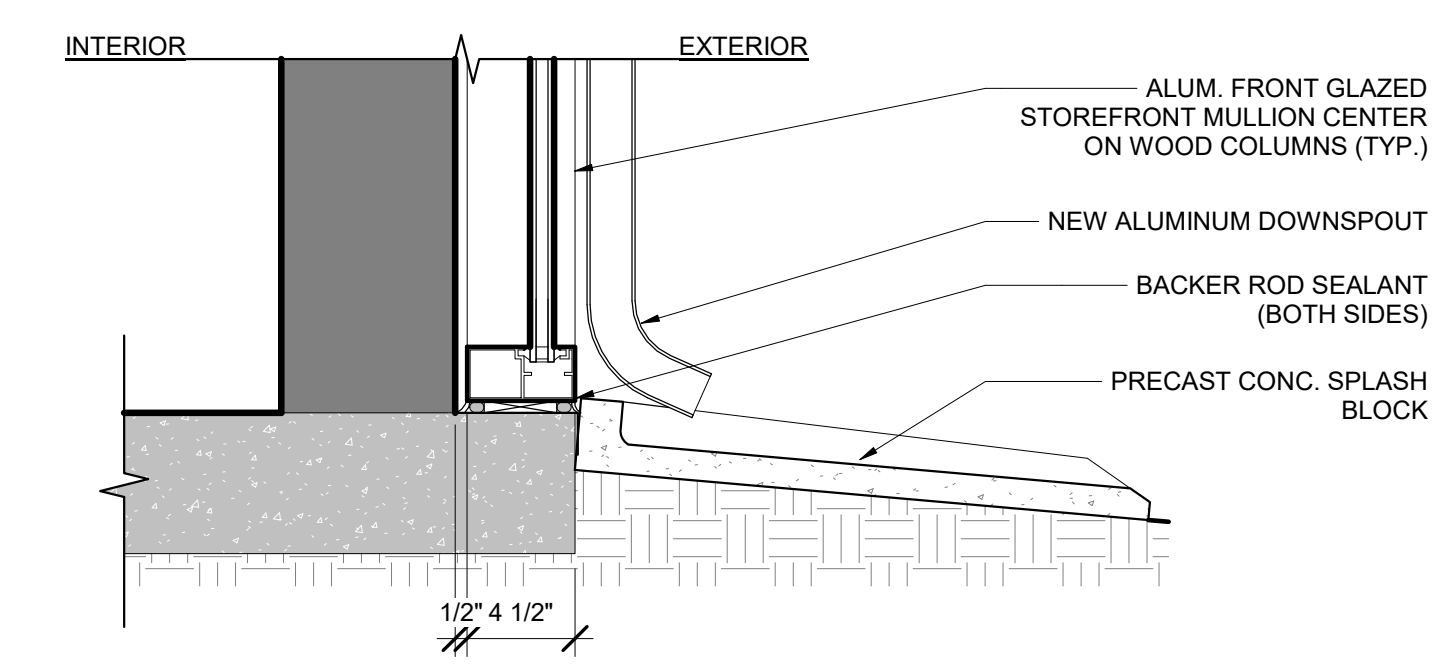
1 STOREFRONT HEAD & SILL DETAIL  
1 1/2" = 1'-0"



4 SECTION DETAIL @ COLUMN HEAD  
3" = 1'-0"



3 EX. COL/ STOREFRONT PLAN DETAIL  
1 1/2" = 1'-0"



2 STOREFRONT SILL DETAIL  
1 1/2" = 1'-0"

	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT	
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 6607 EXPIRATION DATE 06/13/2027						PNW	35NW40	PLAN SCALE: As indicated	APPROVED BY: _____	
	FRANK ELWOOD DITTENHAFER, II AS-BUILT PER RECORD PRINT		DGN BY: KCG	BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER
	BY: _____ DATE: _____		DWN BY: MWP	REVIEWED BY: _____							

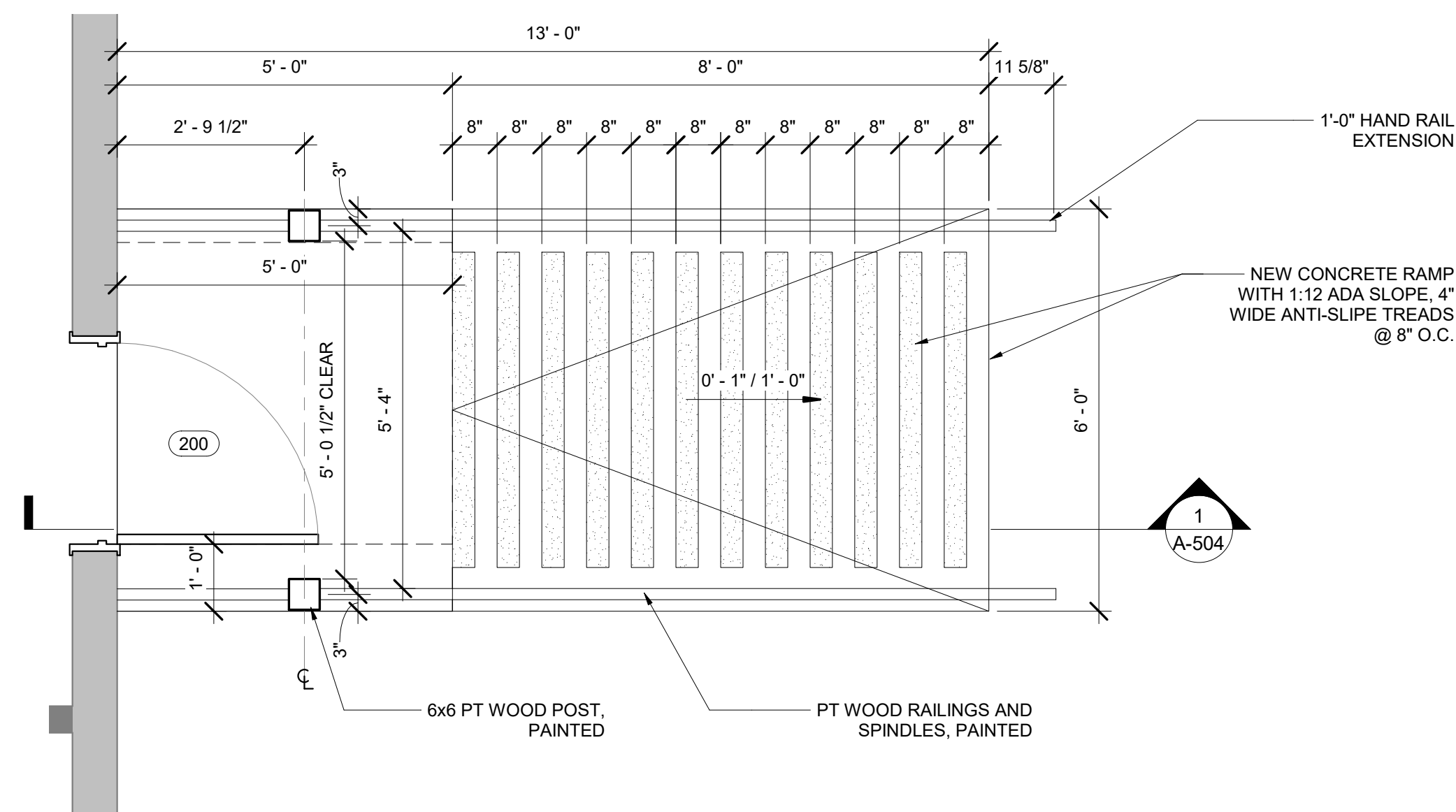
**BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT**  
 HOLT PARK ENHANCEMENTS  
**GREEN HOUSE - ENLARGED SECTIONS AND DETAILS**  
 BUILDING IMPROVEMENTS  
 34 ELMONT AVE., BALTIMORE, MD 21206  
 ELECTION DIST. NO.: 14 c 6  
 SUBDIVISION: OVERLEA

808 South Chesapeake Street, Baltimore, Maryland 21201  
 410-546-0233 ext. 410-546-0170 fax 410-546-0168

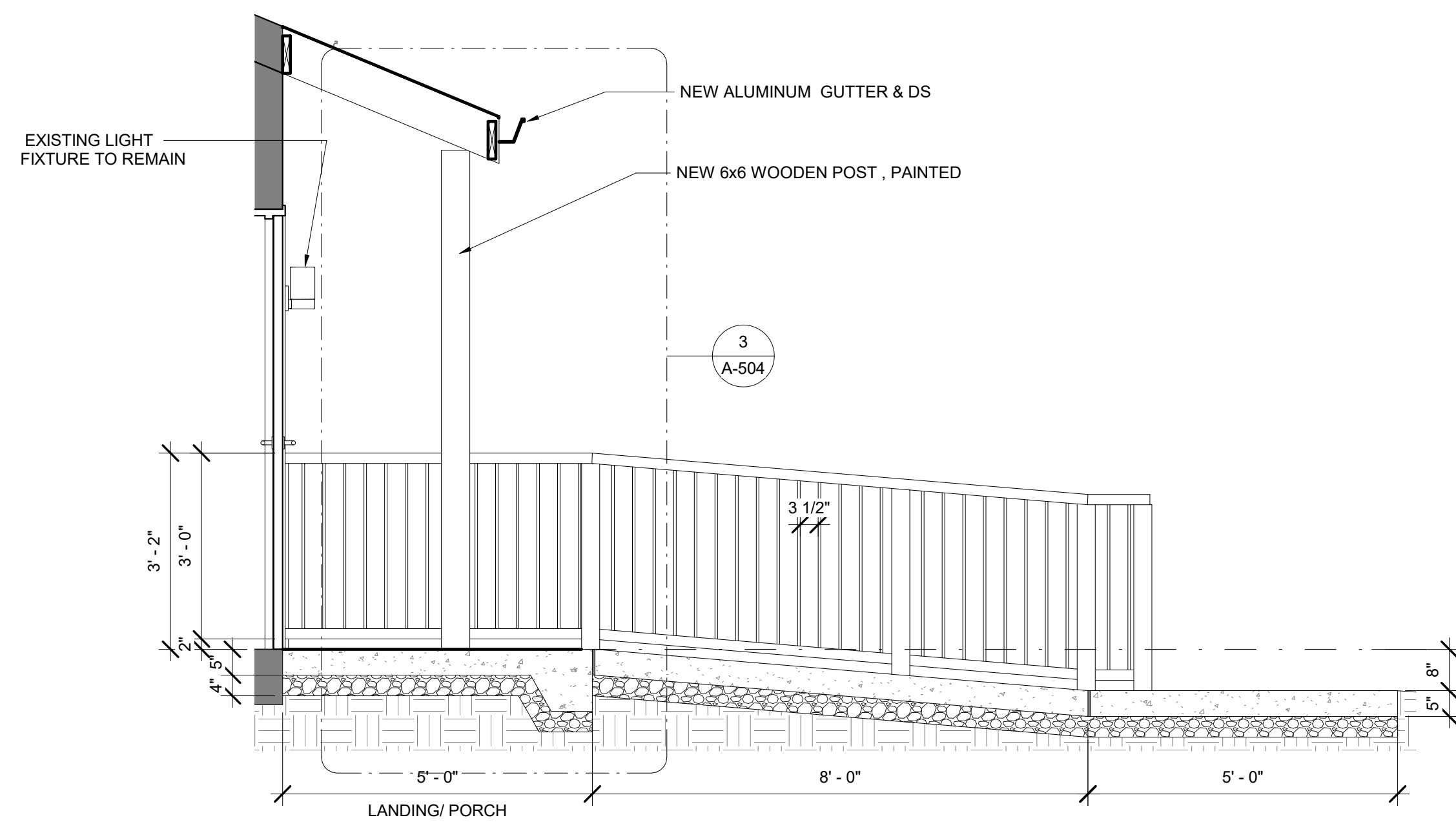
SHEET DESIGNATION	CONTRACT NUMBER
A-502	25054GX0
JOB ORDER NUMBER	
0000971385	
SHEET 32 OF 54	
DRAWING NUMBER	
2025-1566	
FILE NO.: 8	

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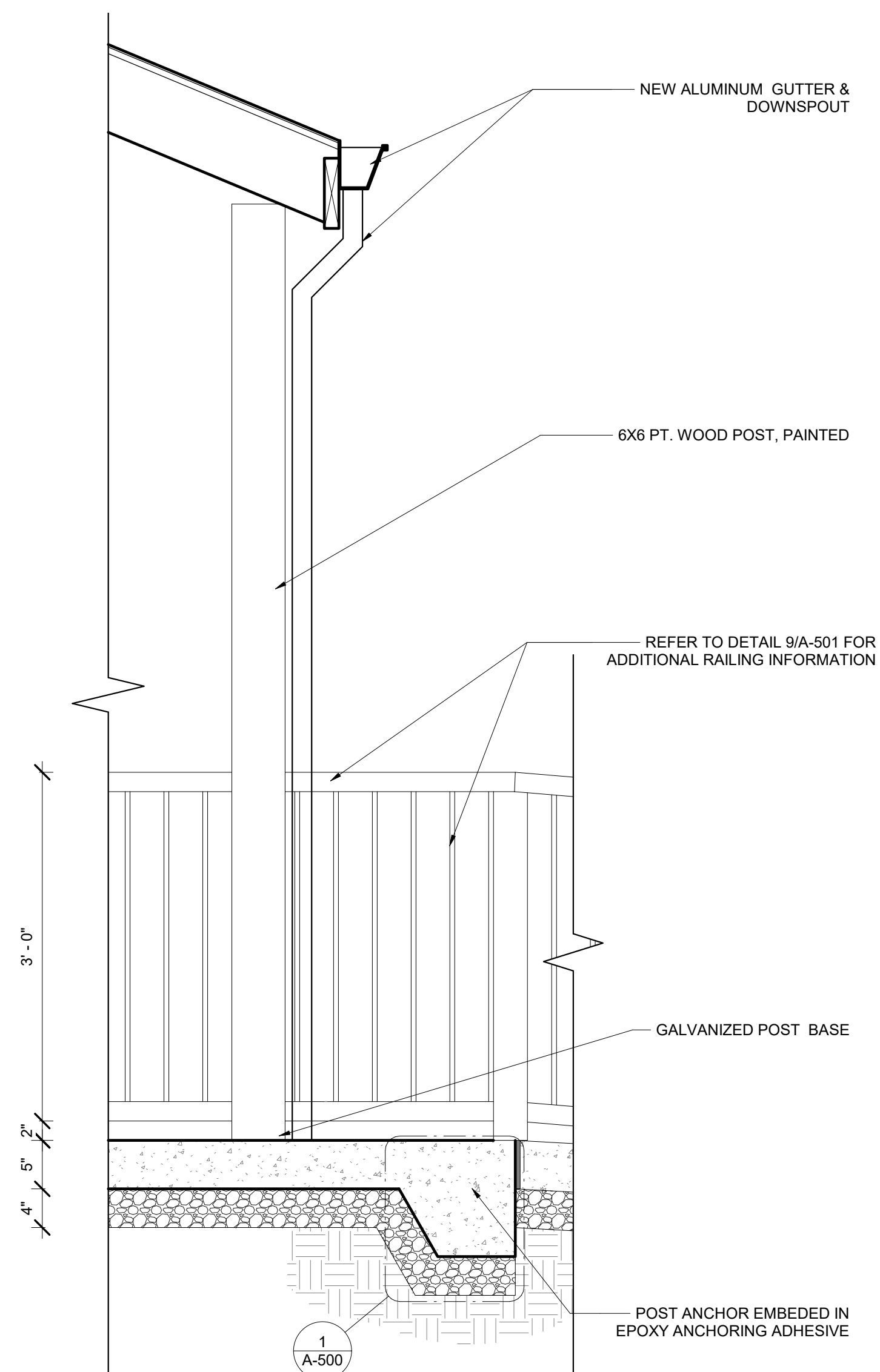




2 112 McCORMICK - ADA ENTRANCE RAMP - PLAN  
1/2" = 1'-0"



1 112 McCORMICK - ADA ENTRANCE RAMP - SECTION  
1/2" = 1'-0"



3 ENLARGED SECTION  
1" = 1'-0"

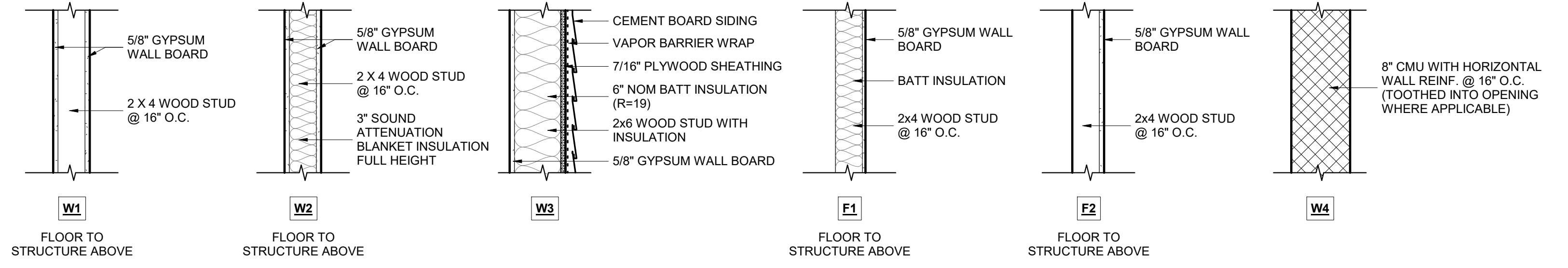
SEAL	PROFESSIONAL CERTIFICATION	AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT	
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									PROFILE SCALE: _____	DATE: _____
										PROPERTY MANAGER
	FRANK ELWOOD DITTENHAFER, II AS-BUILT PER RECORD PRINT BY: DATE:	BUREAU OF ENGINEERING AND CONSTRUCTION TRAFFIC HIGHWAYS STRUCTURES STORM DRAINS SEWER WATER FIELD ENGINEER								

**BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT**  
 HOLT PARK ENHANCEMENTS  
**RAMP, SECTIONS AND DETAILS - 112 McCORMICK**  
 BUILDING IMPROVEMENTS  
 34 ELMONT AVE., BALTIMORE, MD 21206  
 ELECTION DIST. NO.: 14 c 6

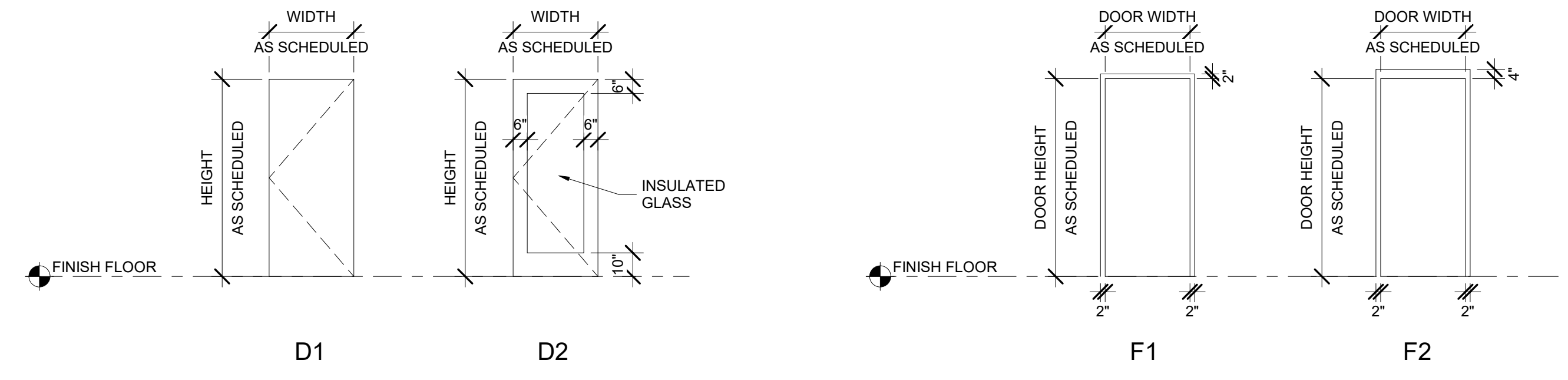
**Murphy & Dittenhafer**  
 ARCHITECTS  
488 South Chesapeake Street, Baltimore, Maryland 21201 410-636-0233 www.murphydittenhafer.com 713-640-0233

SHEET DESIGNATION	CONTRACT NUMBER
A-504	25054GX0
JOB ORDER NUMBER	
'0000971385	
SHEET 34 OF 54	
DRAWING NUMBER	
2025-1568	
FILE NO.: 8	

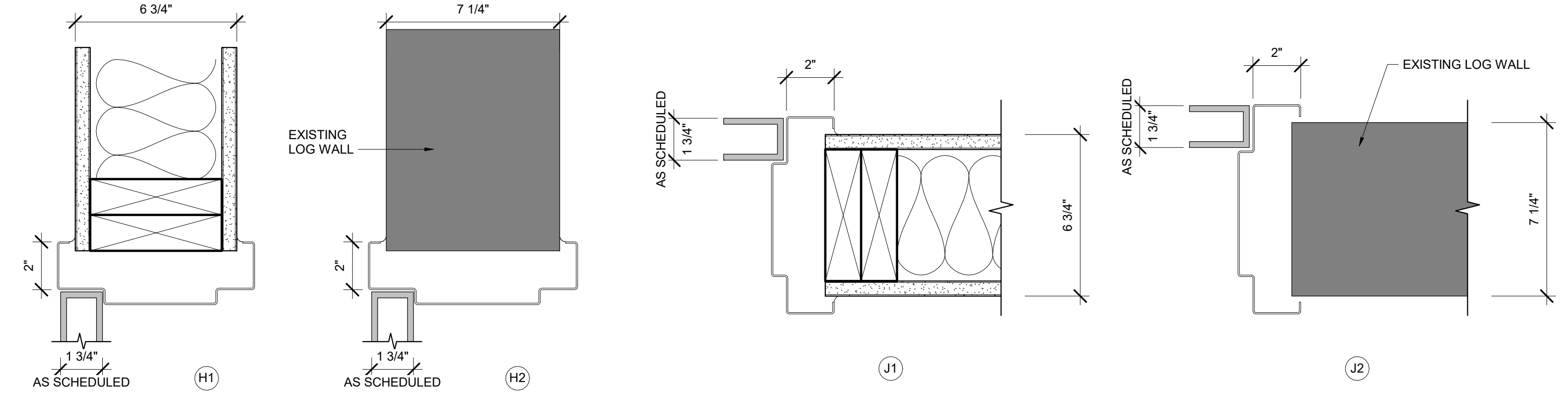
MARK	Width	Height	Thickness	DOOR		FRAME		CONSTRUCTION DETAILS			HARDWARE SET	FIRE RATING	COMMENTS
				TYPE	MATERIAL	TYPE	MATERIAL	HEAD	JAMB	SILL			
200	3'-0"	7'-0"	1 3/4"	D1	HM	F1	HM	H2	J2	S2	LOCK SET	--	DOOR SWEEP, WEATHER STRIPPING, AUTOMATIC SOFT DOOR CLOSER
201	2'-2"	7'-0"	1 3/4"	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	LOCK SET	--	REINSTALL SALVAGED DOOR, FRAME, AND HARDWARE
204	3'-0"	7'-0"	1 3/4"	D1	WD	F1	HM	H1	J1	S1	PRIVACY LOCK SET	--	
206	3'-0"	7'-0"	1 3/4"	D1	WD	F1	WD	H1	J1	S1	LOCK SET	--	
GC-101	3'-0"	7'-0"	1 3/4"	D1	WD	F1	WD	H1	J1	S1	LOCK SET	--	
GC-102	3'-0"	7'-0"	1 3/4"	D1	HM	F1	HM	H1	J1	S2	PRIVACY LOCK SET	--	DOOR SWEEP, WEATHER STRIPPING, AUTOMATIC SOFT DOOR CLOSER
GC-103	3'-0"	7'-0"	1 3/4"	D1	HM	F1	ALUM.	H2	J2	S2	LOCK SET	--	DOOR SWEEP, WEATHER STRIPPING, AUTOMATIC SOFT DOOR CLOSER
GH-100	3'-0"	7'-0"	1 3/4"	D2	ALUM. / GLASS	F1	ALUM.	ALUM.	ALUM.	ALUM.	LOCK SET	--	DOOR SWEEP, WEATHER STRIPPING, AUTOMATIC SOFT DOOR CLOSER
GH-101	3'-0"	7'-0"	1 3/4"	D2	ALUM. / GLASS	F1	ALUM.	SF	SF	SF	LOCK SET	--	DOOR SWEEP, WEATHER STRIPPING, AUTOMATIC SOFT DOOR CLOSER



PARTITION TYPES  
1" = 1'-0"

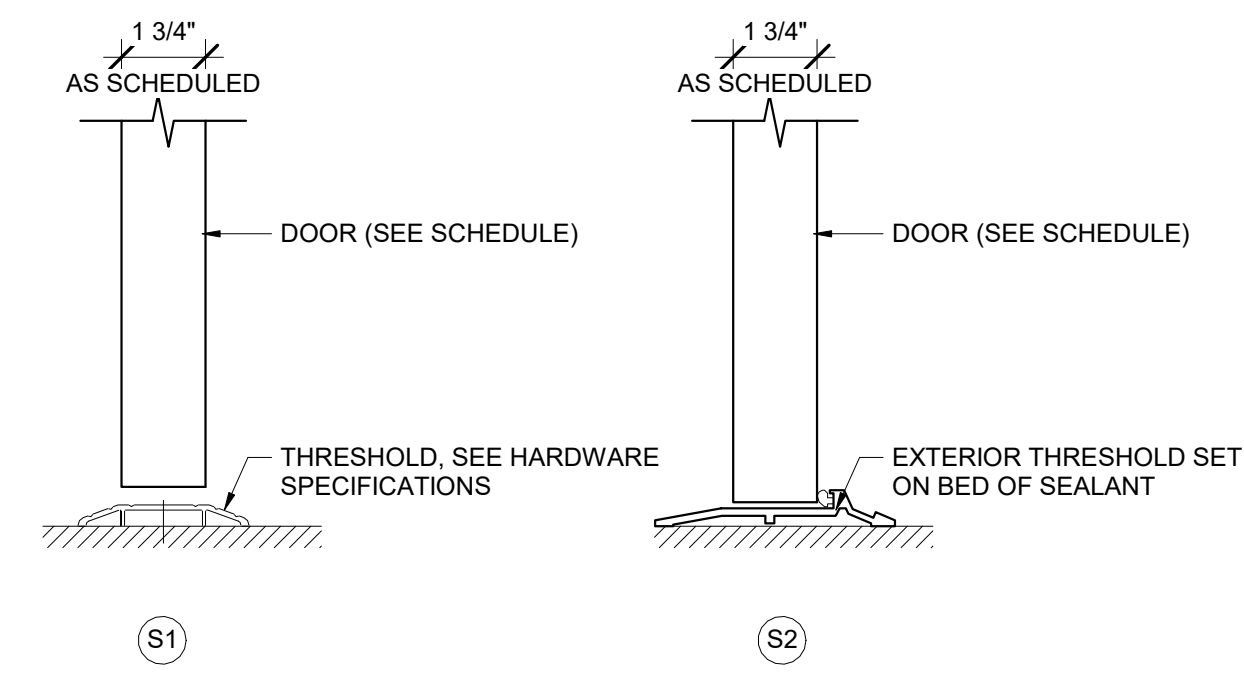


DOOR PANEL & FRAME TYPES

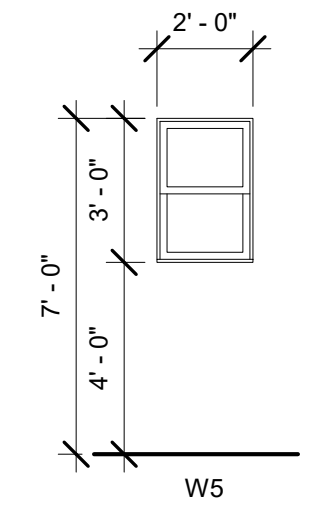


HM DOOR HEADER DETAIL  
3" = 1'-0"

HM DOOR JAMB DETAIL  
3" = 1'-0"

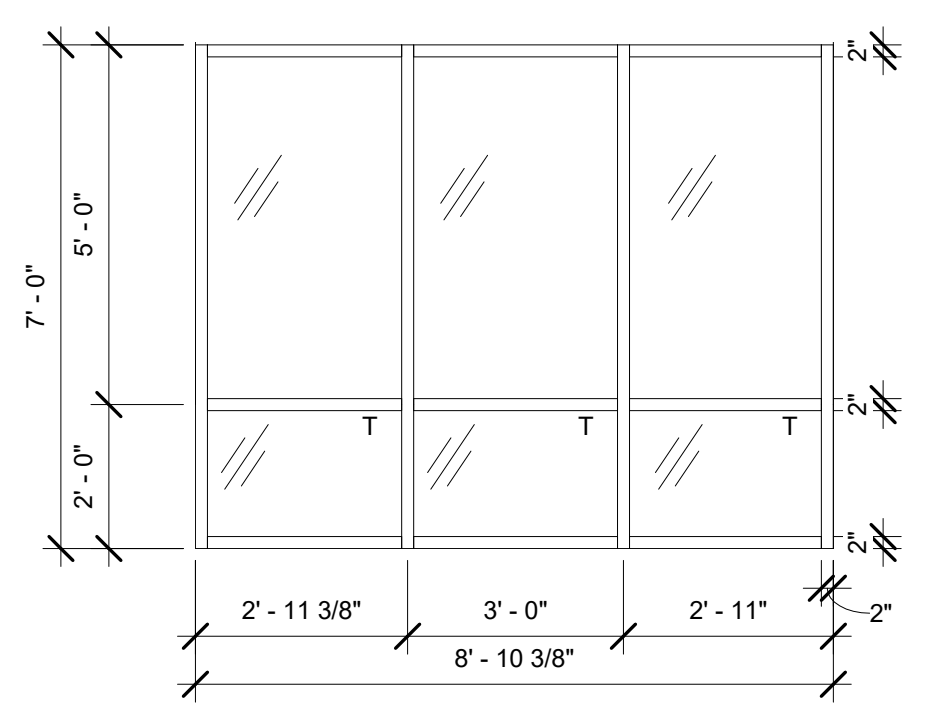


WD DOOR THRESHOLD DETAIL  
3" = 1'-0"

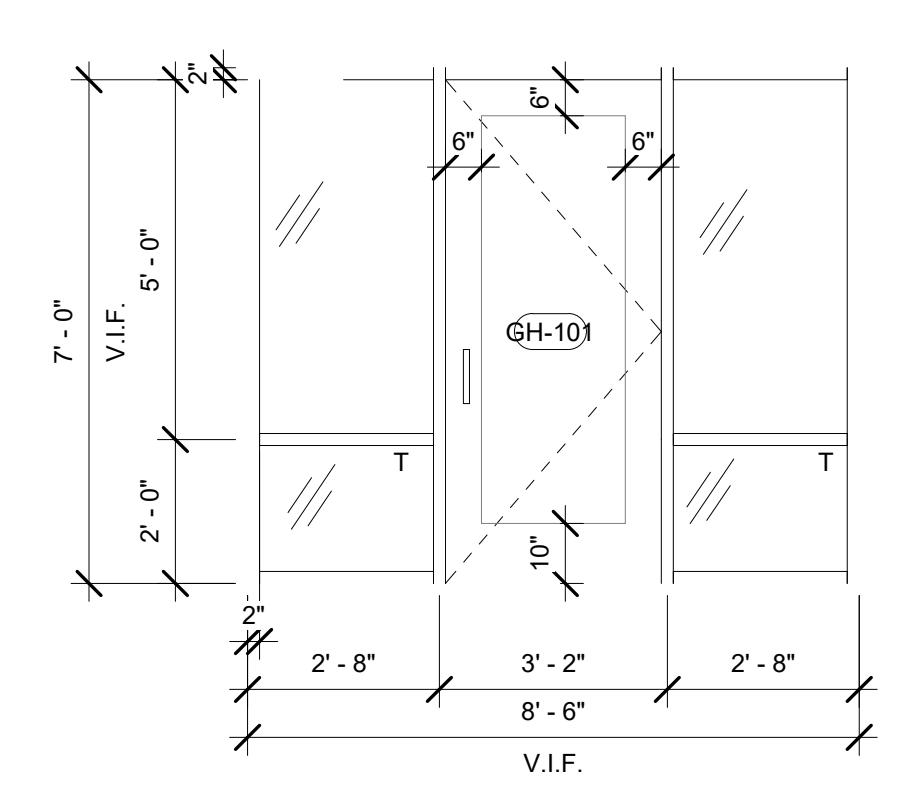


WINDOW LEGEND  
1/4" = 1'-0"

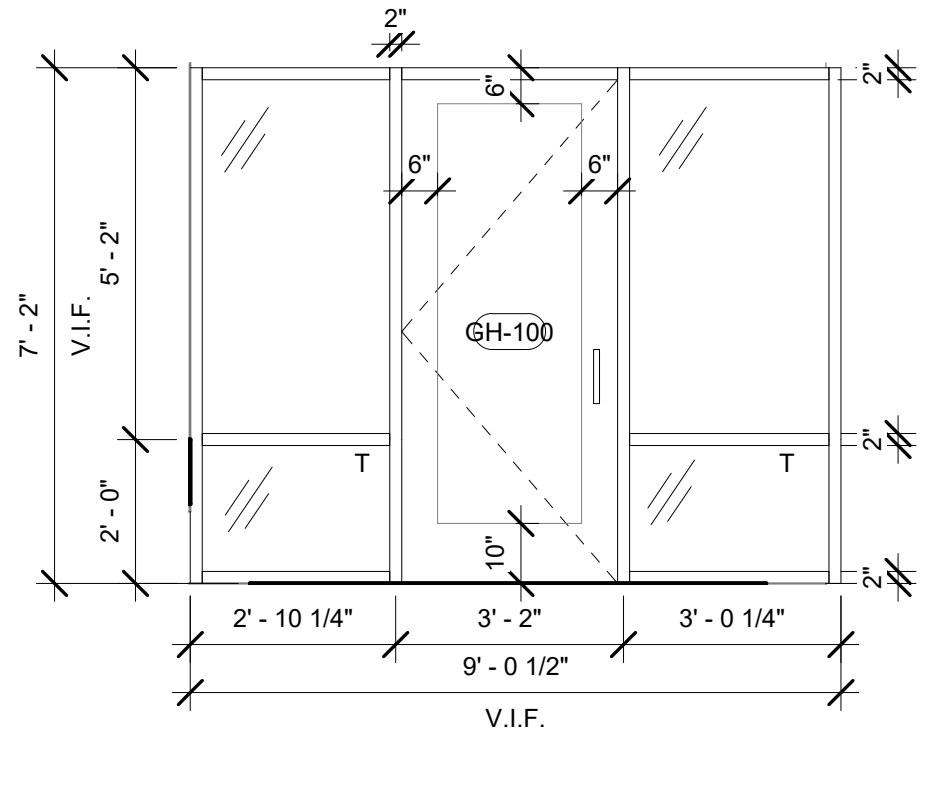
GLAZING TYPES	
GL-1	LOW-E COATED, CLEAR INSULATING GLASS AT GREENHOUSE STOREFRONT AND DOORS



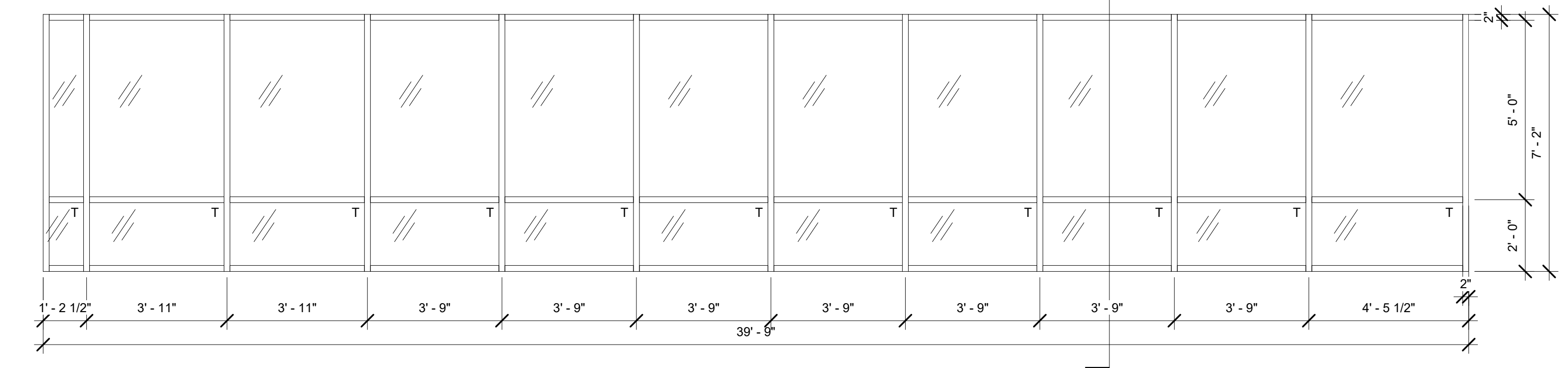
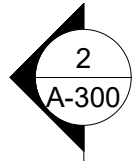
GREENHOUSE STOREFRONT ELEVATION SIDE  
3/8" = 1'-0"



GREENHOUSE STOREFRONT ELEVATION FRONT  
3/8" = 1'-0"



GREENHOUSE ELEVATION SOUTH-ENTRANCE  
3/8" = 1'-0"



GREENHOUSE STOREFRONT ELEVATION REAR  
3/8" = 1'-0"

SEAL	PROFESSIONAL CERTIFICATION	AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT
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									PROFILE SCALE: _____
									PROPERTY MANAGER

SUBDIVISION: OVERLEA

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT

HOLT PARK ENHANCEMENTS  
DOOR AND WINDOW SCHEDULE

BUILDING IMPROVEMENTS  
34 ELMONT AVE., BALTIMORE, MD 21206

ELECTION DIST. NO.: 14 c 6

**Murphy & Dittenhafer**  
ARCHITECTS

488 South Chesapeake Street, Baltimore, Maryland 21201  
410-548-0202 ext. 410-548-0111 fax 410-548-0110

SHEET DESIGNATION	CONTRACT NUMBER
A-600	25054GX0
JOB ORDER NUMBER	0000971385
SHEET 35 OF 54	DRAWING NUMBER
	2025-1569
	FILE NO.: 8

