

BALTIMORE COUNTY, MARYLAND
DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION
DIVISION OF CONSTRUCTION CONTRACTS ADMINISTRATION
111 WEST CHESAPEAKE AVENUE
TOWSON, MARYLAND 21204



Contract No. 25122 PO0
Project No. 10001187
Baltimore County Detention Center Lobby Renovations –
720 Bosley Avenue, Towson, Maryland 21204
Towson – District 9c6

ADDENDUM NO. 1

DATE: 10/23/2025

Contact: Anthony Crews, 410-887-3531, tcrews@baltimorecountymd.gov

To All Bidders

This addendum is hereby made a part of the Proposal and the Special Provisions, and is hereby incorporated into the Contract. Should this addendum conflict with any portion of the Special Provisions, the Proposal, or any prior addenda, this addendum shall supersede and control.

Please note the attached changes, corrections, and/or information in connection with the contract and submit bids and be otherwise governed accordingly.

For Your Information

Attached are the pre-bid meeting minutes along with the list of attendees held on Wednesday, October 22, 2025 @ 11:00 A.M. EST. via Webex. Also attached questions and answers.

In the Drawings

See attached changes to drawings numbers 2025-2120, 2025-2121, 2025-2135 & 2025-2147

Attachments – 9

Please sign below acknowledging receipt of this addendum and return with your bid.

Company Name

Signature

BALTIMORE COUNTY DEPARTMENT OF BUDGET & FINANCE

PROPERTY MANAGEMENT

Project: BCDC Lobby renovation

Contract 25122 PO0

Pre-Bid Meeting Agenda

Prebid Meeting held October 22, 2025@ 11:00 AM, Online Via web-ex.

All Correspondence in the form of an RFI to (Consultant) Robert Taylor (rdt@murphdittarch.com) and copy Derick Guilbault (dguilbault@baltimorecountymd.gov); Do not send anything directly to Derrick Guilbault alone.

This agenda along with the minutes of this meeting will be issued as part of addendum 1.

MBE presentation MBE -

<https://www.baltimorecountymd.gov/departments/budfin/purchasing/supplier-diversity/MWBE>

Prevailing wage presentation PW –

<https://www.baltimorecountymd.gov/departments/prevailing-wage>

Schedule:

Deadline for RFIs: October 27 2025 at 11am

Bid Due Date: Thursday, November 6, 2025 @ 10:45, deliver to address shown in solicitation.

Bids to be opened per solicitation.

NTP: Target Date- February 20, 2026

Start Construction: Target Date- March 7, 2026

Construction Complete: Target Date- October 28, 2026

NOTE: Target dates are subject to the conditions encountered post bid.

Period of Performance is 235 days from NTP as noted in the bid documents.

Liquidated Damages: \$1,500.00 per Calendar Day as noted in the bid documents.

BALTIMORE COUNTY DEPARTMENT OF BUDGET & FINANCE

PROPERTY MANAGEMENT

NOTE: Period of performance is required and may necessitate additional work days and hours to ensure completion.

- Derrick Guilbault briefed the project.

This concludes the pre-bid meeting minutes. No information stated or inferred other than what is noted here is part of the bid documents.

Additional site visit was offered to anyone who missed the 1st site visit for 10/23/25 @ 11am till 12 noon.

BCDC Lobby Renovation Pre-Bid Meeting Sign-In Sheet (Transcript)

10/22/2025 11:00am

Derrick Guilbault	Baltimore County	dguilbault@baltimorecountymd.gov
Amy Horning	Baltimore County	ahorning@baltimorecountymd.gov
Adam Weinhold	Baltimore County	aweinhold@baltimorecountymd.gov
Shane Harbo	Baltimore County – Prevailing Wage	sharbo@baltimorecountymd.gov
Gary L. Brown	Baltimore County – MBE	gbrown@baltimorecountymd.gov
Robert Taylor	Murphy & Dittenhafer Architects	rdt@murphdittarch.com
Tobi Sowande	Global Query Solutions	tsowande@globalquerysolutions.com
Breana Montoya	Building Concepts LLC	breana@bcconstructiongroup.com
Manit Meshram	Trison Construction Inc.	manit@trisoninc.com
Rohan Raju	Trison Construction Inc.	rohan@trisoninc.com
Jack Kerr	Temporary Wall Systems	jack.kerr@tempwallsystems.com
Joe Crane	Abode Inc	joe@myabodeinc.com
Michael Georg	LG Construction, Inc	mike@lgci-md.com
Steve Weldon	PBI Commercial	steveweldon@pbi1988.com
SJ Juakiem	Atlantida Builders, Inc.	sjuakiem@atlantidabuilders.com
Freida Wifield	Property & Environmental Mgmt	(614) 210-7202
Rick Tyler	Mulan Contractors	
Josue Quinteros		
Jordan C.		
Joseph Rode		
Abdoul		



Addendum No. 1
October 21, 2025

**Baltimore County Detention Center
Lobby Renovation (25122 PO0)**

720 Bosley Avenue, Towson, Maryland 21204.

This Addendum is hereby made part of the 100% Construction Documents dated June 13, 2025 (Project Manual and Drawings) for the above referenced project.

The provisions of this Addendum are intended to supplement and/or supersede the provisions of the Construction Documents only where contrary thereto.

This Addendum contains changes to the requirements of the Project Manual. Such changes shall be incorporated into the Construction Documents and shall apply to work with the same meaning and force as if they had been included in the original Documents. Whenever this Addendum modifies a portion of a paragraph of the Project Manual, the remainder of the paragraph affected shall remain in force.

The conditions and terms of the basic Specifications shall govern work described in this Addendum. Whenever the conditions of work, and the quality or quantity of materials, or workmanship are not fully described in this Addendum, the conditions of work, etc., included in the basic Specifications for similar items of work shall apply to the work described in this Addendum.

If no similar items of work are included in the basic Specifications, the best quality of material and workmanship shall apply and all work shall be subject to the written acceptance of the Architect.