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## GENERAL MECHANICAL/PLUMBING PROJECT NOTES

- ALL TEMPORARY UTILITY OUTAGES OF ANY TYPE SHALL BE COORDINATED WITH THE USER. PROVIDE TWO WEEKS ADVANCE NOTIFICATION PRIOR TO PERFORMING ANY TEMPORARY OUTAGES.
- ALL DUCTWORK SIZES SHOWN ARE INSIDE CLEAR DIMENSIONS.
- COORDINATE THE LOCATION OF ALL AIR DEVICES WITH LIGHT FIXTURES AND THE ARCHITECT'S REFLECTED CEILING PLANS, AND DOCUMENTS.
- COORDINATE MOTORS AND OTHER ELECTRICAL EQUIPMENT FURNISHED UNDER MECHANICAL DIVISIONS WITH ELECTRICAL DIVISION. PROVIDE EQUIPMENT COORDINATION TABLE AS A SHOP DRAWING FOR REVIEW. TABLE SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING INFORMATION:
  - EQUIPMENT POWER REQUIREMENTS INCLUDING AMPS AND VOLTAGES.
  - DISCONNECTING MEANS AND OVER CURRENT PROTECTION REQUIREMENTS.
  - CONTROL REQUIREMENTS
- COORDINATE THE INSTALLATION OF LIGHTING FIXTURES WITH PIPING, DUCTWORK, AIR DEVICES, SPRINKLERS, AND EQUIPMENT BEING INSTALLED IN THE FACILITY SUCH THAT PIPING, DUCTWORK, AIR DEVICES, AND EQUIPMENT DO NOT BLOCK OR IMPEDE LIGHTING.
- INSTALL DUCTWORK SO THAT VOLUME DAMPERS, V.V.T. / VAV BOX CONTROL PANELS, FANS, DUCT COILS, ETC., ARE ACCESSIBLE. PROVIDE ACCESS PANELS PER SPECIFICATION REQUIREMENTS.
- REFER TO ARCHITECTURAL DRAWINGS FOR ROOF AND CEILING CONSTRUCTION TYPES AND DETAILS. REFER TO STRUCTURAL DRAWINGS FOR STEEL SIZES AND LOCATIONS.
- LOCATE ALL EQUIPMENT WHICH MUST BE SERVICED, OPERATED, AND MAINTAINED IN A FULLY ACCESSIBLE POSITION. EQUIPMENT SHALL INCLUDE, BUT NOT BE LIMITED TO VALVES, TRAPS, MOTORS, CONTROLLERS, DRAIN POINTS, ETC. IF REQUIRED FOR ACCESSIBILITY, FURNISH ACCESS DOORS FOR THIS PURPOSE. COORDINATE LOCATION OF ACCESS DOORS WITH ARCHITECT. MINOR DEVIATIONS FROM DRAWINGS MAY BE MADE TO ALLOW FOR BETTER ACCESSIBILITY.
- COORDINATE MOUNTING HEIGHTS AND LOCATIONS OF THERMOSTATS AND HUMIDISTATS SERVING EQUIPMENT WITH THE OWNER(S) AND/OR ARCHITECT.
- REPLACE FILTERS SERVING AIR HANDLING UNIT EQUIPMENT PRIOR TO FINAL BALANCING OF AIR DISTRIBUTION SYSTEMS.
- ROUTE DOMESTIC WATER PIPING, SPRINKLER PIPING, HVAC PIPING, GAS PIPING, ETC., IN PIPE CHASES, IN FURRED OUT WALLS AND ABOVE CEILINGS, NO PIPING SHALL BE EXPOSED UNLESS APPROVED BY THE ARCHITECT OR OWNER(S).
- EXISTING CONDITIONS (DUCTWORK, PIPING, EQUIPMENT, AND MATERIAL(S) INDICATED ON THE CONTRACT DOCUMENTS ARE NOT WARRANTED TO REPRESENT ALL EXISTING AS-BUILT CONDITIONS. FIELD VERIFY EXACT LOCATIONS OF ALL DUCTWORK, PIPING, EQUIPMENT, AND MATERIALS IN THE FIELD PRIOR TO COMMENCING WITH NEW AND DEMOLITION WORK. EXISTING DUCT, PIPE, AND EQUIPMENT SIZES ARE NOT WARRANTED TO BE COMPLETELY CORRECT. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO ORDERING MATERIALS AND INSTALLING NEW WORK.
- THE DRAWINGS ARE DIAGNOSTIC AND DO NOT INDICATE EVERY COMPONENT AND/OR ACCESSORY REQUIRED FOR A COMPLETE INSTALLATION. PROVIDE NECESSARY AND REQUIRED COMPONENTS AND ACCESSORIES TO ENSURE THAT THE ENTIRE SYSTEM IS FUNCTIONAL AND IN COMPLIANCE WITH APPLICABLE CODES, ACCEPTED INDUSTRY STANDARDS, AND MANUFACTURER'S INSTALLATION REQUIREMENTS/RECOMMENDATIONS UPON COMPLETION OF WORK.
- ALL DUCTWORK AND PIPING SHALL RUN AS HIGH AS POSSIBLE AND ABOVE FINISHED CEILINGS UNLESS OTHERWISE NOTED.
- ALL OUTSIDE AIR LOUVERS (INTAKE, EXHAUST, OR RELIEF) SHALL BE FITTED WITH 1/2" MESH BIRD SCREENS MOUNTED BEHIND LOUVERS. ALL UNUSED PORTIONS OF OUTSIDE AIR LOUVERS (INTAKE, EXHAUST, OR RELIEF) SHALL BE BLANKED OFF AIRTIGHT WITH 22-GAUGE GALVANIZED SHEET METAL AND 2 INCH RIGID INSULATION. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- INSTALL VALVES AND COIL ASSEMBLIES IN ACCESSIBLE LOCATIONS. PROVIDE ACCESS PANELS PER SPECIFICATIONS.
- DO NOT RELEASE ANY CFC OR HCFC BASED REFRIGERANT INTO THE ATMOSPHERE DURING INSTALLATION, START-UP, OR SERVICING OF NEW OR EXISTING HVAC EQUIPMENT EITHER DIRECTLY OR INDIRECTLY. UTILIZE AN APPROPRIATE REFRIGERANT PURIFICATION/RECLAMATION SYSTEM THAT IS CAPABLE OF SEPARATION AND REMOVAL OF OIL AND RESIDUAL MOISTURE, AND DOT-APPROVED CONTAINMENT OF RECOVERED REFRIGERANT.
- ALL REFRIGERANT PIPING SHALL BE SIZED AND SUPPORTED/INSTALLED IN ACCORDANCE WITH APPLICABLE CODES. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- CAREFULLY REMOVE PLASTER TYPE CEILINGS AS REQUIRED TO FACILITATE THE INSTALLATION/REMOVAL OF ALL EXISTING/NEW DUCTWORK AND ALL EXISTING/NEW PIPING SYSTEMS AND ASSOCIATED APPURTENANCES. NEW PLASTER TYPE CEILINGS SHALL BE INSTALLED TO REPLACE EXISTING REMOVED PORTIONS WHERE INDICATED AND REQUIRED.
- SANITARY DRAIN BRANCHES LOCATED ON THE LOWEST LEVEL OF THE BUILDING SHALL CONNECT SEPARATELY TO THE HORIZONTAL SANITARY MAIN UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS OF ALL PLUMBING FIXTURES. DO NOT DIMENSION LOCATIONS FROM THESE PLUMBING DRAWINGS.
- SANITARY AND STORM WATER PIPING SHALL RUN AT A 2% SLOPE MINIMUM UNLESS NOTED OTHERWISE.
- CONDENSATE DRAIN PIPING SHALL RUN AT A 2% SLOPE MINIMUM UNLESS NOTED OTHERWISE.
- LOCATIONS OF DRAINS AND CONNECTIONS TO FIXTURES AND EQUIPMENT SHALL BE COORDINATED WITH THE FIXTURE PLAN, EQUIPMENT CUTS AND ARCHITECTURAL/MECHANICAL/ELECTRICAL PLANS. NO WORK SHALL BE INSTALLED UNTIL THE FIXTURE LOCATIONS HAVE BEEN VERIFIED.
- PLUMBING FIXTURES SHALL BE CAULKED TO THE ADJOINING FLOOR OR WALL SURFACE WITH CAULK COLOR AS SELECTED BY THE ARCHITECT.
- COORDINATE GAS PRESSURE AND SERVICE REQUIREMENTS WITH GAS COMPANY.
- UNLESS OTHERWISE INDICATED, PIPING SHALL BE SUPPORTED FROM THE STRUCTURE ABOVE. INTERMEDIATE STRUCTURAL SUPPORTS SHALL BE PROVIDED IN AN APPROVED MANNER AS REQUIRED TO MEET MINIMUM SUPPORT SPACING REQUIRED BY THE SPECIFICATIONS.
- COORDINATE THE INSTALLATION OF LIGHTING FIXTURES WITH PLUMBING PIPING AND EQUIPMENT BEING INSTALLED IN THE FACILITY, SUCH THAT PIPING AND EQUIPMENT DO NOT BLOCK OR IMPEDE LIGHTING.
- PROVIDE PIPE HANGERS, ANCHORS, AND SUPPORTS PER SUPPORT MANUFACTURER'S RECOMMENDATIONS.
- INSTALL PIPING SO THAT ALL VALVES AND ACCESSORIES ARE ACCESSIBLE. PROVIDE ACCESS PANELS PER SPECIFICATIONS.
- ROUTE DOMESTIC WATER PIPING, SPRINKLER PIPING, SANITARY PIPING, VENT PIPING, CONDENSATE DRAINS, GAS PIPING, ETC., IN PIPE CHASES, FURRED OUT WALLS, AND ABOVE CEILINGS. NO PIPING SHALL BE EXPOSED UNLESS APPROVED BY THE ARCHITECT OR OWNER.
- INSTALL EQUIPMENT SUCH AS WATER HEATERS, PUMPS, BOILERS, ETC., IN SUCH A MANNER AS TO PROVIDE ADEQUATE SPACE FOR PROPER MAINTENANCE AND EQUIPMENT ACCESS.
- PROVIDE PIPE SLEEVES AT WALL, FLOOR, AND ROOF PENETRATIONS. ALL EXTERIOR ROOF AND WALL PIPING PENETRATIONS SHALL BE MADE WEATHER TIGHT.

## GENERAL DEMOLITION PROJECT NOTES

- NOTIFY THE OWNER, IN WRITING, AT LEAST FOURTEEN (14) DAYS IN ADVANCE OF ALL REQUIRED SHUTDOWNS OF WATER, SEWER, FIRE PROTECTION, GAS, ELECTRICAL SERVICE, OR OTHER UTILITIES. UPON WRITTEN RECEIPT OF APPROVAL FROM OWNER, SHUTDOWNS SHALL BE PERFORMED BETWEEN THE HOURS OF 8 AND 5, OR AS DIRECTED OTHERWISE BY THE OWNER AT NO ADDITIONAL CONTRACT COST. AT THE END OF EACH WORK DAY, SHUT DOWN SERVICES SHALL BE RESTORED SO THAT NORMAL USE OF UTILITIES CAN CONTINUE.
- WHEN WORKING IN AND AROUND THE EXISTING BUILDING, CARE SHALL BE EXERCISED WITH REGARDS TO PROTECTION OF EXISTING STRUCTURE AND MECHANICAL AND ELECTRICAL SERVICES WHICH SHALL REMAIN.
- REPAIR, REPLACE, OR RESTORE TO THE SATISFACTION OF THE ARCHITECT, ALL EXISTING WORK DAMAGED IN THE PERFORMANCE OF THE DEMOLITION AND/OR NEW WORK.
- EXISTING CONDITIONS (DUCTWORK, PIPING, EQUIPMENT, AND MATERIAL(S) INDICATED ON THE CONTRACT DOCUMENTS ARE NOT WARRANTED TO REPRESENT ALL EXISTING AS-BUILT CONDITIONS. FIELD VERIFY EXACT LOCATIONS OF ALL DUCTWORK, PIPING, EQUIPMENT, AND MATERIALS IN THE FIELD PRIOR TO COMMENCING WITH NEW AND DEMOLITION WORK. EXISTING DUCT, PIPE, AND EQUIPMENT SIZES ARE NOT WARRANTED TO BE COMPLETELY CORRECT. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO ORDERING MATERIALS AND INSTALLING NEW WORK.
- EXISTING MECHANICAL AND ELECTRICAL WORK INDICATED TO BE REMOVED (PIPES, VALVES, DUCTS, ETC.), SHALL BE REMOVED TO A POINT BELOW THE FINISHED FLOORS OR BEHIND FINISHED WALLS AND CAPPED. TERMINATION POINTS SHALL BE FAR ENOUGH BEHIND FINISHED SURFACES TO ALLOW FOR THE INSTALLATION OF THE NORMAL THICKNESS OF FINISHED MATERIAL.
- EXISTING PIPING NO LONGER REQUIRED TO REMAIN IN SERVICE SHALL BE DISCONNECTED AND REMOVED BACK TO EXISTING ASSOCIATED SERVICE MAINS UNLESS OTHERWISE INDICATED OR NOTED ON THE CONTRACT DRAWINGS. REMOVED EXISTING PIPE HANGERS, PIPE INSULATION, SUPPORTS, VALVES, ETC. EXISTING PIPING INDICATED OR REQUIRED TO REMAIN IN SERVICE OR IN PLACE SHALL BE CAPPED, PLUGGED OR OTHERWISE SEALED. NO EXISTING PIPING SHALL BE LEFT OPEN ENDED.
- EXISTING DUCTWORK INDICATED TO BE DISCONNECTED AND REMOVED SHALL INCLUDE RELOCATED AIR DEVICES, DUCT INSULATION, HANGERS, SUPPORTS, ETC. DUCTWORK SHALL BE CAPPED WITH SIMILAR GAGE SHEET METAL. SECURE CAP(S) WITH SHEET METAL SCREWS AND SEAL WITH DUCT SEALER, NO EXISTING DUCTWORK SHALL BE LEFT UNCAPPED. IF CAPPING INSULATED DUCTS, CAP SHALL BE SIMILARLY INSULATED TO MATCH EXISTING INSULATION MATERIALS AND THICKNESS.
- PATCH TO MATCH ALL NEW AND EXISTING OPENINGS IN WALLS, CEILINGS, AND FLOOR SURFACES DAMAGED OR CREATED BY DEMOLITION WORK. PATCHING SHALL MATCH EXISTING ADJACENT SURFACES AS TO THICKNESS, TEXTURES, MATERIALS, AND COLOR. ALL PATCHING SHALL BE PERFORMED TO THE SATISFACTION OF THE ARCHITECT AND AT NO ADDITIONAL CONTRACT COST.
- ALL DEMOLISHED EQUIPMENT SHALL BE OFFERED TO THE OWNER PRIOR TO DISPOSAL. EQUIPMENT RETAINED BY THE OWNER SHALL BE STORED WHERE DIRECTED BY THE OWNER. ANY EQUIPMENT THE OWNER DOES NOT WISH TO RETAIN SHALL BE DISPOSED OF, OFF SITE, BY THE CONTRACTOR.
- ALL ABANDONED DUCTWORK, PLUMBING PIPING, MECHANICAL SYSTEMS PIPING, AND ATC CONTROL WIRING LOCATED IN PLENUM CEILING SPACES SHALL BE REMOVED.

## APPLICABLE CODES

YEAR	CODE
2021	INTERNATIONAL BUILDING CODE
2021	INTERNATIONAL PLUMBING CODE
2021	INTERNATIONAL MECHANICAL CODE
2021	INTERNATIONAL ENERGY CONSERVATION CODE
2021	INTERNATIONAL FIRE CODE
2021	INTERNATIONAL FUEL GAS CODE
2019	ASHRAE 62.1

## CONTRACTOR UTILITY PROVIDER COORDINATION

- IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH UTILITY PROVIDERS FOR NATURAL GAS AND ELECTRIC SERVICE ALTERATIONS DETAILED IN THESE CONTRACT DOCUMENTS.
- REMOVAL OR RELOCATION OF EXISTING GAS METERS SHALL BE COORDINATED BETWEEN THE CONTRACTOR AND THE SERVICE PROVIDER.
- ANY INTERRUPTION OR ALTERATION IN SERVICE SHALL BE COORDINATED WITH THE UTILITY SERVICE PROVIDER AND NOTIFICATION SHALL BE GIVEN TO THE OWNER IN ADVANCE.

## MECHANICAL LEGEND

SYMBOL	ABBREVIATION	DESCRIPTION
----	RX.	REMOVE EXISTING
----	EX.	EXISTING
----	CW	COLD WATER
----	HW	HOT WATER (110°F OR 140°F)
----	CD	CONDENSATE DRAIN (ABOVE FLOOR)
----	SAN	SANITARY (ABOVE FLOOR)
----	V	VENT PIPE
----	RL	REFRIGERANT LINE
----	DP, DN	ELBOW DOWN OR DROP
----	UP	ELBOW UP OR RISE
----		PIPE CONTINUES
----		FLOW IN DIRECTION OF ARROW
----		RISE OR DROP IN PIPE
----		SIDE PIPE CONNECTION
----		BOTTOM PIPE CONNECTION
----		TOP PIPE CONNECTION
----		CAPPED OUTLET
----		CAPPED PIPE
----		UNION
----	VTR	VENT THRU ROOF
----		BALL VALVE
----		GATE VALVE
----		CHECK VALVE
----	BWV	BACK WATER VALVE
----	F.D.R.	FLOOR DRAIN
----		BUTTERFLY VALVE
----	PRV	PRESSURE REDUCING (REGULATING) VALVE
----	RV	RELIEF VALVE (TYPE AS NOTED)
----		STRAINER (Y OR BASKET) W/ HOSE END DRAIN VALVE
----		PRESSURE GAUGE W/ NEEDLE VALVE
----		THERMOMETER
----	A.A.V.	AUTOMATIC AIR VENT
----	MAV	MANUAL AIR VENT
----	P/T	PRESSURE AND TEMPERATURE PLUG
----	UH	UNIT HEATER
① #		TEMPERATURE SENSOR - UNIT NO. CONTROLLED
⊗		CONNECT TO EXISTING AT THIS POINT
⊙		REMOVE EXISTING TO THIS POINT
∅	DIA.	DIAMETER
#	NO.	NUMBER
XX		DRAWING NOTE REFERENCE SYMBOL
△		REVISION REFERENCE SYMBOL
10x8		RECTANGULAR DUCT
10"∅		ROUND DUCT
		TURNING VANES
	S.O.	SCREENED OPENING
⊠	SA	SUPPLY AIR DUCT; UP, DOWN
⊠	RA	RETURN AIR DUCT; UP, DOWN
⊠	EA	EXHAUST AIR DUCT; UP, DOWN

## MECHANICAL LEGEND CONT'D

SYMBOL	ABBREVIATION	DESCRIPTION
----		SUPPLY AIR DIFFUSER
----		RETURN AIR REGISTER OR GRILLE
----		EXHAUST AIR REGISTER OR GRILLE
----	BDD	BACK DRAFT DAMPER - GRAVITY
----	MOD	MOTOR OPERATED DAMPER
----	VD	VOLUME DAMPER
----		SIDE WALL REGISTER

## MECHANICAL LEGEND

ABBREVIATION	DESCRIPTION	ABBREVIATION	DESCRIPTION
ADJ.	ADJUSTABLE	LAT	LEAVING AIR TEMPERATURE
AFF	ABOVE FINISHED FLOOR	LWT	LEAVING WATER TEMPERATURE
APD	AIR PRESSURE DROP	MFGR.	MANUFACTURER
AHU	AIR HANDLING UNIT	MBH	ONE THOUSAND BTU PER HOUR
CU	CONDENSING UNIT	MAX.	MAXIMUM
CFH	CUBIC FEET PER HOUR	MIN.	MINIMUM
DB	DRY BULB	OA	OUTSIDE AIR
DN.	DOWN	PSIG	POUNDS PER SQUARE INCH GAUGE
EA	EXHAUST AIR	RA	RETURN AIR
ESP	EXTERNAL STATIC PRESSURE	RX.	REMOVE EXISTING
EAT	ENTERING AIR TEMPERATURE	SA	SUPPLY AIR
EWT	ENTERING WATER TEMPERATURE	SF	SQUARE FEET
EX.	EXISTING	TYP.	TYPICAL
ET	EXPANSION TANK	V/∅/HZ	VOLTS/PHASE/HERTZ
FCU	FAN COIL UNIT	VFD	VARIABLE FREQUENCY DRIVE
GPH	GALLONS PER HOUR	W/	WITH
GPM	GALLONS PER MINUTE	WPD	WATER PRESSURE DROP
HP	HORSE POWER	WB	WET BULB
LF	LINEAR FEET		

## SUBSTANTIAL COMPLETION

- MECHANICAL AND ELECTRICAL SYSTEMS ARE NOT SUBSTANTIALLY COMPLETE UNTIL ALL SYSTEMS ARE STARTED, TESTED, BALANCED, AND O&M'S ARE RECEIVED BY THE OWNER.
- THESE ITEMS NOTED ABOVE MUST BE COMPLETE IN TIME FOR THE SYSTEMS DEMONSTRATIONS TO OWNER WITH ALL O&M'S MANUALS IN HAND AT TIME OF DEMONSTRATION.
- PROVIDE SYSTEM DEMONSTRATION AND TRAINING FOR OWNER PERSONNEL FOR EACH SYSTEM. PROVIDE 4 HOURS OF SYSTEM DEMONSTRATION AND 4 HOURS OF OPERATIONS TRAINING FOR EACH SYSTEM.
- PUNCHLIST ITEMS SHALL BE COMPLETED PRIOR TO SUBSTANTIAL COMPLETION.
- START OF ALL WARRANTIES TO BEGIN ON DATE OF SUBSTANTIAL COMPLETION.

## MECHANICAL DRAWING INDEX

Sheet Number	Sheet Name
M001	MECHANICAL COVER SHEET
M201	ART CENTER & GREENHOUSE - BASEMENT - MECHANICAL
M202	ART CENTER & GREENHOUSE - FIRST FLOOR - MECHANICAL
M203	GARDEN CABIN - BASEMENT - MECHANICAL
M204	GARDEN CABIN - FIRST FLOOR - MECHANICAL
M205	NATURE CABIN - BASEMENT - MECHANICAL
M206	NATURE CABIN - FIRST FLOOR - MECHANICAL
M207	112 McCORMICK CABIN - FIRST FLOOR - MECHANICAL
M601	CONTROLS
M701	DETAILS
M702	DETAILS
M703	DETAILS
M704	DETAILS
M801	SCHEDULES

## Holt Park Nature Center - Art Center

ASHRAE 62.1-2019 Ventilation Rate Procedure Calculation - Section 6.2.2 Single Zone

ASHRAE 62.1 Table 6-1										DCV OA Max				DCV OA Min (Section 6.2.6.1)				EA Min (Table 6-2)				Balancing Schedule			
1A	1B	1C	1D	1E	1F	1G	1H	2A	2B	2C	2D	2E	3A	3B	3C	3D	4A	4B	6A	6B	6C	6D	6E	6F	
Space #	Space Name	Occupancy Category	Rp CFM/Person	Ra SF	People/1000 SF	Az (SF)	Pz People	People CFM	Area CFM	Breathing Zone CFM	Vbz	Ez	Air Dist.	Occupied Stand-By (Y/N)	Space OA CFM	CFM/SF	Space EA CFM	Space #	Space Name	Design OA CFM Min	Design OA CFM Max	Design EA CFM Min	Design EA CFM Max		
001	STORAGE	OCCUPIABLE STORAGE	5	0.06	2	350	1	5	21	26	1	30	0.00	0	0	0.00	0	001	STORAGE	30	30	0	0		
304	GALLERY	MUSEUM (CHILDREN'S)	7.5	0.12	40	250	10	75	30	105	1	110	0.00	0	0	0.00	0	304	GALLERY	30	110	0	0		
305	ROOM	CLASSROOM	10	0.12	25	208	6	60	25	85	1	90	0.00	0	0	0.00	0	305	ROOM	30	90	0	0		
306	OFFICE	OFFICE SPACE	5	0.06	5	284	2	10	18	28	1	30	0.00	0	0	0.00	0	306	OFFICE	20	30	0	0		
303	RESTROOM	BATHROOM	0	0	0	52	0	0	0	0	1	0	0	0	0	0.00	100	303	RESTROOM	0	0	100	100		
T	Total					1144	19			244		260			110		100			110	260	100	100		

Design OA CFM		Design EA CFM		System A CFM	
Min	Max	Min	Max	Min	Max
110	260	100	100	10	160

SEAL	PROFESSIONAL CERTIFICATION	AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 58981 EXPIRATION DATE 03/06/2027					PNW	35NW40	PLAN SCALE: 1/2" = 1'-0"	APPROVED BY: _____
	STEVEN JENKINS II							PROFILE SCALE: _____	DATE: _____
	AS-BUILT PER RECORD PRINT								PROPERTY MANAGER
	DGN BY: SSI	BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER
	DWN BY: JK	REVIEWED BY:							
	CHKD BY: SSI	DATE REVIEWED:							

SUBDIVISION: OVERLEA

## BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT

HOLT PARK ENHANCEMENTS  
MECHANICAL COVER SHEET  
BUILDING IMPROVEMENTS  
34 ELMONT AVE., BALTIMORE, MD 21206

ELECTION DIST. NO.: 14 e 6

# Bowman

SHEET DESIGNATION	CONTRACT NUMBER
M001	25054 GX0
JOB ORDER NUMBER	0000971385
SHEET 36 OF 54	DRAWING NUMBER
2025-1570	FILE NO.: 8

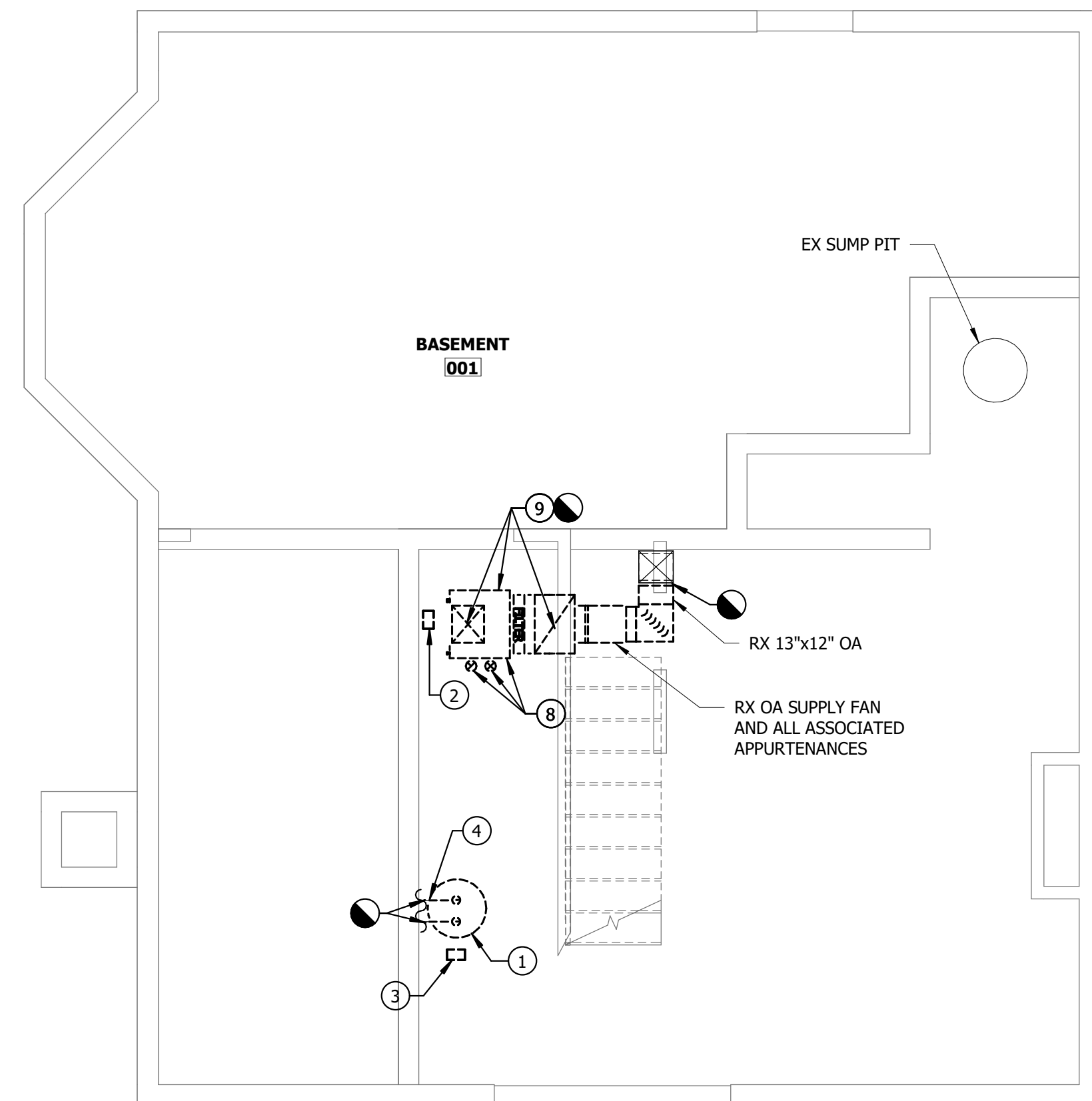


**GENERAL NOTES**

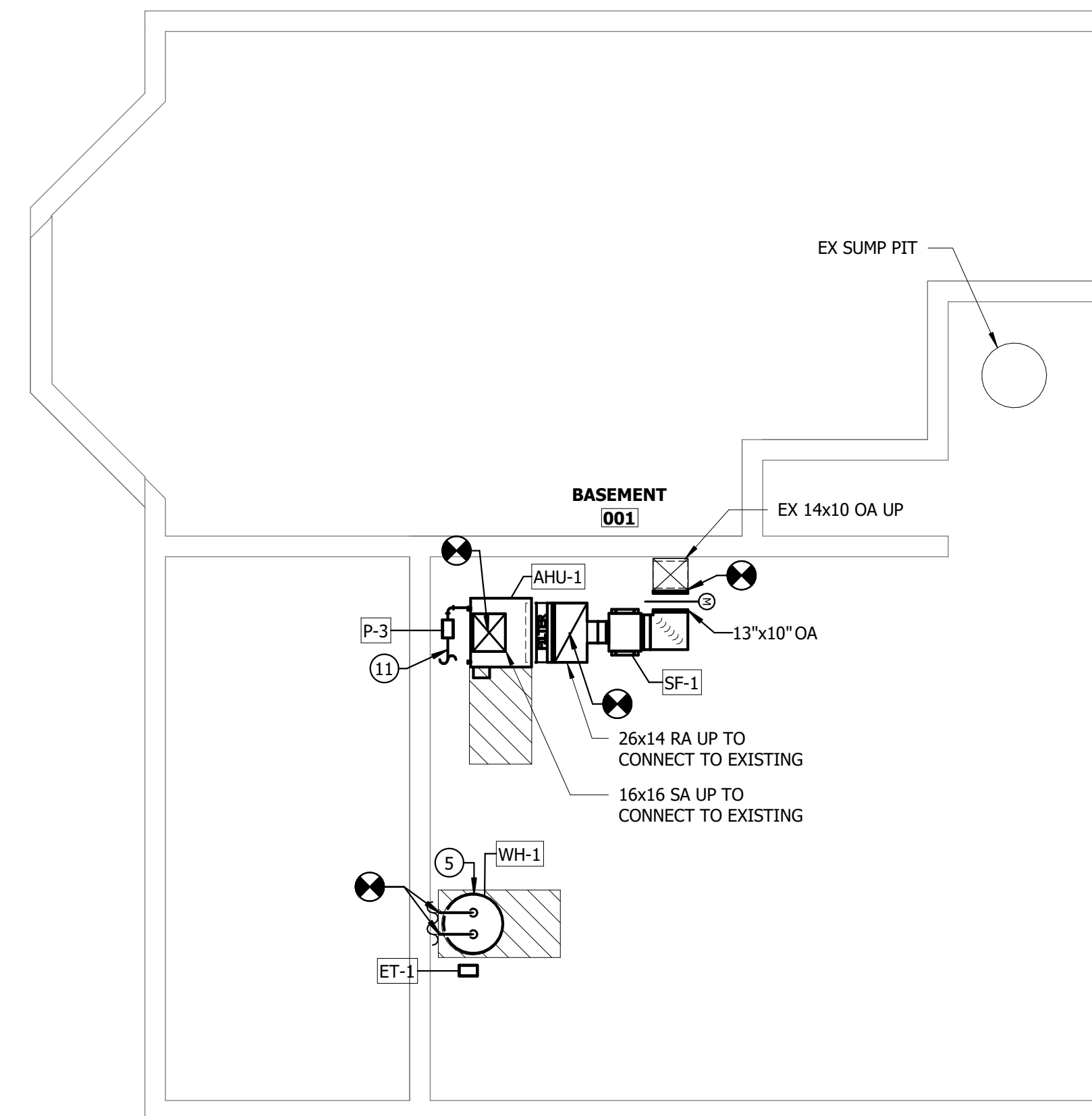
1. CONTRACTOR SHALL CLEAN AND PRESSURE TEST EXISTING DUCTWORK.
2. CONTRACTOR SHALL CLEAN AND REPAINT EXISTING AIR DEVICES.
3. PROVIDE INSULATION ON ALL EXPOSED HOT AND COLD WATER PIPING.

**DRAWING NOTES**

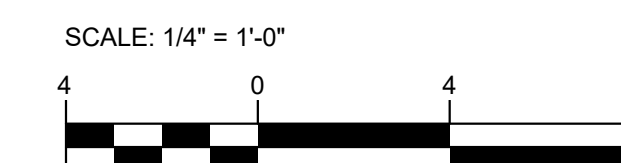
1. REMOVE EXISTING DOMESTIC WATER HEATER AND ALL ASSOCIATED APPURTENANCES.
2. REMOVE EXISTING CONDENSATE PUMP AND ASSOCIATED CD DISCHARGE TUBING.
3. REMOVE EXISTING EXPANSION TANK
4. REMOVE EXISTING DOMESTIC COLD AND HOT WATER PIPING TO EXTENT NECESSARY TO INSTALL NEW EQUIPMENT.
5. INSTALL WATER HEATER IN ORIGINAL LOCATION AND TIE INTO EXISTING COLD/HOT WATER PIPING. REFER TO DETAIL FOR ADDITIONAL PIPING AND VALVING REQUIRED.
6. PROVIDE 3' EQUIPMENT CLEARANCE.
7. AHU DISCONNECT MOUNTED ON UNIT.
8. DEMOLISH EXISTING GAS CONNECTION BACK TO MAIN AND CAP. REMOVE EXISTING FLUE INTAKE AND EXHAUST PIPES AND PATCH OPENINGS TO MATCH EXISTING CONDITIONS.
9. REMOVE EXISTING AHU AND ASSOCIATED APPURTENANCES. REMOVE EXISTING SUPPLY AND RETURN DUCTWORK CONNECTIONS TO ALLOW INSTALLATION OF NEW AHU. REFER TO NEW WORK DRAWINGS FOR MORE INFORMATION.
10. PROVIDE FILTER BOX.
11. 3/4" CD FROM CONDENSATE PUMP. ROUTE TO DISCHARGE INDIRECTLY INTO EXISTING SUMP PIT.



**BASEMENT - ART CENTER & GREENHOUSE - DEMO**  
SCALE: 1/4" = 1'-0"



**BASEMENT - ART CENTER & GREENHOUSE - NEW**  
SCALE: 1/4" = 1'-0"



	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT	
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.						R.O.W. NO.	PNW	35NW40	PLAN SCALE: <u>As indicated</u>	APPROVED BY: _____ PROPERTY MANAGER
	LICENSE NO. <u>58981</u> EXPIRATION DATE <u>03/06/2027</u>		CONTRACT COMPLETION BOX							PROFILE SCALE: _____	DATE: _____
	BY: <u>STEVEN JENKINS II</u> DATE: _____		DGN BY: <u>SSJ</u> BUREAU OR ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	
AS-BUILT PER RECORD PRINT		DWN BY: <u>JK</u>	REVIEWED BY:								
BY: _____ DATE: _____		CHKD BY: <u>SSJ</u>	DATE REVIEWED:								

**BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT**  
 HOLT PARK ENHANCEMENTS  
**ART CENTER & GREENHOUSE - BASEMENT - MECHANICAL**  
 BUILDING IMPROVEMENTS  
 34 ELMONT AVE., BALTIMORE, MD 21206  
 ELECTION DIST. NO.: 14 c 6  
 SUBDIVISION: OVERLEA

**Bowman**

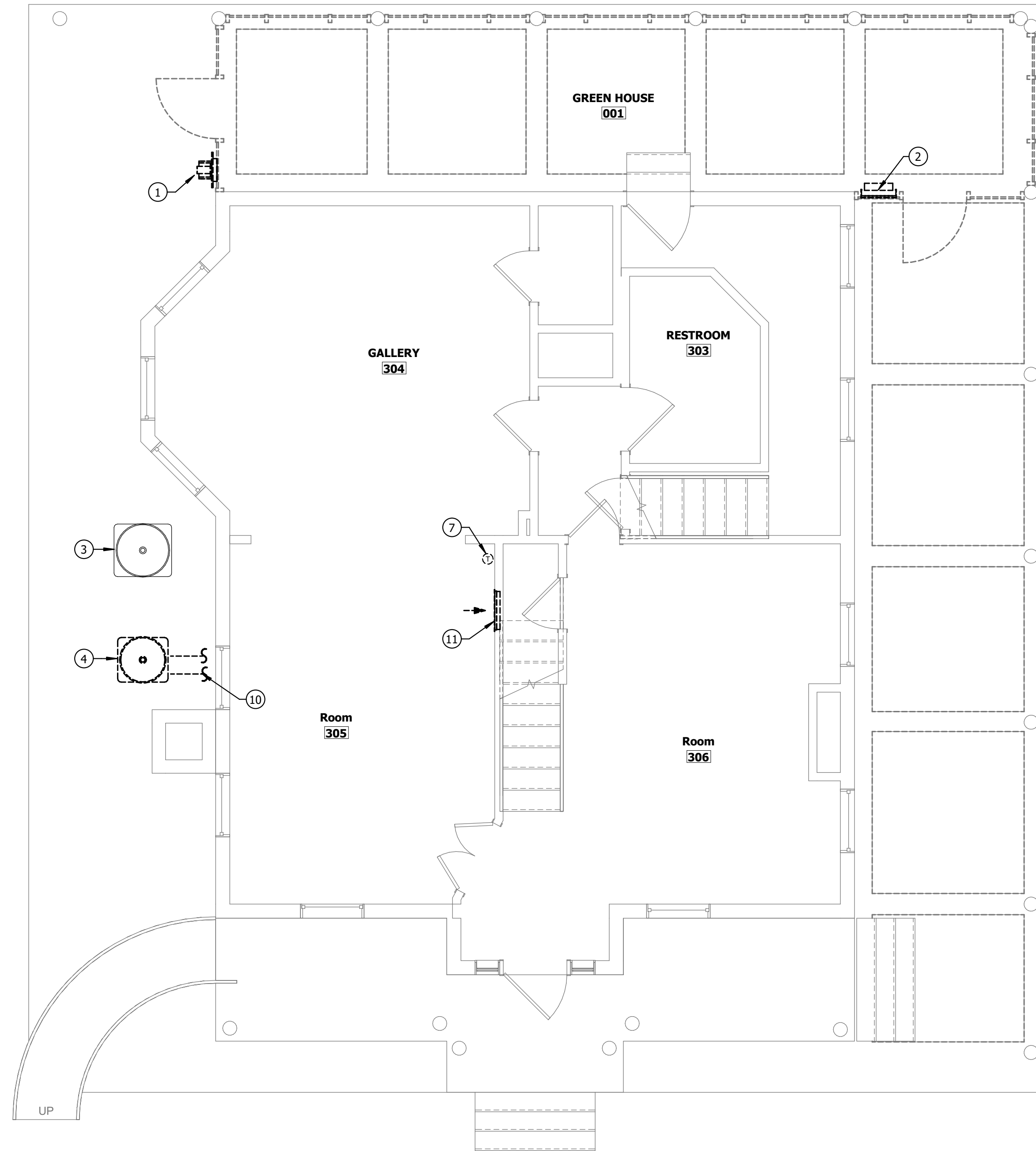
SHEET DESIGNATION	CONTRACT NUMBER
M201	25054 GX0
JOB ORDER NUMBER	0000971385
SHEET 37 OF 54	DRAWING NUMBER
2025-1571	FILE NO.: 8

**GENERAL NOTES**

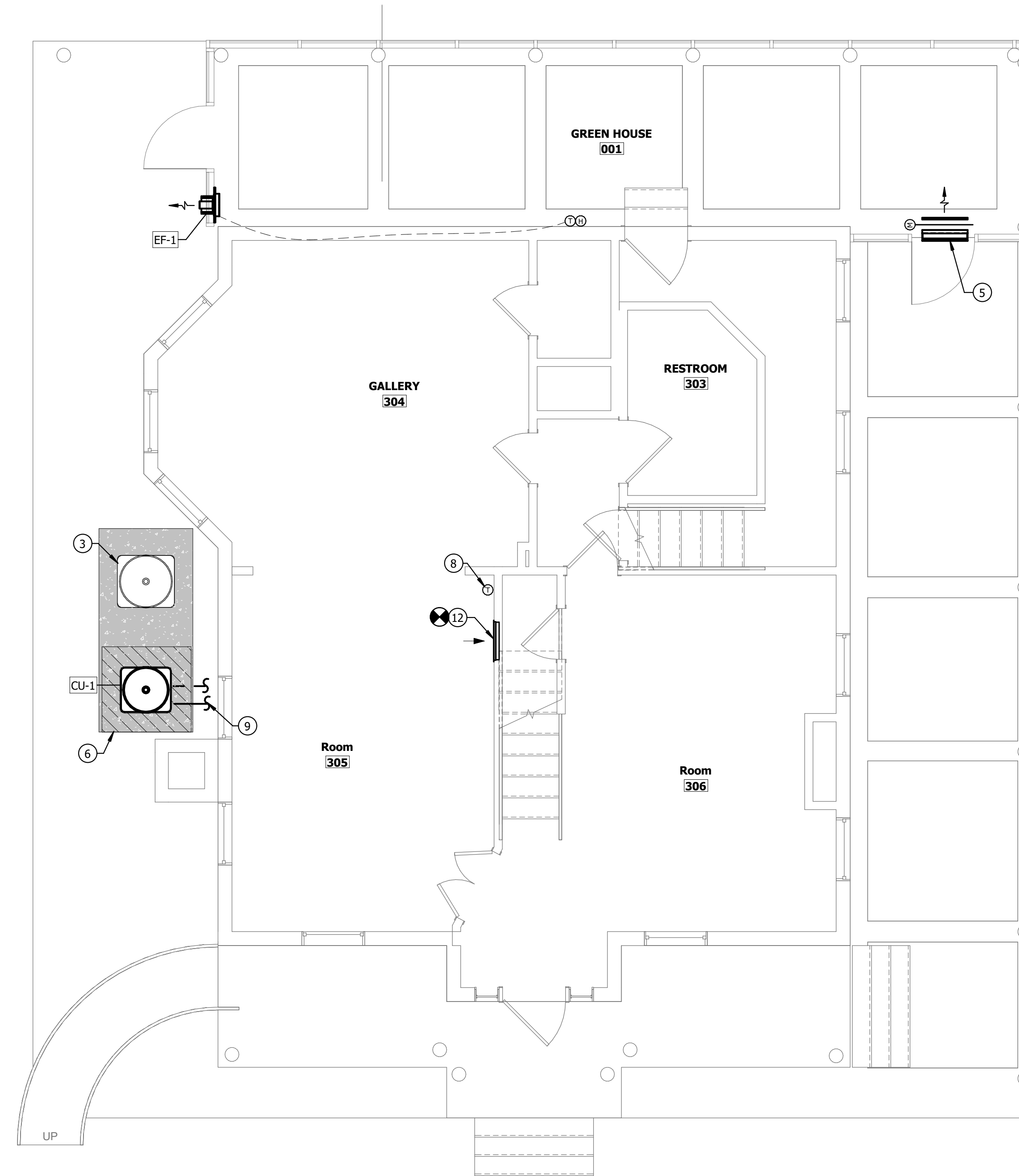
1. CONTRACTOR SHALL CLEAN AND PRESSURE TEST EXISTING DUCTWORK.
2. CONTRACTOR SHALL CLEAN AND REPAINT EXISTING AIR DEVICES.
3. PROVIDE INSULATION ON ALL EXPOSED HOT AND COLD WATER PIPING.