GENERAL ITEMS

Responses to solicitations received prior to the issuance of this addendum are as follows:

1. **Question:** *Do the progress photos need to be professionally done, or can digital photos follow specs suffice?*
Response: *Daily photos need to be of quality and clear but not professionally taken most GC's have their Foreman take pictures on their cell phones or tablets. File formats to be .jpg. HEIC file format is not acceptable*
2. **Question:** *There is a floorbox shown to be installed on drawing TA100. Detail 1/TA500 shows the conduit to be installed in the slab which would require trenching the slab in the decking. Spec 274113-3.1.A states that structural bracing is required since we will be in the decking above the parking garage and the slab is likely under 7" thick. Alternatively, we could use a poke-thru floorbox and pipe it across the parking garage and stub up. Please advise how to proceed.*
Response: *TA100 has been revised to remove floor box. No slab penetrations are required. See the attached drawing revisions that will now show overfloor raceway locations. Overfloor Raceway BOD: Legrand OFR Series.*

Murphy & Dittenhafer, Inc.
805 North Charles Street
Baltimore, Maryland 21201
410•625•4823
410•625•4674 FAX



CHANGES TO THE PROJECT MANUAL, attached as complete Sections

Total number of revised specifications: 0

CHANGES TO THE CONSTRUCTION DRAWINGS, attached

Total number of revised drawings: 4

DWG. NUMBER	SHEET DESIG.	SHEET NAME	Revised with
2025-2120	A-100	ENLARGED PLAN – AREA A	Addendum #1
	Added overfloor raceway locations and Keynote 33. Revised Keynotes 20 & 29		
2025-2121	A-101	ENLARGED PLAN – AREA B	Addendum #1
	Added overfloor raceway locations and Keynote 33. Revised Keynotes 19 & 20. Revised X-Ray and Scanner configuration		
2025-2135	E-201	THIRD FLOOR PLAN – ELECTRICAL – DEMOLITION AND NEW	Addendum #1
	Updated backgrounds. Added overfloor raceway locations and Note 10 Revised X-Ray and Scanner configuration		
2025-2147	TA-100	LOW VOLTAGE FLOOR PLAN	Addendum #1
	Added overfloor raceway locations and Notes. Revised X-Ray and Scanner configuration		

END OF ADDENDUM NO. 1

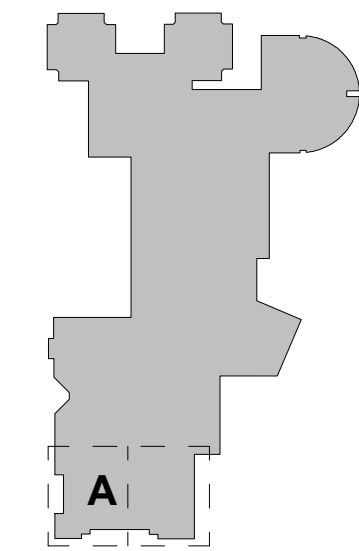
GENERAL CONSTRUCTION NOTES

- ALL DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH UNLESS OTHERWISE NOTED.
- ALL WORK SHALL CONFORM TO LOCAL AND STATE CODES. LOCAL AND STATE ARE TO TAKE PRECEDENCE OVER THE DRAWINGS AND SPECIFICATIONS. IF DISCREPANCY IS NOTED, INFORM THE ARCHITECT IMMEDIATELY AND BEFORE PROCEEDING WITH WORK.
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS BEFORE INSTALLATION OF NEW PARTITIONS.
- CONTRACTOR SHALL COORDINATE AND SCHEDULE HIS WORK WITH BUILDING OCCUPANTS, FOR MINIMAL DISRUPTION, AND ANY REQUIRED UTILITY SHUT-DOWNS.
- RUN ALL NEW UTILITIES CONCEALED WHERE FEASIBLE WITHIN EXISTING CONSTRUCTION. WHERE IT IS NOT FEASIBLE TO RUN CONCEALED, PAINT UTILITIES TO MATCH ADJACENT FINISH.
- PATCH DISTURBED SURFACES BACK TO THEIR EXISTING CONDITION.
- PAINT NEW WALL PARTITIONS TO MATCH EXISTING .
- WHERE EXISTING WALLS ARE TO BE PATCHED, MATCH TO EXISTING ADJACENT CONDITIONS, TYP.
- NEW SEALANTS: CAULK ALL INTERSECTIONS OF DISSIMILAR MATERIALS WITH SEALANT (WITH EXCEPTION OF ACT).
- REMOVE CEILING TILES AS REQUIRED FOR ACCESS AND ANY REQUIRED UTILITY WORK, WHERE TILES BECOME DAMAGED; REPLACE ACT INKIND - FURNISHED BY GC - CONTRACTOR SHALL PHOTOGRAPH CEILING AREAS TO BE DISTURBED TO DOCUMENT EXISTING CONDITIONS.

NOTES

FURNITURE SHOWN FOR REFERENCE AND TO BE OWNER PROVIDED, CONTRACTOR INSTALLED.

KEYNOTE LEGEND	
TAG	DESCRIPTION
02	NEW CERAMIC TILE FLOORING AND BASE (WHERE APPLICABLE).
07	REPAINT PREVIOUSLY PAINTED WALLS, HM DOORS, HM FRAMES.
08	PROVIDE SEALED CONCRETE FLOORING.
14	NEW CARPET (BROADLOOM) FLOORING.
18	PROVIDE NEW THRESHOLD TRANSITION BETWEEN FLOOR FINISHES.
20	PROVIDE PASSTHROUGH DETECTOR, BASIS OF DESIGN: GARRETT PD 65001 32" ADA OR CEIA USA: HI-PE PLUS, OWNER PROVIDED, CONTRACTOR INSTALLED.
23	PROVIDE NEW BASE CABINET.
24	PROVIDE NEW COUNTERTOP.
25	PROVIDE NEW CERAMIC TILE WALL BASE.
26	RELOCATED CHAIRS.
27	PATCH AND PAINT EXISTING HOLES WITHIN CMU WALL.
28	NEW TABLE IS OWNER PROVIDED, CONTRACTOR-INSTALLED. TABLE TO BE BOLTED TO THE FLOOR, COORDINATE WITH OWNER FOR INSTALLATION LOCATION.
29	PROVIDE BAGGAGE SCANNER, BASIS OF DESIGN: POINT SECURITY INC. HI-SCAN 6040C, OWNER PROVIDED, CONTRACTOR INSTALLED.
30	NEW CHAIR IS OWNER PROVIDED.
31	PROVIDE NEW VINYL WALL BASE.
32	ATTIC STOCK CERAMIC TILE FLOORING (WHERE APPLICABLE).
33	PROVIDE OVERSLAB RACEWAY BOD: LEGRAND OFR SERIES OVERFLOOR RACEWAY, SEE ELECTRICAL



KEY PLAN LEGEND - AREA A

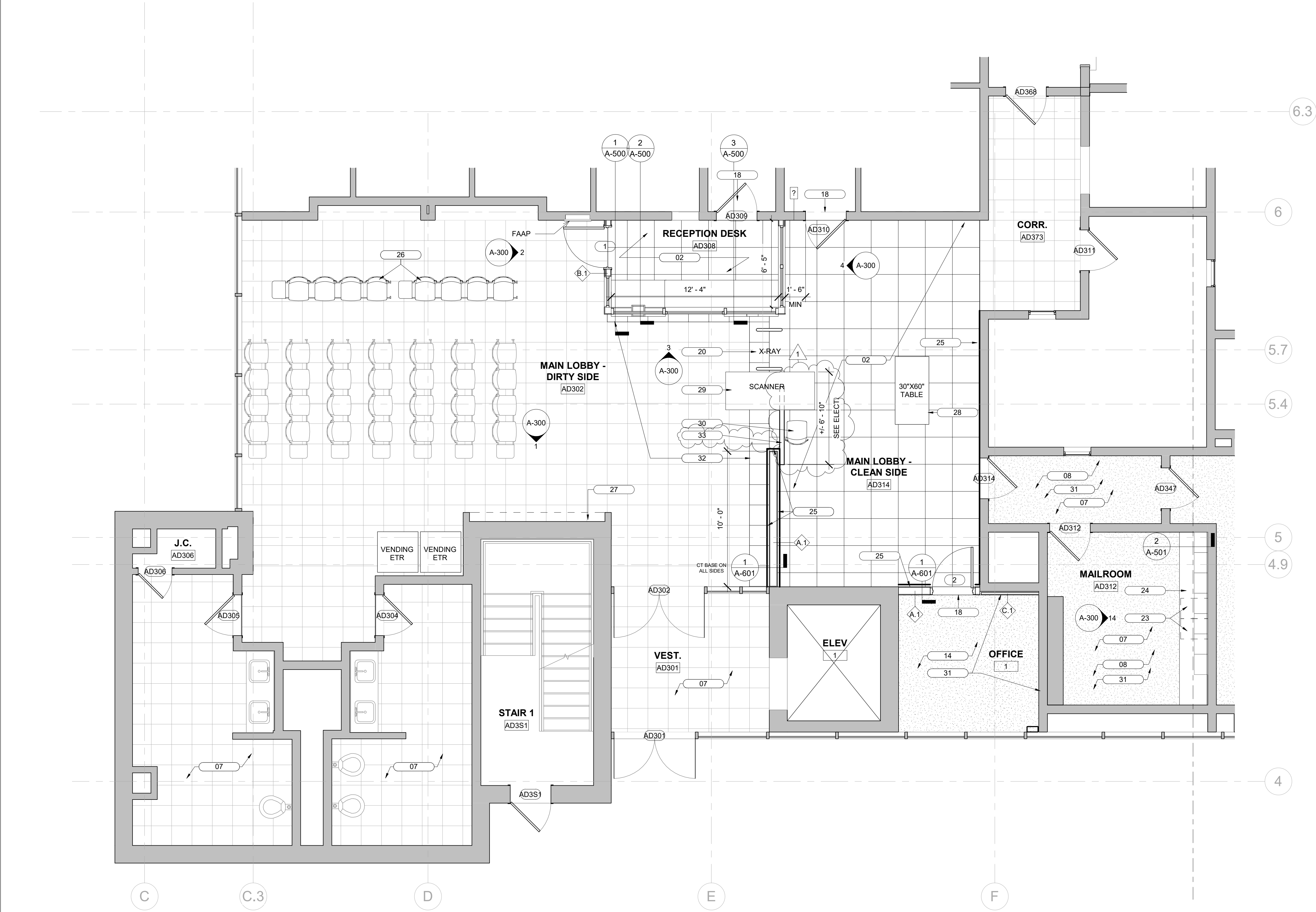


Murphy & Dittenhafer
ARCHITECTS

805 South Charles Street, Baltimore, Maryland 21201
410.582.4522 (voice) 410.582.4523 (fax)

228 West Market Street, York, Pennsylvania 17403
717.843.8327 (voice) 717.843.2488 (fax)

SHEET DESIGNATION	CONTRACT NUMBER
A-100	25122 PO0
JOB ORDER NUMBER	
PROJ-10001187	
SHEET 9 OF 41	
DRAWING NUMBER	
2025-2120	
FILE NO.: 7	



1 ENLARGED PLAN - AREA A
1/4" = 1'-0"

SEAL	PROFESSIONAL CERTIFICATION	AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHT	DRAWING SCALE	PROPERTY MANAGEMENT
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 6607 EXPIRATION DATE: 06/13/2027	1 - Addendum #1	Check	10/21/25	R.O.W. NO.	NNW	41NE2	PLAN SCALE: As indicated	APPROVED BY: _____ PROPERTY MANAGER
		CONTRACT COMPLETION BOX						PROFILE SCALE: _____	DATE: _____
		ARCHITECT: Frank Elwood Dittenhafer, II	DGN BY: RDT						
		AS-BUILT PER RECORD PRINT	DWN BY: NFL						
		BY: _____	CHKD BY: RDT						WO# 1064087
DATE: _____	DATE: _____	DATE REVIEWED: _____							