**DRAWING NOTES**

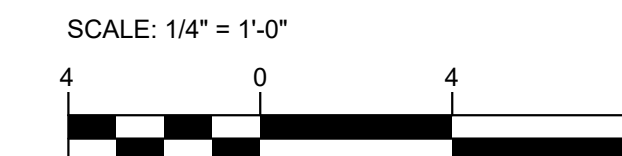
- 1 REMOVE EXISTING EXHAUST FAN.
- 2 REMOVE EXISTING LOUVER. PATCH OPENING TO MATCH EXISTING CONDITIONS.
- 3 EXISTING CONDENSING UNIT TO REMAIN.
- 4 REMOVE EXISTING CONDENSING UNIT AND ASSOCIATED REFRIGERANT PIPING. REFRIGERANT SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL CODES.
- 5 PROVIDE 22" X 24" INTAKE LOUVER WITH 12" DEEP INSULATED PLENUM AND BIRD SCREEN. MOD SHALL BE SUPPLIED WITH 120V POWER AND SHALL BE INTERLOCKED WITH EF-1.
- 6 PROVIDE 3' EQUIPMENT CLEARANCE.
- 7 REMOVE AND REPLACE THE EXISTING THERMOSTAT.
- 8 PROVIDE 7-DAY PROGRAMMABLE THERMOSTAT WITH GUARD.
- 9 REFRIGERANT SUPPLY AND RETURN PIPING TO/FROM INDOOR UNIT. SIZE AND ROUTE PER MANUFACTURER RECOMMENDATIONS.
- 10 DRAIN AND REMOVE EXISTING REFRIGERANT SUPPLY AND RETURN PIPING. REFRIGERANT SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL CODES. REFER TO NEW WORK FOR MORE INFORMATION.
- 11 REMOVE AND REPLACE EXISTING RETURN AIR GRILLE.
- 12 PROVIDE 24X24 RETURN AIR GRILLE, PRICE MODEL 530 OR APPROVED EQUAL.



**FIRST FLOOR - ART HOUSE - MECHANICAL- DEMO**  
SCALE: 1/4" = 1'-0"



**FIRST FLOOR - ART HOUSE - MECHANICAL - NEW**  
SCALE: 1/4" = 1'-0"




	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT	
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.						R.O.W. NO.	PNW	35NW40	PLAN SCALE: <u>As indicated</u>	APPROVED BY: _____ PROPERTY MANAGER
	LICENSE NO. <u>58981</u> EXPIRATION DATE <u>03/06/2027</u>		CONTRACT COMPLETION BOX							PROFILE SCALE: _____	DATE: _____
	STEVEN JENKINS II DGN BY: <u>SSJ</u> AS-BUILT PER RECORD PRINT DWN BY: <u>JK</u> BY: _____ DATE: <u>5/16/2025 9:54:42 AM</u>		BUREAU OF ENGINEERING AND CONSTRUCTION		TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER
		REVIEWED BY: _____									
		DATE REVIEWED: _____									

**BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT**  
 HOLT PARK ENHANCEMENTS  
**ART CENTER & GREENHOUSE - FIRST FLOOR - MECHANICAL**  
 BUILDING IMPROVEMENTS  
 34 ELMONT AVE., BALTIMORE, MD 21206  
 SUBDIVISION: OVERLEA  
 ELECTION DIST. NO.: 14 c 6

**Bowman**

SHEET DESIGNATION	CONTRACT NUMBER
M202	25054 GX0
JOB ORDER NUMBER	0000971385
SHEET 38 OF 54	DRAWING NUMBER
	2025-1572
FILE NO.: 8	



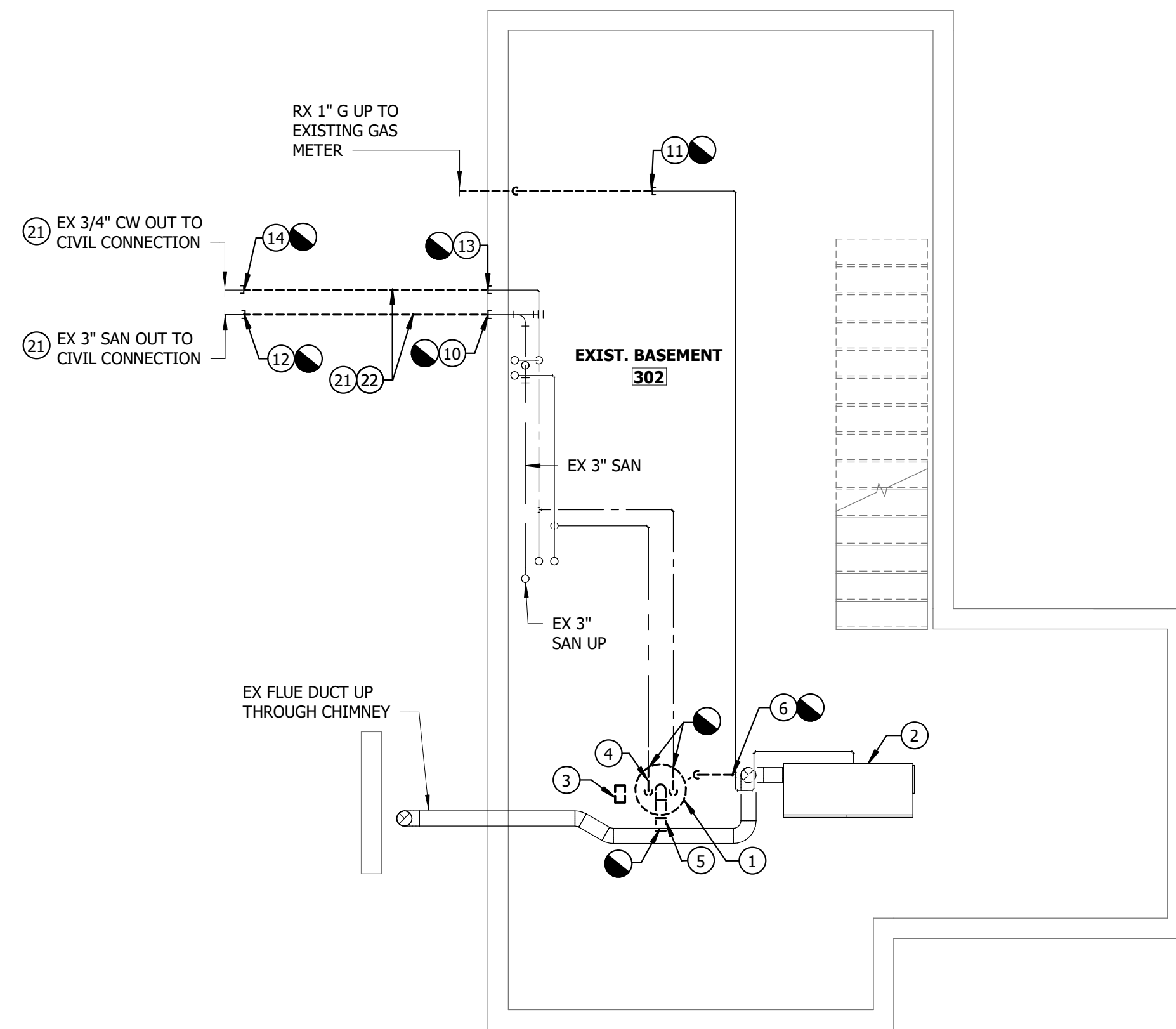
C:\Users\jprespec\laur\Documents\Baltimore County Holt Park - Central File - Rev 2025\jprespec\laur\BZPCY.rvt

**GENERAL NOTES**

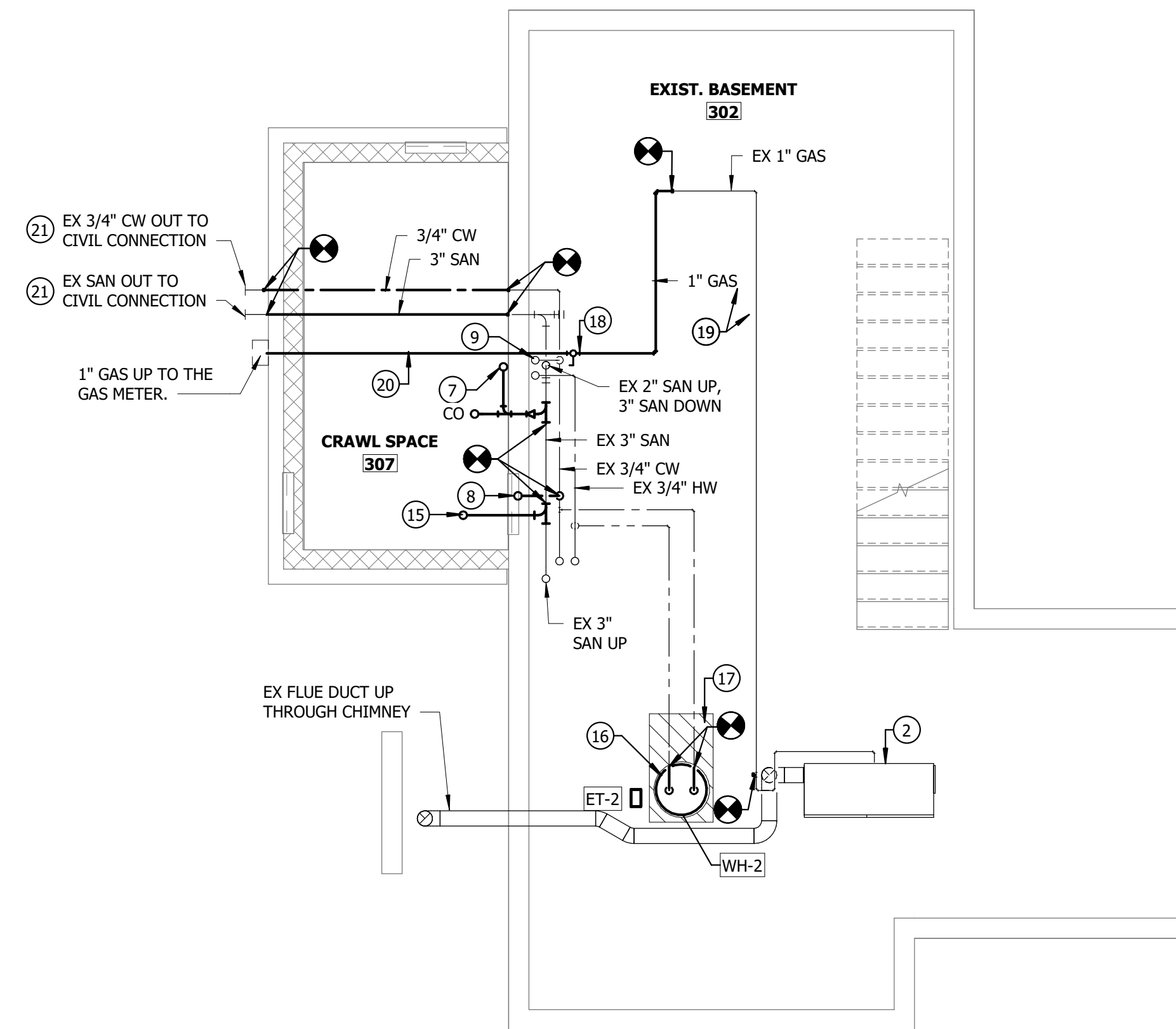
1. CONTRACTOR SHALL CLEAN AND PRESSURE TEST EXISTING DUCTWORK.
2. CONTRACTOR SHALL CLEAN AND REPAINT EXISTING AIR DEVICES.
3. PROVIDE INSULATION ON ALL EXISTING AND NEW HOT AND COLD WATER PIPING WITHIN BASEMENT AND CRAWL SPACE.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL EXISTING UTILITIES WITHIN THE BATHROOM AND CRAWL SPACE ADDITION AREA PRIOR TO COMMENCING ANY EXCAVATION WORK. THE CONTRACTOR MUST USE CAUTION WHEN EXCAVATING IN THE BATHROOM ADDITION AREA. THE CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR AND/OR REPLACE ANY EXISTING UTILITY LINE OR SERVICE THAT GETS DAMAGED IN THE COURSE OF CONSTRUCTION.

**DRAWING NOTES**

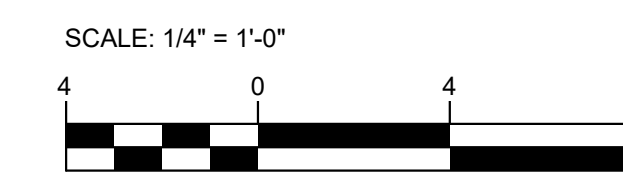
- 1 REMOVE EXISTING DOMESTIC WATER HEATER AND ALL ASSOCIATED APPURTENANCES.
- 2 EXISTING AHU TO REMAIN.
- 3 REMOVE EXISTING EXPANSION TANK
- 4 REMOVE EXISTING DOMESTIC COLD AND HOT WATER PIPING TO EXTENT NECESSARY TO INSTALL NEW EQUIPMENT.
- 5 REMOVE EXISTING FLUE DUCT SERVING WATER HEATER AND CAP.
- 6 REMOVE EXISTING NATURAL GAS PIPING SERVING WATER HEATER AND CAP AT MAIN.
- 7 2" SANITARY UP TO LAVATORY, P-3.
- 8 1/2" CW TO WATER CLOSET, P-1.
- 9 EXISTING 3/4" CW/HW UP TO SERVICE SINK.
- 10 REMOVE EXISTING UNDERGROUND SAN PIPE AND CAP AT BUILDING EXIT TO ALLOW CONSTRUCTION.
- 11 REMOVE EXISTING GAS PIPE CONNECTION UP TO GAS METER AND CAP IN BASEMENT. REFER TO NEW WORK FOR MORE INFORMATION.
- 12 CAP MAIN SAN CONNECTION COMING INTO THE BUILDING FROM THE SITE. REFER TO NEW WORK PLAN FOR RECONNECTION.
- 13 REMOVE EXISTING COLD WATER CONNECTION TO THE BUILDING AND CAP PIPE AT THE BASEMENT WALL TO ALLOW CONSTRUCTION. REFER TO NEW WORK FOR RECONNECTION.
- 14 CAP MAIN CW PIPE COMING INTO THE BUILDING FROM THE SITE. REFER TO NEW WORK PLAN FOR RECONNECTION.
- 15 3" SANITARY UP TO WATER CLOSET, P-1.
- 16 INSTALL WATER HEATER IN ORIGINAL LOCATION AND TIE INTO EXISTING COLD/HOT WATER PIPING. REFER TO DETAIL FOR ADDITIONAL PIPING AND VALVING REQUIRED.
- 17 PROVIDE 3' EQUIPMENT CLEARANCE.
- 18 PROVIDE GAS SHUT OFF VALVE.
- 19 PROVIDE PIPE SUPPORT FROM THE FLOOR FOR NEW SAN AND CW PIPING. NEW SAN PIPING MUST MAINTAIN DOWNWARD SLOPE FROM THE BUILDING TOWARDS THE SITE CONNECTION.
- 20 1" GAS. ROUTE HIGH WITHIN THE CRAWL SPACE AND SUPPORT FROM STRUCTURE ABOVE.
- 21 EXACT LOCATION AND ROUTING OF THE SAN AND CW PIPES BEYOND THE EXISTING BUILDING ON THE SITE ARE APPROXIMATE. CONTRACTOR MUST FIELD VERIFY EXACT LOCATIONS OF ALL UTILITIES, PRIOR TO ANY EXCAVATION WORK.
- 22 REMOVE SANITARY AND CW PIPING AS SHOWN AND CAP AT EACH END TO ALLOW FOR CONSTRUCTION OF THE ADDITION. REFER TO NEW WORK PLAN FOR RECONNECTION OF THE PIPING.



**BASEMENT- GARDEN CABIN - MECHANICAL- DEMO**  
SCALE: 1/4" = 1'-0"



**BASEMENT- GARDEN CABIN - MECHANICAL- NEW**  
SCALE: 1/4" = 1'-0"




	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT	
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.								PLAN SCALE: <u>As indicated</u>	APPROVED BY: _____	
	LICENSE NO. <u>58981</u> EXPIRATION DATE <u>03/06/2027</u>		CONTRACT COMPLETION BOX				R.O.W. NO.	PNW	35NW40	PROFILE SCALE: _____	DATE: _____
	STEVEN JENKINS II AS-BUILT PER RECORD PRINT		BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	
BY: _____	DGN BY: <u>SSJ</u>	REVIEWED BY: _____									
DATE: <u>5/16/2025 9:54:43 AM</u>	CHKD BY: <u>SSJ</u>	DATE REVIEWED: _____									

**BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT**  
 HOLT PARK ENHANCEMENTS  
**GARDEN CABIN - BASEMENT - MECHANICAL**  
 BUILDING IMPROVEMENTS  
 34 ELMONT AVE., BALTIMORE, MD 21206  
 SUBDIVISION: OVERLEA

**Bowman**

SHEET DESIGNATION	CONTRACT NUMBER
M203	25054 GX0
JOB ORDER NUMBER	0000971385
SHEET 39 OF 54	DRAWING NUMBER
	2025-1573
FILE NO.: 8	

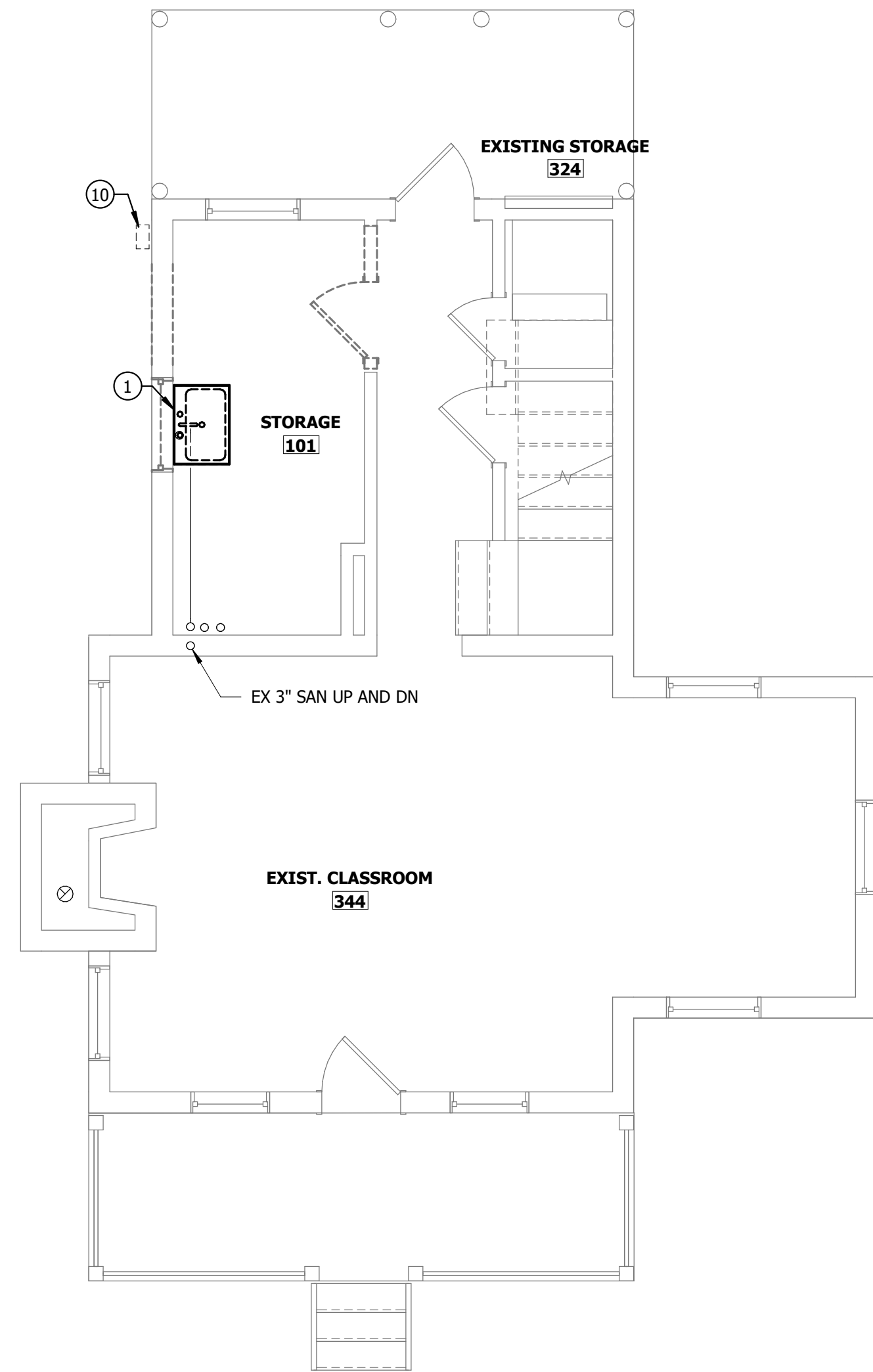


**GENERAL NOTES**

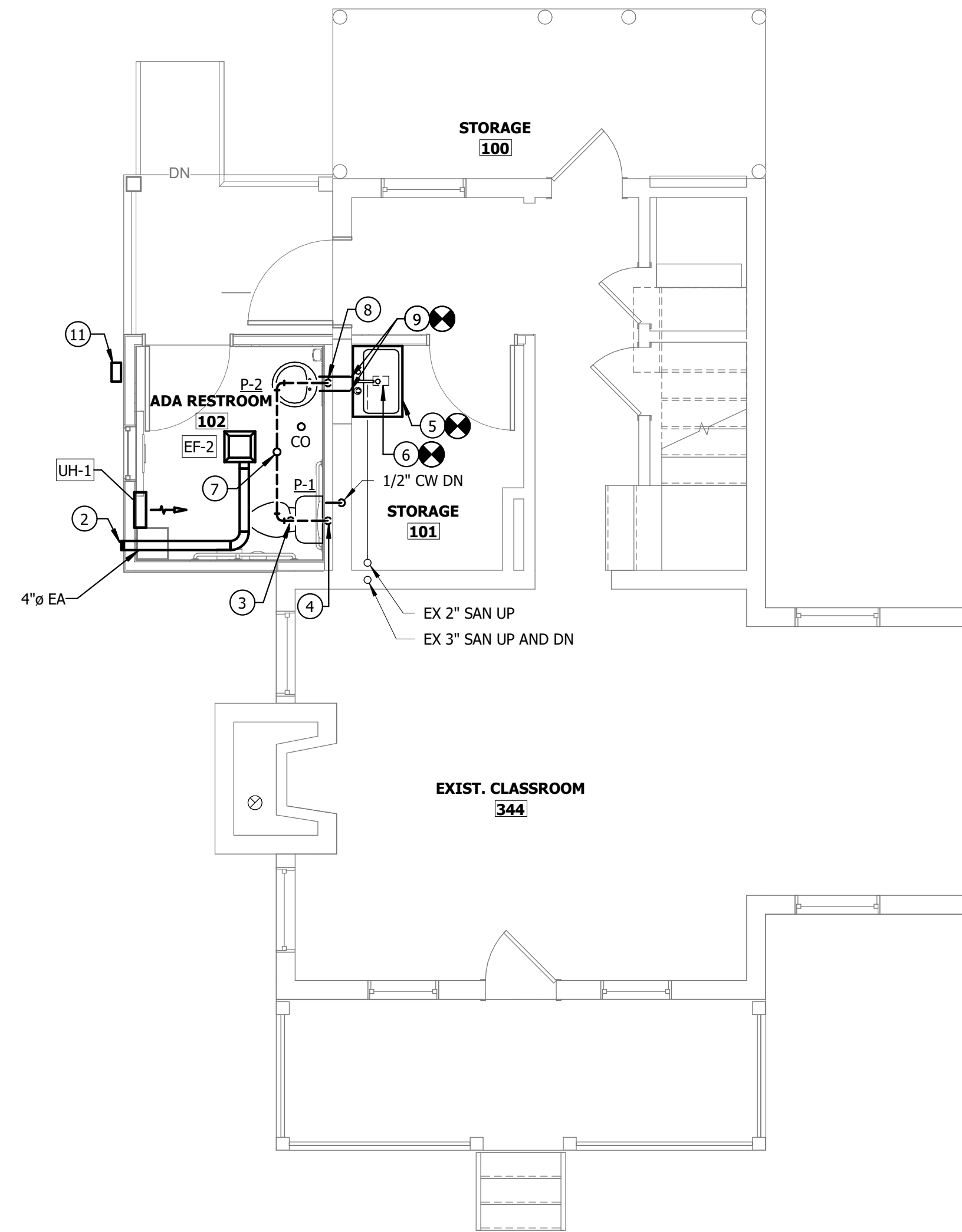
- CONTRACTOR SHALL CLEAN AND PRESSURE TEST EXISTING DUCTWORK.
- CONTRACTOR SHALL CLEAN AND REPAINT EXISTING AIR DEVICES.
- CONTRACTOR SHALL TV AND JET ALL EXISTING SANITARY PIPING.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL EXISTING UTILITIES WITHIN THE BATHROOM AND CRAWL SPACE ADDITION AREA PRIOR TO COMMENCING ANY EXCAVATION WORK. THE CONTRACTOR MUST USE CAUTION WHEN EXCAVATING IN THE BATHROOM ADDITION AREA. THE CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR AND/OR REPLACE ANY EXISTING UTILITY LINE OR SERVICE THAT GETS DAMAGED IN THE COURSE OF CONSTRUCTION.

**DRAWING NOTES**

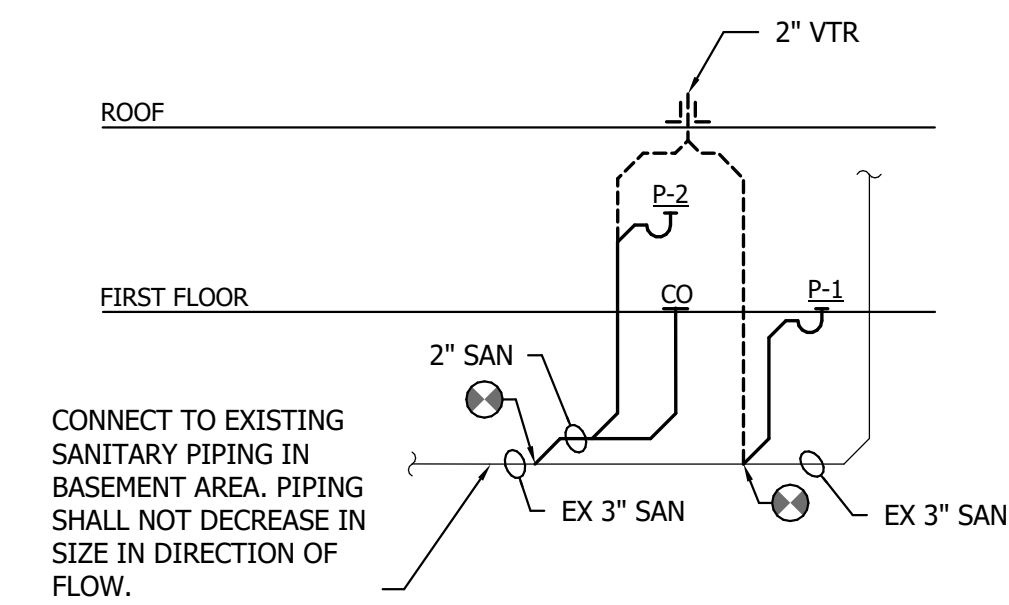
- REMOVE AND RELOCATE EXISTING UTILITY SINK. DISCONNECT EXISTING SANITARY, VENT, DOMESTIC WATER CONNECTIONS AND RECONNECT AT NEW LOCATION. REFER TO ARCHITECTURAL DRAWINGS FOR NEW LOCATION.
- PROVIDE VENT CAP.
- 3/4" CD FROM CONDENSATE PUMP. ROUTE TO DISCHARGE INDIRECTLY INTO EXISTING SUMP PIT.
- 2" VENT DOWN TO SERVE WATER CLOSET, P-1.
- APPROXIMATE LOCATION OF RELOCATED SINK. REFER TO ARCHITECTURAL DRAWINGS FOR MORE INFORMATION.
- PROVIDE STRIEM SIDEKICK UNDERSINK SOLIDS INTERCEPTOR.
- 2" VENT UP THROUGH ROOF.
- 2" VENT DOWN TO SERVE LAVATORY, P-2.
- 1/2" CW/HW TO SERVE LAVATORY, P-2. CONNECT TO EXISTING DOMESTIC WATER PIPING SERVING EXISTING SINK. PROVIDE SHUTOFF VALVES.
- EXISTING GAS METER. COORDINATE WITH GAS COMPANY (BGE) TO RELOCATE TO NEW LOCATION. REFER TO NEW WORK FOR MORE INFORMATION.
- LOCATION OF NEW GAS METER. CONTACT AND COORDINATE WITH GAS COMPANY(BGE) TO RELOCATE THE GAS METER AND GAS CONNECTION.



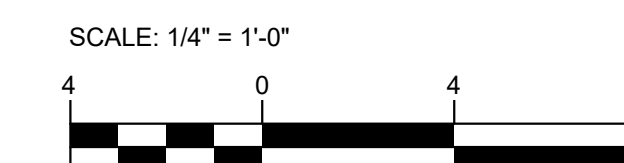
**FIRST FLOOR - GARDEN CABIN - MECHANICAL- DEMO**  
SCALE: 1/4" = 1'-0"



**FIRST FLOOR - GARDEN CABIN - MECHANICAL- NEW**  
SCALE: 1/4" = 1'-0"



**RISER DIAGRAM - SANITARY AND VENT**  
SCALE: NONE



	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT	
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 58981 EXPIRATION DATE 03/06/2027						R.O.W. NO.	PNW	35NW40	APPROVED BY: _____ PROPERTY MANAGER	
	STEVEN JENKINS II		DGN BY: SSI	BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER
	AS-BUILT PER RECORD PRINT		DWN BY: JK	REVIEWED BY:							
BY: _____ DATE: 5/16/2025 9:54:43 AM		CHKD BY: SSI	DATE REVIEWED:								

**BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT**  
HOLT PARK ENHANCEMENTS  
GARDEN CABIN - FIRST FLOOR - MECHANICAL  
BUILDING IMPROVEMENTS  
34 ELMONT AVE., BALTIMORE, MD 21206  
SUBDIVISION: OVERLEA

**Bowman**

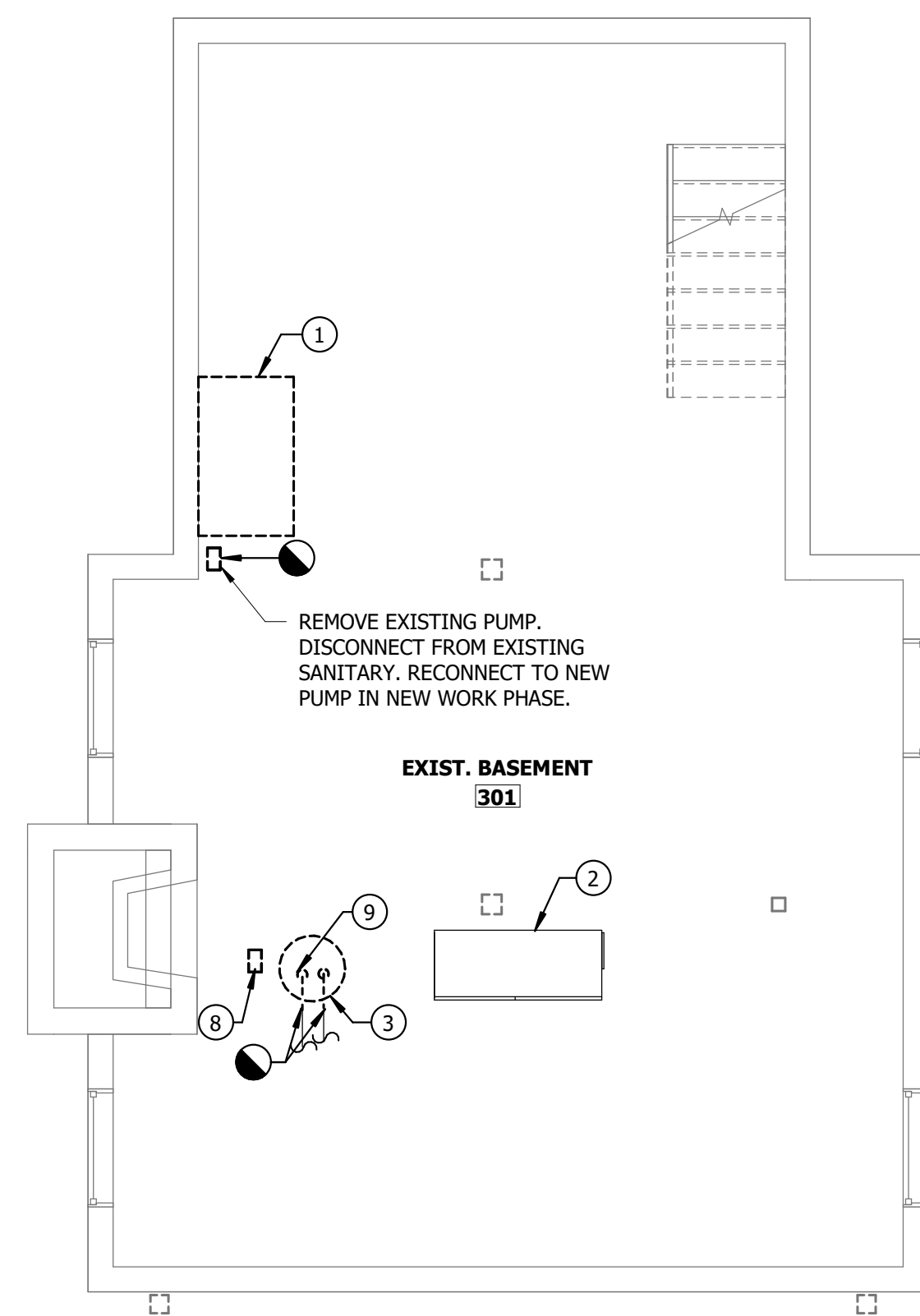
SHEET DESIGNATION	CONTRACT NUMBER
M204	25054 GX0
JOB ORDER NUMBER	0000971385
SHEET 40 OF 54	DRAWING NUMBER
	2025-1574
FILE NO.: 8	

**GENERAL NOTES**

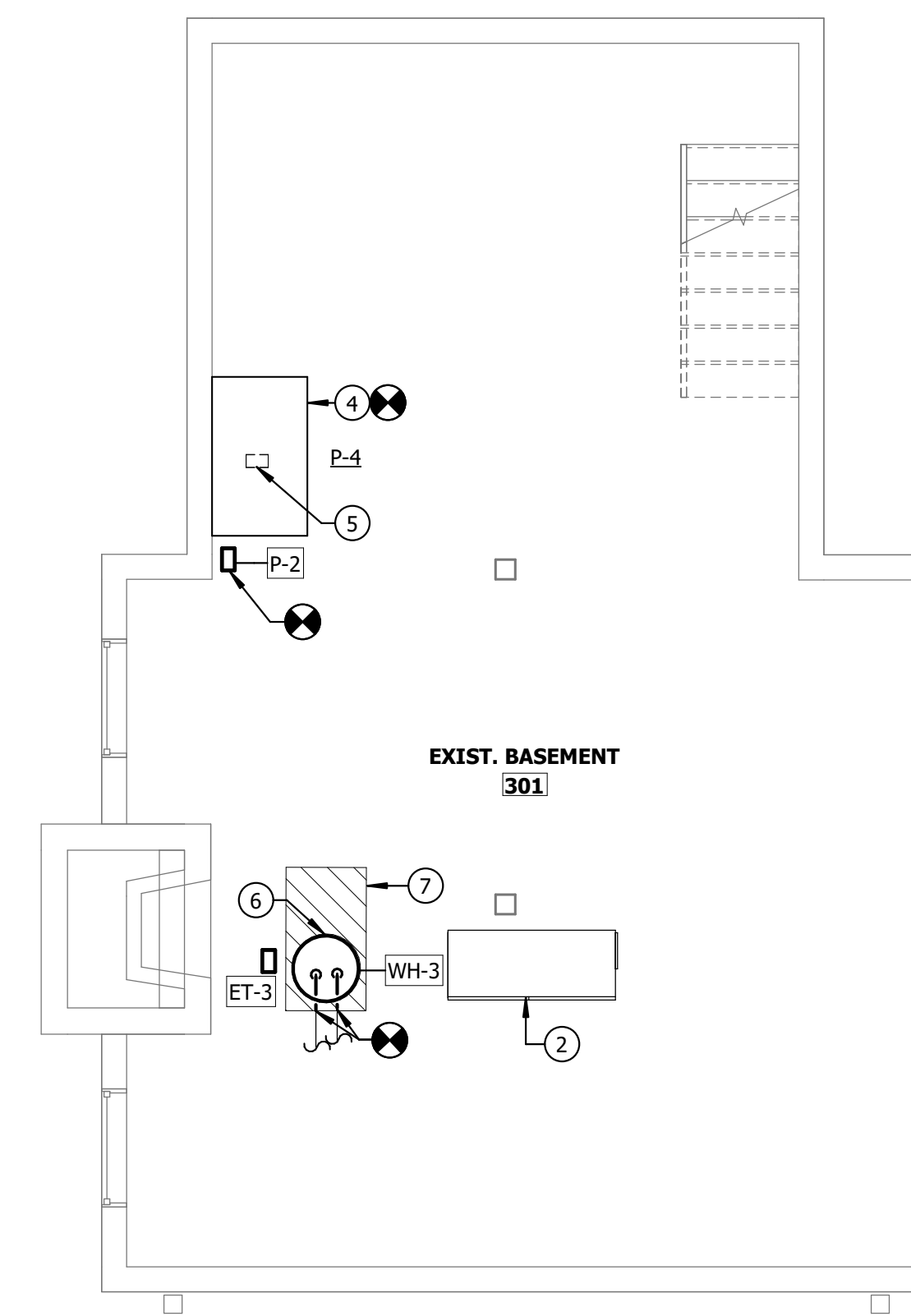
1. CONTRACTOR SHALL CLEAN AND PRESSURE TEST EXISTING DUCTWORK.
2. CONTRACTOR SHALL CLEAN AND REPAINT EXISTING AIR DEVICES.
3. PROVIDE INSULATION ON ALL EXPOSED HOT AND COLD WATER PIPING.

**DRAWING NOTES**

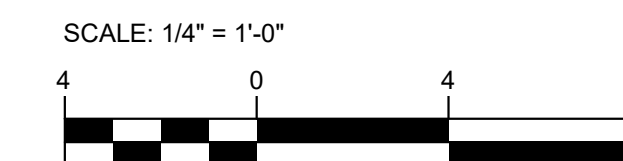
- 1 REMOVE EXISTING UTILITY SINK. DISCONNECT EXISTING SANITARY, VENT, AND DOMESTIC WATER PIPING AND RECONNECT TO NEW FIXTURE IN NEW WORK PHASE.
- 2 EXISTING AHU TO REMAIN.
- 3 REMOVE EXISTING DOMESTIC WATER HEATER AND ALL ASSOCIATED APPURTENANCES.
- 4 CONTRACTOR SHALL CONNECT RELOCATED SINK TO EXISTING DOMESTIC WATER, VENT, AND SANITARY PIPING IN AREA.
- 5 PROVIDE STRIEM SIDEKICK UNDERSINK SOLIDS INTERCEPTOR.
- 6 INSTALL WATER HEATER IN ORIGINAL LOCATION AND TIE INTO EXISTING COLD/HOT WATER PIPING. REFER TO DETAIL FOR ADDITIONAL PIPING AND VALVING REQUIRED.
- 7 PROVIDE 3' EQUIPMENT CLEARANCE.
- 8 REMOVE EXISTING EXPANSION TANK
- 9 REMOVE EXISTING DOMESTIC COLD AND HOT WATER PIPING TO EXTENT NECESSARY TO INSTALL NEW EQUIPMENT.



**BASEMENT- NATURE CABIN - MECHANICAL- DEMO**  
SCALE: 1/4" = 1'-0"



**BASEMENT- NATURE CABIN - MECHANICAL- NEW**  
SCALE: 1/4" = 1'-0"



	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT	
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.						R.O.W. NO.	PNW	35NW40	PLAN SCALE: As indicated	APPROVED BY: _____ PROPERTY MANAGER
	LICENSE NO. 58981 EXPIRATION DATE 03/06/2027		CONTRACT COMPLETION BOX							PROFILE SCALE:	DATE: _____
	STEVEN JENKINS II	DGN BY: SSI	BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	
AS-BUILT PER RECORD PRINT	DWN BY: JK	REVIEWED BY:									
BY: _____	CHKD BY: SSI	DATE REVIEWED:									
DATE: 5/16/2025 9:54:44 AM											

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT

HOLT PARK ENHANCEMENTS  
NATURE CABIN - BASEMENT - MECHANICAL

BUILDING IMPROVEMENTS  
34 ELMONT AVE., BALTIMORE, MD 21206

SUBDIVISION: OVERLEA

ELECTION DIST. NO.: 14 c 6

**Bowman**

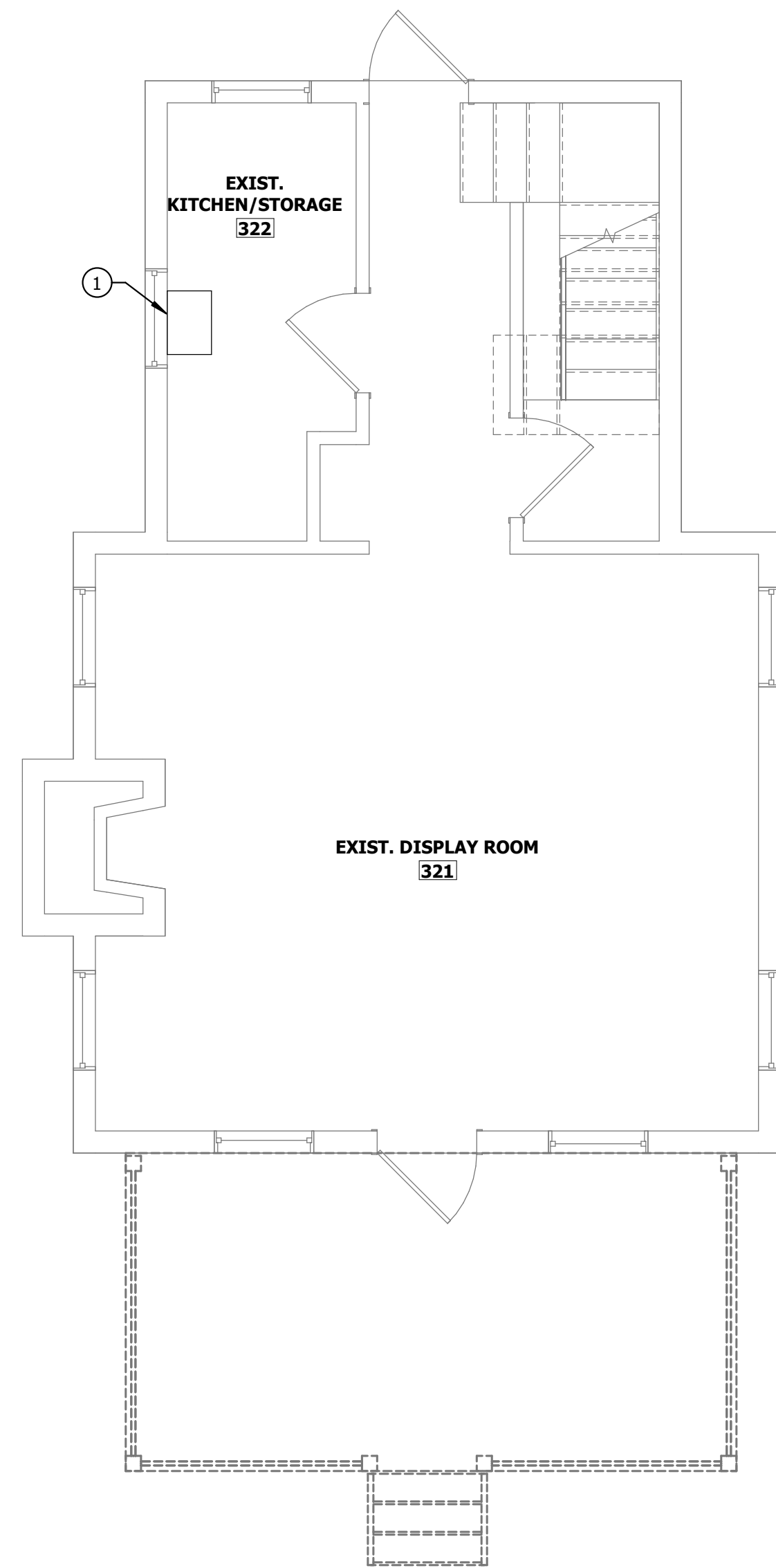
SHEET DESIGNATION	CONTRACT NUMBER
M205	25054 GX0
JOB ORDER NUMBER	0000971385
SHEET 41 OF 54	DRAWING NUMBER
2025-1575	FILE NO.: 8

**GENERAL NOTES**

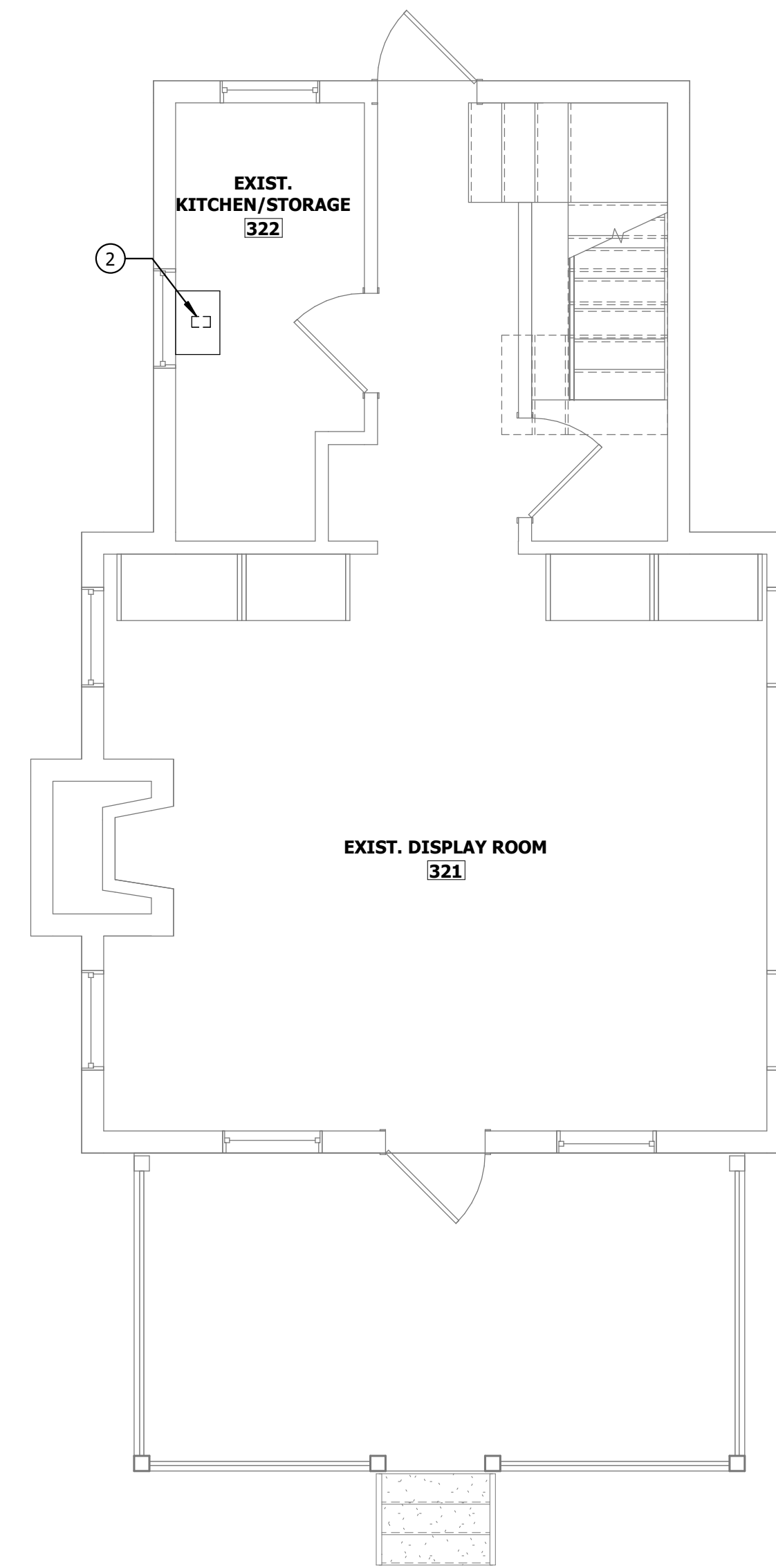
1. CONTRACTOR SHALL CLEAN AND PRESSURE TEST EXISTING DUCTWORK.
2. CONTRACTOR SHALL CLEAN AND REPAINT EXISTING AIR DEVICES.
3. PROVIDE INSULATION ON ALL EXPOSED HOT AND COLD WATER PIPING.

**DRAWING NOTES**

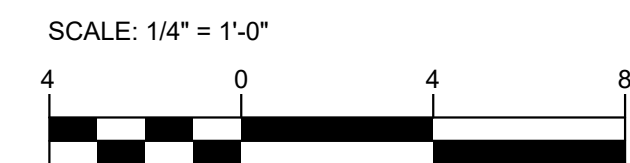
1. EXISTING UTILITY SINK TO REMAIN.
2. PROVIDE STRIEM SIDEKICK UNDERSINK SOLIDS INTERCEPTOR.



**FIRST FLOOR - NATURE CABIN - MECHANICAL- DEMO**  
SCALE: 1/4" = 1'-0"



**FIRST FLOOR - NATURE CABIN - MECHANICAL- NEW**  
SCALE: 1/4" = 1'-0"



	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT	
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.						R.O.W. NO.	PNW	35NW40	PLAN SCALE: <u>As indicated</u>	APPROVED BY: _____ PROPERTY MANAGER
	LICENSE NO. <u>58981</u> EXPIRATION DATE <u>03/06/2027</u>		CONTRACT COMPLETION BOX							PROFILE SCALE: _____	DATE: _____
	BY: <u>STEVEN JENKINS II</u> DATE: _____		DGN BY: <u>SSJ</u>	BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER
AS-BUILT PER RECORD PRINT		DWN BY: <u>JK</u>	REVIEWED BY:								
BY: _____ DATE: <u>5/16/2025 9:54:44 AM</u>		CHKD BY: <u>SSJ</u>	DATE REVIEWED:								

**BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT**  
 HOLT PARK ENHANCEMENTS  
**NATURE CABIN - FIRST FLOOR - MECHANICAL**  
 BUILDING IMPROVEMENTS  
 34 ELMONT AVE., BALTIMORE, MD 21206  
 SUBDIVISION: OVERLEA

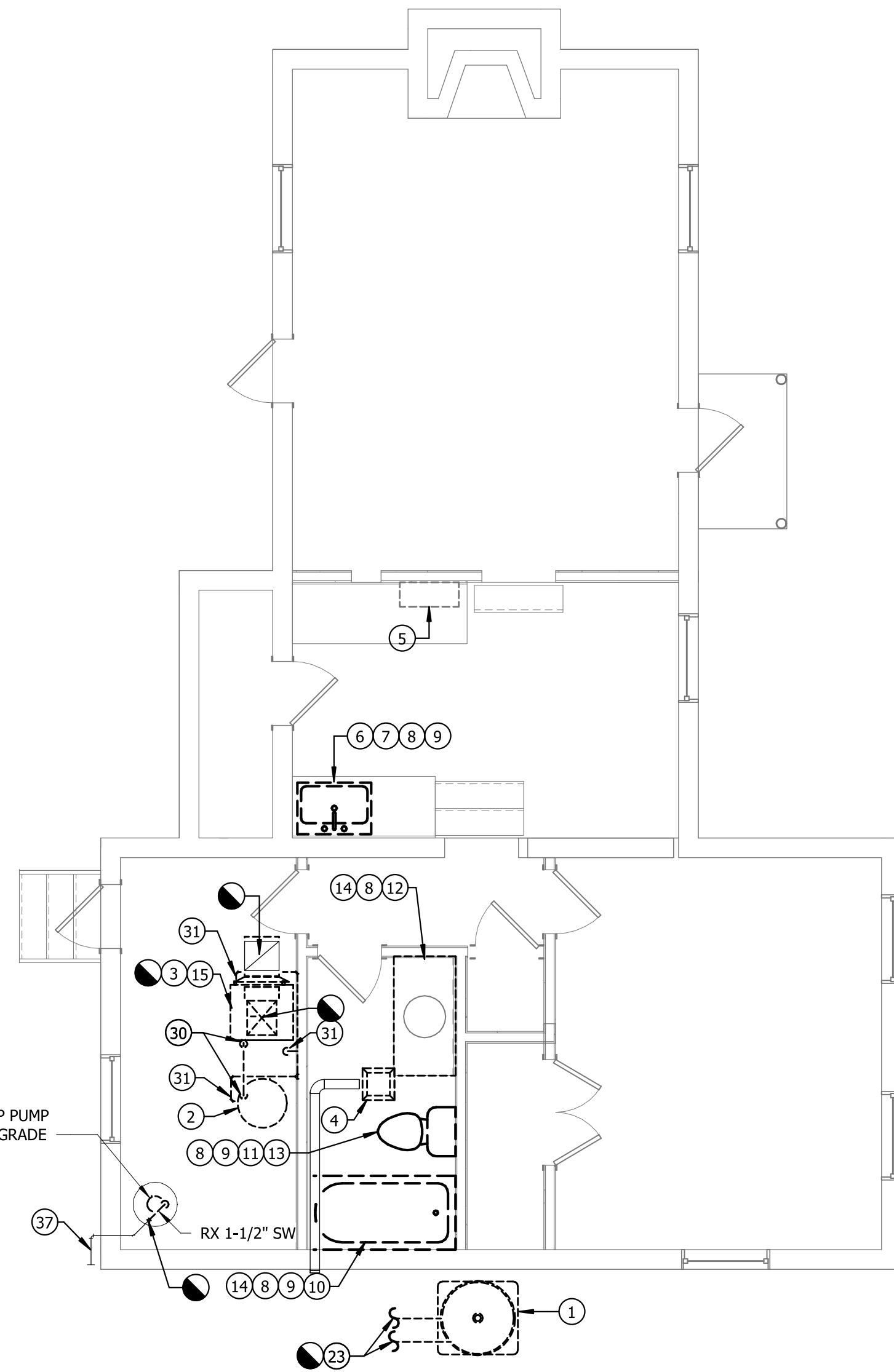
<b>Bowman</b>	
SHEET DESIGNATION	CONTRACT NUMBER
M206	25054 GX0
JOB ORDER NUMBER	
0000971385	
SHEET 42 OF 54	
DRAWING NUMBER	
2025-1576	
FILE NO.: 8	

**GENERAL NOTES**

- CONTRACTOR SHALL CLEAN AND PRESSURE TEST EXISTING DUCTWORK.
- CONTRACTOR SHALL CLEAN AND REPAIR EXISTING AIR DEVICES.
- CONTRACTOR SHALL TV AND JET ALL EXISTING SANITARY PIPING.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL EXISTING UTILITIES WITHIN THE BATHROOM AND CRAWL SPACE ADDITION AREA PRIOR TO COMMENCING ANY EXCAVATION WORK. THE CONTRACTOR MUST USE CAUTION WHEN EXCAVATING IN THE BATHROOM ADDITION AREA. THE CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR AND/OR REPLACE ANY EXISTING UTILITY LINE OR SERVICE THAT GETS DAMAGED IN THE COURSE OF CONSTRUCTION.

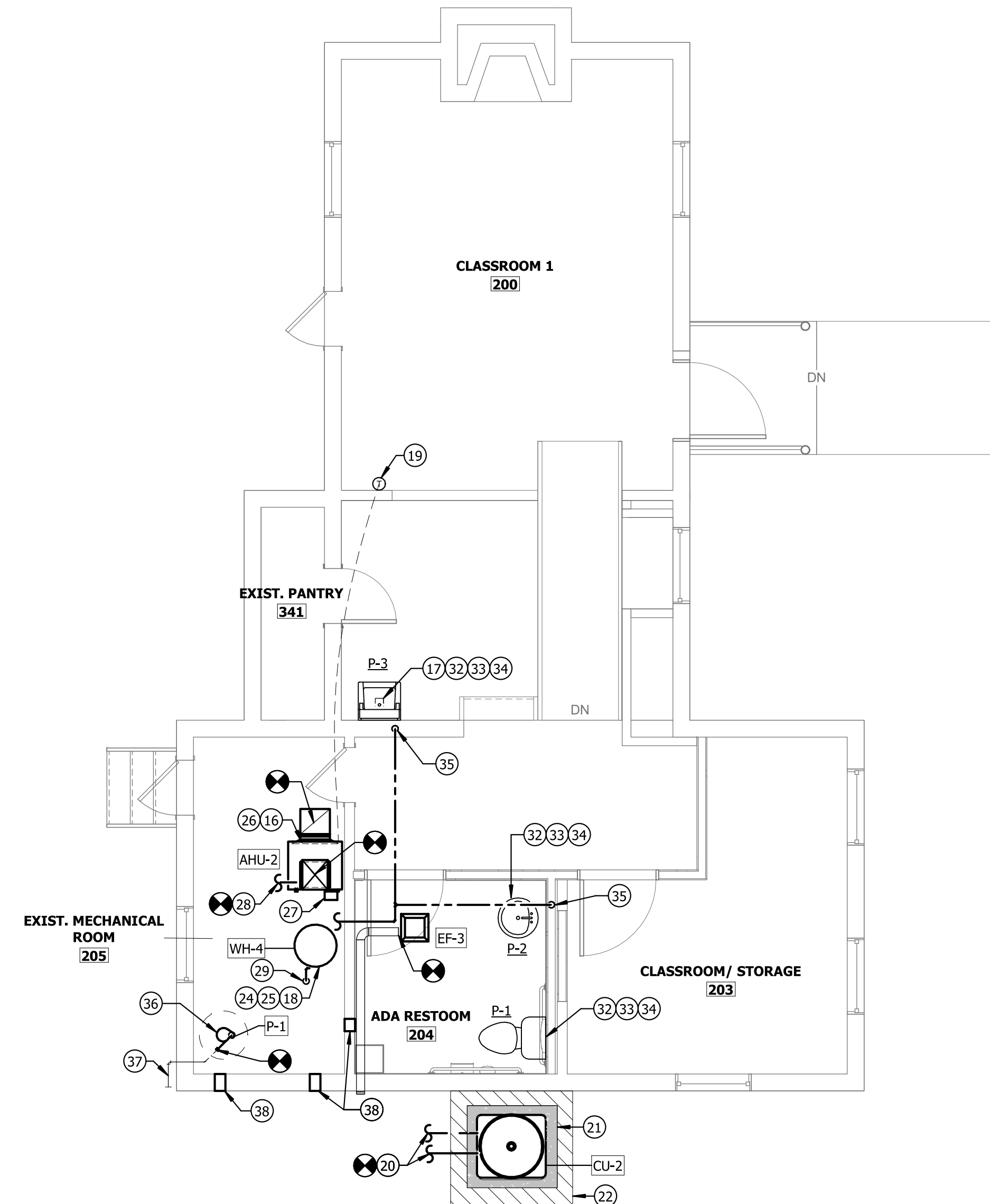
**DRAWING NOTES**

- REMOVE EXISTING CONDENSING UNIT AND ASSOCIATED REFRIGERANT PIPING. REFRIGERANT SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL CODES.
- REMOVE EXISTING DOMESTIC WATER HEATER AND ALL ASSOCIATED APPURTENANCES.
- REMOVE EXISTING AHU AND ASSOCIATED APPURTENANCES. REMOVE EXISTING SUPPLY AND RETURN DUCTWORK CONNECTIONS TO ALLOW INSTALLATION OF NEW AHU. REFER TO NEW WORK DRAWINGS FOR MORE INFORMATION.
- REMOVE EXISTING EXHAUST FAN.
- REMOVE EXISTING KITCHEN HOOD AND ASSOCIATED DUCTWORK. PATCH OPENING TO MATCH EXISTING CONDITIONS.
- REMOVE EXISTING KITCHEN SINK.
- REMOVE EXISTING DOMESTIC HOT AND COLD WATER PIPING BACK TO EXISTING MAIN AND CAP.
- REMOVE EXISTING VENT BACK TO MAIN AND CAP.
- REMOVE EXISTING SANITARY AND CAP AT SLAB. DEMO EXISTING VENT.
- REMOVE EXISTING SHOWER/TUB BASIN AND FAUCET.
- REMOVE EXISTING WATER CLOSET.
- REMOVE EXISTING LAVATORY.
- REMOVE EXISTING DOMESTIC COLD WATER PIPING AND CAP AT MAIN.
- REMOVE ALL EXISTING DOMESTIC HOT WATER PIPING.
- DEMOLISH EXISTING GAS CONNECTION BACK TO MAIN AND CAP. REMOVE EXISTING FLUE INTAKE AND EXHAUST PIPES AND PATCH OPENINGS TO MATCH EXISTING CONDITIONS.
- CONNECT TO EXISTING SUPPLY AND RETURN AIR DUCTWORK.
- PROVIDE STRIEM SIDEKICK UNDERSINK SOLIDS INTERCEPTOR.
- INSTALL WATER HEATER IN ORIGINAL LOCATION AND TIE INTO EXISTING COLD/HOT WATER PIPING. REFER TO DETAIL FOR ADDITIONAL PIPING AND VALVING REQUIRED.
- PROVIDE 7-DAY PROGRAMMABLE THERMOSTAT WITH GUARD.
- REFRIGERANT SUPPLY AND RETURN PIPING TO/FROM INDOOR UNIT. SIZE AND ROUTE PER MANUFACTURER RECOMMENDATIONS.
- PROVIDE CONCRETE PAD FOR CU MOUNTING.
- PROVIDE 3' EQUIPMENT CLEARANCE.
- DRAIN AND REMOVE EXISTING REFRIGERANT SUPPLY AND RETURN PIPING. REFRIGERANT SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL CODES. REFER TO NEW WORK FOR MORE INFORMATION.
- PROVIDE 16" TALL WATER HEATER STAND AS MANUFACTURED BY GRAINGER OR APPROVED EQUAL.
- PROVIDE WATER HEATER DRAIN PAN. REFER TO DETAIL.
- PROVIDE DRAIN PAN AND TO MOUNT ON SUPPORT FRAME. REFER TO DETAIL.
- AHU DISCONNECT MOUNTED ON UNIT.
- CONNECT TO EXISTING CONDENSATE DRAIN.
- CONNECT SANITARY PIPING INTO EXISTING SANITARY DRAIN IN AREA.
- DEMOLISH FLUE VENTS FOR AHU AND WATER HEATER AND PATCH ROOF WORK.
- REMOVE ENTIRETY OF EXISTING NATURAL GAS PIPING SERVING AHU AND WATER HEATER. DEMOLISH PIPING BACK TO METER AND PATCH OPENING IN FLOOR.
- CONNECT TO EXISTING SANITARY PIPING MAIN IN AREA. PIPING SHALL NOT REDUCE IN SIZE IN DIRECTION OF FLOW.
- CONNECT TO EXISTING DOMESTIC COLD WATER PIPING IN AREA.
- 2" VENT SHALL CONNECT TO EXISTING VENT IN AREA.
- 1/2" HW DOWN TO SERVE FIXTURE.
- INSTALL SUBMERSIBLE SUMP PUMP, P-1 IN EXISTING BASIN. CONNECT TO EXISTING 1-1/2" DISCHARGE PIPING. REPLACE EXISTING SUMP PIT COVER. REFER TO DETAIL FOR MORE INFORMATION.
- EX 1-1/2" SW DISCHARGING TO GRADE.
- REMOVE EXISTING DRYER VENTS AND WASHER BOX. PATCH EXISTING OPENINGS TO MATCH EXISTING CONDITIONS.



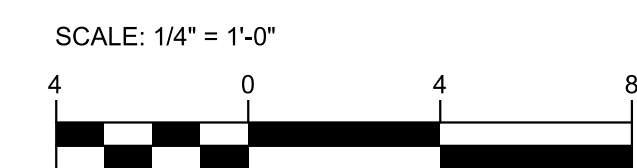
**FIRST FLOOR - 112 McCORMICK CABIN - MECHANICAL- DEMO**

SCALE: 1/4" = 1'-0"



**FIRST FLOOR - 112 McCORMICK CABIN - MECHANICAL- NEW**

SCALE: 1/4" = 1'-0"



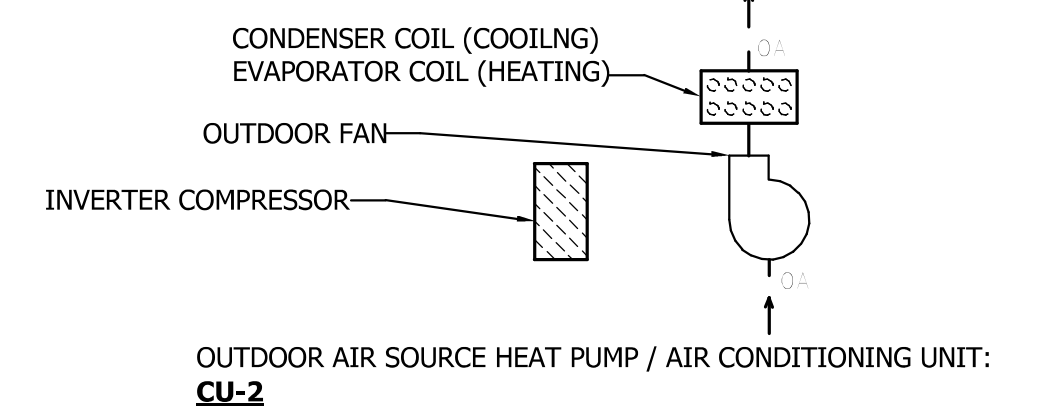
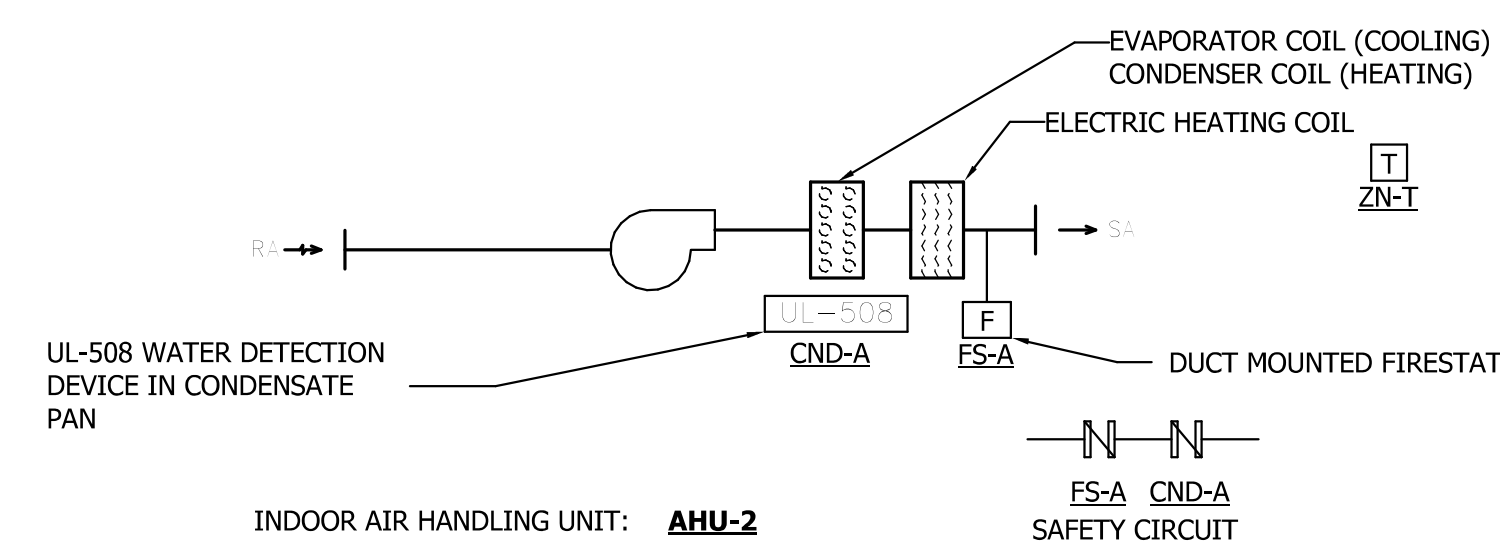
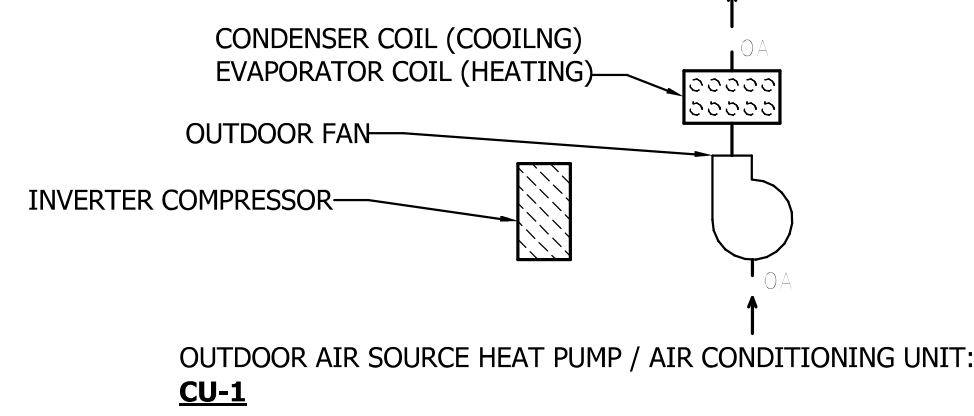
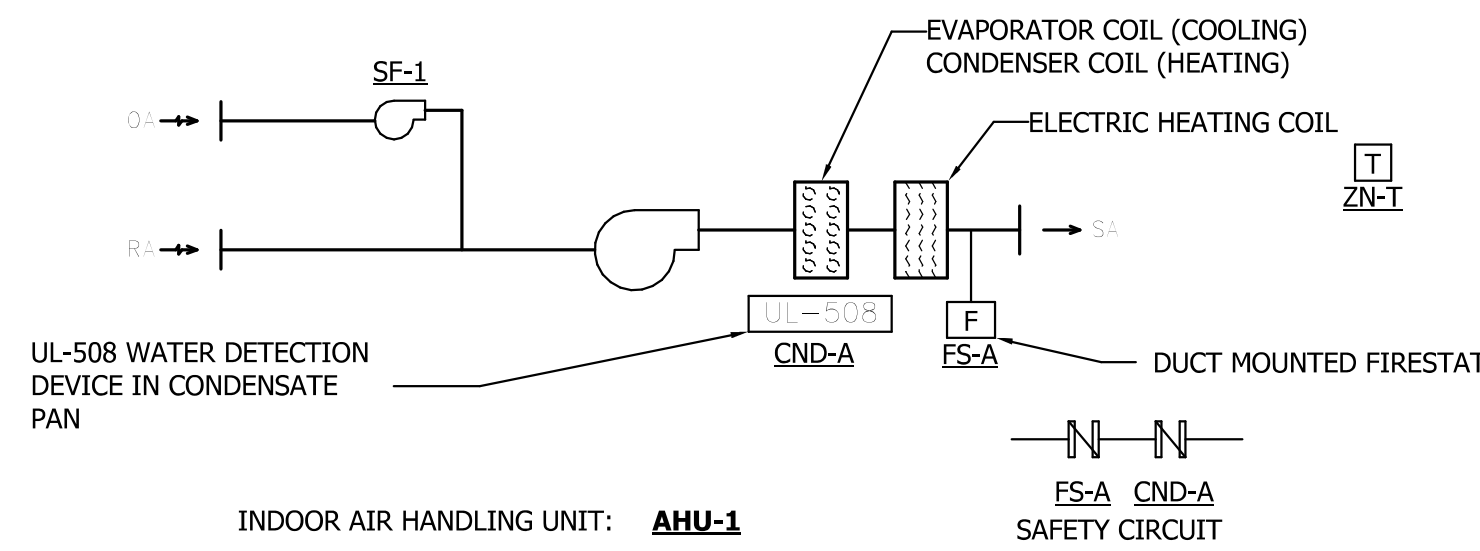
SEAL	PROFESSIONAL CERTIFICATION	AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT	
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 58981 EXPIRATION DATE 03/06/2027								APPROVED BY: _____ PROPERTY MANAGER	
		CONTRACT COMPLETION BOX								DATE: _____
		BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	
		AS-BUILT PER RECORD PRINT	REVIEWED BY:							
BY: _____ DATE: 6/25/2025 10:41:03 AM	DGN BY: SSI	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER		
	CHKD BY: SSI	DATE REVIEWED:								

**BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT**  
 HOLT PARK ENHANCEMENTS  
**112 McCORMICK CABIN - FIRST FLOOR - MECHANICAL**  
 BUILDING IMPROVEMENTS  
 34 ELMONT AVE., BALTIMORE, MD 21206

**Bowman**

SHEET DESIGNATION	CONTRACT NUMBER
M207	25054 GX0
JOB ORDER NUMBER	0000971385
SHEET 43 OF 54	DRAWING NUMBER
2025-1577	FILE NO.: 8

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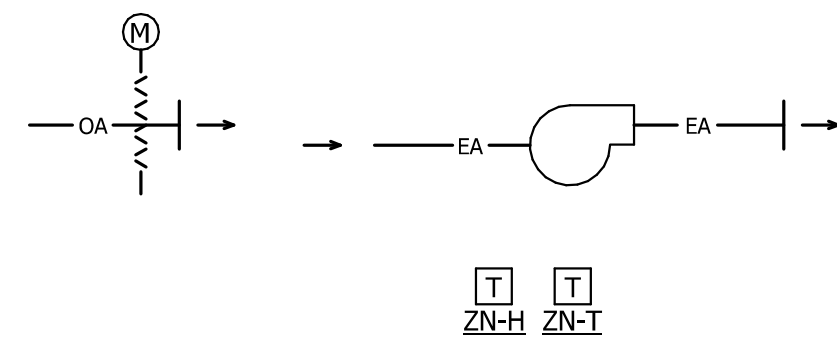


### SPLIT SYSTEM HVAC UNITS - OUTDOOR AIR SOURCE HEAT PUMP AND INDOOR AIR HANDLING UNIT - NON-RESIDENTIAL W/ DIRECT OA (AHU-1) - CONTROL DIAGRAM & SEQUENCE OF OPERATIONS

SCALE: NONE

- General :**
  - The AHU and associated condensing unit shall run off its manufacturer controls with a 7-day programmable thermostat.
  - The system shall have two modes of operation, occupied and unoccupied. Occupied mode shall be initially set to 6AM-10PM 7 days a week.
- Unoccupied mode:** The motor operated damper shall open and the supply fan shall energize and run continuously.
  - Set point temperatures:
    - The upper set point temperature shall be 75°F (adjustable).
    - The lower set point temperature shall be 70°F (adjustable).
  - Cooling :** Upon the thermostat detecting the temperature is above the upper set point, the air source heat pump unit shall energize in cooling mode to restore the referenced set point. Once the set point is restored, the compressor shall de-energize.
  - Heating Mode :** Upon the thermostat detecting the temperature is below the lower set point, the air source heat pump shall energize in heat pump mode to restore the referenced set point. If the space temperature falls 2°F below the lower setpoint, the electric heat coil shall energize. Once the set point is restored, the compressor shall de-energize and the electric heat coil shall de-energize if applicable.

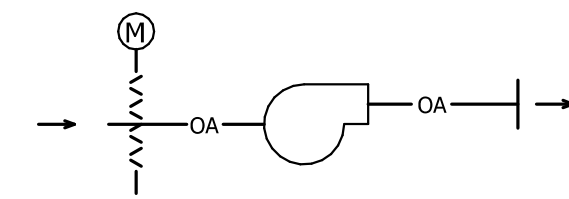
- Unoccupied mode:** The motor operated damper shall close and the supply fan shall de-energize.
  - Set point temperatures:
    - The upper set point temperature shall be 80°F (adjustable).
    - The lower set point temperature shall be 65°F (adjustable).
  - Cooling :** Upon the thermostat detecting the temperature is above the upper set point, the supply fan shall energize and air source heat pump unit shall energize in cooling mode to restore the referenced set point. Once the set point is restored, the compressor and supply fan shall de-energize.
  - Heating Mode:** Upon the thermostat detecting the temperature is below the lower set point, the air source heat pump shall energize in heat pump mode to restore the referenced set point. If the space temperature falls 2°F below the lower setpoint, the electric heat coil shall energize. Once the set point is restored, the compressor shall de-energize and the electric heat coil shall de-energize if applicable.
- Safeties and alarms:**
  - Upon the firestat detecting a temperature above 165°F, the fan and condensing unit shall be de-energized.
  - Upon the condensate detector sensing water, the fan and condensing unit shall be de-energized.
  - All safeties shall be hard-wired.



### THERMOSTAT CONTROLLED EXHAUST FAN (EF-1) - CONTROL DIAGRAM & SEQUENCE OF OPERATIONS

SCALE: NONE

- Shall be controlled via a wall mounted temperature/humidity sensor. The zone setpoint shall be 85°F (adj.). The zone humidity setpoint shall be 80% RH (adj.).
- The fan shall be interlocked to its associated motor operated damper on the outside air intake louver. During failure of fan or associated unit heater fan shall be disabled and motor operated damper shall be closed.
- When the zone temperature rises above the temperature setpoint, the motor operated damper shall open and the exhaust fan shall energize and run continuously.
- When the zone humidity rises above the humidity setpoint, the motor operated damper shall open and the exhaust fan shall energize and run continuously.
- When the zone temperature falls 2°F below the zone setpoint, the motor operated damper shall close and the exhaust fan shall de-energize.
- When the humidity temperature falls to 70% RH (adj.), the motor operated damper shall close and the exhaust fan shall de-energize.



### VENTILATION FAN (SF-1) - CONTROL DIAGRAM & SEQUENCE OF OPERATIONS

SCALE: NONE

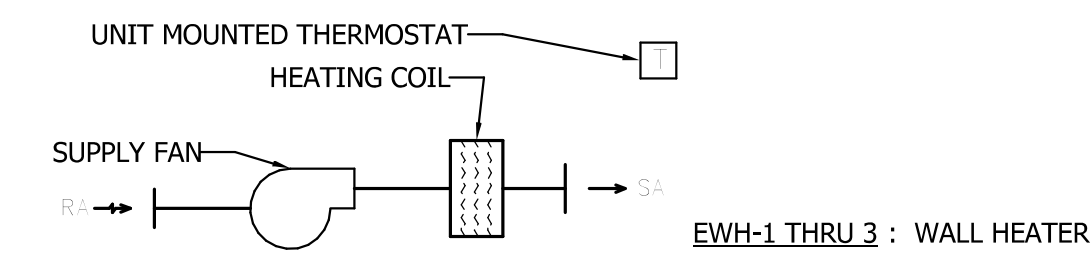
- Supply fan shall be interlocked with AHU-1.
  - When AHU-1 is energized, MOD shall remain open.
  - When AHU-1 is in "Occupied Mode", supply fan shall be set to deliver 260 CFM.
  - When AHU-1 is in "Unoccupied Mode", supply fan shall be set to deliver 110 CFM.
- Upon AHU-1 shutting down, SF-1 shall deenergize and associated mod shall close.