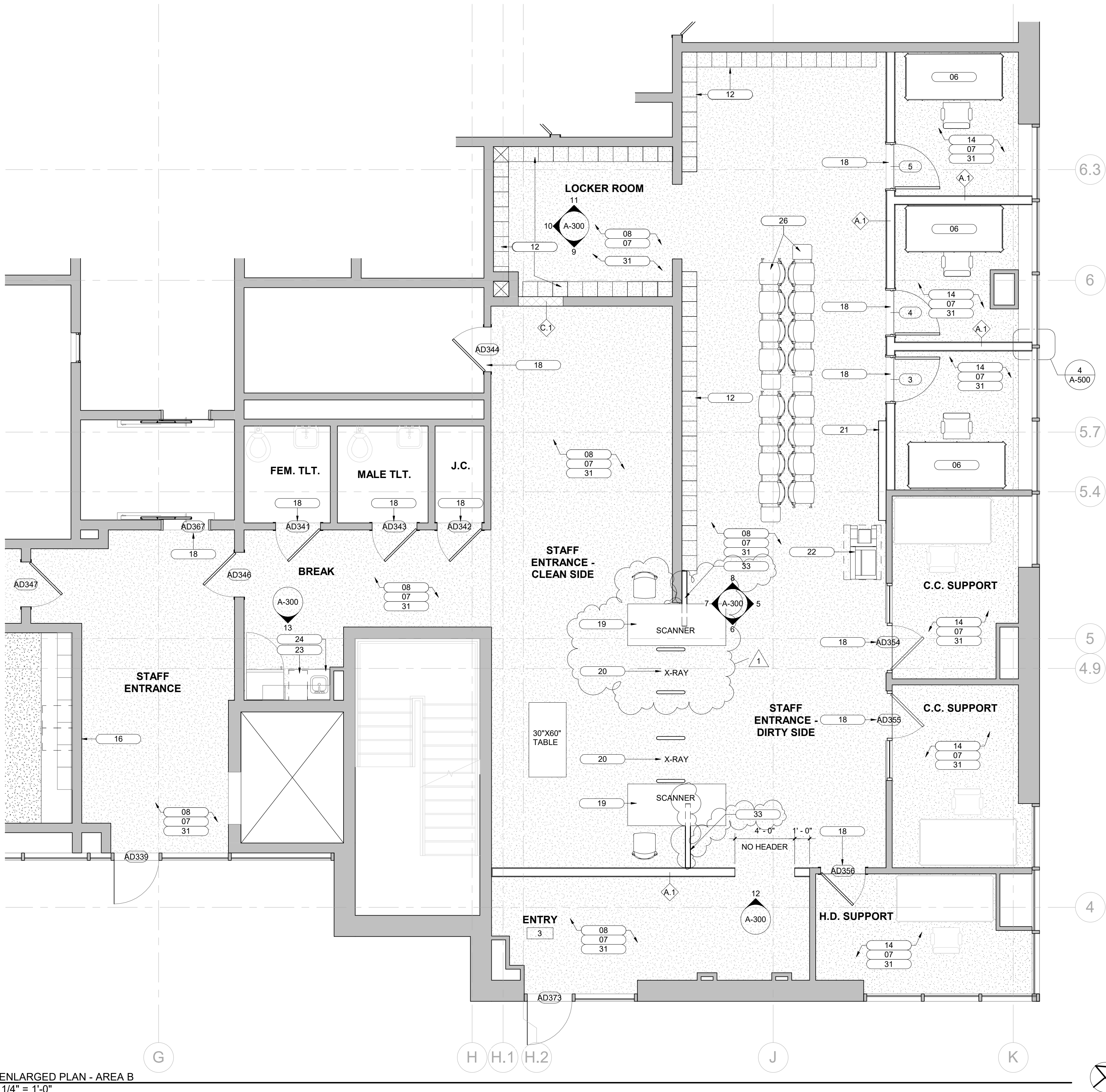
BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT

BCDC LOBBY RENOVATIONS
ENLARGED PLAN_AREA A
RENOVATION

720 BOSLEY AVENUE, TOWSON, MD 21204

SUBDIVISION: TOWSON

ELECTION DIST. NO.: 9



1 ENLARGED PLAN - AREA B
1/4" = 1'-0"

SEAL	PROFESSIONAL CERTIFICATION	AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHI	DRAWING SCALE	PROPERTY MANAGEMENT
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 6607 EXPIRATION DATE 06/13/2027	1 - Addendum #1	RDT	10/21/25		NNW	41NE2	PLAN SCALE: As indicated	APPROVED BY: _____
		CONTRACT COMPLETION BOX						PROFILE SCALE: _____	DATE: _____
		ARCHITECT: Frank Elwood Dittenhafer, II	DGN BY: RDT	BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER
		AS-BUILT PER RECORD PRINT	DWN BY: NFL	REVIEWED BY: _____					
		BY: _____	CHKD BY: RDT	DATE REVIEWED: _____					WO# 1064087

SUBDIVISION: TOWSON

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT

BCDC LOBBY RENOVATIONS
ENLARGED PLAN_AREA B
RENOVATION

720 BOSLEY AVENUE, TOWSON, MD 21204

ELECTION DIST. NO.: 9

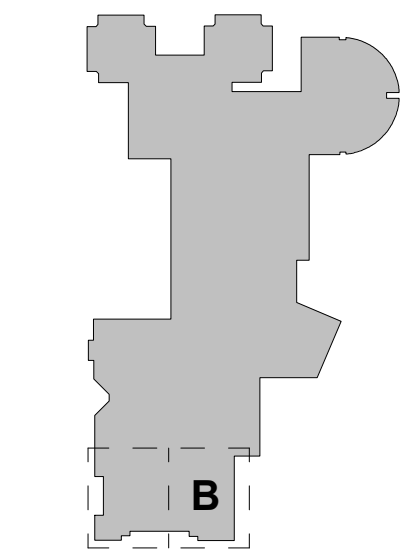
GENERAL CONSTRUCTION NOTES

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- NEW SEALANTS: CAULK ALL INTERSECTIONS OF DISSIMILAR MATERIALS WITH SEALANT (WITH EXCEPTION OF ACT).
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NOTES

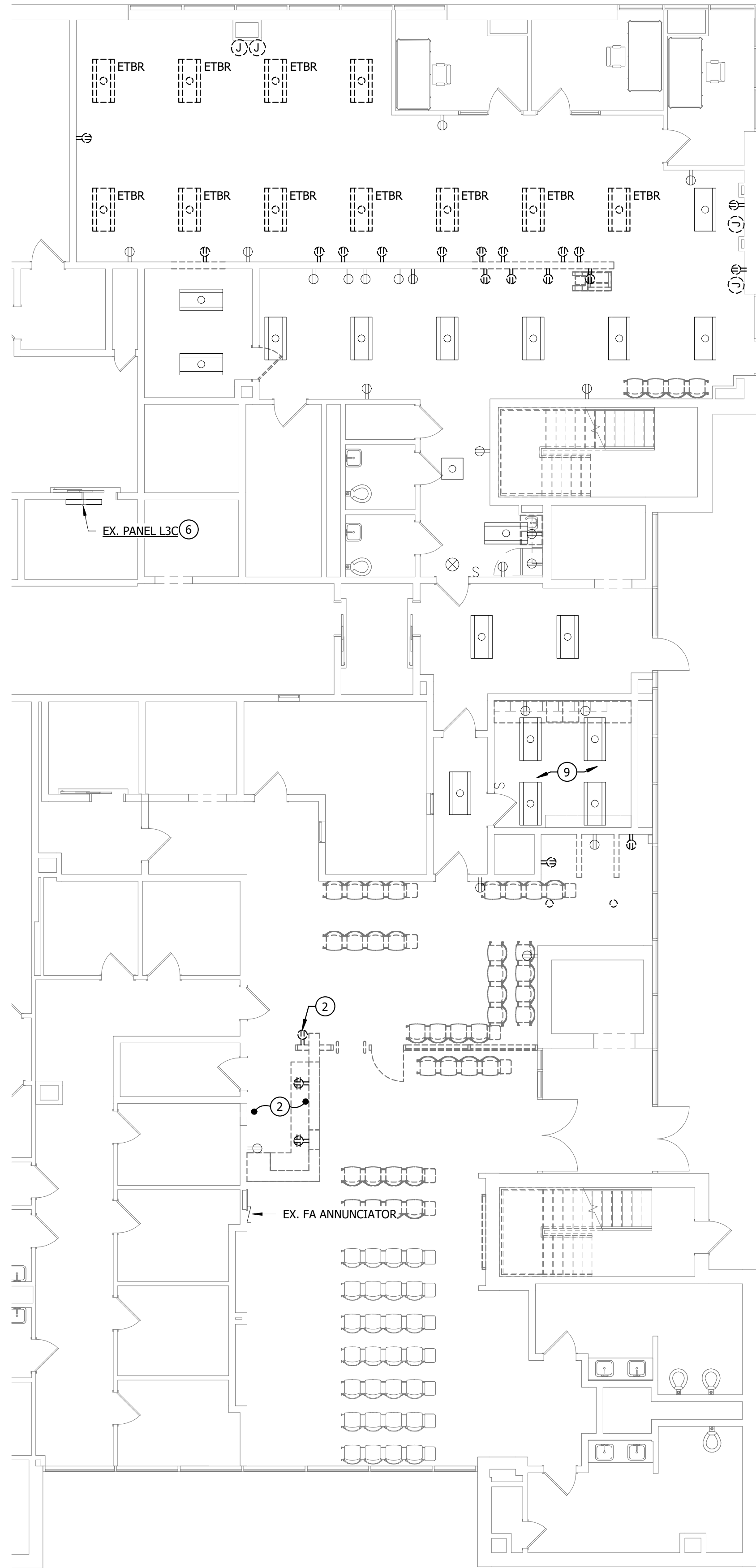
FURNITURE SHOWN FOR REFERENCE AND TO BE OWNER PROVIDED, CONTRACTOR INSTALLED.

KEYNOTE LEGEND	
TAG	DESCRIPTION
06	NEW OFFICE FOR (1) WORKSTATION WITH POWER AND DATA.
07	REPAINT PREVIOUSLY PAINTED WALLS, HM DOORS, HM FRAMES.
08	PROVIDE SEALED CONCRETE FLOORING.
12	PROVIDE 12"X12"X12" METAL LOCKERS STACKED 6 HIGH ON METAL LEGS. LOCKERS TO HAVE KEYS FOR TEMPORARY USAGE.
14	NEW CARPET (BROADLOOM) FLOORING.
16	PATCH AND PAINT WALL AFTER GUN LOCKER RELOCATION.
18	PROVIDE NEW THRESHOLD TRANSITION BETWEEN FLOOR FINISHES.
19	PROVIDE BAGGAGE SCANNER. BASIS OF DESIGN: POINT SECURITY INC. HI-SCAN 6040C. OWNER PROVIDED. CONTRACTOR INSTALLED.
20	PROVIDE PASSTHROUGH DETECTOR. BASIS OF DESIGN: GARRETT PD 65001 32" ADA OR CEIA USA: HI-PE PLUS. OWNER PROVIDED. CONTRACTOR INSTALLED.
21	RELOCATED GUN LOCKERS. PROVIDE BLOCKING WITHIN WALL. AT EXISTING WALL. REMOVE GWB AND INSTALL BLOCKING. REINSTALL GWB, FINISH AND PAINT PRIOR TO INSTALLING GUN LOCKER.
22	RELOCATED EXISTING OFFICE PRINTER.
23	PROVIDE NEW BASE CABINET.
24	PROVIDE NEW COUNTERTOP.
26	RELOCATED CHAIRS.
31	PROVIDE NEW VINYL WALL BASE.
33	PROVIDE OVERSLAB RACEWAY. BOD: LEGRAND OFR SERIES OVERFLOOR RACEWAY, SEE ELECTRICAL.