### SPLIT SYSTEM HVAC UNITS - OUTDOOR AIR SOURCE HEAT PUMP AND INDOOR AIR HANDLING UNIT - NON-RESIDENTIAL W/ DIRECT OA (AHU-2) - CONTROL DIAGRAM & SEQUENCE OF OPERATIONS

SCALE: NONE

- General :**
  - The system shall have two modes of operation, occupied and unoccupied. Occupied mode shall be initially set to 6AM-10PM 7 days a week.
- Unoccupied mode:** The supply fan shall energize and run continuously.
  - Set point temperatures:
    - The upper set point temperature shall be 75°F (adjustable).
    - The lower set point temperature shall be 70°F (adjustable).
  - Cooling :** Upon the thermostat detecting the temperature is above the upper set point, the air source heat pump unit shall energize in cooling mode to restore the referenced set point. Once the set point is restored, the compressor shall de-energize.
  - Heating Mode :** Upon the thermostat detecting the temperature is below the lower set point, the air source heat pump shall energize in heat pump mode to restore the referenced set point. If the space temperature falls 2°F below the lower setpoint, the electric heat coil shall energize. Once the set point is restored, the compressor shall de-energize and the electric heat coil shall de-energize if applicable.

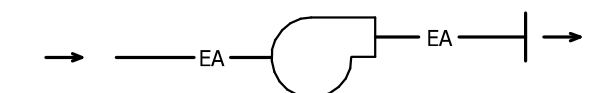
- Unoccupied mode:** The supply fan shall de-energize.
  - Set point temperatures:
    - The upper set point temperature shall be 80°F (adjustable).
    - The lower set point temperature shall be 65°F (adjustable).
  - Cooling :** Upon the thermostat detecting the temperature is above the upper set point, the supply fan shall energize and air source heat pump unit shall energize in cooling mode to restore the referenced set point. Once the set point is restored, the compressor and supply fan shall de-energize.
  - Heating Mode:** Upon the thermostat detecting the temperature is below the lower set point, the air source heat pump shall energize in heat pump mode to restore the referenced set point. If the space temperature falls 2°F below the lower setpoint, the electric heat coil shall energize. Once the set point is restored, the compressor shall de-energize and the electric heat coil shall de-energize if applicable.
- Safeties and alarms:**
  - Upon the firestat detecting a temperature above 165°F, the fan and condensing unit shall be de-energized.
  - Upon the condensate detector sensing water, the fan and condensing unit shall be de-energized.
  - All safeties shall be hard-wired.



### WALL HEATER (UH-3) - CONTROL DIAGRAM & SEQUENCE OF OPERATIONS

SCALE: NONE

- The thermostat setpoint shall be 65°F.
- Upon the thermostat detecting a temperature below the setpoint, the heating coil and supply fan shall energize.
- Upon the thermostat detecting a temperature 2°F above the setpoint, the heating coil and supply fan shall de-energize.



### SWITCH CONTROLLED EXHAUST FAN (EF-2, EF-3) - CONTROL DIAGRAM & SEQUENCE OF OPERATIONS

SCALE: NONE

- Shall operate by via wall mounted switch.

SEAL	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.								PLAN SCALE: 1/2" = 1'-0"	APPROVED BY: _____
	LICENSE NO. 58981	EXPIRATION DATE 03/06/2027	CONTRACT COMPLETION BOX						PROFILE SCALE: _____	DATE: _____
	STEVEN JENKINS II	DGN BY: KCG	BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER
AS-BUILT PER RECORD PRINT	DWN BY: WWP	REVIEWED BY:								
BY: _____	DATE: 3/24/2025 4:12:36 PM	CHKD BY: RLM	DATE REVIEWED:							

SUBDIVISION: 0000

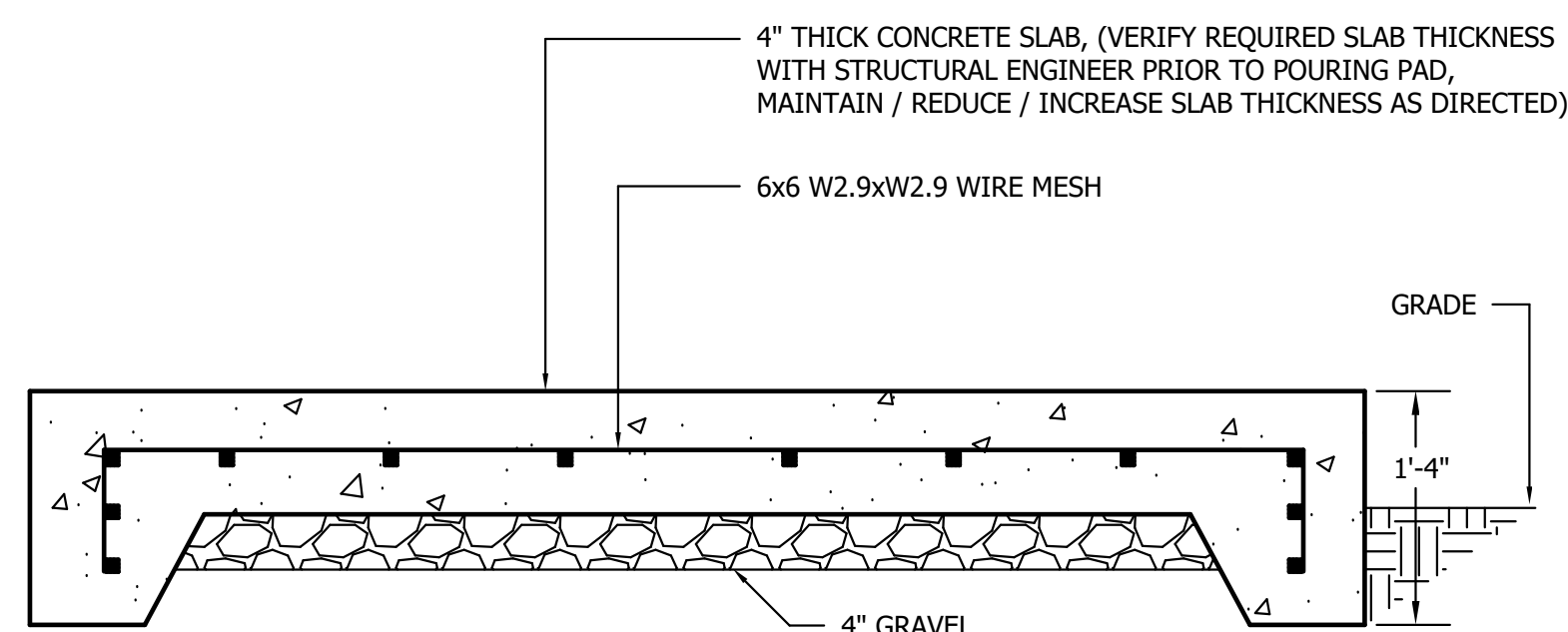
BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT  
 HOLT PARK ENHANCEMENTS  
 CONTROLS  
 BUILDING IMPROVEMENTS  
 34 ELMONT AVE., BALTIMORE, MD 21206

ELECTION DIST. NO.: 14

**Bowman**

SHEET DESIGNATION	CONTRACT NUMBER
M601	25054 GX0
JOB ORDER NUMBER	0000971385
SHEET 44 OF 54	DRAWING NUMBER
2025-1578	FILE NO.: 8

C:\Users\jnguyen\Documents\Baltimore County Holt Park - Central Elev - Rvt 2021\_jun10\JDZ.rvt

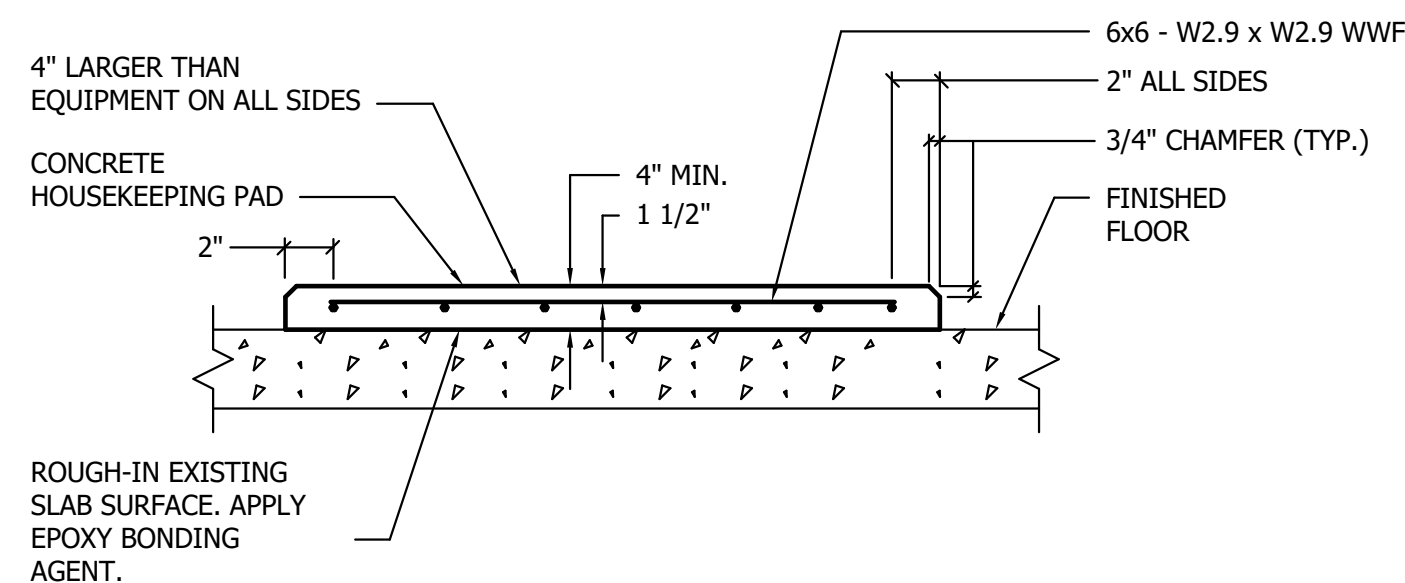


**NOTES:**

1. EXTEND PAD 4" BEYOND AIR COOLED CONDENSING UNIT / HEAT PUMP ON ALL 4 SIDES.
2. PROVIDE REBAR IN SIZES, QUANTITIES AND CONFIGURATION(S) AS RECOMMENDED BY THE STRUCTURAL ENGINEER.
3. SECURE CONDENSING UNIT / HEAT PUMP TO PAD PER MANUFACTURER'S RECOMMENDATIONS.

**DETAIL - TYPICAL CONCRETE PAD FOR OUTDOOR CONDENSING UNIT / HEAT PUMP ON GRADE**

SCALE: NONE

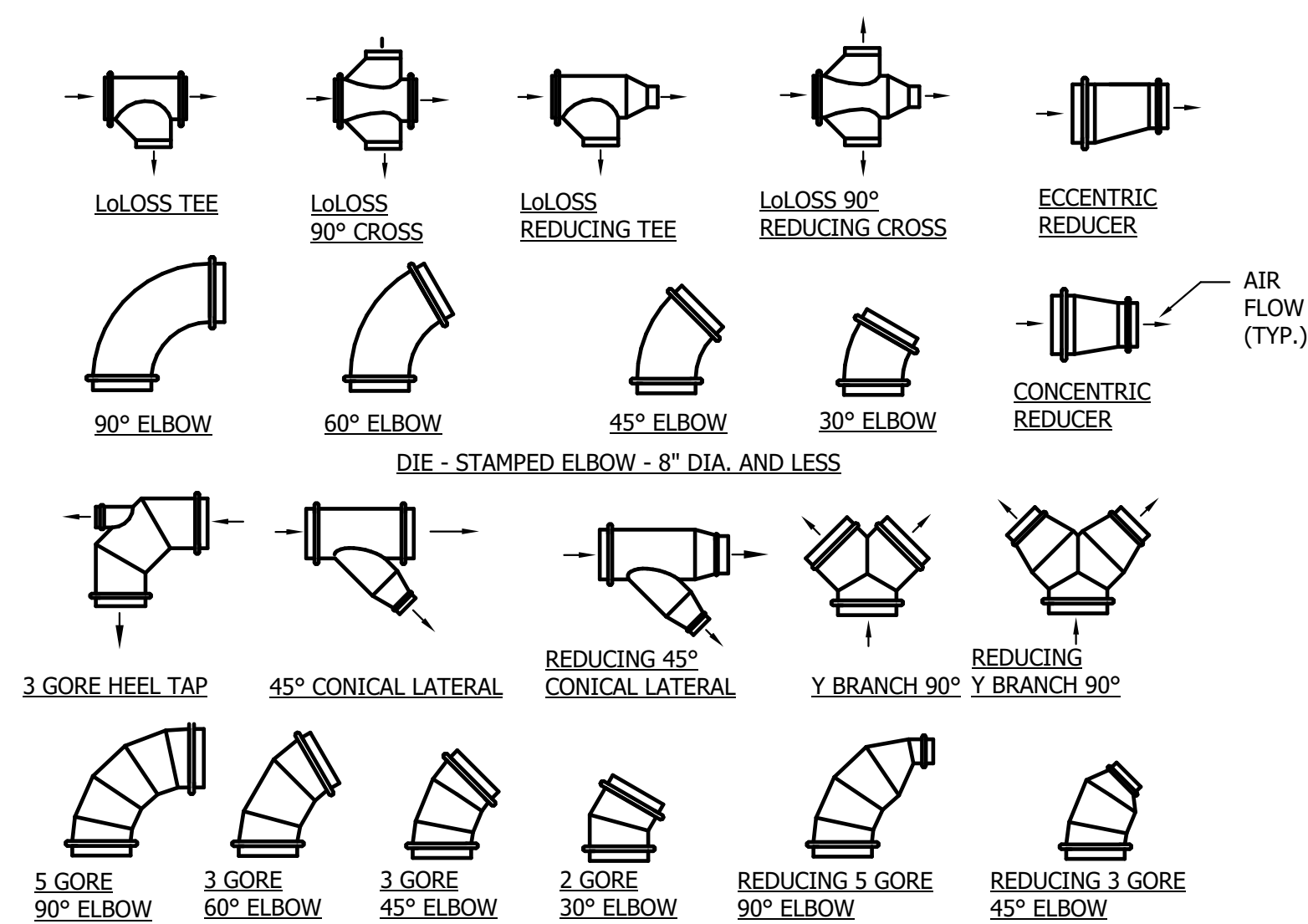


**NOTES:**

1. PROVIDE REBAR IN SIZES, QUANTITIES, AND CONFIGURATIONS AS RECOMMENDED BY THE STRUCTURAL ENGINEER.

**DETAIL - TYPICAL CONCRETE HOUSEKEEPING PAD ON EXISTING FLOOR SLAB**

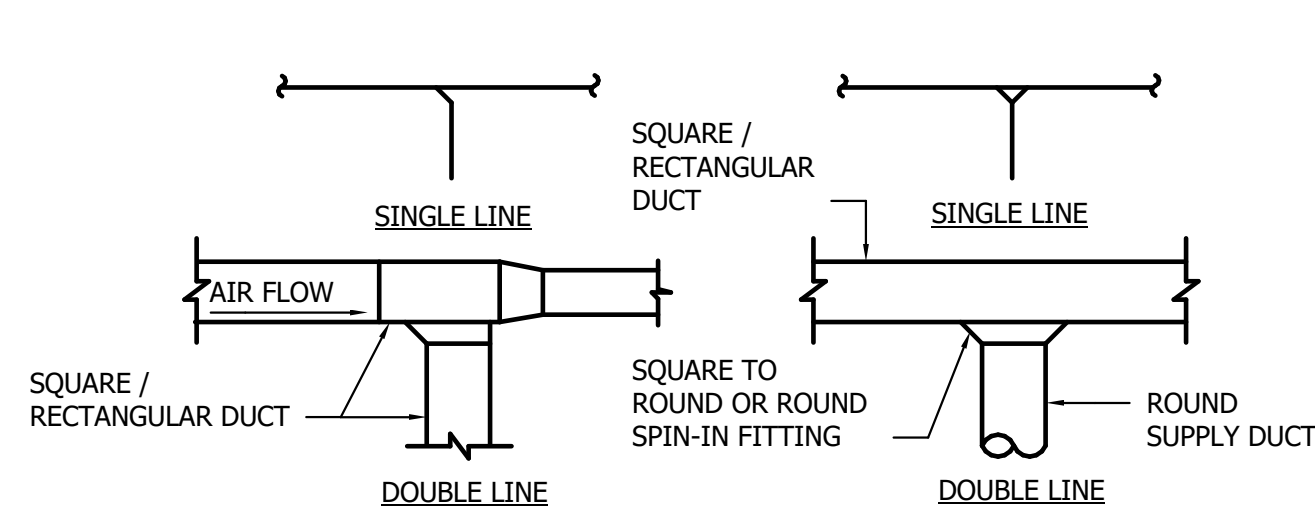
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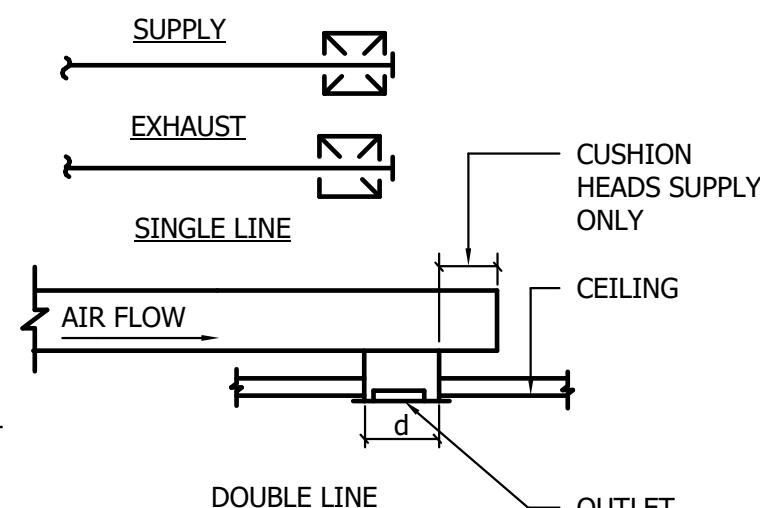
FABRICATED FLAT OVAL, ROUND FITTINGS AND ELBOWS - 9" DIA. AND LARGER

**DETAIL - TYPICAL ROUND DUCT FITTINGS**

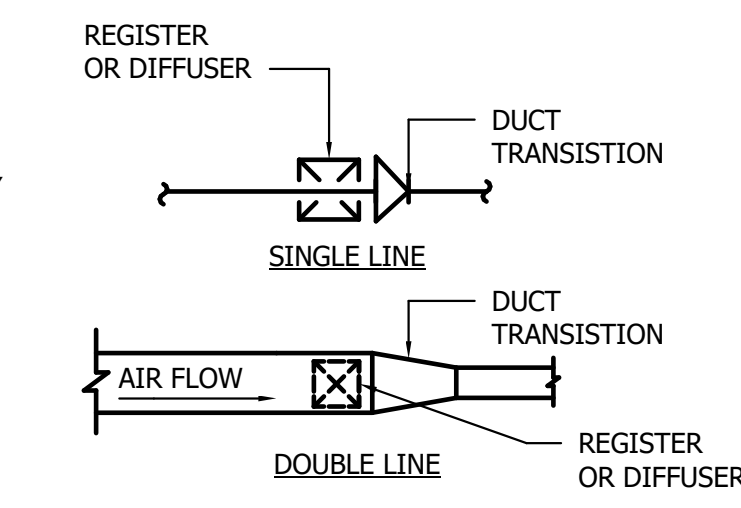
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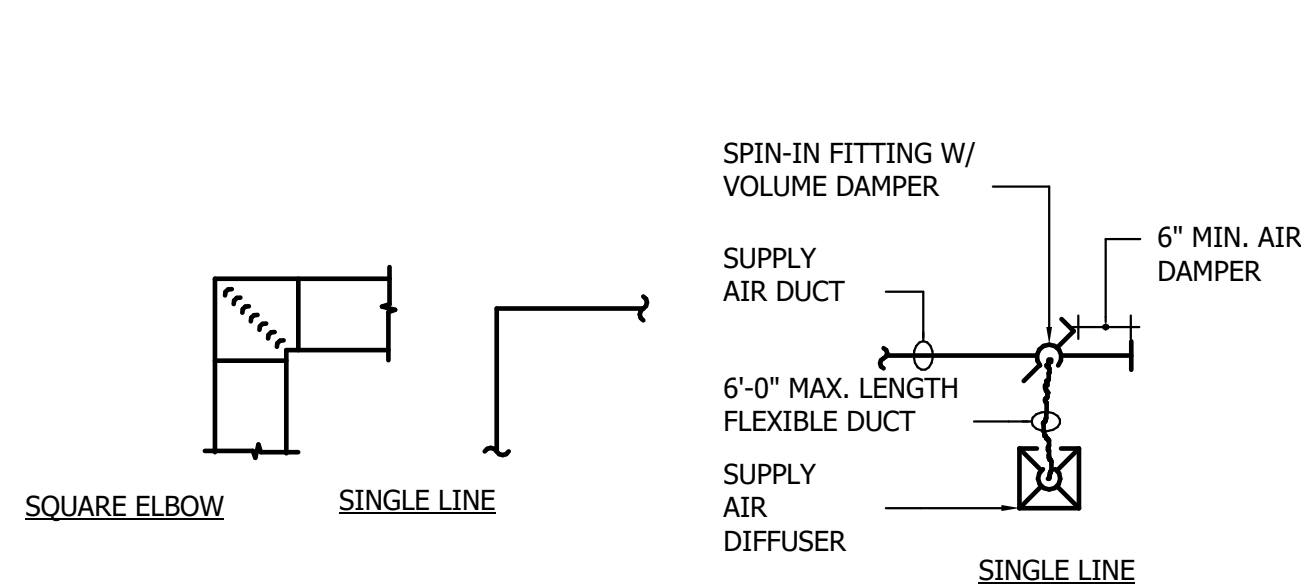
**TYPICAL TAPOFF & TRANSITION FROM SIDE OF DUCT**



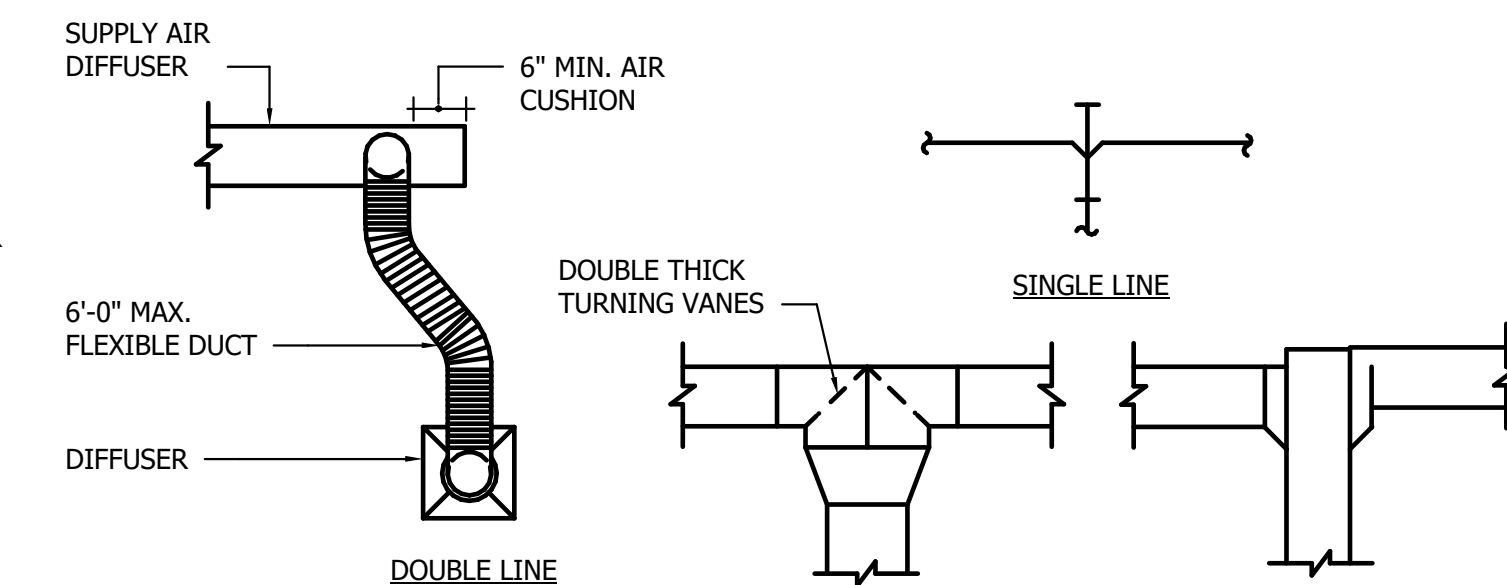
**OUTLET LOCATED AT END OF RUN**



**DIFFUSER OR REGISTER TAPOFF & TRANSITION**

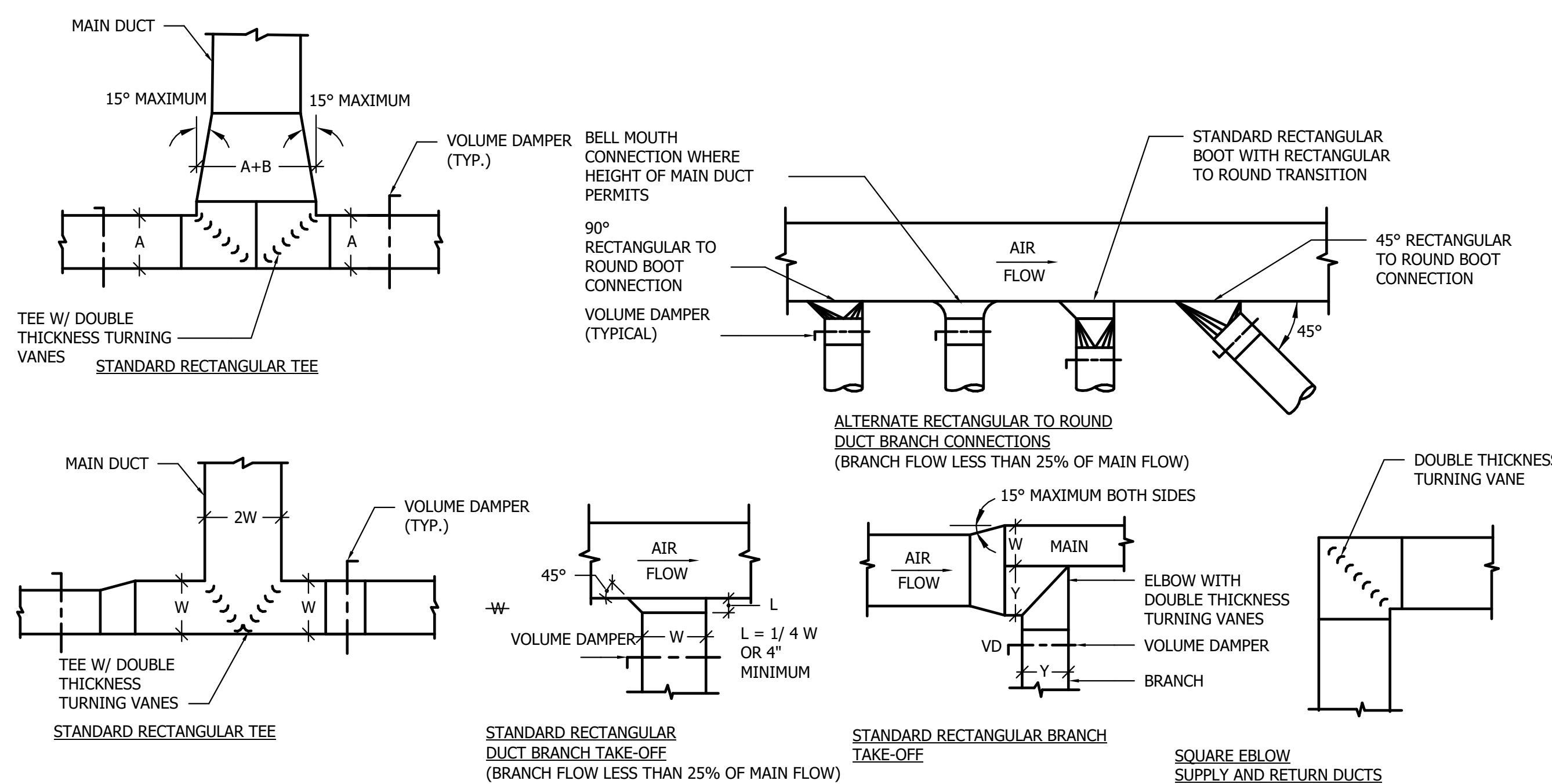


**SUPPLY AND RETURN DUCTS**



**FLEXIBLE DUCT TAKE-OFF (WITHIN 6'-0" TRUNK)**

**TYPICAL SPLIT**



**DETAIL - TYPICAL BRANCH DUCTWORK**

SCALE: NONE

**DETAIL - TYPICAL SINGLE AND DOUBLE LINE DUCTWORK**

SCALE: NONE

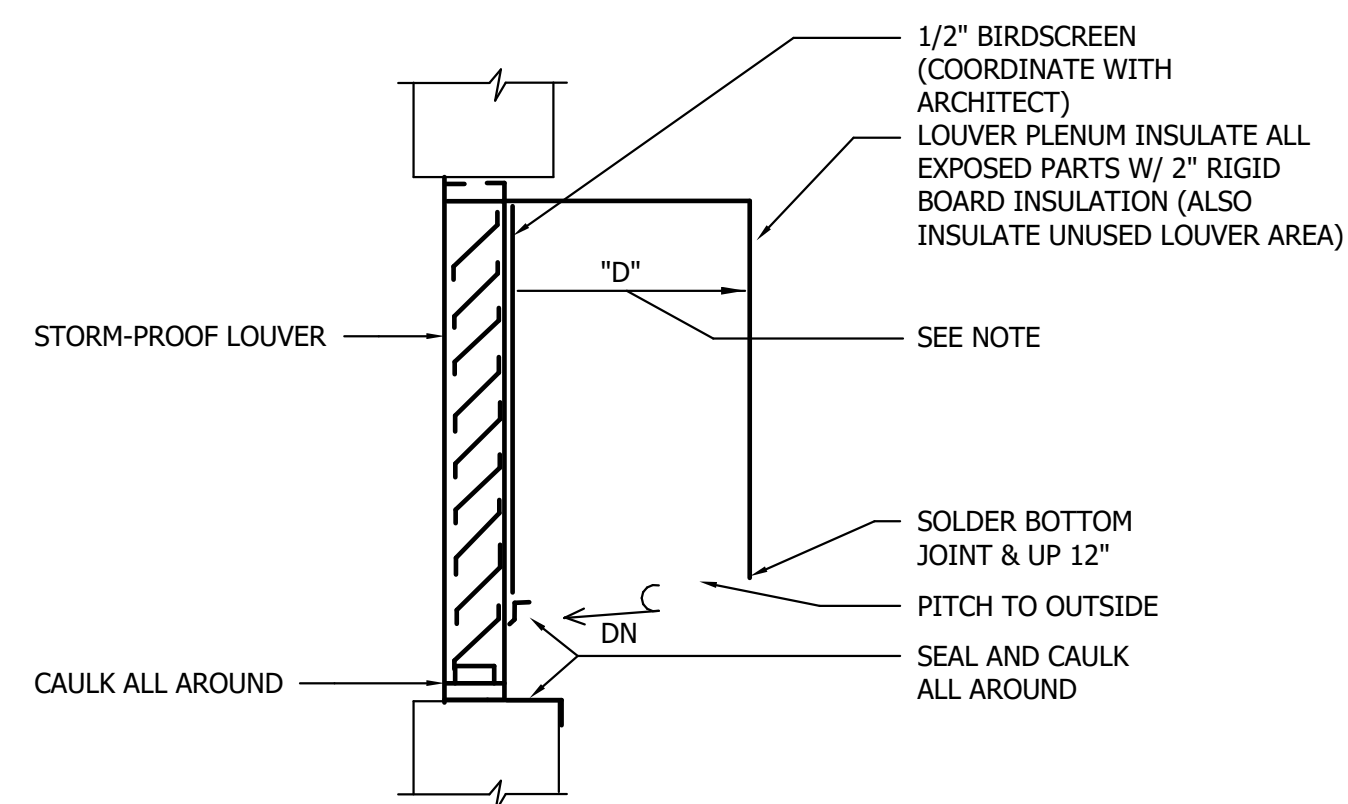
	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT	
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 58981 EXPIRATION DATE 03/06/2027					R.O.W. NO.	PNW	35NW40	PLAN SCALE: 1/2" = 1'-0"	APPROVED BY: _____	
	AS-BUILT PER RECORD PRINT		BUREAU OF ENGINEERING AND CONSTRUCTION		TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER
	BY: STEVEN JENKINS II	DGN BY: SSI	REVIEWED BY:								
DATE: 5/16/2025 9:54:46 AM	DATE:	CHKD BY: SSI	DATE REVIEWED:								

**BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT**  
 HOLT PARK ENHANCEMENTS  
 BUILDING IMPROVEMENTS  
 34 ELMONT AVE., BALTIMORE, MD 21206  
 SUBDIVISION: OVERLEA  
 ELECTION DIST. NO.: 14 c 6

**Bowman**

SHEET DESIGNATION	CONTRACT NUMBER
M701	25054 GX0
JOB ORDER NUMBER	0000971385
SHEET 45 OF 54	DRAWING NUMBER
2025-1579	FILE NO.: 8

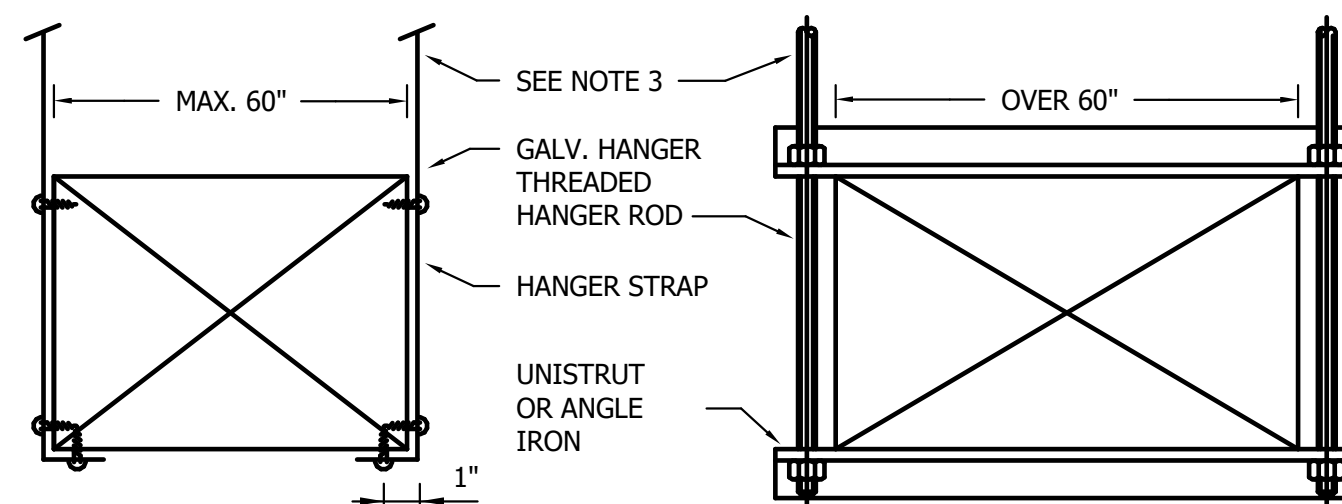
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- NOTE:
1. WHEN "D" IS OVER 24" PROVIDE 3/4" DRAIN AT 5'-0" CENTERS (IF DEPTH INTO PAPER IS GREATER THAN 5'-0"), 6" FROM LOUVER WITH TRAP.

**DETAIL - TYPICAL LOUVER CONNECTION**

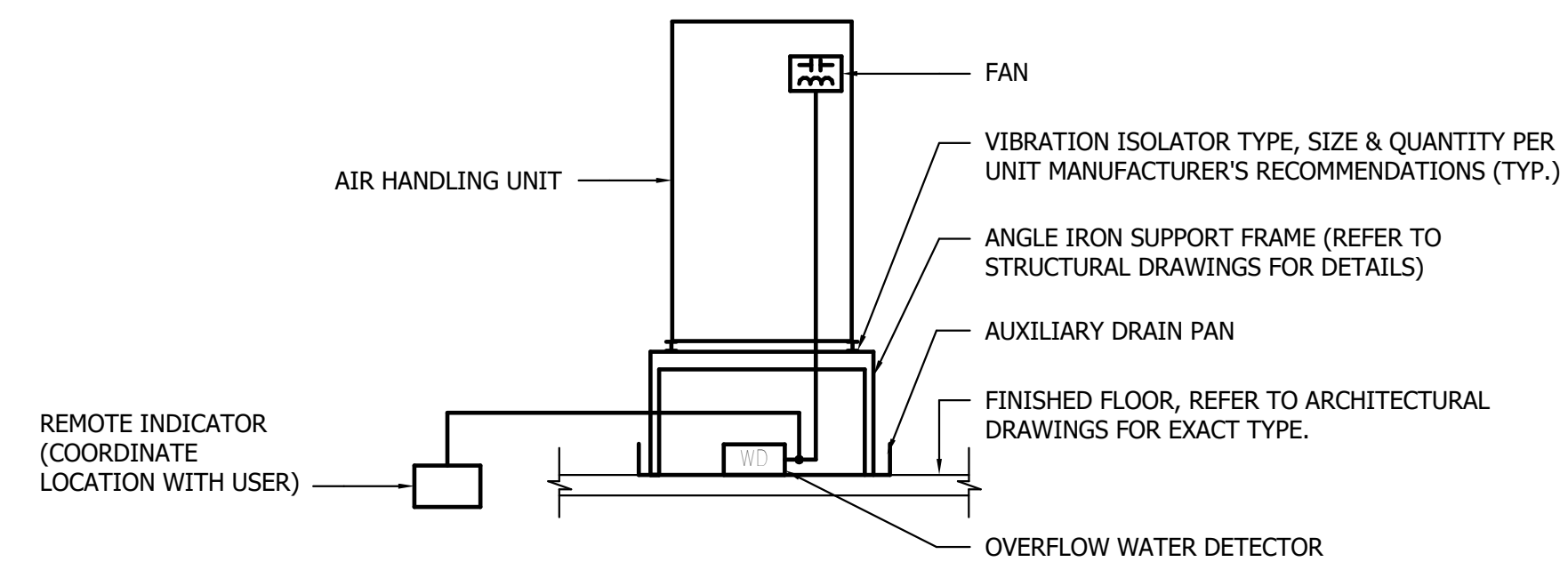
SCALE: NONE



- NOTES:
1. ON DUCTS OVER 48" WIDE, BOTTOM SHALL BE BRACED BY ANGLE, FOR CROSS SECTION AREAS MORE THAN 8 SQ FT, DUCTS SHALL BE BRACED BY ANGLES ON ALL FOUR SIDES.
  2. CUTTING AND PATCHING SHALL BE LIMITED TO A MINIMUM AS REQUIRED FOR PROPER INSTALLATION.
  3. SUPPORTS SHALL BE SPACED AND SIZED AS PER SMACNA.
  4. REFER TO ARCHITECTURAL DRAWINGS FOR THE EXACT CONSTRUCTIONS OF THE STRUCTURES ABOVE SUPPORTING DUCTS.

**DETAIL - TYPICAL DUCT HANGER SUPPORT**

SCALE: NONE

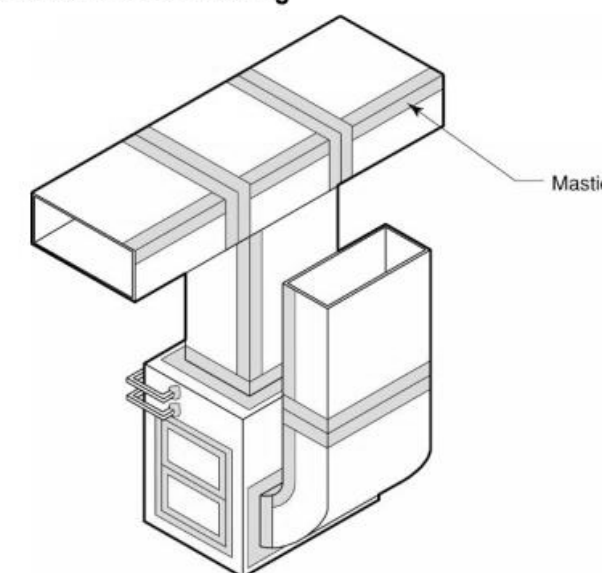


- NOTES:
1. UPON SENSING IMPROPER CONDITIONS, WATER LEVEL DETECTOR, WD, SHALL STOP THE FAN AND DE-ENERGIZE THE UNIT. PROVIDE REMOTE INDICATOR FOR WATER LEVEL DETECTOR ON CEILING OR WALL NEAR UNIT LOCATION.
  2. COORDINATE WATER LEVEL DETECTOR REQUIREMENTS WITH ATC INSTALLER.

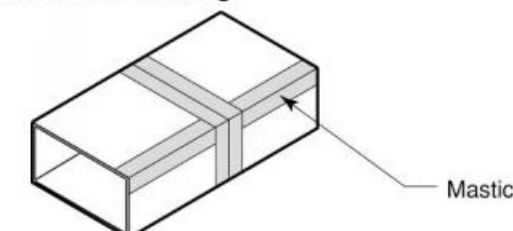
**DETAIL - TYPICAL AUXILIARY CONDENSATE PAN UNDER VERTICAL AIR HANDLING UNIT**

SCALE: NONE

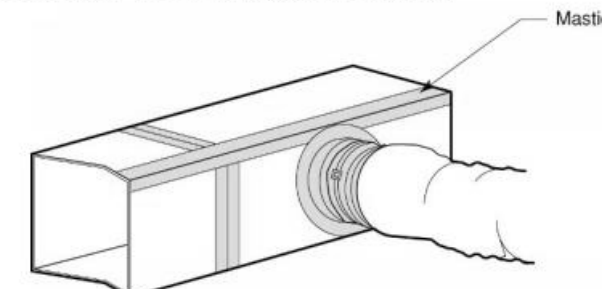
**Air Handler Air Sealing**



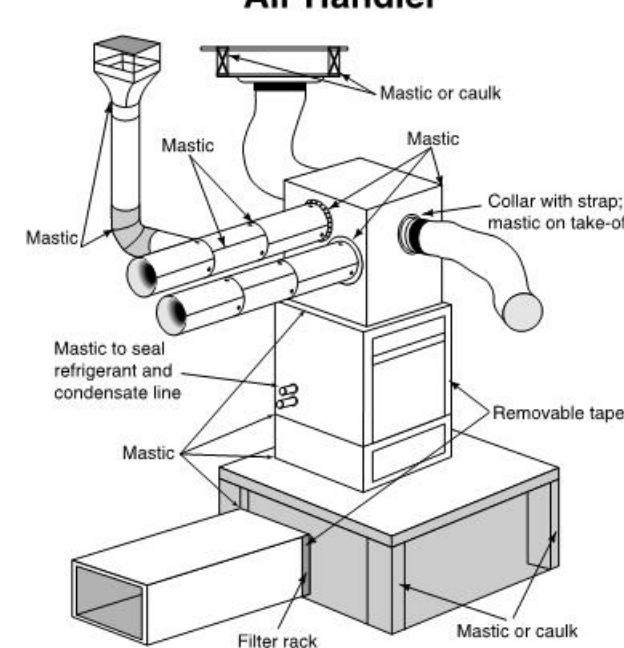
**Rigid Duct Air Sealing**



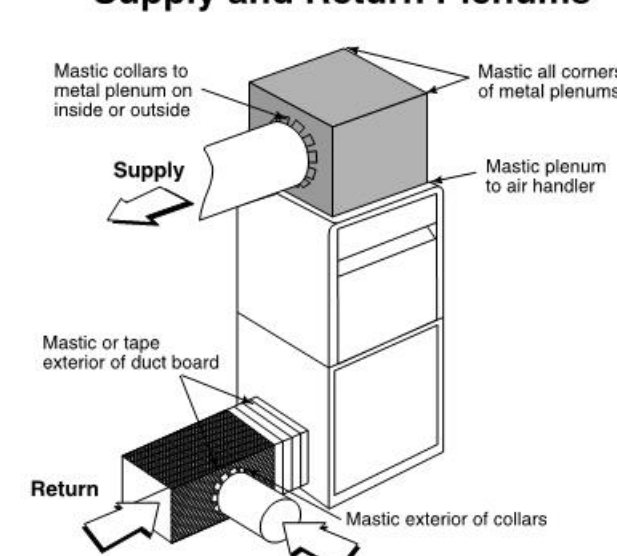
**Flex Take-off from Rigid Air Sealing**



**Air Handler**

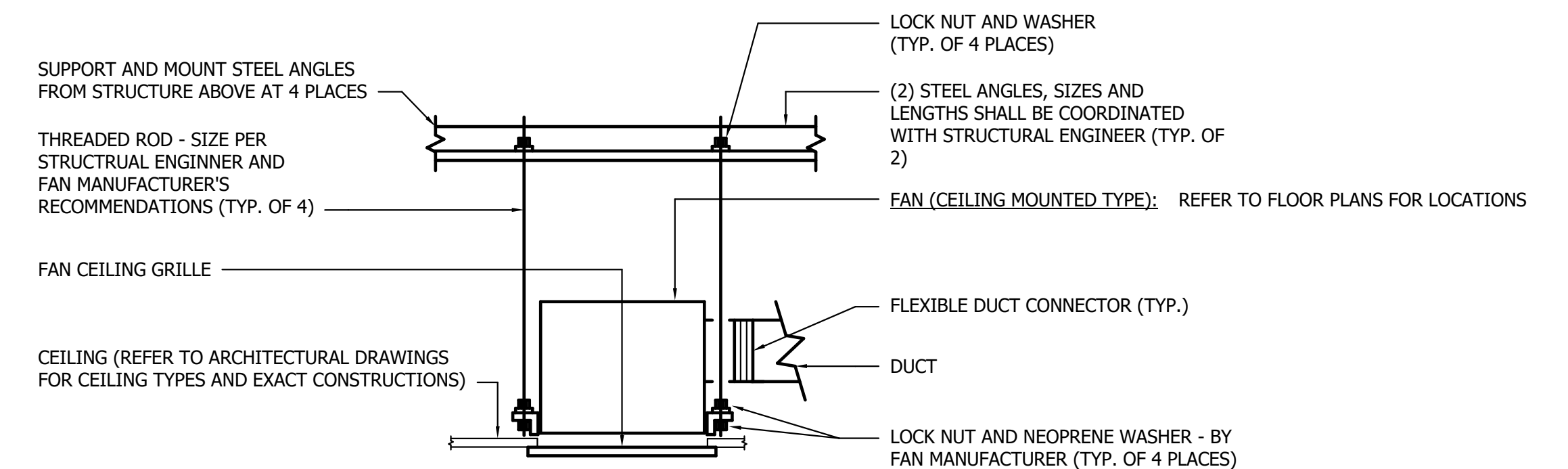


**Supply and Return Plenums**



**DETAIL - TYPICAL DUCTWORK AND AIR HANDLING EQUIPMENT SEALING**

SCALE: NONE



- NOTES:
1. ALL FAN COMPONENTS - MOTOR, ELECTRICAL, ETC.. SHALL BE SERVICEABLE THROUGH REMOVABLE UNIT MOUNTED CEILING GRILLE.
  2. COORDINATE FINAL SIZE OF STEEL ANGLES, ALL THREAD RODS, AND HARDWARE WITH FAN MANUFACTURER PRIOR TO FABRICATING.
  3. FOR CAPACITIES OF FANS REFER TO FAN SCHEDULE.

**DETAIL - TYPICAL CEILING MOUNTED EXHAUST FAN MOUNTING**

SCALE: NONE

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	STEVEN JENKINS II		DGN BY: SSI	BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER
	AS-BUILT PER RECORD PRINT		DWN BY: JK	REVIEWED BY:							
BY: _____	DATE: 5/16/2025 9:54:46 AM	CHKD BY: SSI	DATE REVIEWED:								

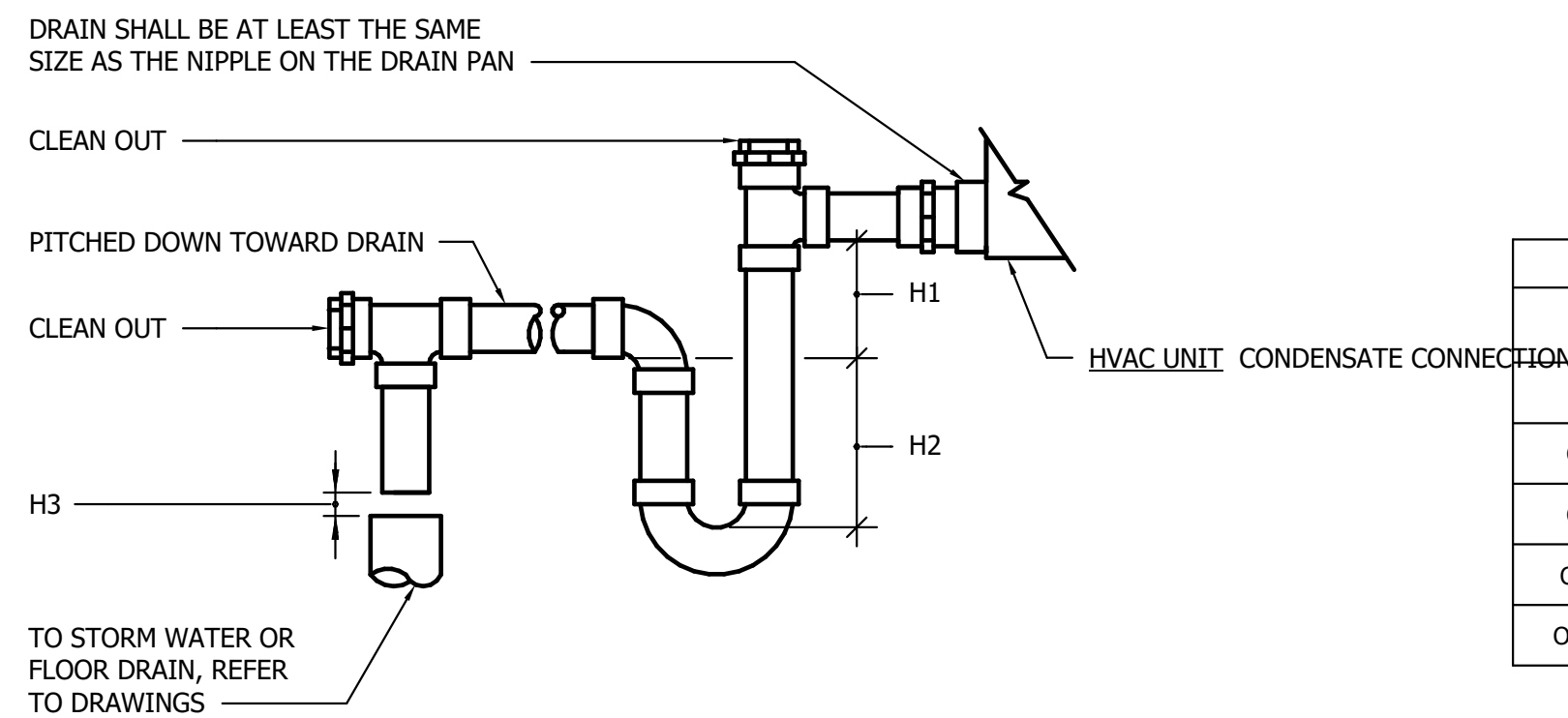
SUBDIVISION: OVERLEA

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT  
 HOLT PARK ENHANCEMENTS  
 DETAILS  
 BUILDING IMPROVEMENTS  
 34 ELMONT AVE., BALTIMORE, MD 21206

ELECTION DIST. NO.: 14 e 6

**Bowman**

SHEET DESIGNATION	CONTRACT NUMBER
M702	25054 GX0
JOB ORDER NUMBER	0000971385
SHEET 46 OF 54	DRAWING NUMBER
2025-1580	FILE NO.: 8



PIPE SIZING CHART	
EQUIPMENT TONNAGE	MIN. REQ'D PIPE SIZE
UP TO 20 TONS	3/4"
OVER 20 TONS TO 40 TONS	1"
OVER 40 TONS TO 90 TONS	1 1/4"
OVER 90 TONS TO 125 TONS	1 1/2"
OVER 125 TONS TO 250 TONS	2"

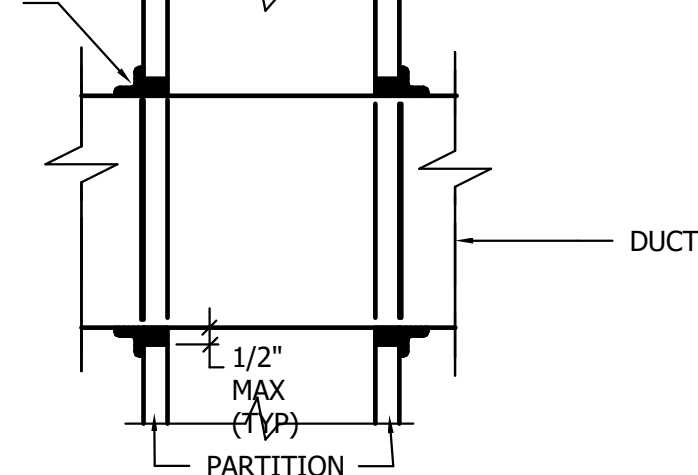
**DETAIL - TYPICAL CONDENSATE DRAIN TRAP**

SCALE: NONE

**NOTES:**

1. FOR DRAW THRU TRAPS: "H1" = FAN INLET PRESSURE PLUS 1 INCH, "H2" = H1/2.
2. FOR BLOW THRU TRAPS: "H1" = 1 INCH, "H2" = FAN OUTLET PRESSURE PLUS 1/2 INCH.
3. H3 EQUAL TO 1 INCH.
4. CONDENSATE PIPE SIZE SHALL BE EITHER EQUIPMENT CONNECTION SIZE OR MINIMUM NOTED HEREIN WHICHEVER IS GREATER.

STEEL FRAME OF ANGLE 1 1/4" x 1/4" x 1/4" AROUND DUCT PERIMETER



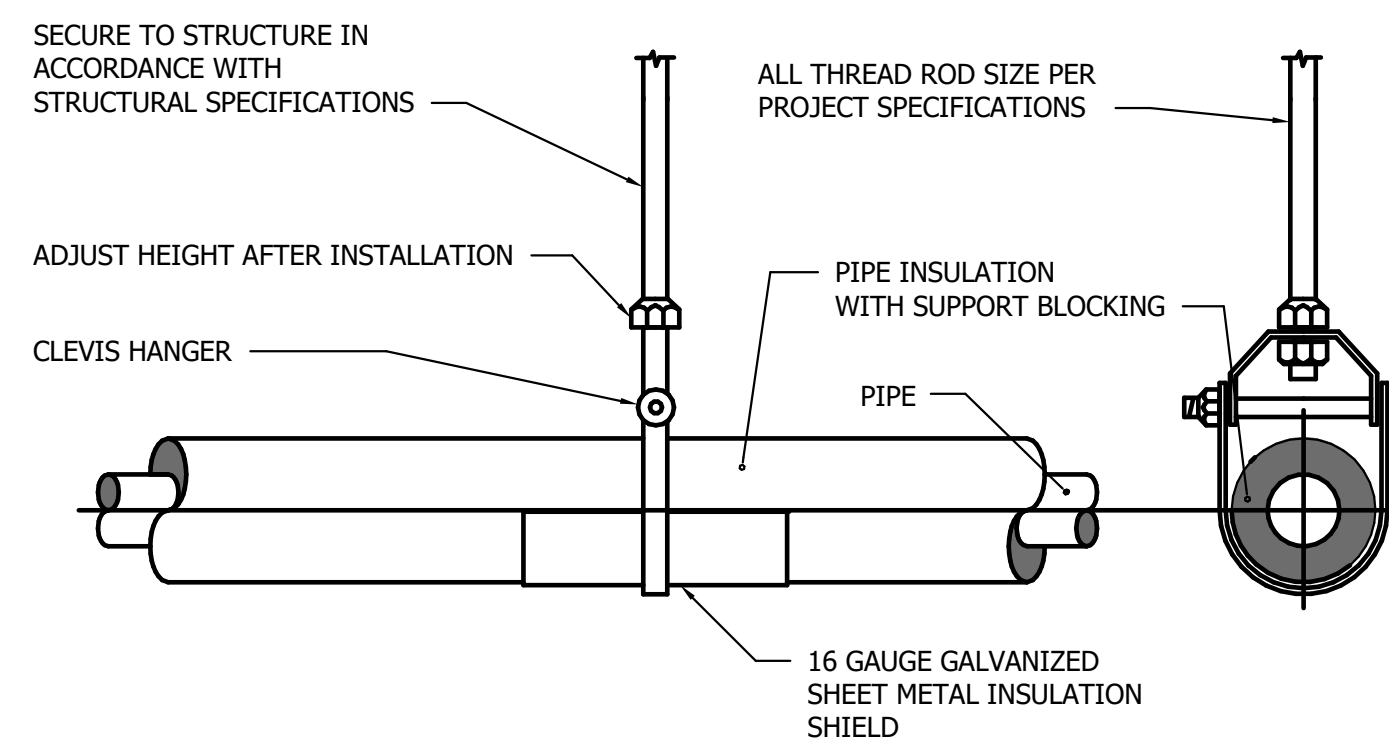
DUCT PENETRATION SHOWN IS WHERE FIRE DAMPER IS NOT REQUIRED BY CODE.

**DETAIL - TYPICAL DUCT WALL PENETRATION**

SCALE: NONE

**NOTES:**

1. AT FIRE RATED PARTITIONS, ADD ADDITIONAL LAYER OF FIRE RESISTANT INSULATION AROUND PENETRATION SO AS TO FILL CAVITY.
2. DUCT AND PIPE PENETRATIONS THRU CORRIDOR WALLS ABOVE THE CEILING ARE TO BE FIRE STOPPED AROUND THE PENETRATION.
3. REFER TO ARCHITECTURAL DRAWINGS FOR WALL TYPES.

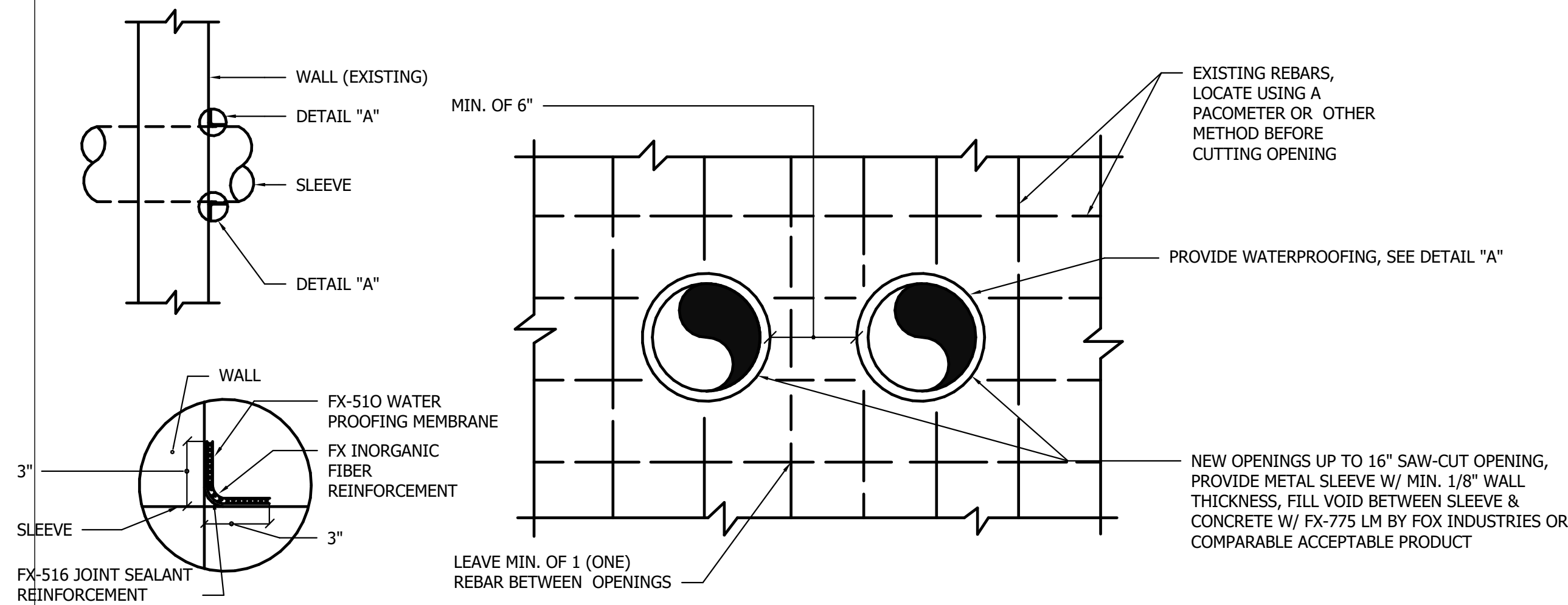


**DETAIL - PIPE HANGER SUPPORT**

SCALE: NONE

**NOTES:**

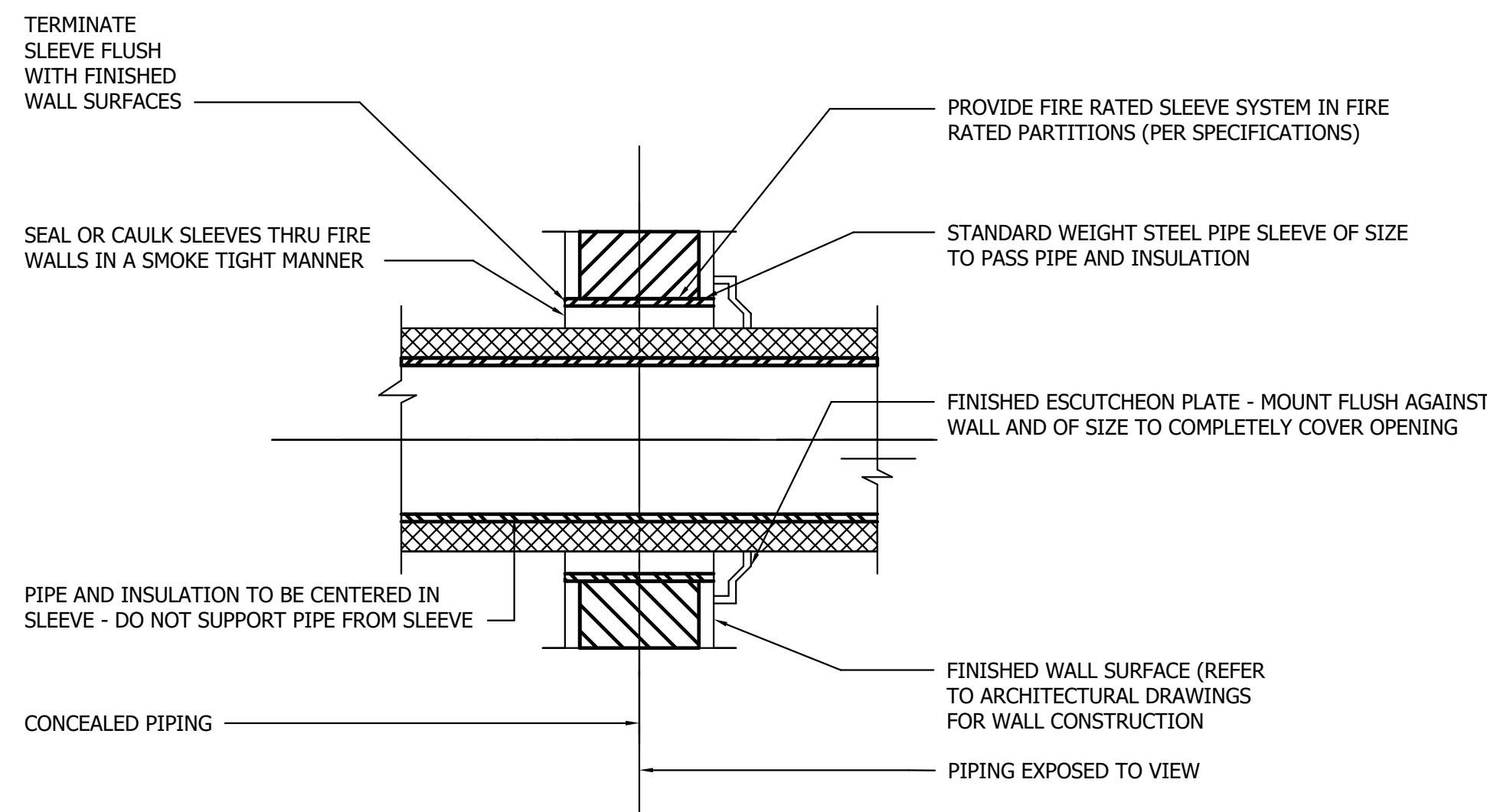
1. REFER TO SPECIFICATIONS FOR ADDITIONAL PIPE SUPPORT TYPES AND REQUIREMENTS.
2. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL PIPE SUPPORT DETAILS, INSTALLATION AND REQUIREMENTS.
3. COORDINATE POINT LOADS WITH PROJECT STRUCTURAL ENGINEER.
4. REFER TO SPECIFICATIONS FOR INSULATION TYPES.



**DETAIL "A"**

**DETAIL - TYPICAL NEW OPENING THRU EXISTING WALL**

SCALE: NONE

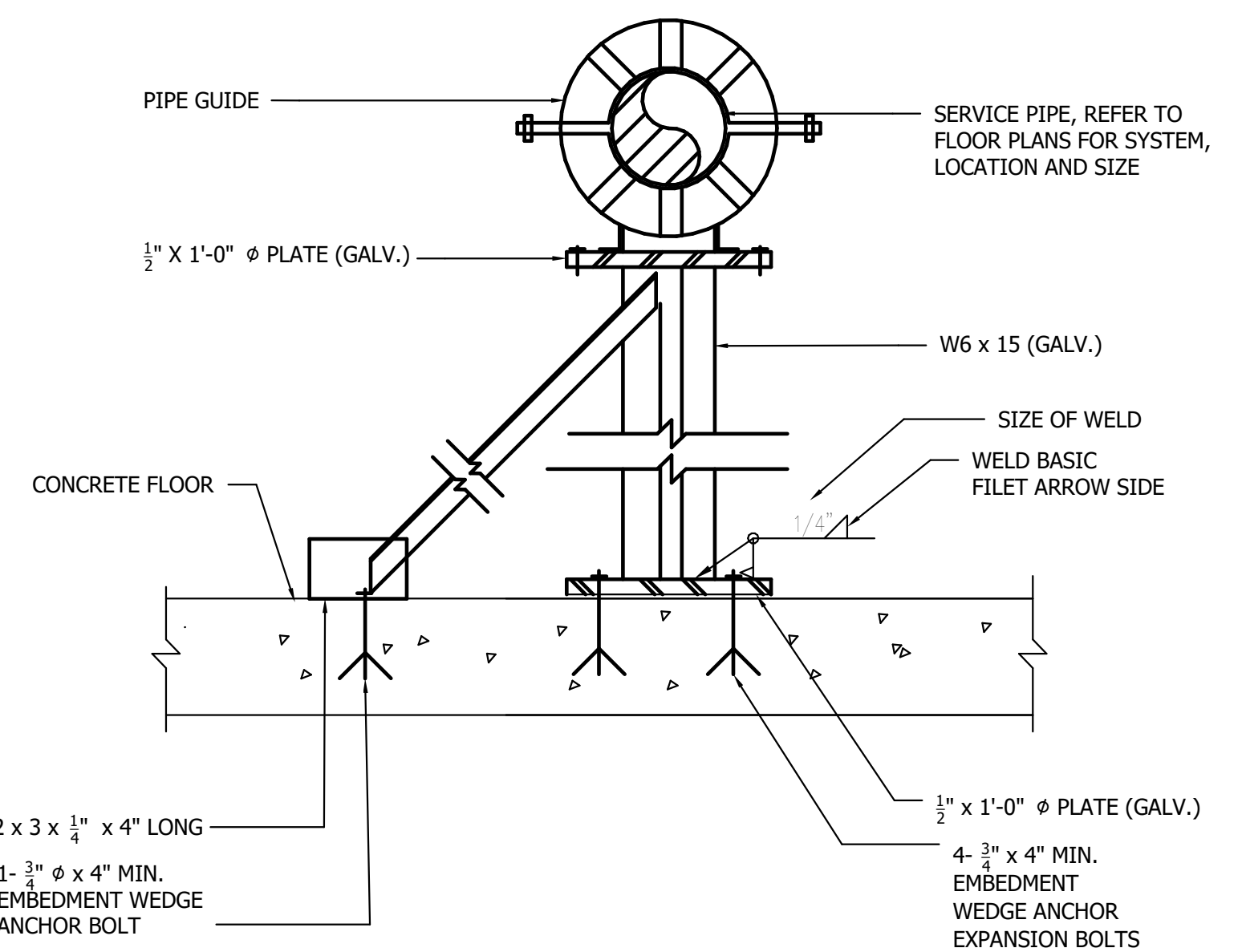


**DETAIL - TYPICAL PIPE SLEEVE THRU INTERIOR WALL**

SCALE: NONE

**NOTES:**

1. PROVIDE PIPE SLEEVES AT ALL WALL PENETRATIONS.
2. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT WALL CONSTRUCTIONS.



**DETAIL - TYPICAL PIPE GUIDE MOUNTED TO CONCRETE FLOOR**

**FLOOR**

SCALE: NONE

SEAL	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT	
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	STEVEN JENKINS II		DGN BY: SSI	BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER
	AS-BUILT PER RECORD PRINT		DWN BY: JK	REVIEWED BY:							
DATE: 5/16/2025 9:54:46 AM	BY: _____	DATE: _____	CHKD BY: SSI	DATE REVIEWED:							

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT

HOLT PARK ENHANCEMENTS

DETAILS

BUILDING IMPROVEMENTS

34 ELMONT AVE., BALTIMORE, MD 21206

ELECTION DIST. NO.: 14 c 6

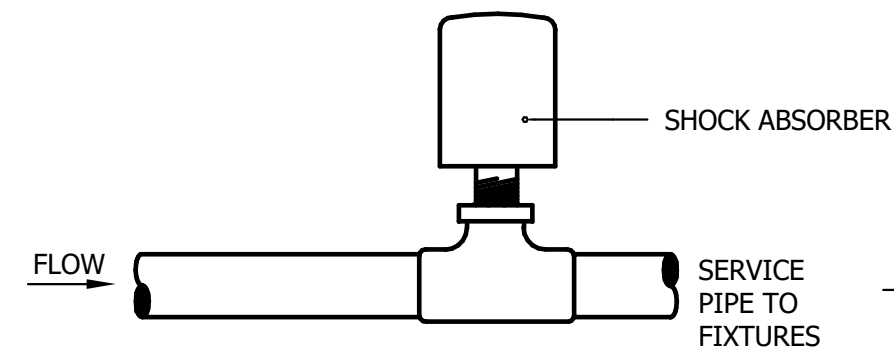
SUBDIVISION: OVERLEA

**Bowman**

SHEET DESIGNATION	CONTRACT NUMBER
M703	25054 GX0
JOB ORDER NUMBER	0000971385
SHEET 47 OF 54	DRAWING NUMBER
2025-1581	FILE NO.: 8



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*DESIGNATION	A	B	C	D	E	REMARKS
PIPE SIZE	1/2" - 3/4"	1"	1 1/4" - 1 1/2"	2"	2 1/2"	REFER TO P.D.I. FOR S.A. SIZE

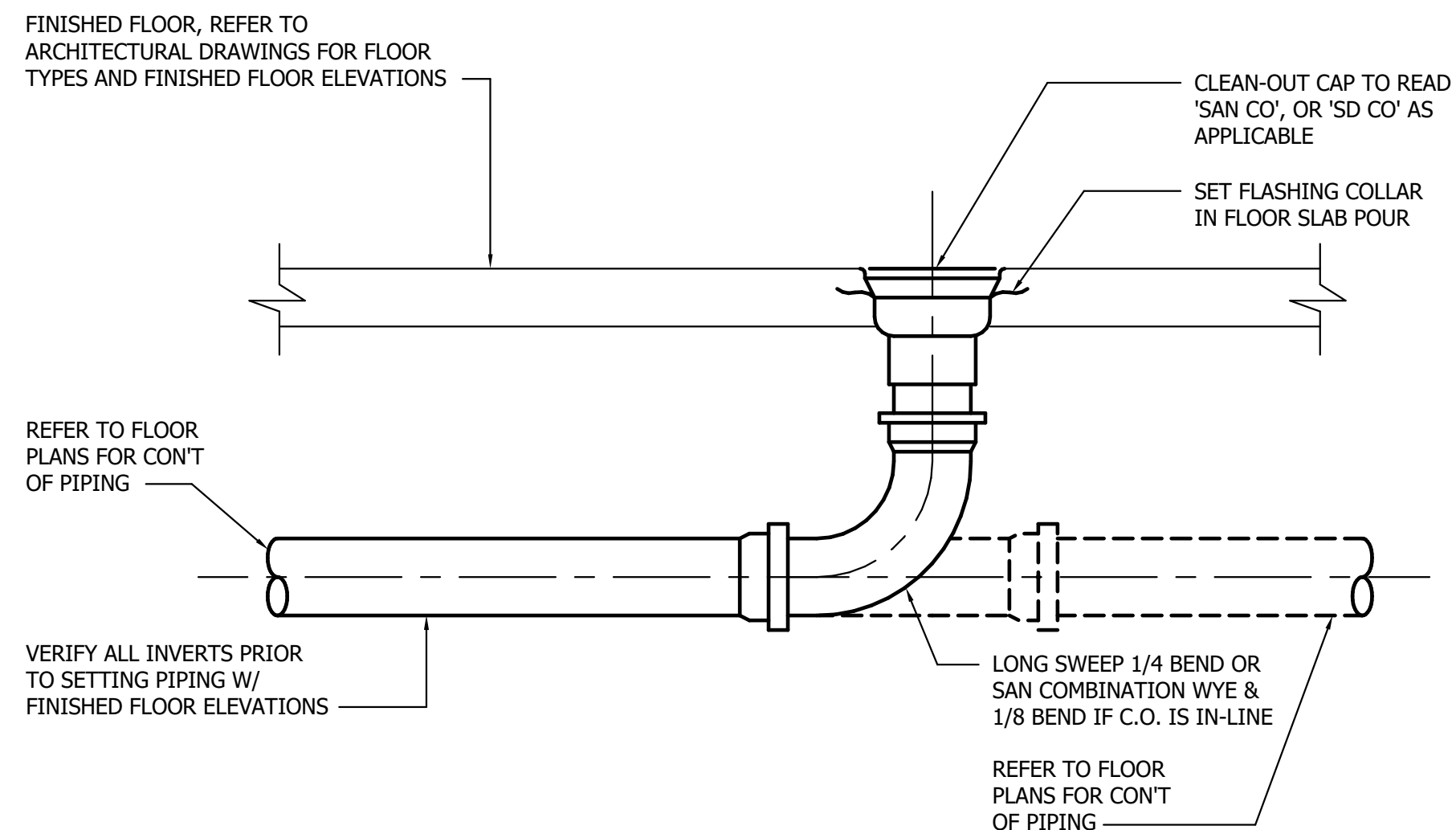
\* DESIGNATION IS ESTABLISHED BY THE PLUMBING AND DRAINAGE INSTITUTE STANDARD P.D.I. WH 201 FOR SHOCK ABSORBERS.

### DETAIL - TYPICAL SHOCK ABSORBER INSTALLATION

SCALE: NONE

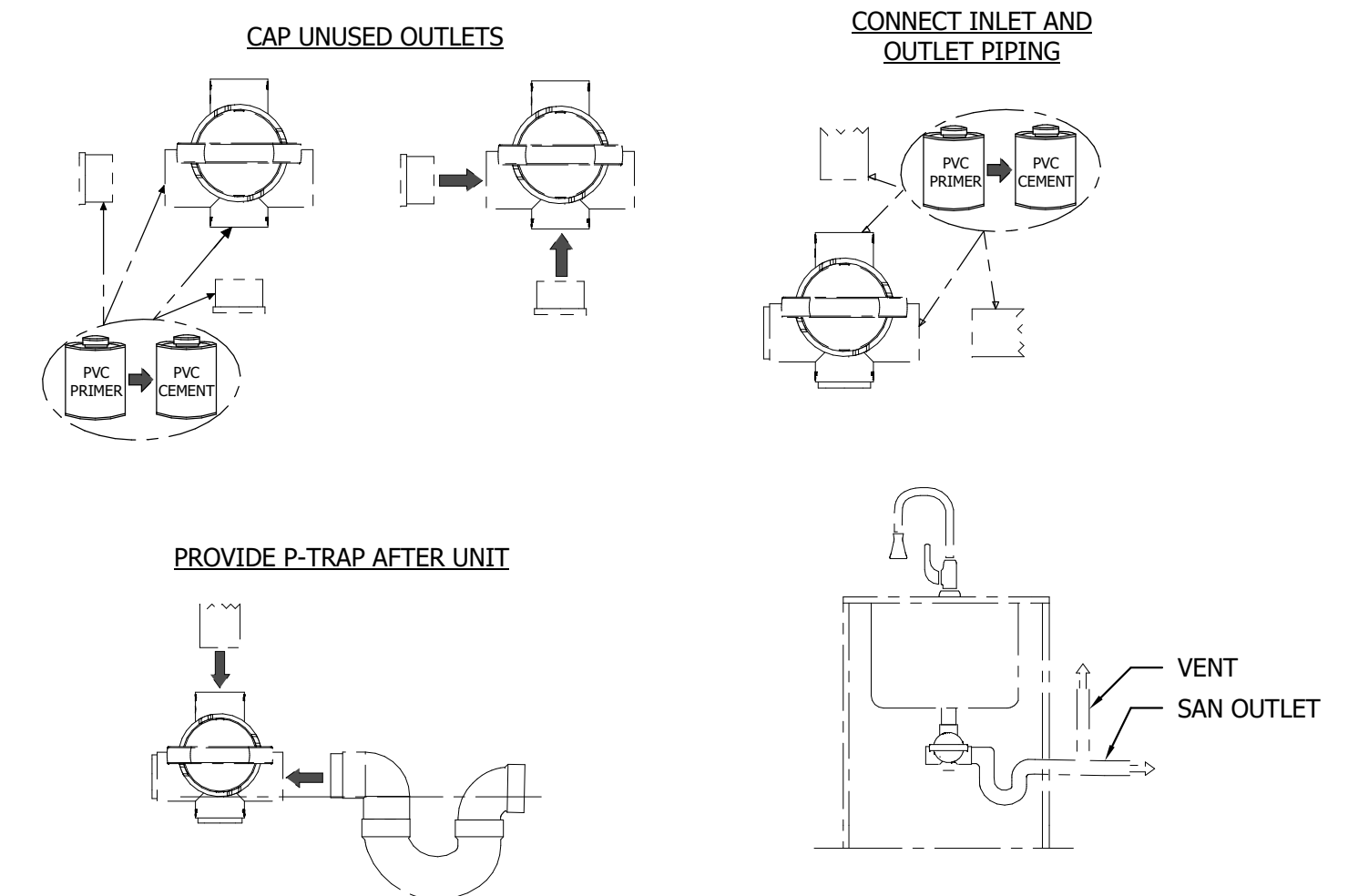
#### NOTES:

- SHOCK ABSORBERS SHALL BE INSTALLED ON ALL BRANCH PIPING SERVICING PLUMBING FIXTURES AND WALL HYDRANTS
- FOR BRANCH PIPES WITH A DEVELOPED LENGTH OF 25' OR LESS ABSORBERS SHALL BE REDUCED ONE SIZE
- FOR BRANCH PIPES WITH A DEVELOPED LENGTH OF 75' OR GREATER ABSORBERS SHALL BE INCREASED ONE SIZE
- SHOCK ABSORBERS SHALL BE ACCESSIBLE THRU A SINGLE ACCESS DOOR
- SHOCK ABSORBER SHALL BE CERTIFIED BY THE PLUMBING AND DRAINAGE INSTITUTE (P.D.I.)