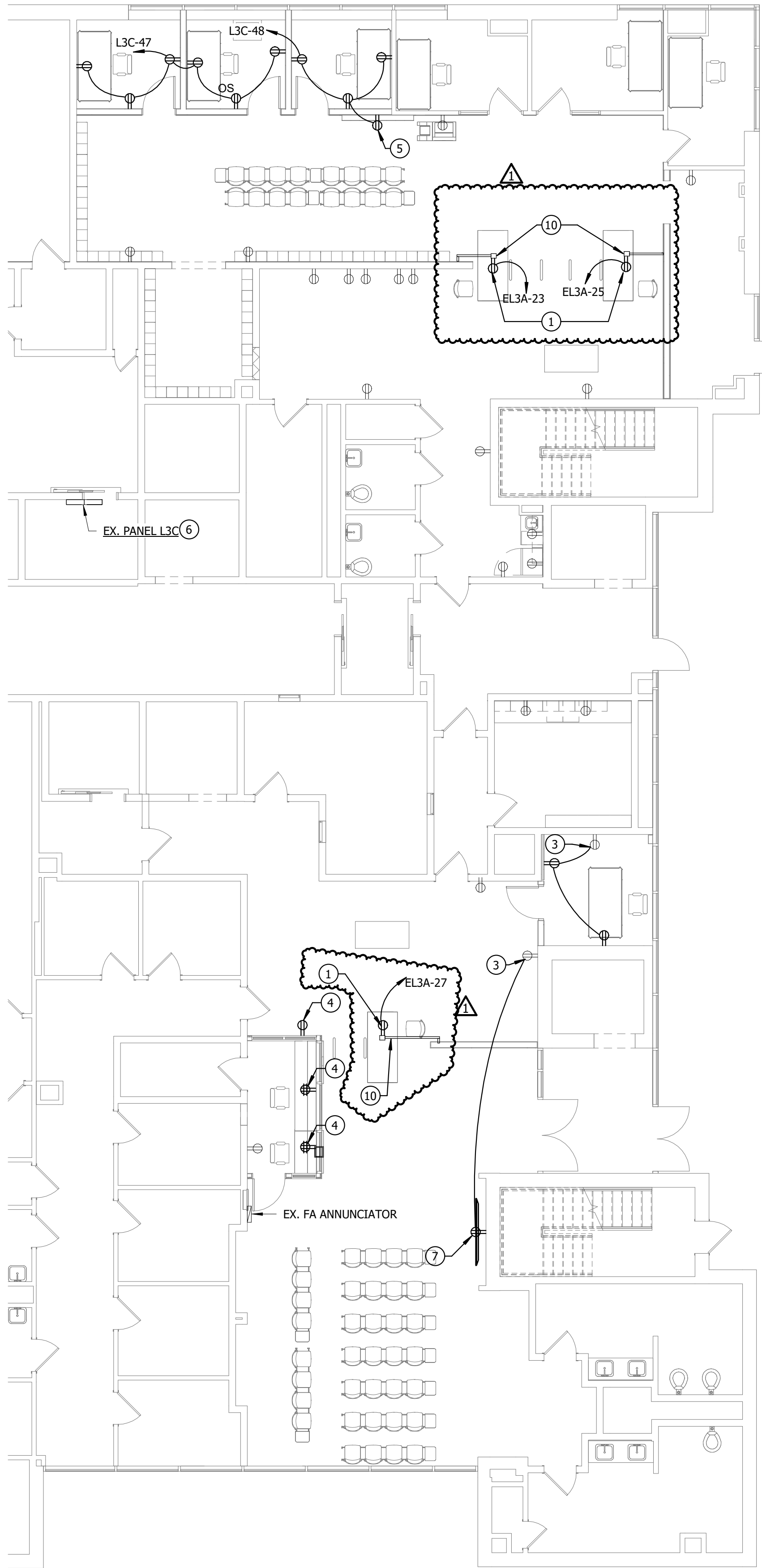


KEY PLAN LEGEND - AREA B

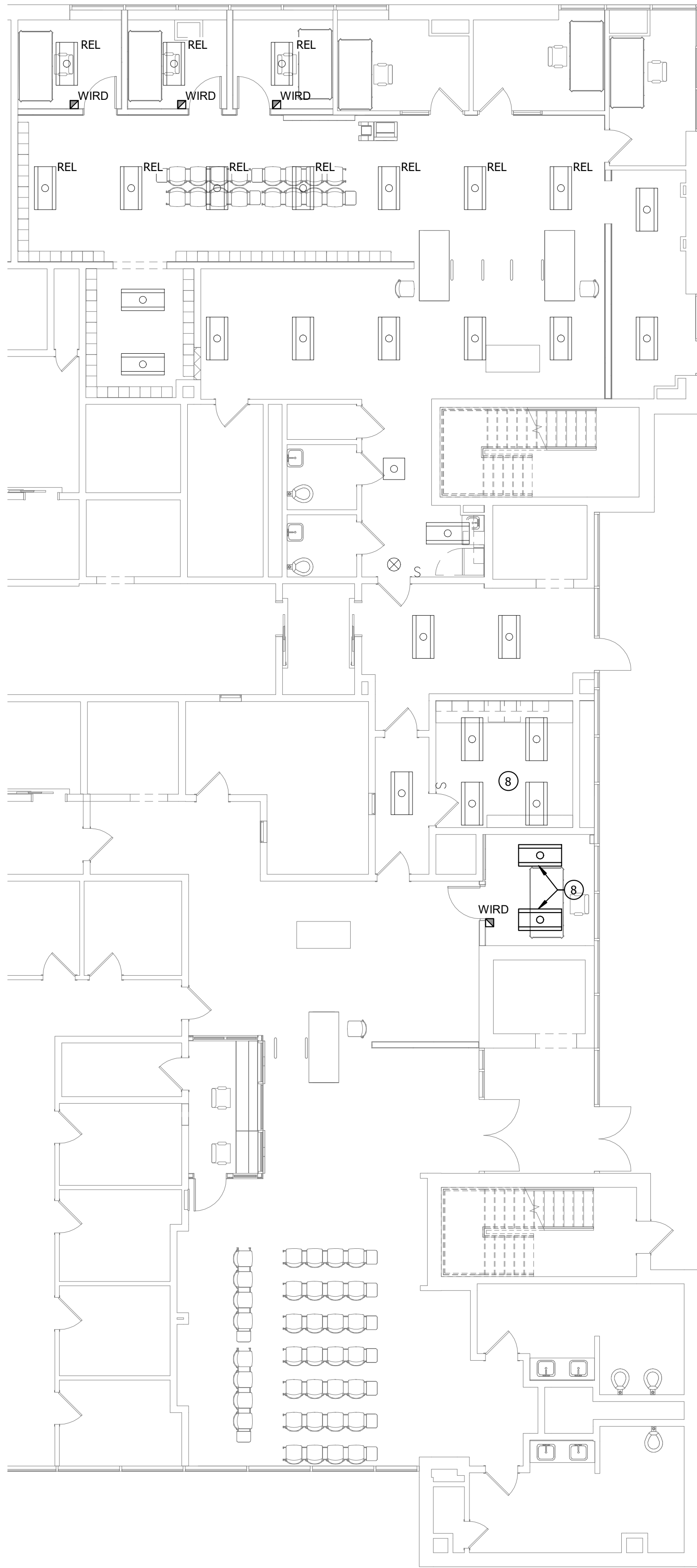
SHEET DESIGNATION	CONTRACT NUMBER
A-101	25122 PO0
JOB ORDER NUMBER	
PROJ-10001187	
SHEET 10 OF 41	
DRAWING NUMBER	
2025-2121	
FILE NO.: 7	