### DETAIL - TYPICAL SANITARY FLOOR CLEANOUT

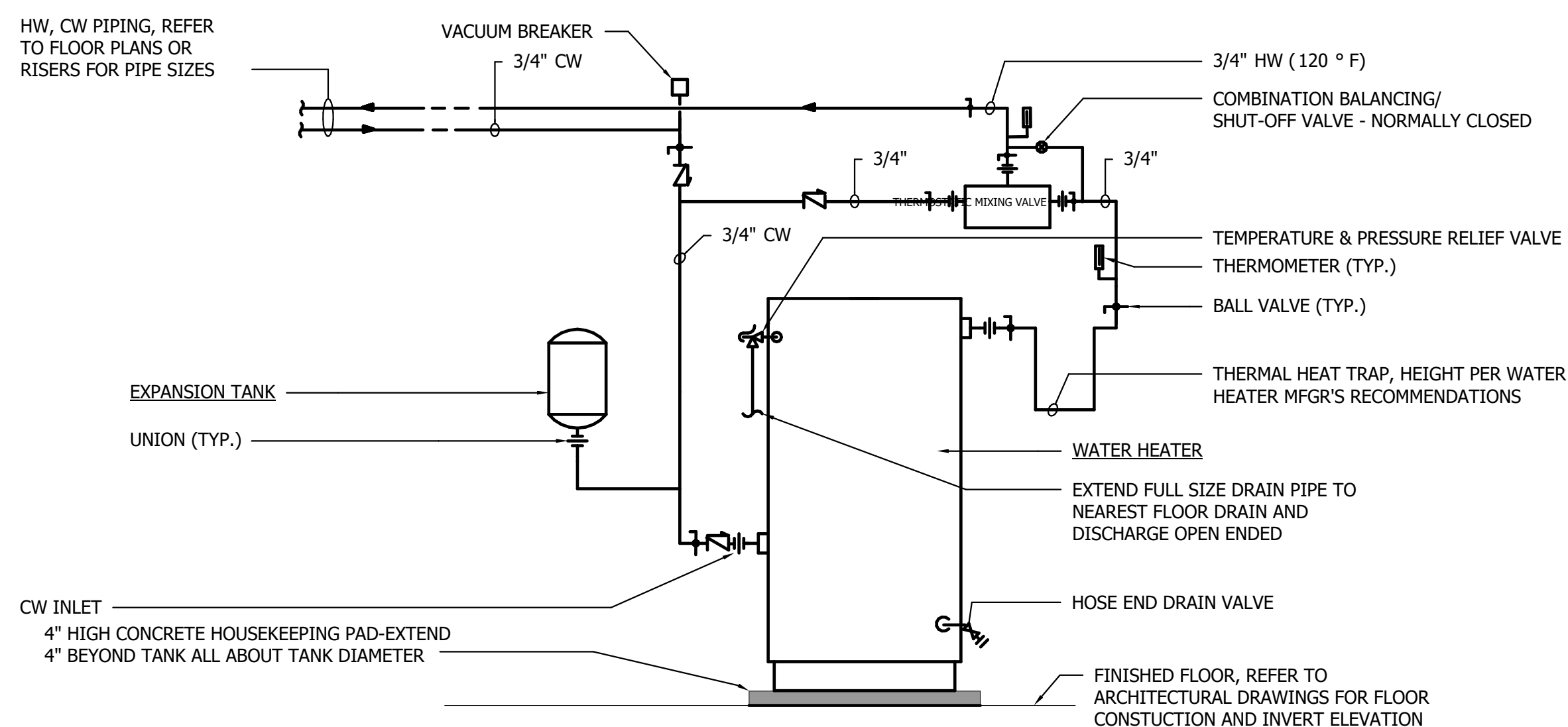
SCALE: NONE



NOTE: STRIEM RECOMMENDS INVERTING THE OUTLET OF THE TRAP TO BE BELOW THE BOTTOM OF THE PERFORATED BASKET TO ENSURE THERE IS NO STANDING WATER IN THE HOUSING.

### DETAIL - UNDERSINK SOLIDS INTERCEPTOR - STRIEM SIDEKICK

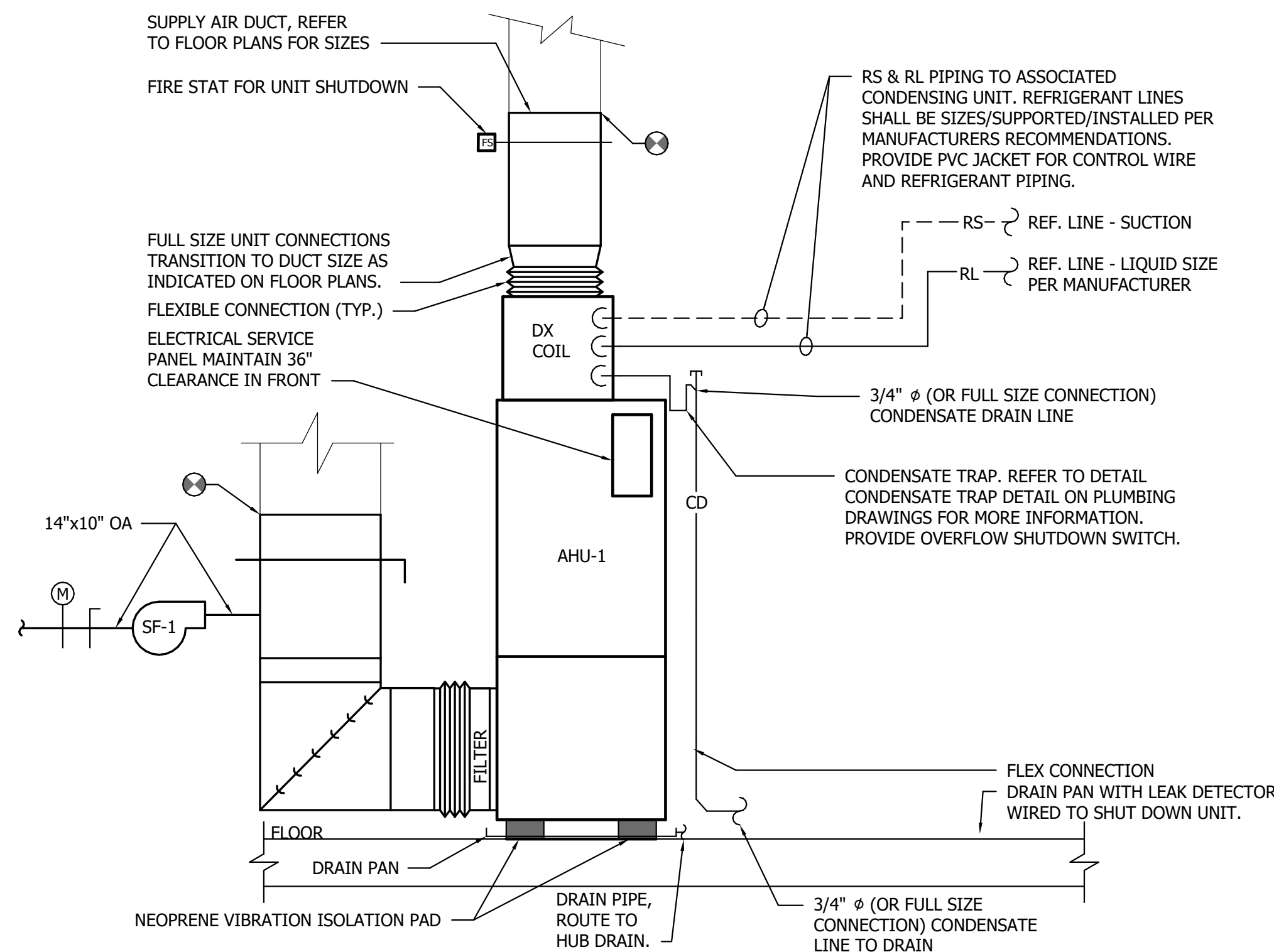
SCALE: NONE



### DETAIL - TYPICAL ELECTRIC DOMESTIC WATER HEATER PIPING/VALVING DIAGRAM

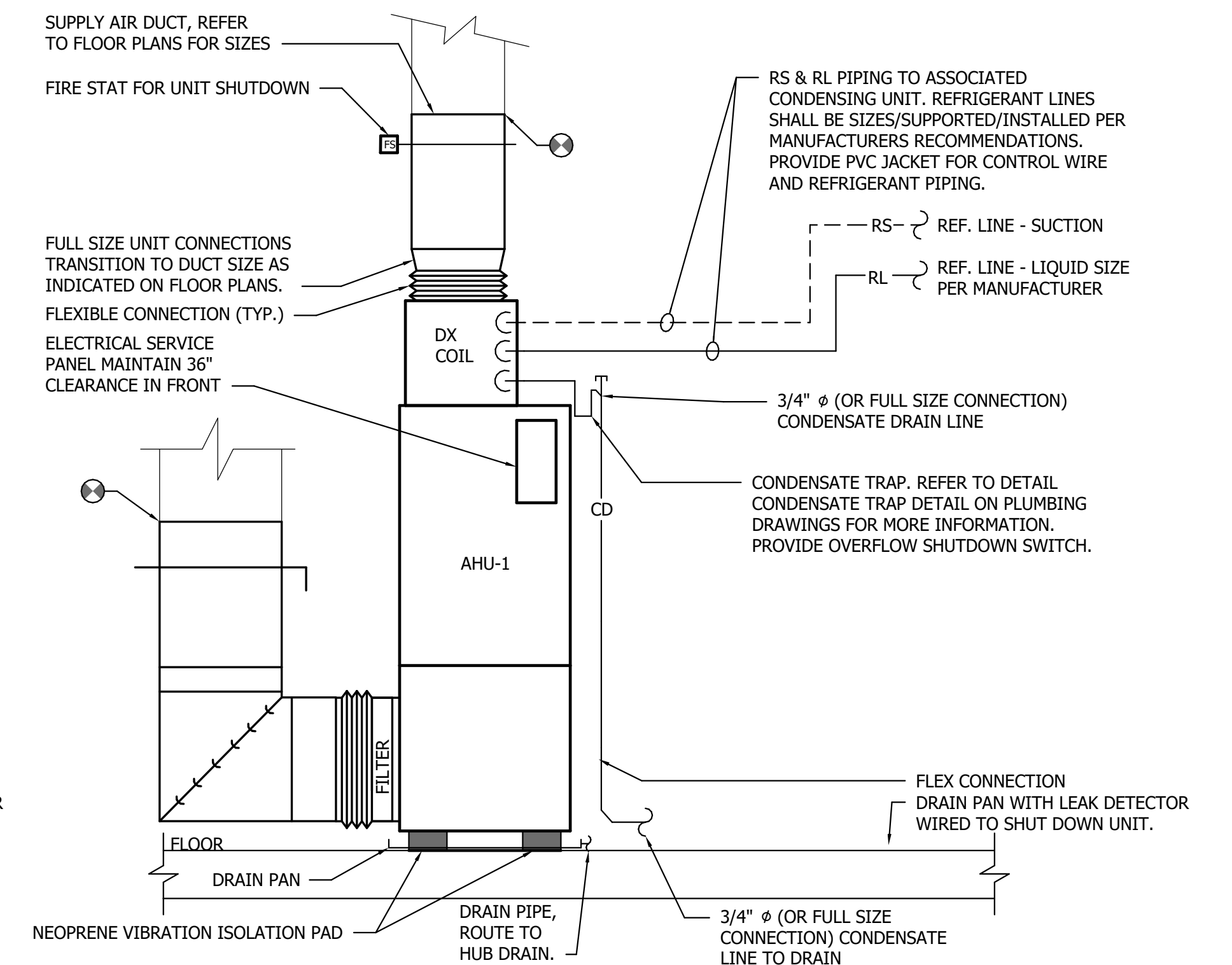
#### NOTES:

- PROVIDE SUPPORT ON PIPE AT CONNECTION TO EXPANSION TANK PER EXPANSION TANK MANUFACTURERS RECOMMENDATIONS.
- REFER TO WATER HEATER SCHEDULE FOR UNIT CAPACITIES AND ADDITIONAL INFORMATION.



### DETAIL - TYPICAL UNIT VERTICAL SPLIT SYSTEM AIR HANDLING UNIT (AHU-1)

SCALE: NONE



### DETAIL - TYPICAL UNIT VERTICAL SPLIT SYSTEM AIR HANDLING UNIT (AHU-1)

SCALE: NONE

SEAL	PROFESSIONAL CERTIFICATION	AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT
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	STEVEN JENKINS II								
	AS-BUILT PER RECORD PRINT								
	BY: _____ DATE: 5/16/2025 9:54:46 AM								

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT

HOLT PARK ENHANCEMENTS

DETAILS

BUILDING IMPROVEMENTS

34 ELMONT AVE., BALTIMORE, MD 21206

ELECTION DIST. NO.: 14 e 6

SUBDIVISION: OVERLEA

# Bowman

SHEET DESIGNATION	CONTRACT NUMBER
M704	25054 GX0
	JOB ORDER NUMBER
	0000971385
	SHEET 48 OF 54
	DRAWING NUMBER
	2025-1582
	FILE NO.: 8

### ELECTRIC WATER HEATER SCHEDULE

UNIT DESIGNATION	LOCATION	TANK		HEATER						EXPANSION TANK				WATER HEATER BASIS OF DESIGN				NOTES
				WATER SIDE			BURNER			TANK VOLUME (GALLONS)		MFGR.		MODEL				
		STORAGE (GALLONS)	DIAMETER x HEIGHT (IN x IN)	MAX. PRESS. (PSI)	EWT (°F)	LWT (°F)	RECOVERY RATE (GPH) @ 90 (°F)	CW INLET (IN)	HW OUTLET (IN)	KW	V/Ø/HZ	TOTAL CAPACITY	ACCEPTANCE	MFGR.	MODEL	MFGR.	MODEL	
WH-1	BASEMENT- ART CENTER	50	20-1/2 x 59	150	50	140	21	0.75	0.75	4.5	240/1/60	2.1	1.48	WATTS	PLT-5	AO SMITH	ENT-50	1,2,3
WH-2	BASEMENT- GARDEN CABIN	40	18 x 61-1/4	150	50	140	21	0.75	0.75	4.5	240/1/60	2.1	1.48	WATTS	PLT-5	AO SMITH	ENT-40	1,2,3
WH-3	BASEMENT - NATURE CABIN	40	18 x 61-1/4	150	50	140	21	0.75	0.75	4.5	240/1/60	2.1	1.48	WATTS	PLT-5	AO SMITH	ENT-40	1,2,3
WH-4	MECH ROOM - 112 MCCORMICK	40	18 x 61-1/4	150	50	140	21	0.75	0.75	4.5	240/1/60	2.1	1.48	WATTS	PLT-5	AO SMITH	ENT-40	1,2

NOTES:  
 1: REFER TO SPECIFICATIONS FOR ACCESSORIES AND ADDITIONAL INFORMATION ASSOCIATED WITH WATER HEATER.  
 2: WATER HEATER SHALL MEET ASME STANDARDS.  
 3: MOUNT ON 4" HIGH CONCRETE HOUSEKEEPING PAD.

### SPLIT SYSTEM HEAT PUMP SCHEDULE

UNIT DESIGNATION	UNIT LOCATION	INDOOR UNIT														OUTDOOR UNIT										NOTES										
		SUPPLY FAN				HEAT PUMP COOLING				HEAT PUMP HEATING (@17°F)				AUX ELEC HEATING				TOTAL INDOOR UNIT ELECTRICAL				BASIS OF DESIGN		UNIT DESIGNATION	UNIT LOCATION		UNIT EER/SEER	DESIGN AMB. TEMP (°F)	TOTAL OUTDOOR UNIT ELECTRICAL			WEIGHT (LBS)	BASIS OF DESIGN			
		DESIGN CFM	ESP (IN H2O)	MOTOR HP	OA CFM	TOTAL MBH	SENSIBLE MBH	DB (°F)	WB (°F)	DB (°F)	WB (°F)	MBH	EAT DB (°F)	LAT DB (°F)	KW	QTY OF CIRCUITS	MCA (EA)	MOCP (EA)	V/Ø/HZ	MCA	MOCP	FLA	V/Ø/HZ						MFGR.	MODEL	MCA		MOCP	V/Ø/HZ	MFGR.	MODEL
AHU-1	BASEMENT- 102 MCCORMICK	1500	-	0.75	260	43	30.2	82	69	60.0	57.0	28.5	70	88	9.6	1	59	60	240/1/60	59.0	60.0	6.0	230/1/60	TRANE	STEM4D06AC41	CU-1	GRADE	12/15.20	95 / 17	25.0	40.0	230/1/60	301.0	TRANE	5TWR5048A1	1,2,3,4,5,6
AHU-2	MECHANICAL ROOM 112 MCCORMICK	1100	-	0.50	-	32.5	23.5	80	67	59.9	57.3	21.6	70	88	9.6	1	55	60	240/1/60	55.0	60.0	3.9	230/1/60	TRANE	STEM4D04AC31	CU-2	GRADE	12/15.20	95 / 17	19.0	30.0	230/1/60	222.0	TRANE	5TWR5036A1	2,3,4,5,6

NOTES:  
 1: PROVIDE CONDENSATE DISCHARGE PUMP AS INDICATED ON THE CONTRACT DOCUMENTS.  
 2: PROVIDE AUXILIARY DRAIN PAN WITH LIQUID DETECTOR FOR UNIT SHUT DOWN.  
 3: REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION, AND ACCESSORIES ASSOCIATED WITH UNIT.  
 4: REFRIGERANT PIPING SHALL BE SIZED, ROUTED, AND SUPPORTED PER MANUFACTURER'S RECOMMENDATIONS.  
 5: PROVIDE UNIT WITH WALL MOUNTED THERMOSTAT/CONTROLLER.  
 6: UNIT SHALL BE CAPABLE OF LOW AMBIENT OPERATION.

### PLUMBING FIXTURE CONNECTION SCHEDULE

PLUMBING FIXTURE	SYMBOL (P-#)	FLOW RATE (GPM/GPF)	WATER SENSE LABELED (YES/NO)	TYPE/MOUNTING	PIPE CONNECTION SIZES (IN)				FIXTURE		FAUCET / FLUSH VALVE		NOTES
					SAN./SW	VENT	COLD WATER	HOT WATER	MFGR.	MODEL	MFGR.	MODEL	
WATER CLOSET - (ADA)	P-1	1.28 GPF	YES	FLOOR MOUNTED	3"	2"	1"	-	AMERICAN STANDARD	3043.001	AMERICAN STANDARD	6047.121	1,2,5
LAVATORY	P-2	0.5 GPM AERATOR	YES	SINGLE BOWL WALL MOUNT	2"	2"	1/2"	1/2"	AMERICAN STANDARD	0355.012	MOEN	CA#8301	1,2,3,4,5
LAVATORY	P-3	0.5 GPM AERATOR	YES	SINGLE BOWL COUNTERTOP	2"	2"	1/2"	1/2"	AMERICAN STANDARD	0476.028	MOEN	CA#8301	1,2,3,4,5
UTILITY SINK	P-4	1.5 GPM	NO	FLOOR MOUNTED	2"	2"	1/2"	1/2"	PROFLO	PFLT1213	DELTA	2123LF	1,3,4,5

NOTES:  
 1: PROVIDE ALL REQUIRED COMPONENTS FOR COMPLETE FIXTURE ROUGH-IN, I.E., SUPPLIES, STOPS, TRAPS, CARRIERS, GRID DRAINS, TAILPIECES, ETC.. NOT ALL REQUIRED COMPONENTS ARE SPECIFIED ABOVE.  
 2: FIXTURES SHALL BE ADA COMPLIANT, PROVIDED WITH ADA COMPLIANT ACCESSORIES. SEE ARCHITECTURAL PLAN FOR ELEVATIONS.  
 3: PROVIDE TRUE-BRO LAV GUARD INSULATING DEVICES ON EXPOSED UNDERCOUNTER PLUMBING.  
 4: PROVIDE WATTS USG-B ASSE 1070 THERMOSTATIC MIXING VALVE.  
 5: REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.

### ELECTRIC UNIT HEATER SCHEDULE

HEATER DESIGNATION	AREA SERVED	MOUNTING TYPE	CAPACITY (BTUH)	ELECTRICAL CHARACTERISTICS		THERMOSTAT TYPE	BASIS OF DESIGN		NOTES
				WATTS/KW	V/Ø/HZ	INTEGRAL/REMOTE	MFGR.	MODEL	
UH-1	ADA RESTROOM [102]	WFR	6825	2.0	240/1/60	I	TRANE	UHAA0218TAD	1,2

NOTES:  
 1: REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION AND ACCESSORIES ASSOCIATED WITH ELECTRIC HEATER  
 2: COORDINATE FINAL MOUNTING HEIGHT OF WALL HEATER WITH ARCHITECT  
 WALL MOUNTING TYPE:  
 WFR = WALL FULLY RECESSED  
 THERMOSTAT TYPE:  
 I = INTERGRAL

### FAN SCHEDULE

FAN DESIGNATION	AREA SERVED	CFM	STATIC PRESSURE (IN. H2O)	DRIVE BELT (BD) / DIRECT (DD)	FAN TYPE	HP (WATTS)	BHP	MOTOR RPM	SOUND LEVEL (SONES)	ELEC. (V/Ø/HZ)	BASIS OF DESIGN		ACCESSORIES	NOTES
											MFGR.	MODEL		
EF-1	GREEN HOUSE 001	1200	0.13	DD	PROP.	0.75	0.07	1500	8.6	120/1/60	GREENHECK	SE1-12-436-VG	A,B,C,E,F,H,I,K	1,2
EF-2	ADA RESTROOM 102	90	0.25	DD	CLG.	(12)	-	-	0.9	120/1/60	BROAN	QTXE110150DC	A,B,C,D,G	1
EF-3	ADA RESTROOM 204	90	0.25	DD	CLG.	(12)	-	-	0.9	120/1/60	BROAN	QTXE110150DC	A,B,C,D,G	1
SF-1	ART CENTER - 1ST FLOOR	260	0.50	DD	I.L.	(56)	0.07	1300	2.4	120/1/60	GREENHECK	CSP-A390-VG	A,B,D,J	1


ACCESSORIES:  
 A: DISCONNECT SWITCH  
 B: BACKDRAFT DAMPER  
 C: BIRDSCREEN  
 D: HANGING BRACKET WITH VIBRATION ISOLATOR  
 E: WALL MOUNTED SWITCH (TIMER 0-4 HOUT)  
 F: WALL MOUNTED THERMOSTAT  
 G: INTERLOCK WITH ROOM LIGHT SWITCH  
 H: WALL MOUNTED COLLAR  
 I: MOTOR SIDE FAN GUARD  
 J: PROVIDE WITH FAN SPEED CONTROLLER  
 K: ALUMINUM CONSTRUCTION  
 FAN TYPES:  
 I.L. = IN LINE  
 CLG. = CEILING  
 W.M.C. = WALL MOUNTED CENTRIFUGAL  
 PROP. = PROPELLER  
 R.M.C.U. = ROOF MOUNTED CENTRIFUGAL UPBLAST

NOTES:  
 1: REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION, AND ACCESSORIES ASSOCIATED WITH FAN.  
 2: PROVIDE VARI-GREEN INDOOR AIR QUALITY TEMPERATURE/HUMIDITY SENSOR.

### PUMP SCHEDULE

PUMP DESIGNATION	SERVICE	GPM	FT. OF HEAD	PUMP MOTOR		ELECTRICAL CHARACTERISTICS		BASIS OF DESIGN		NOTES
				HP	RPM	FLA	V/Ø/HZ	MFGR.	MODEL	
P-1	112 MCCORMICK SUMP PUMP	50	15	1/2	3450	8	120/1/60	LIBERTY PUMPS	281	1,2,3,4
P-2	NATURE CABIN UTILITY SINK	12	17	1/6	3450	5.2	120/1/60	LIBERTY PUMPS	406	1,2,3
P-3	ART CENTER CONDENSATE	70 (GPH)	5	1/30	3450	1.5	120/1/60	LITTLE GIANT	VCMA-20ULST	1,2,3

NOTES:  
 1: REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION AND ACCESSORIES ASSOCIATED WITH PUMP.  
 2: PROVIDE PREMIUM EFFICIENCY MOTOR.  
 3: PROVIDE PUMP MOTOR SUITABLE FOR VARIABLE SPEED DRIVE OPERATION  
 4: PROVIDE INTEGRAL FLOAT SWITCH.

SEAL		PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 58981      EXPIRATION DATE 03/06/2027	AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT
									PLAN SCALE: 1/2" = 1'-0" PROFILE SCALE:	APPROVED BY: _____ PROPERTY MANAGER
			CONTRACT COMPLETION BOX							DATE: _____
			BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER
			REVIEWED BY:							
			DATE REVIEWED:							

SUBDIVISION: OVERLEA

**BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT**  
 HOLT PARK ENHANCEMENTS  
 SCHEDULES  
 BUILDING IMPROVEMENTS  
 34 ELMONT AVE., BALTIMORE, MD 21206  
 ELECTION DIST. NO.: 14 e 6

# Bowman

SHEET DESIGNATION	CONTRACT NUMBER
M801	25054 GX0
JOB ORDER NUMBER	0000971385
SHEET 49 OF 54	DRAWING NUMBER
	2025-1583
	FILE NO.: 8



ELECTRICAL LEGEND	
SYMBOL	
	DRAWING NOTE
	EXISTING OR FUTURE EQUIPMENT, AS NOTED THIN/SOLID
	EXISTING EQUIPMENT TO BE REMOVED, HEAVY/DASHED
	NEW EQUIPMENT, AS NOTED HEAVY/SOLID
	LIGHT FIXTURE, CAPITAL LETTER INDICATES FIXTURE TYPE, LOWER CASE INDICATES SWITCHING, NUMBER (WHERE SHOWN) INDICATES CIRCUIT
	SURFACE OR RECESSED MOUNTED LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	20 AMP SWITCH - LINE VOLTAGE, SINGLE POLE; 3-WAY; 4-WAY. SUBSCRIPT IDENTIFIES FIXTURE CONTROLLED
	WALL SWITCH LINE VOLTAGE OCCUPANCY SENSOR; M.H. 48" AFF (WIR = INFRARED)
	NEMA 5-20R RECEPTACLE; M.H. 18"; M.H. COUNTERTOP OUTLET 6" ABOVE COUNTER HEIGHT TO BOTTOM OF OUTLET
	GFI TYPE RECEPTACLE; GFI ONLY WHERE NOTED MAY BE PROTECTED BY UPSTREAM GFI PROTECTION. MH 18" AFF
	MOTOR - HP AS NOTED

ELECTRICAL ABBREVIATIONS			
A	AMPERE	KVA	KILOVOLT-AMPERE
AFF	ABOVE FINISHED FLOOR	KW	KILOWATT
AHU	AIR HANDLING UNIT	MCA	MINIMUM CIRCUIT AMPS
AWG	AMERICAN WIRE GAUGE	MCB	MAIN CIRCUIT BREAKER
BLDG	BUILDING	MLO	MAIN LUGS ONLY
C	CONDUIT	NFSS	NON-FUSED SAFETY SWITCH
EF	EXHAUST FAN	RM	ROOM
EX	EXISTING	V	VOLTS
FSS	FUSED SAFETY SWITCH	W	WIRE
GFI	GROUND FAULT INTERRUPTING	WP	WEATHERPROOF
GND	GROUND	Ø	PHASE
HP	HORSEPOWER		

LIGHT FIXTURE SCHEDULE					
TYPE	DESCRIPTION	VOLT	MOUNTING	LAMPS	MANUFACTURER/MODEL #
L1	SURFACE LED DOWNLIGHT WITH PAINTABLE WHITE TRIM AND 0-10 DIMMING	120	SURFACE	14.8W 1150 3000K	HALO SLD612-8-30-WH-UNV-SLD6TRMWH

### GENERAL PROJECT DEMOLITION NOTES

- INFORMATION SHOWN ON THIS DRAWING PERTAINING TO EXISTING CONDITIONS HAS BEEN OBTAINED FROM EXISTING DRAWINGS OR GENERAL FIELD OBSERVATIONS AND MAY NOT INDICATE ACTUAL EXISTING CONDITIONS IN DETAIL OR DIMENSION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACTUAL CONDITIONS AND EFFECT ON HIS WORK PRIOR TO FABRICATION, ROUGHIN, MATERIAL ORDERS OR PERFORMANCE OF THE WORK. SHOULD CONDITIONS BE DISCOVERED THAT PREVENT EXECUTION OF THE WORK AS INDICATED, IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING FOR DIRECTION BEFORE PROCEEDING WITH THE WORK.
- REMOVE ALL EQUIPMENT INDICATED, INCLUSIVE OF ASSOCIATED CONDUIT, WIRING, BOXES, SUPPORTS, ETC. BACK TO SOURCE OR LAST REMAINING DEVICE ON SAME CIRCUIT, UNLESS NOTED OTHERWISE.
- EXISTING CIRCUITS INTERRUPTED BY DEMOLITION OR RELOCATION WORK, BUT SERVING ITEMS INDICATED TO REMAIN, SHALL BE MADE CONTINUOUS.
- DEMOLITION SHALL INCLUDE REMOVAL OF ELECTRICAL EQUIPMENT AND ASSOCIATED COMPONENTS AND MATERIALS. DO NOT ABANDON IN PLACE ANY ITEMS UNLESS NOTED ON THE DRAWINGS. EQUIPMENT REMOVED SHALL BE OFFERED TO THE OWNER PRIOR TO DISPOSAL, AND IF DESIRED, SHALL BE STORED ON SITE, WHERE INSTRUCTED. ALL MATERIALS NOT TO BE RETAINED BY OWNER SHALL BE REMOVED FOR OFF-SITE, LEGAL DISPOSAL.
- UNLESS NOTED OTHERWISE, ELECTRICAL ITEMS SHOWN HEAVY/DASHED (---) SHALL BE REMOVED AND/OR RELOCATED. ELECTRICAL ITEMS SHOWN LIGHT/SOLID (\_\_\_\_) ARE EXISTING TO REMAIN. ELECTRICAL ITEMS SHOWN HEAVY/SOLID (\_\_\_\_) REPRESENTS NEW WORK.
- THE EXISTING FACILITY SHALL REMAIN IN OPERATION DURING CONSTRUCTION. ALL INTERRUPTIONS TO UTILITIES OR SERVICES MUST BE COORDINATED WITH THE OWNER OR USING AGENCY TO MINIMIZE DISRUPTIONS. PROVIDE NOTICE TO THE FACILITY AND OWNER 15 DAYS IN ADVANCE OF PLANNED OUTAGES.
- REFER TO PROJECT PHASING DRAWINGS AND/OR REQUIREMENTS FOR COORDINATION OF ALL DEMOLITION WORK WITH OVERALL PROJECT PHASING.
- NOTIFY OWNER OF ANY DAMAGED OR NON-WORKING ITEMS PRIOR TO REMOVAL. ANY EQUIPMENT DAMAGED DURING REMOVAL AND/OR RELOCATION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH EQUIPMENT EQUAL TO EXISTING.
- ANY OPENINGS LEFT IN CEILINGS/WALLS SHALL BE PATCHED AND FINISHED TO MATCH EXISTING ADJACENT SURFACES. WHERE DEVICES ARE REMOVED FROM CEILING TILES, PROVIDE REPLACEMENT TILE(S) TO MATCH EXISTING.
- DISCONNECT AND REMOVE ALL ASSOCIATED ELECTRICAL CONNECTIONS FOR EXISTING HVAC AND PLUMBING EQUIPMENT BEING REMOVED, INCLUDING: CONDUIT, WIRING, OUTLETS, DISCONNECTING MEANS, STARTERS, SWITCHES, ETC. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.

### GENERAL PROJECT NOTES

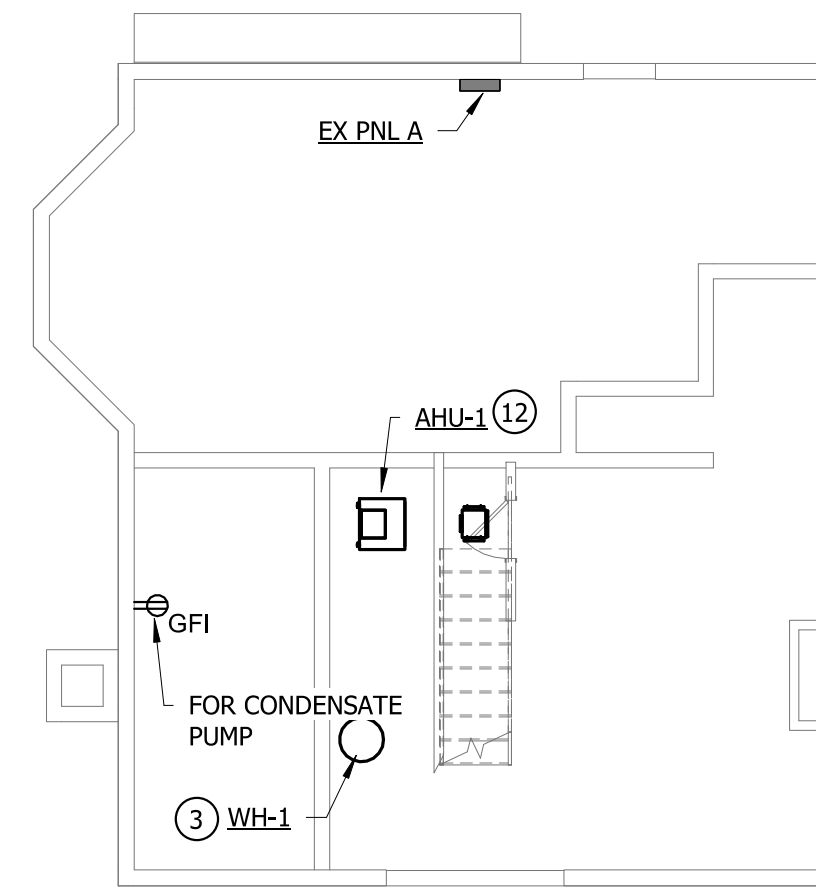
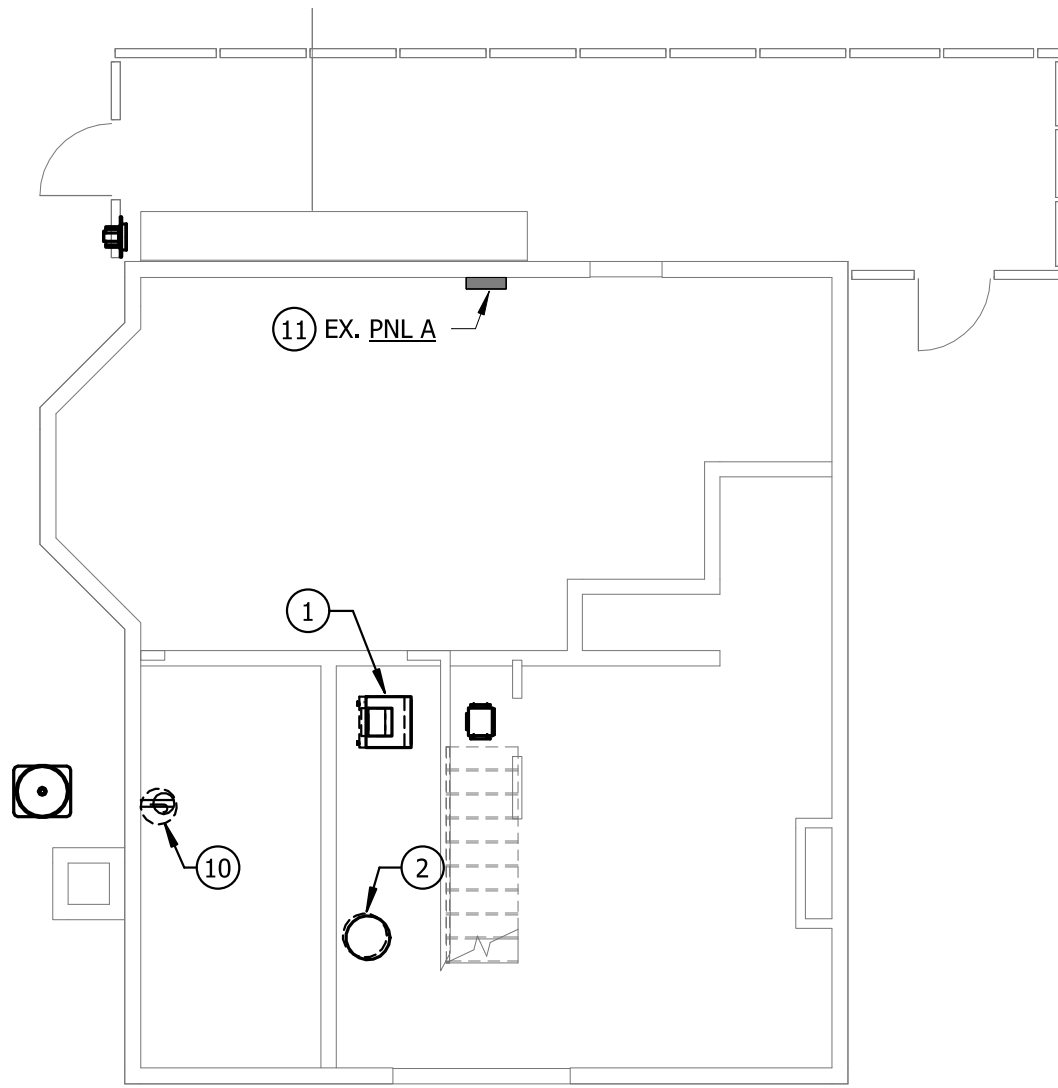
- DRAWINGS ARE DIAGRAMMATIC AND GENERALLY REPRESENTATIVE OF THE WORK REQUIRED. VERIFY ALL WORK ON SITE AND REPORT ANY CONFLICTS TO THE ENGINEER FOR REVIEW PRIOR TO PROCEEDING WITH WORK OR CHANGES.
- REFER TO ARCHITECTURAL OR PHASING DRAWINGS FOR OVERALL PROJECT PHASING. PLAN AND COORDINATE THE WORK, AS REQUIRED.
- PROVIDE NEW TYPED CIRCUIT DIRECTORIES FOR ALL NEW PANELBOARDS AND ANY EXISTING PANELS IN WHICH CIRCUITS WERE MODIFIED.
- ALL WIRING IS BASED ON COPPER CONDUCTORS, ALUMINUM CONDUCTORS ARE NOT PERMITTED.
- ALL PROJECT CONDUIT AND CABLING SHALL BE INSTALLED ABOVE FINISHED CEILINGS, WHERE POSSIBLE TO MINIMIZE VISIBILITY OF SUCH ITEMS IN AREAS WITH EXPOSED STRUCTURE. ALL CABLING INSTALLED IN EXPOSED STRUCTURE AREAS, SHALL BE IN EMT CONDUIT INSTALLED TIGHT TO DECK ABOVE, EXCEPT FOR SHORT FINAL CONNECTIONS TO FIXTURES, ETC. MC CABLE SHALL BE PERMITTED WHERE INSTALLED ABOVE FINISHED CEILINGS OR CONCEALED IN PARTITION WALLS.
- REFER TO ARCHITECTURAL DRAWINGS FOR CEILING TYPES, FINISHES, ETC. COORDINATE ALL LIGHT FIXTURE MOUNTING, FRAME KITS, ETC. AS REQUIRED.
- WHERE THE WORK OF THIS CONTRACT, INCLUDING THAT OF ALL OTHER DISCIPLINES, REQUIRES THE REMOVAL AND REPLACEMENT OF THE CEILING, PROVIDE FOR REMOVAL AND REINSTALLATION OF ELECTRICAL DEVICES AND EQUIPMENT MOUNTED IN OR ON THE CEILING. ALTERNATELY, THE CONTRACTOR MAY PROVIDE TEMPORARY SUPPORT FOR SUCH DEVICES, INCLUDING REINSTALLATION INTO NEW CEILING.
- ALL LOW VOLTAGE CABLING INSTALLED ABOVE CEILINGS AND NOT IN RACEWAYS SHALL BE PLENUM RATED.
- ALL BRANCH CIRCUITS SHALL UTILIZE INDIVIDUAL NEUTRAL CONDUCTORS. SHARED NEUTRALS AND MULTI-WIRE CIRCUITS ARE NOT PERMITTED.
- ALL BRANCH CIRCUITS AND FEEDERS SHALL INCLUDE AN EQUIPMENT GROUNDING CONDUCTOR. CONDUIT IS NOT PERMITTED AS THE SOLE GROUND PATH.
- ALL BATTERY POWERED EMERGENCY AND EGRESS LIGHTING FIXTURES SHALL BE CONNECTED TO BRANCH CIRCUITS AHEAD OF ALL SWITCHING, UNLESS INDICATED OTHERWISE.
- UNLESS LARGER GAUGE IS INDICATED ON PANEL SCHEDULES, BRANCH CIRCUIT WIRING SHALL COMPENSATE FOR VOLTAGE DROP, AS FOLLOWS:
  - 120V, 0-90LF: #12AWG
  - 120V, 91-140LF: #10 AWG
  - 120V, >140LF: #8 AWG
- UNLESS NOTED OTHERWISE, ALL WIRING & CONDUIT/CABLING SHOWN ON FLOOR PLANS IS FOR DIAGRAMMATIC PURPOSES ONLY. COORDINATE EXACT INSTALLATION REQUIREMENTS WITH FIELD CONDITIONS AND INSTALL PER SPECIFICATIONS.
- MINIMUM INTERIOR RIGID CONDUIT SIZE SHALL BE 3/4" UNLESS NOTED OTHERWISE.
- ALL RECEPTACLES INSTALLED IN WITHIN 6 FT OF SINKS, ETC. SHALL HAVE GFI PROTECTION PER NEC. DO NOT INSTALL GFCI OUTLETS BEHIND RANGES, REFRIGS, FREEZERS, DISHWASHERS, BUILT-IN MICROWAVES, AND SIMILAR INACCESSIBLE LOCATIONS. SUCH CIRCUITS SHALL USE GFCI BREAKERS.
- MULTIPLE SWITCHES IN THE SAME LOCATION SHALL USE A SINGLE MULTI-GANG DEVICE BOX AND COVER PLATE.

ELECTRICAL DRAWING INDEX	
Sheet Number	Sheet Name
E001	ELECTRICAL COVER SHEET
E201	ART CENTER & GREENHOUSE - DEMOLITION & NEW WORK - ELECTRICAL
E202	GARDEN CABIN - DEMOLITION & NEW WORK - ELECTRICAL
E203	NATURE CABIN - DEMOLITION & NEW WORK - ELECTRICAL
E204	112 MCCORMICK CABIN - DEMOLITION & NEW WORK - ELECTRICAL

	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT	
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 51627, EXPIRATION DATE 12/06/2026						PNW	35NW40	PLAN SCALE: 12" = 1'-0"	APPROVED BY: _____	
	DALTON TWARDUS		DGN BY: REC	BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER
	AS-BUILT PER RECORD PRINT		DWN BY: REC	REVIEWED BY:							
BY: _____ DATE: 4/23/2025 2:08:00 PM		CHKD BY: DJT	DATE REVIEWED:								

**BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT**  
 HOLT PARK ENHANCEMENTS  
**ELECTRICAL COVER SHEET**  
 BUILDING IMPROVEMENTS  
 34 ELMONT AVE., BALTIMORE, MD 21206  
 SUBDIVISION: OVERLEA

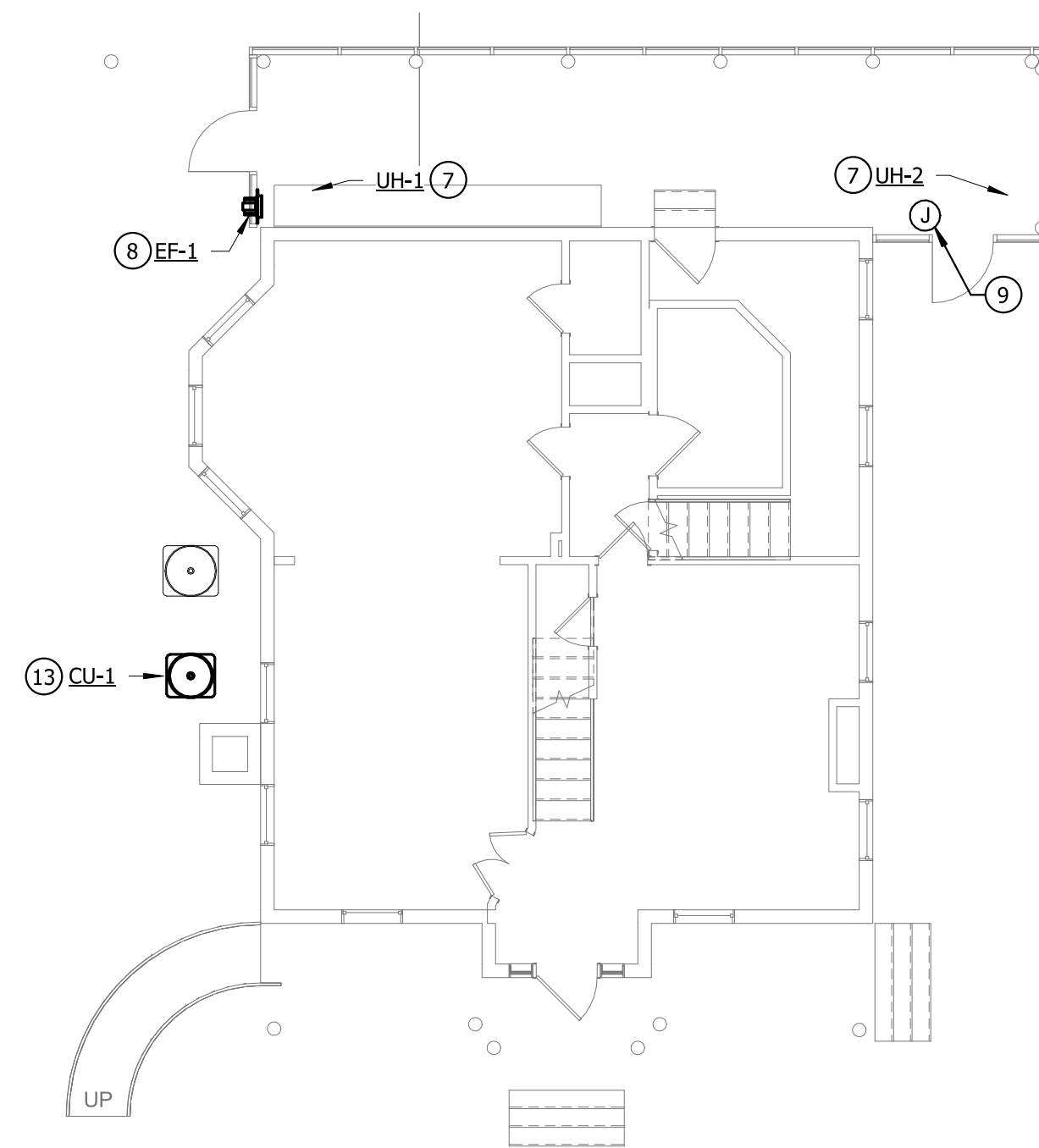
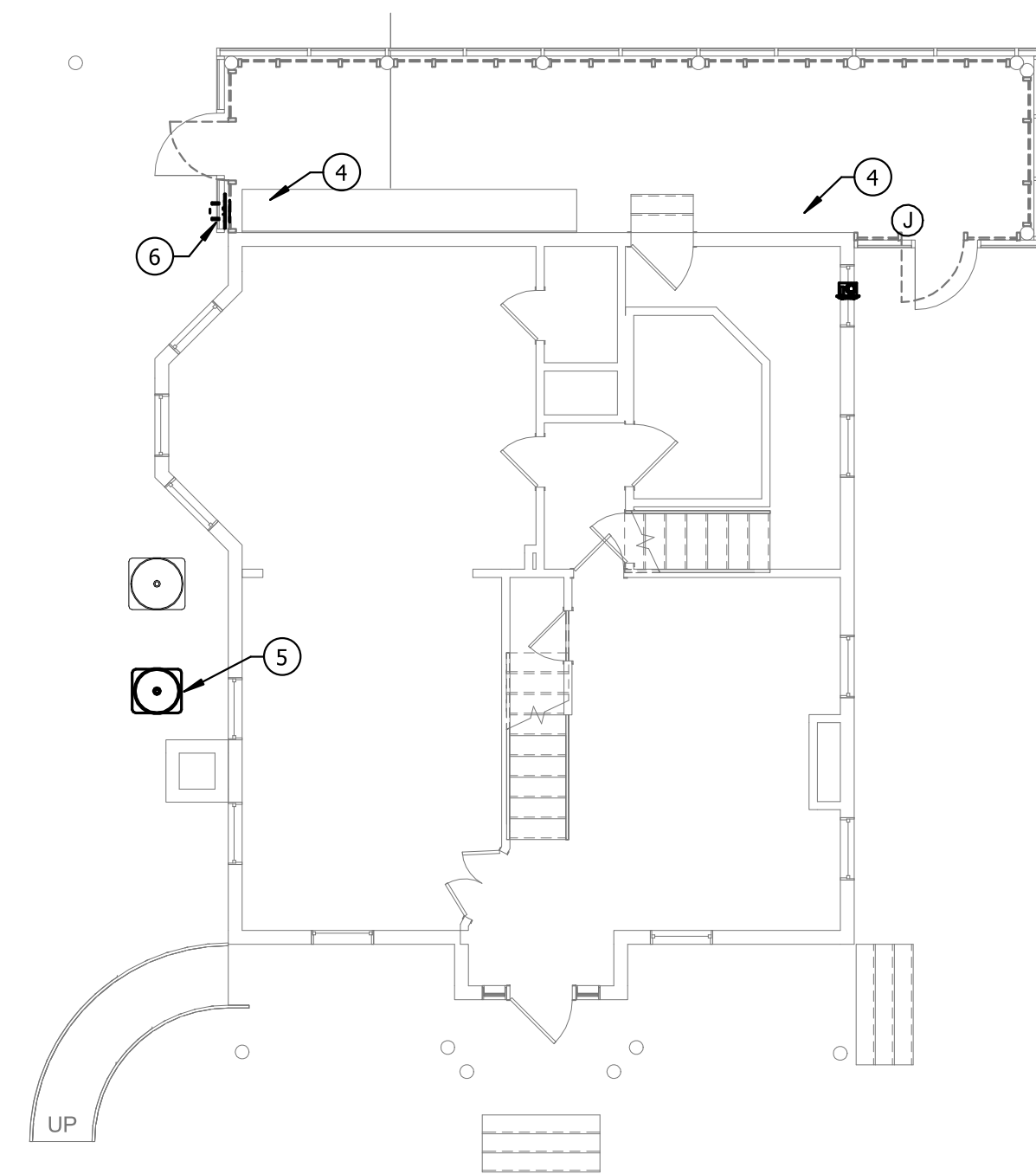
<b>Bowman</b>	
SHEET DESIGNATION	CONTRACT NUMBER
E001	25054 GX0
JOB ORDER NUMBER	0000971385
SHEET 50 OF 54	DRAWING NUMBER
	2025-1584
FILE NO.: 8	



**DEMO - BASEMENT - ART CENTER & GREENHOUSE - ELECTRICAL**  
SCALE: 1/8" = 1'-0"

**NEW WORK - BASEMENT - ART CENTER & GREENHOUSE - ELECTRICAL**  
SCALE: 1/8" = 1'-0"

- DRAWING NOTES**
- DISCONNECT AND RETAIN EXISTING CIRCUIT FOR CONNECTION TO NEW WATER HEATER IN SAME LOCATION.
  - DISCONNECT AND REMOVE EXISTING CIRCUIT SERVING AHU BACK TO SOURCE.
  - WH-1, 4.5KW, 120/240V, CONNECT TO EXISTING CIRCUIT PREVIOUSLY SERVING REMOVED WATER HEATER.
  - EXISTING UNIT HEATER TO REMAIN.
  - DISCONNECT AND REMOVE EXISTING CIRCUIT SERVING CONDENSING UNIT BACK TO SOURCE.
  - DISCONNECT AND RETAIN EXISTING CIRCUIT FOR CONNECTION TO NEW EXHAUST FAN IN SAME LOCATION.
  - EXISTING UNIT HEATERS TO REMAIN.
  - FOR EXHAUST FAN, CONNECT TO EXISTING CIRCUIT PREVIOUSLY SERVING REMOVED EXHAUST FAN. PROVIDE A 1-POLE THERMAL SWITCH DISCONNECT.
  - CONNECT MOTOR OPERATED DAMPER TO NEAREST RECEPTACLE CIRCUIT VIA 2#14+1#14GND.
  - DISCONNECT EXISTING CONNECTION OF EXISTING CONDENSATE PUMP, RETAIN CIRCUIT FOR CONNECTION TO NEW PUMP IN SAME LOCATION.
  - EXISTING PANEL A, CUTLER HAMMER, 120/240V, 1P, 3W, 200A CB.ALL EXISTING BRANCH CIRCUITS AND FEEDERS TO REMAIN.
  - CONNECT TO A-40 AND CONNECT TO UNIT INTEGRAL CIRCUIT BREAKER.
  - CONNECT TO A-18, PROVIDE A 2P-60A NFSS.



**DEMO - FIRST FLOOR - ART CENTER & GREENHOUSE - ELECTRICAL**  
SCALE: 1/8" = 1'-0"

**NEW WORK - FIRST FLOOR - ART CENTER & GREENHOUSE - ELECTRICAL**  
SCALE: 1/8" = 1'-0"

JOB: Holt Park PANEL: A 18-Mar-25 02:43 PM

CKT QTY	NON/ DEMAND	PNL	SUBPNL	DEMAND	TOTAL
	CONVT	KVA	KVA	KVA	KVA
Lighting [L]	1	C			
Receptacles [R] *	0.5	N			
Motors [M]	1	<M/H>			
Motors (alternate) [M2]	1	<M/H>			
Multimotor/Combination [MM]	1	<M/H>			
Heating [H] **	1	<M/H>			
Air Conditioning [A] **	1	<M/H>			
Other (appliances, etc.) [O]	1	N			
Auxiliary [X]	1	C			
Kitchen [K]	0.65	N			

PANEL CONNECTED LOAD	KVA	@ 200 AMPS
PANEL DEMAND LOAD	KVA	48.0 CB MAX KVA
TOTAL PANEL LOAD	KVA	
	AMPS	
SPARE CAPACITY =	48.0 KVA	
(BASED ON CB)	200.0 AMPS	
	100.0 %	

FOR CONT. LOADS (C), TOTAL KVA=DEMAND KVA\*1.25; FOR NONCONT. (N) & MOTOR/HEATING <M/H> LOADS, TOTAL KVA=DEMAND KVA  
\* IF RECEPTACLE LOAD IS >10KVA, RECEPTACLE DEMAND LOAD IS (CONNECTED LOAD - 10KVA) \* .5 + 10KVA  
\*\* INDICATES GREATER OF HEATING OR COOLING, GREATEST SEASONAL LOAD = SAME

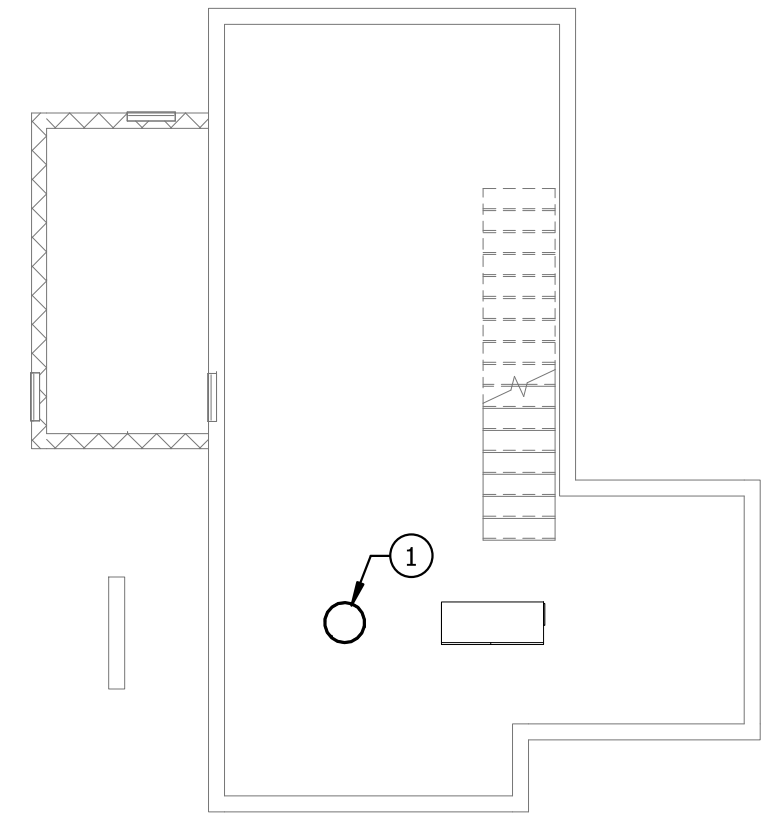
CKT NO.	FOR	BRANCH BREAKERS	#	WIRING	COND.	CKT NO.	FOR	BRANCH BREAKERS	#	WIRING	COND.							
		FRAME POLES	TRIP	SETS	# SIZE			FRAME POLES	TRIP	SETS	# SIZE							
1	EX LIGHTING BASEMENT	100	1	20	EX	EX	EX	EX	2	EX RECEPTACLES 1ST FLOOR	100	1	20	EX	EX	EX	EX	
3	EX RECEPTACLES BASEMENT	100	1	20	EX	EX	EX	EX	4	EX RECEPTACLES 1ST FLOOR	100	1	20	EX	EX	EX	EX	
5	EX LIGHTING FIRST FLR	100	1	20	EX	EX	EX	EX	6	EX RECEPTACLES 1ST FLOOR	100	1	20	EX	EX	EX	EX	
7	EX TRACK LIGHTING 1ST FLOOR	100	1	20	EX	EX	EX	EX	8	EX RECEPTACLES 1ST FLOOR	100	1	20	EX	EX	EX	EX	
9	EX TRACK LIGHTING 1ST FLOOR	100	1	20	EX	EX	EX	EX	10	EX RECEPTACLES 1ST FLOOR	100	1	20	EX	EX	EX	EX	
11	EX TRACK LIGHTING 1ST FLOOR	100	1	20	EX	EX	EX	EX	12	EX RECEPTACLES 1ST FLOOR	100	1	20	EX	EX	EX	EX	
13	EX TRACK LIGHTING 1ST FLOOR	100	1	20	EX	EX	EX	EX	14	EX SP-1, CP-1 & OAF-1	100	1	20	EX	EX	EX	EX	
15	EX TRACK LIGHTING 1ST FLOOR	100	1	20	EX	EX	EX	EX	16	EX LIGHTS - GREENHOUSE	100	1	20	EX	EX	EX	EX	
17	EX TRACK LIGHTING 1ST FLOOR	100	1	20	EX	EX	EX	EX	18	<b>ACCU-1</b>	<b>100</b>	<b>2</b>	<b>40</b>	<b>1</b>	<b>2</b>	<b>8</b>	<b>10</b>	<b>3/4"</b>
19	EX TRACK LIGHTING 1ST FLOOR	100	1	20	EX	EX	EX	EX	20	-----	-----	-----	-----	-----	-----	-----	-----	
21	EX TRACK LIGHTING 1ST FLOOR	100	1	20	EX	EX	EX	EX	22	EX ACCU-2	100	2	35	EX	EX	EX	EX	
23	EX FACP	100	1	20	EX	EX	EX	EX	24	-----	-----	-----	-----	-----	-----	-----	-----	
25	EX FACP	100	1	20	EX	EX	EX	EX	26	<b>EF-1</b>	100	1	20	EX	EX	EX	EX	
27	EX UNIT HEATER	100	2	20	EX	EX	EX	EX	28	SPARE	100	1	20	EX	EX	EX	EX	
29	-----	-----	-----	-----	-----	-----	-----	-----	30	TELEPHONE RECEPTACLES	100	1	20	EX	EX	EX	EX	
31	EX UNIT HEATER	100	2	20	EX	EX	EX	EX	32	EX CIRCUIT	100	2	60	EX	EX	EX	EX	
33	-----	-----	-----	-----	-----	-----	-----	-----	34	-----	-----	-----	-----	-----	-----	-----	-----	
35	<b>EXH FAN</b>	100	1	20	EX	EX	EX	EX	36	TVSS	100	2	20	EX	EX	EX	EX	
37	EX SPACE	100	1	-----	-----	-----	-----	-----	38	-----	-----	-----	-----	-----	-----	-----	-----	
39	EX PANEL B	100	2	60	EX	EX	EX	EX	40	<b>AHU-1</b>	<b>100</b>	<b>2</b>	<b>60</b>	<b>1</b>	<b>2</b>	<b>6</b>	<b>10</b>	<b>3/4"</b>
41	-----	-----	-----	-----	-----	-----	-----	-----	42	-----	-----	-----	-----	-----	-----	-----	-----	

	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT	
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.						R.O.W. NO.	PNW	35NW40	PLAN SCALE: As indicated	APPROVED BY: _____
	LICENSE NO. 51627 EXPIRATION DATE 12/06/2026		CONTRACT COMPLETION BOX							PROFILE SCALE: _____	DATE: _____
	DALTON TWARDUS	DGN BY: REC	BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	
AS-BUILT PER RECORD PRINT		DGN BY: REC	REVIEWED BY:								
BY: _____		CHKD BY: DJT	DATE REVIEWED:								
DATE: 4/23/2025 2:08:05 PM											

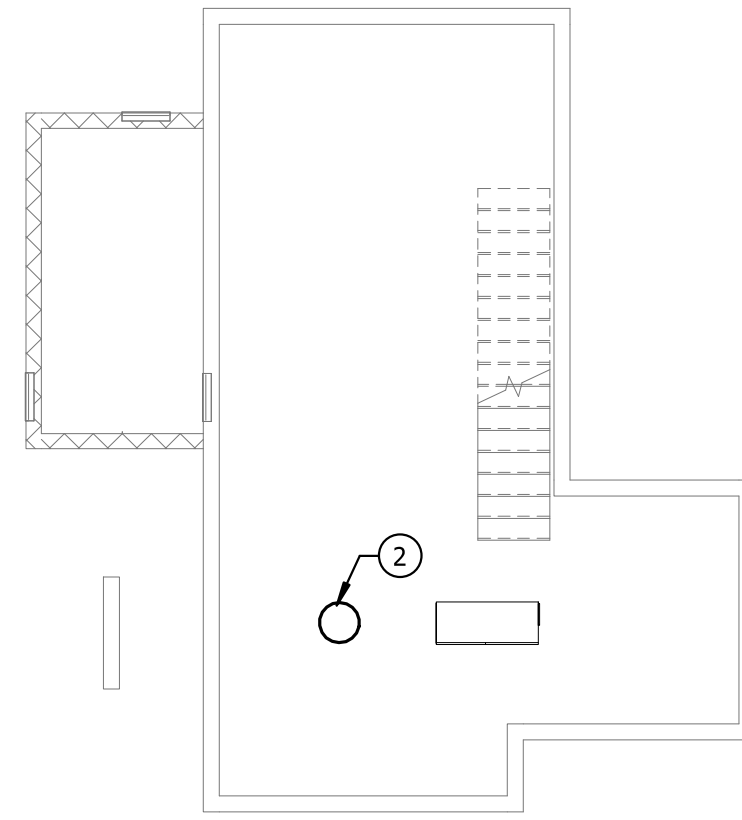
**BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT**  
 HOLT PARK ENHANCEMENTS  
**ART CENTER & GREENHOUSE - DEMOLITION & NEW WORK - ELECTRICAL**  
 BUILDING IMPROVEMENTS  
 34 ELMONT AVE., BALTIMORE, MD 21206  
 ELECTION DIST. NO.: 14 e 6

SHEET DESIGNATION	CONTRACT NUMBER
E201	25054 GX0
JOB ORDER NUMBER	0000971385
SHEET 51 OF 54	DRAWING NUMBER
2025-1585	FILE NO.: 8

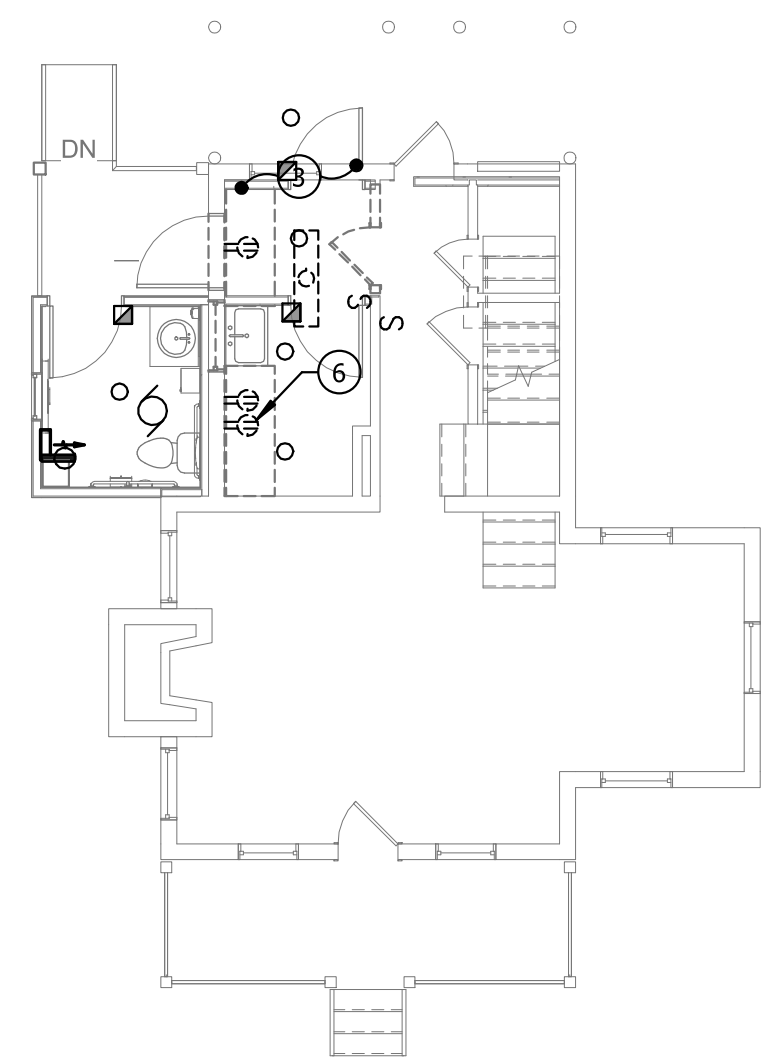
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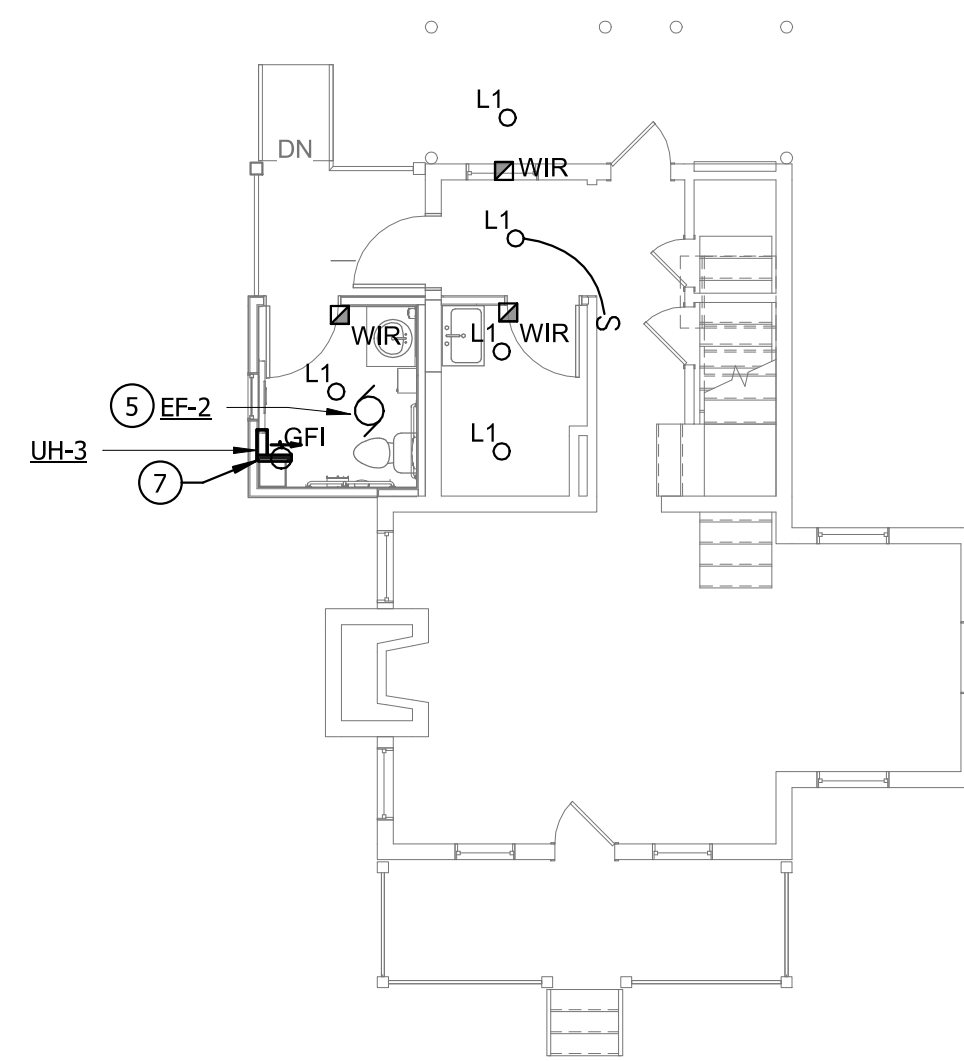
**BASEMENT- GARDEN CABIN - ELECTRICAL - DEMO**  
SCALE: 1/8" = 1'-0"



**BASEMENT- GARDEN CABIN - ELECTRICAL - NEW WORK**  
SCALE: 1/8" = 1'-0"



**DEMO - FIRST FLOOR - GARDEN CABIN - ELECTRICAL**  
SCALE: 1/8" = 1'-0"



**NEW WORK - FIRST FLOOR - GARDEN CABIN - ELECTRICAL**  
SCALE: 1/8" = 1'-0"

**GENERAL NOTES**

1. EXTEND EXISTING LIGHTING AND RECEPTACLE CIRCUIT(S) TO ALL NEW LIGHTING AND RECEPTACLES ON NEW WORK PLAN

**DRAWING NOTES**

1. DISCONNECT AND RETAIN EXISTING CIRCUIT FOR CONNECTION TO NEW WATER HEATER IN SAME LOCATION.
2. WH-2, 4.5KW, 120/240V, CONNECT TO EXISTING CIRCUIT PREVIOUSLY SERVING REMOVED WATER HEATER.
3. RETAIN EXISTING LIGHTING AND RECEPTACLE CIRCUIT FOR CONNECTION TO NEW DEVICES WITHIN THIS AREA.
4. FOR UNIT HEATER, PROVIDE AND AND CONNECT TO A 2P-15A BREAKER IN EXISTING PANEL SPACE VIA 2#12+1#12-3/4"C. CONNECT TO INTEGRAL DISCONNECT.
5. CONNECT DOWNSTREAM OF OCC SENSOR IN ROOM.
6. DISCONNECT AND RETAIN EXISTING CIRCUIT. MODIFY/EXTEND TO NEW RECEPTACLE IN NEW RESTROOM.
7. CONNECT TO EXTENDED EXISTING CIRCUIT VIA 2#12+1#12-3/4"C.

	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT	
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.						R.O.W. NO.	PNW	35NW40	PLAN SCALE: 1/8" = 1'-0"	APPROVED BY: _____
	LICENSE NO. 51627 EXPIRATION DATE 12/06/2026		CONTRACT COMPLETION BOX							PROFILE SCALE:	DATE: _____
	DALTON TWARDUS	DGN BY: REC	BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER	
AS-BUILT PER RECORD PRINT	DWN BY: REC	REVIEWED BY:									
BY: _____	CHKD BY: DJT	DATE REVIEWED:									
DATE: 4/23/2025 2:08:07 PM											

**BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT**  
HOLT PARK ENHANCEMENTS  
**GARDEN CABIN - DEMOLITION & NEW WORK - ELECTRICAL**  
BUILDING IMPROVEMENTS  
34 ELMONT AVE., BALTIMORE, MD 21206

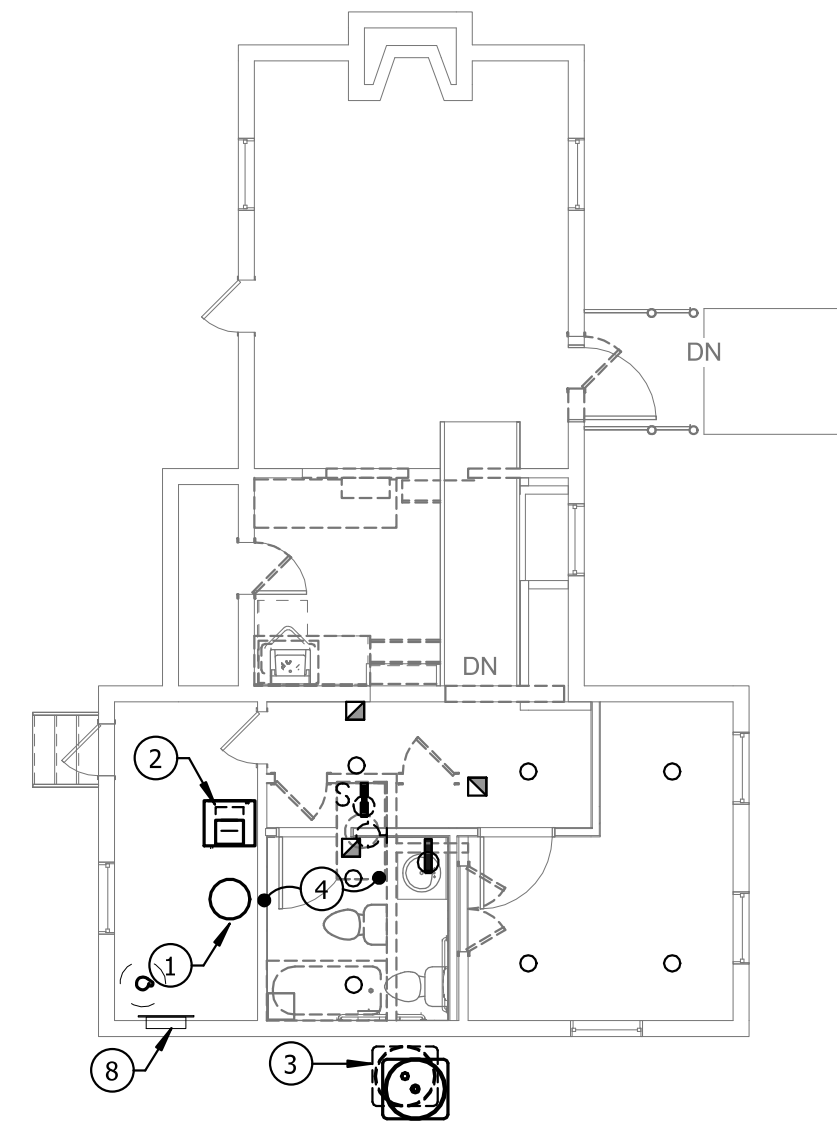
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ELECTION DIST. NO.: 14 e 6

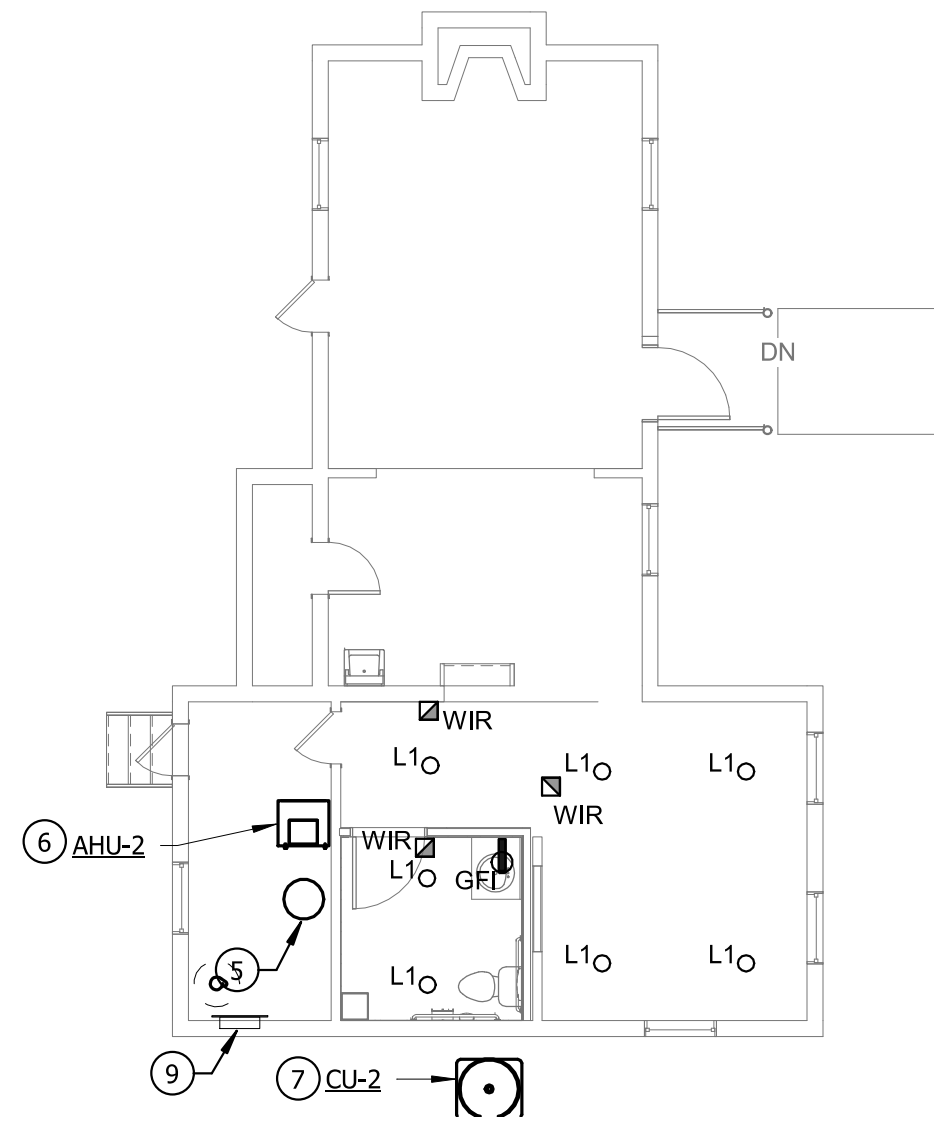
**Bowman**

SHEET DESIGNATION	CONTRACT NUMBER
E202	25054 GX0
JOB ORDER NUMBER	0000971385
SHEET 52 OF 54	DRAWING NUMBER
	2025-1586
FILE NO.: 8	





**DEM0 - FIRST FLOOR - 112 McCORMICK CABIN - ELECTRICAL**  
SCALE: 1/8" = 1'-0"



**NEW WORK - FIRST FLOOR - 112 McCORMICK CABIN - ELECTRICAL**  
SCALE: 1/8" = 1'-0"

**GENERAL NOTES**

1. EXTEND EXISTING LIGHTING AND RECEPTACLE CIRCUIT(S) TO ALL NEW LIGHTING AND RECEPTACLES ON NEW WORK PLAN.
2. EXISTING ELECTRIC SERVICE IS DEENERGIZED, BGE TO PROVIDE A NEW METER TO REESTABLISH SERVICE. ONCE REESTABLISHED, REPLACE ALL LIGHT FIXTURE BULBS CONSIDERED TO BE NON-OPERATION WITH NEW LED TYPE, COLOR TEMPERATURE TO MATCH EXISTING.

**DRAWING NOTES**

1. DISCONNECT AND RETAIN EXISTING CIRCUIT FOR CONNECTION TO NEW WATER HEATER IN SAME LOCATION.
2. DISCONNECT AND REMOVE EXISTING CIRCUIT SERVING AHU BACK TO SOURCE.
3. DISCONNECT AND REMOVE EXISTING CIRCUIT SERVING CONDENSING UNIT BACK TO SOURCE.
4. RETAIN EXISTING LIGHTING AND RECEPTACLE CIRCUIT FOR CONNECTION TO NEW DEVICES WITHIN THIS AREA.
5. WH-4, 4.5KW, 120/240V, CONNECT TO EXISTING CIRCUIT PREVIOUSLY SERVING REMOVED WATER HEATER.
6. PROVIDE AND CONNECT TO A 2P-35A BREAKER IN EXISTING PANEL IN FREED SPACE PREVIOUSLY SERVING REMOVED EX. AHU VIA 2#8-1#10-3/4"C. CONNECT TO INTEGRAL CIRCUIT BREAKER.
7. PROVIDE AND CONNECT TO A 2P-30A BREAKER IN EXISTING PANEL IN FREED SPACE PREVIOUSLY SERVING REMOVED EX. CU VIA 2#10-1#10-3/4"C. PROVIDE A 2P-30A NFSS.
8. EXISTING CUTLER HAMMER 120/240V, 1P, 3W, 100A MCB LOADCENTER.
9. PROVIDE (1)2P-35A C/B AND (1) 2P-30A C/B IN EXISTING SACES FREED UP BY DEMOLITION. BREAKERS SHALL BE COMPATIBLE WITH EXISTING CUTLER HAMMER LOADCENTER.

	PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT	
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 51627, EXPIRATION DATE 12/06/2026					R.O.W. NO.	PNW	35NW40	PLAN SCALE: 1/8" = 1'-0"	APPROVED BY: _____	
	DALTON TWARDUS		DGN BY: KEC	BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER
	AS-BUILT PER RECORD PRINT		DWN BY: KEC	REVIEWED BY:							
BY: _____	DATE: 4/23/2025 2:08:12 PM	CHKD BY: EJT	DATE REVIEWED:								

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 HOLT PARK ENHANCEMENTS  
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E204	25054 GX0
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