LEVEL 3 - DEMOLITION - ELECTRICAL
SCALE: 1/8" = 1'-0"



LEVEL 3 - NEW WORK - POWER
SCALE: 1/8" = 1'-0"



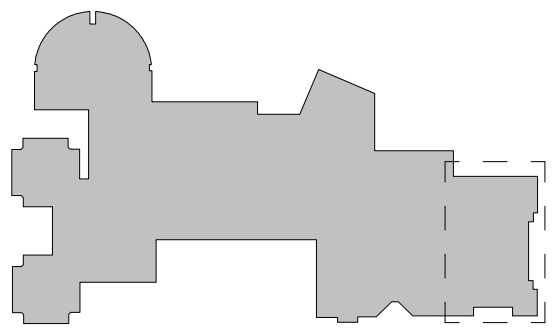
LEVEL 3 - NEW WORK - LIGHTING
SCALE: 1/8" = 1'-0"

GENERAL NOTES

- UNLESS NOTED OTHERWISE, EXISTING LIGHTING CIRCUITRY(NORMAL POWER AND EMERGENCY) TO REMAIN. EXTEND CIRCUITS TO NEW AND/OR RELOCATED FIXTURES AS REQUIRED IF NEW FIXTURE(S) IS NOT IN SAME LOCATION. MODIFY EXISTING CIRCUITRY AS REQUIRED FOR CONNECTION OF NEW LIGHTING CONTROLS.

DRAWING NOTES

- FOR XRAY AND SCANNER MACHINE. COORDINATE FINAL LOCATION IN FIELD PRIOR TO ROUGH-IN.
- DISCONNECT AND RETAIN EXISTING CIRCUITING FOR CONNECTION TO NEW RECEPTACLE IN SAME GENERAL LOCATION. MODIFY/EXTEND CIRCUITRY AS REQUIRED FOR CONNECTION TO NEW RECEPTACLE.
- H E WILLIAMS MODEL PT-24-L49/835-RA-(L40)-DIM-UNV, OR EQUAL.
- RECONNECT TO EXISTING CIRCUIT.
- FOR GUN LOCKERS. COORDINATE FINAL ROUGH-IN LOCATION AND CONNECTION WITH EQUIPMENT PRIOR TO ROUGH-IN.
- LOCATED IN ELEC ROOM MC365M ON LEVEL 3M ABOVE IN THIS GENERAL AREA.
- COORDINATE ROUGH-IN HEIGHT AND LOCATION WITH TA SERIES DRAWINGS.
- CONNECT TO EXISTING BRANCH CIRCUIT SERVING LIGHTING IN THIS AREA.
- RX LIGHTING FIXTURES AND RETAIN FOR REINSTALLATION IN NEW CEILING.
- PROVIDE WIREMOLD OFR SERIES RACEWAY WITH OFR48 BOX WITH 2 DUPLEX AND DATA PORTS (PER LOW VOLTAGE CONSULTANT). PROVIDE ALL COMPONENTS FOR A COMPLETE AND OPERABLE SYSTEM.



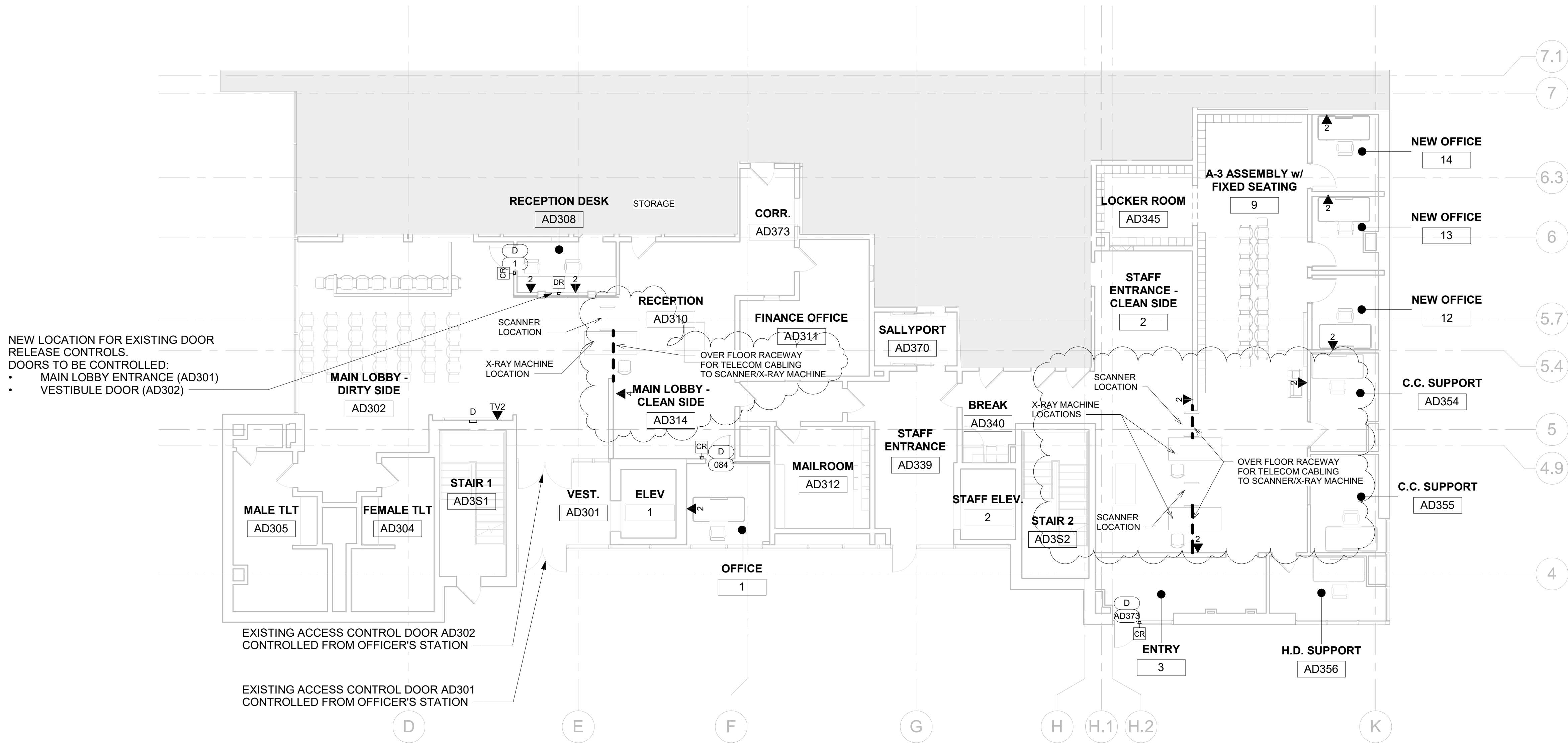
KEY PLAN

SEAL	PROFESSIONAL CERTIFICATION	AS-BUILT / REVISION	BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE	PROPERTY MANAGEMENT
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DUL3 LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 51627, EXPIRATION DATE 12/06/2026	ADDENDUM 1		10/21/25		NNW	41NE2	PLAN SCALE: _____ PROFILE SCALE: _____	APPROVED BY: _____ PROPERTY MANAGER
	ENGINEER: Dalton Twardus	CONTRACT COMPLETION BOX							
	AS-BUILT PER RECORD PRINT	BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER
	BY: _____ DATE: _____	REVIEWED BY: _____							WO# 1064087
	DATE: _____	CHKD BY: _____							

SUBDIVISION: TOWSON

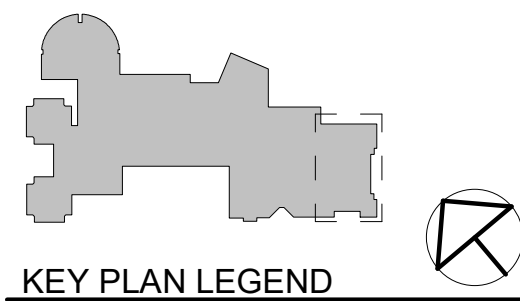
BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT
BCDC LOBBY RENOVATIONS
THIRD FLOOR PLAN - ELECTRICAL - DEMOLITION AND NEW
RENOVATION
620 BOSLEY AVENUE, TOWSON, MD 21204
ELECTION DIST. NO.: 9

Murphy & Dittenhafer ARCHITECTS 805 South Charles Street, Baltimore, Maryland 21201 410.526.8222 • 410.526.8222 • 410.526.8222		229 West Market Street, York, Pennsylvania 17401 717.848.8222 • 717.848.8222 • 717.848.8222	
SHEET DESIGNATION	E201	CONTRACT NUMBER	25122 PO0
		JOB ORDER NUMBER	PROJ-10001187
		SHEET 24 OF 41	DRAWING NUMBER
		2025 - 2135	FILE NO.: 7



1 LOW VOLTAGE FLOOR PLAN
1/8" = 1'-0"

NOTE: PLAN ROTATED 90° IN RELATION TO KEY PLAN LEGEND



SEAL		PROFESSIONAL CERTIFICATION		AS-BUILT / REVISION		BY	DATE	P.W.A. NO.	KEY SHEET	POSITION SHI	DRAWING SCALE		PROPERTY MANAGEMENT	
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		LICENSE NO. _____, EXPIRATION DATE _____		CONTRACT COMPLETION BOX							PROFILE SCALE:		DATE: _____	
		ARCHITECT:	DCN BY: BH	BUREAU OF ENGINEERING AND CONSTRUCTION	TRAFFIC	HIGHWAYS	STRUCTURES	STORM DRAINS	SEWER	WATER	FIELD ENGINEER		WO# 1064087	
		AS-BUILT PER RECORD PRINT	DWN BY: JM	REVIEWED BY:										
DATE: JUNE 13, 2025		BY: _____	CHRD BY: BH	DATE REVIEWED:										

SUBDIVISION: TOWSON

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE - PROPERTY MANAGEMENT
BCDC LOBBY RENOVATIONS
LOW VOLTAGE FLOOR PLAN
RENOVATION
720 BOSLEY AVENUE, TOWSON, MD 21204

ELECTION DIST. NO.: 9

SHEET DESIGNATION	CONTRACT NUMBER
TA100	25122PO0
JOB ORDER NUMBER	
PROJ-10001187	
SHEET 36 OF 41	
DRAWING NUMBER	
2025 - 2147	
FILE NO.: 7	